



FONTANA
CALIFORNIA

2025-2029 Consolidated Plan 2025-2026 Action Plan

April 2025



MDG
Associates, Inc.

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Executive Summary

ES-05 Executive Summary

The City of Fontana has prepared the *2025-2029 Consolidated Plan* as required to receive federal Community Development Block Grant (CDBG) and HOME Investment Partnerships (HOME), and Emergency Shelter Grant (ESG) funds. The Consolidated Plan provides the United States Department of Housing and Urban Development (HUD) with a comprehensive assessment of the City's housing and community development needs and outlines the City's priorities, objectives, and strategies for the investment of CDBG and HOME funds to address these needs over the next five years, beginning July 1, 2025, and ending June 30, 2030.

The City receives CDBG, HOME, and ESG funds from HUD on a formula basis each year, and in turn, awards grants, and loans to nonprofit, for-profit or public organizations for programs and projects in furtherance of this Plan. These programs provide for a wide range of eligible activities to address the needs of Fontana residents.

Community Development Block Grant (CDBG): The Housing and Community Development Act of 1974 created the CDBG Program with three primary objectives against which HUD evaluates the *2025-2029 Consolidated Plan* and the City's performance. Those primary objectives are decent housing, suitable living environments, and expanded economic opportunities for low- and moderate-income persons. The CDBG regulations require each activity meet one of the following national objectives:

- Benefit low- and moderate-income persons; or
- Aid in the prevention or elimination of slums and blight; or
- Meet other community development needs having a particular urgency (usually the result of a natural disaster).

HOME Investment Partnerships (HOME): The Cranston-Gonzalez National Affordable Housing Act of 1990 created the HOME program to expand the supply of affordable housing for low- and moderate-income households. Often used in partnership with local nonprofit housing development organizations, the HOME program can support a wide range of affordable housing activities, including building, buying, and/ or rehabilitating rental and ownership housing or providing direct rental assistance to low- and moderate-income people.

Emergency Shelter Grant (ESG): The ESG program provides grantees with resources to be used within the context of the *2025-2029 Consolidated Plan* and the regional Continuum of Care (CoC) strategy to address homelessness. Eligible ESG activities include:

- Street outreach: Outreach to unsheltered homeless individuals and families to connect them with emergency shelter, housing or critical services;
- Emergency shelter: Major rehabilitation, conversion or renovation of a building to be used as emergency shelter for homeless persons; essential services such as case management, childcare, education services, employment and job training; shelter operations such as maintenance, rent, repair, security, fuel, insurance, utilities, relocation and furnishings;
- Homelessness prevention: Housing relocation and stabilization services and short-and/or medium-term rental assistance to prevent homelessness if annual income is 30% or less of AMI and assistance is necessary to regain stability in current permanent housing or move into other permanent housing; and
- Rapid re-housing: Housing relocation and stabilization services and short-and/or medium-term rental assistance to help individuals or families living in shelters or in places not meant for human habitation move into permanent housing and achieve stability.

ESG funds include a 1:1 match requirement and must be fully expended within 24 months. ESG funds further the objectives of the San Bernardino County Continuum of Care.

The City was allocated \$1,942,933 CDBG, \$588,015.66 HOME, and \$172,779 ESG funds for the 2025-2026 Program Year. The 2025-2026 Action Plan allocates these resources and \$4,027,916 in HOME Prior Year and Program Income funds to fund program activities listed below that will be implemented from July 1, 2025, to June 30, 2026.

2025-2026 CDBG ACTIVITIES

PUBLIC SERVICES ACTIVITIES

Public Safety	\$216,440
Youth/ Senior Scholarship Program	\$75,000

CAPITAL ACTIVITIES

Affordable rental housing	\$1,262,907
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PROGRAM ADMINISTRATION ACTIVITIES

Fair Housing Services	\$30,000
CDBG Administration	\$328,586

2025-2026 HOME ACTIVITIES

HOUSING ACTIVITIES

CHDO Set-Aside	\$88,202.35
Project	\$441,011.75

PROGRAM ADMINISTRATION ACTIVITIES

HOME Program	\$58,801.57
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2025-2026 ESG ACTIVITIES

Homeless assistance services	\$159,821
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PROGRAM ADMINISTRATION ACTIVITIES

ESG Program	\$12,958
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Summary of the objectives and outcomes identified in the Plan needs assessment Overview

The priority needs and goals identified in the Plan are based on analysis of information including the results of the Community Needs surveys and the housing and community development data elements required by HUD. Data required by HUD includes the 2016-2020 American Community survey (ACS) 5-Year Estimates and the Comprehensive Housing Affordability Strategy (CHAS) covering the same time. Other sources of

information used to identify needs and establish priorities were obtained through publicly available data.

In consideration of community input and available data, the five priority needs listed below are established as part of this Plan:

- Expand the supply of affordable housing
- Preserve the supply of affordable housing
- Equal access to housing opportunities
- Prevent and eliminate homelessness
- Public services for residents

Consistent with HUD’s national goals for the CDBG and HOME programs to provide decent housing opportunities, maintain a suitable living environment and expand economic opportunities for low- and moderate-income residents, the priority needs listed above will be addressed over the next five years through the implementation of activities aligned with the following measurable goals included in the Strategic Plan section of this Plan.

Table 1 - Strategic Plan Summary

Goal Name	Needs Addressed	Funding	Goal Outcome Indicator
Goal 1: Affordable housing	Preserve the supply of affordable housing. Expand the supply of affordable housing	HOME: \$6,673,986.47 CDBG: \$6,314,535	-Rental units constructed: 11 households/ housing units -Rental units rehabbed: 15 households/ housing units -Homeowner Housing Rehabbed: 50 households/ housing units -Housing Units TBRA/RRH: 11 Households Assisted
Goal 2: Fair housing services	Ensure equal access to housing opportunities	CDBG: \$150,000	5 Other
Goal 3: Homeless services	Prevent and eliminate homelessness	ESG: \$799,105	-Tenant-based rental assistance/ Rapid rehousing: 20 Households Assisted -Homelessness Prevention: 500 Persons Assisted Homeless Person -Overnight Shelter: 100 Persons Assisted
Goal 4 Public services for families with low incomes	Public services for residents	CDBG: \$1,457,200	Public services other than Low/ Moderate Income Housing Benefit: 64,225 persons assisted

Evaluation of past performance

The investment of HUD resources during the 2019-2023 Program Years had widespread impact in Fontana, from assistance to individuals and families, to improvements to the built environment. During Program Year 2019, the global coronavirus pandemic struck and in 2020, Congress passed the Coronavirus Aid, Relief, and Economic Security Act (CARES). The City received \$2,467,484 CDBG-CV and \$2,343,005 ESG-CV funds to prevent, prepare for, and respond to the virus in the community. The World Health Organization, based on evidence, has ended pandemic status and the national public health emergency has ended.

Together with other federal, state, and local investments, HUD resources allowed the City of Fontana and its partners to provide assistance to low and moderate-income people through community and supportive services, community facilities and infrastructure, homeownership, rehabilitation and homelessness during the last five years. The City continues to effectively implement its activities and align projects and programs with the City's overall strategies and goals. A full review of past performance is available in the Consolidated Annual Performance and Evaluation Reports (CAPERs) that can be accessed through the City's website at <https://www.fontanaca.gov/622/Federal-Grant-Programs>. In summary, as of June 30, 2024:

- 44 low- or moderate owner-occupied homes were rehabbed.
- Eight affordable rental units were constructed.
- 12 affordable rental units were rehabbed.
- Over 900 residents received fair housing services.
- 17 households experiencing homelessness were placed in permanent housing.
- 400 households at risk of homelessness received rental assistance and were able to remain stably housed.
- Thousands of residents in low- and moderate-income areas benefited from public safety programming.
- Over 200 seniors and 10 youth receive scholarships to participate in Parks and Recreation programming.

Summary of citizen participation process and consultation process

The Consolidated Plan regulations at 24 CFR Part 91 provide the citizen participation and consultation requirements for the development of the Consolidated Plan. Chief among those requirements is the need to consult with the Continuum of Care (CoC) to address homelessness, Public Housing Authorities (PHA), business leaders, civic leaders, and public or private agencies that address housing, health, social service, victim services, employment, or education needs of low-income individuals and families, homeless individuals and families, youth and/or other persons with special needs. Information supplied by these community stakeholders, together with objective data resulted in a well-

informed planning document that reflects the housing, community and economic development needs and priorities for the City of Fontana over the next five years.

In September 2024, the City held a public hearing, two public meetings, and opened the Community Needs *survey*. In November 2024 the City held two virtual stakeholder meetings. The draft *2025-2029 Consolidated Plan* and amended Citizen Participation Plan was made publicly available for 30-days for review and comment to afford citizens and local and regional organizations representing low- and moderate-income residents the maximum feasible opportunity to provide input on the housing and community development needs. In March 2025, the City will held a public hearing to adopt the *2025-2029 Consolidated Plan* and Citizen Participation Plan. The public hearings, community meetings, Community Needs survey, and public comment period were publicly noticed.

Summary of public comments

No comments were received.

Summary of comments or views not accepted and the reasons for not accepting them

No comments were received.

Summary

Analysis of ACS and CHAS data, review of local plans, consultation with the community through the Community Needs *survey*, public meetings, stakeholder roundtable, and interdepartmental meetings revealed five high priority needs to be addressed through the investment of approximately \$9.7 million CDBG, \$ 2.9 million HOME, and \$860,000 ESG funds over the five-year period of the *2025-2029 Consolidated Plan*. The investment of CDBG, HOME, and ESG funds in eligible activities shall be guided principally by the five goals of the Strategic Plan. Activities must conform to one of the Strategic Plan strategies and the associated action-oriented, measurable goals to receive consideration for CDBG, HOME, or ESG funding.

The Process

PR-05 Lead & Responsible Agencies

Describe agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

The following are the agencies/entities responsible for preparing the *2025-2029 Consolidated Plan* and those responsible for administration of each grant program and funding source.

Table 2– Responsible Agencies

Agency Role	Name	Department/Agency
CDBG Administrator	Fontana	Housing Department
HOME Administrator	Fontana	Housing Department
ESG Administrator	Fontana	Housing Department

Narrative

The Housing Department of the City of Fontana is the lead agency responsible for the administration of the CDBG, HOME, and ESG programs, and projects. Policy and funding approvals are decided by the City Council, which consists of the Mayor, who is elected at-large, the Mayor Pro Tem, and three City Council Members. Decisions regarding implementation of activities within the *2025-2029 Consolidated Plan* are based on staff recommendations and input from the residents.

The City contracted with MDG Associates, Inc. to prepare the *2025-2029 Consolidated Plan*. In the development of Consolidated Plan, the City and MDG Associates, Inc. implemented a comprehensive citizen participation and consultation process and conducted a needs assessment and market analysis to identify levels of relative need regarding affordable housing, homelessness, special needs, and community development. This information was gathered through consultation with stakeholders and community meetings, review of demographic and economic data, and housing market analysis.

In the implementation of the *2025-2029 Consolidated Plan* and each of the five Annual Action Plans, Housing Department staff shall be responsible for all grants planning, management, and monitoring duties necessary to comply with HUD regulations and City policy.

Consolidated Plan Public Contact Information

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PR-10 Consultation

As part of the preparation of the *2025-2029 Consolidated Plan* the City reached out for consultation to agencies, groups, and organizations involved in the development of affordable housing, creation of job opportunities for low- and moderate-income residents, and/or provision of services to children, elderly persons, persons with disabilities, persons with HIV/AIDS and their families, and homeless persons. To facilitate this consultation, the City solicited feedback through the following methods:

- Community Needs survey (web-based and paper-surveys)
- Community and stakeholder meetings
- Public hearings
- Receipt of written or oral comments

The input received from these consultations helped establish and inform the objectives and goals described in the Strategic Plan.

Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).

The City recognizes the importance of careful coordination and alignment among various service providers to maximize the effectiveness of its CDBG, HOME, and ESG allocations. As a result, during the development of this *2025-2029 Consolidated Plan*, the City consulted with community organizations and City Departments. Outreach efforts included surveys, public noticing, and invitation to the community and stakeholder meetings a. Outreach was made to over 100 organizations and agencies including:

- Nonprofit services providers,
- Affordable and market rate housing developers,
- Housing advocates,
- Public agencies (such as the school district and Public Housing Authority)
- Economic development and employment organizations
- Community and neighborhood groups, and
- Neighboring cities and communities.

The City further recognizes the importance of continued coordination and alignment during the upcoming five-year planning period with these organizations and agencies. The City will strengthen relationships and alignment among these organizations in the implementation of projects using CDBG and HOME funds.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness

San Bernardino County's homeless Continuum of Care (CoC) is comprised of a network of public, private, faith-based, for-profit, and non-profit service providers who utilize several federal, state, and local resources to provide services for homeless people. The region's municipalities, including the City of Fontana, also provide resources for services that assist the homeless and those at risk of becoming homeless. The non-profit and faith-based community plays a key role in the current CoC system. Hundreds of agencies throughout the County provide programs ranging from feeding the homeless on the street to creating permanent supportive housing opportunities. These services are available to homeless families with children, and individuals. The non-profit and faith-based community also serves special needs populations, such as victims of domestic violence, veterans, the disabled and youth.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards and evaluate outcomes, and develop funding, policies and procedures for the administration of HMIS

The City is an active participant in the San Bernardino County CoC and a member of the San Bernardino County Homeless Partnership (SBCHP) whose goal is to provide a system of care that is inclusive, well planned, coordinated and evaluated and is accessible to all how are homeless or at risk of becoming homeless. Each year, the City participates in the CoC's Point-in-Time Homeless Count and Subpopulation survey. During the development of the *2025-2029 Consolidated Plan*, the San Bernardino County CoC was consulted to provide information on homelessness. to determine the needs of our homeless population. The outreach list that follows includes homeless service providers, which are also involved with the CoC. The City aligns its ESG spending with CoC priorities to most productively address the need of the community.

Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdictions consultations with housing, social service agencies and other entities

Table 3– Agencies, groups, organizations who participated

LOCAL GOVERNMENT		
1	Agency/ Group/ Organization	City of Adelanto
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
2	Agency/ Group/ Organization	Town of Apple Valley
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
3	Agency/ Group/ Organization	City of Fontana City Manager's Office
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
4	Agency/ Group/ Organization	Fontana City Council
	Type	Local Government
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Anti-Poverty Strategy

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
5	Agency/ Group/ Organization	City of Fontana Police Department
	Type	Local Government; Emergency Management Agency; Services-Homeless
	What section of the Plan was addressed by Consultation?	Homeless Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
6	Agency/ Group/ Organization	City of Hesperia City Manager's Office
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
7	Agency/ Group/ Organization	City of Rancho Cucamonga
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
8	Agency/ Group/ Organization	City of Rialto Community Services
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
9	Agency/ Group/ Organization	City of San Bernardino
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
10	Agency/ Group/ Organization	City of Upland
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
11	Agency/ Group/ Organization	City of Victorville
	Type	Local Government; Housing; Services-Housing; Service-Children; Services-Elderly; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
COUNTY GOVERNMENT		
12	Agency/ Group/ Organization	San Bernardino County Department of Behavioral Health, Homeless Services
	Type	Local Government; Publicly Funded Institution; Health Agency; Services-Homeless; Local Government; Continuum of Care

	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Homelessness Needs – Chronically Homeless, Families with Children; Veterans, Unaccompanied Minors
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
13	Agency/ Group/ Organization	San Bernardino County Board of Supervisors District 2
	Type	Local Government
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
14	Agency/ Group/ Organization	San Bernardino County District Attorney's Office, Victim Services
	Type	Services-Victims of Domestic Violence; Local Government
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
15	Agency/ Group/ Organization	San Bernardino County Economic Development Agency
	Type	Local Government; Regional Organization; Planning Organization
	What section of the Plan was addressed by Consultation?	Economic Development; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
16	Agency/ Group/ Organization	San Bernardino County Office of Homeless Services
	Type	Continuum of Care; Services-Homeless; Regional Organization; Local Government
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Homelessness Needs – Chronically Homeless, Families with Children; Veterans, Unaccompanied Minors

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
17	Agency/ Group/ Organization	Housing Authority of the County of San Bernardino
	Type	PHA; Public Land Agency
	What section of the Plan was addressed by Consultation?	Public Housing Needs; Homelessness Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
18	Agency/ Group/ Organization	San Bernardino County Library, Adult Literacy Services
	Type	Services-Education; Local Government
	What section of the Plan was addressed by Consultation?	Non-Housing Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
19	Agency/ Group/ Organization	San Bernardino County Preschool Services Department
	Type	Services-Children; Services-Education; Local Government
	What section of the Plan was addressed by Consultation?	Other-Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
20	Agency/ Group/ Organization	San Bernardino County Superintendent of Schools
	Type	Services-Education; Services-Children; Services-Homeless; Publicly Funded Institution; Local Government
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development; Homelessness Strategy; Homelessness Needs –Families with Children, Unaccompanied Minors
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

21	Agency/ Group/ Organization	San Bernardino County Transitional Assistance Department
	Type	Child Welfare Agency; Local Government
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
22	Agency/ Group/ Organization	San Bernardino County Veterans Affairs
	Type	Services-Homeless Veterans; Services-Elderly; Services-Health; Local Government
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
23	Agency/ Group/ Organization	San Bernardino County Workforce Investment Board
	Type	Services – Employment; Regional Organization; Planning Organization
	What section of the Plan was addressed by Consultation?	Economic Development; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
HOMELESSNESS		
24	Agency/ Group/ Organization	San Bernardino County Homeless Provider Network
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Homelessness Needs – Chronically Homeless, Families with Children; Veterans, Unaccompanied Minors
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
25	Agency/ Group/ Organization	A Place Along the Way
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
26	Agency/ Group/ Organization	Caring by Nature
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
27	Agency/ Group/ Organization	Community Action Partnership of San Bernardino
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
28	Agency/ Group/ Organization	Feed My Sheep in the High Desert
	Type	Services-Homeless; Services-Elderly
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Non-Homeless Special Needs; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
29	Agency/ Group/ Organization	Frazee Community Center
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
30	Agency/ Group/ Organization	High Desert Homeless Services, Inc.
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
31	Agency/ Group/ Organization	High Desert Second Chance
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
32	Agency/ Group/ Organization	Holy Family Food Bank
	Type	Services-Homeless; Other
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
33	Agency/ Group/ Organization	High Desert Community Food Bank
	Type	Services-Homeless; Other
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
34	Agency/ Group/ Organization	Inland Valley Hope Partners
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
35	Agency/ Group/ Organization	Orenda Foundation
	Type	Service-Homeless Veterans
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
36	Agency/ Group/ Organization	Reach-Out
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy, Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
37	Agency/ Group/ Organization	St. Joseph Church, His hands Ministry
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy, Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
38	Agency/ Group/ Organization	San Bernardino County Interagency Council on Homelessness
	Type	Service-Homeless; Regional Organization
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Homelessness Needs – Chronically Homeless, Families with Children; Veterans, Unaccompanied Minors; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
39	Agency/ Group/ Organization	Water of Life Church
	Type	Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Anti-Poverty
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
VICTIMS OF DOMESTIC VIOLENCE		
40	Agency/ Group/ Organization	Family Assistance Program

	Type	Services-Victims of Domestic Violence; Services-Homeless
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Homeless Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
41	Agency/ Group/ Organization	Pacific Lifeline
	Type	Services-Victims of Domestic Violence; Services-Homeless
	What section of the Plan was addressed by Consultation?	Homelessness Strategy; Non-Homeless Special Needs; Other-Non-Housing Community Development; Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
42	Agency/ Group/ Organization	Project Sister Family Services
	Type	Services-Victims of Domestic Violence; Services-Homeless
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development; Homelessness Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
43	Agency/ Group/ Organization	Victor Valley Domestic Violence, Inc.
	Type	Services-Victims of Domestic Violence; Services-Homeless; Services-Homeless Veterans
	What section of the Plan was addressed by Consultation?	Homeless Strategy; Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
44	Agency/ Group/ Organization	Victor Valley Family Resource Center
	Type	Services-Victims of Domestic Violence; Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
ELDERLY & DISABLED		
45	Agency/ Group/ Organization	Council on Aging-Southern California
	Type	Services – Elderly
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
46	Agency/ Group/ Organization	George M. Gibson Senior Center
	Type	Services-Elderly
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
47	Agency/ Group/ Organization	Oldtimers Foundation
	Type	Services-Elderly
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
48	Agency/ Group/ Organization	Rock'n Our Disabilities
	Type	Services-Disability
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
49	Agency/ Group/ Organization	Rolling Start Inc.
	Type	Services-Disability

	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
CHILDREN		
50	Agency/ Group/ Organization	Apple Valley Police Activities League (AVPAL)
	Type	Service-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
51	Agency/ Group/ Organization	Assistance League of Victor Valley
	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
52	Agency/ Group/ Organization	Boys & Girls Club of Fontana
	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty Strategy; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
53	Agency/ Group/ Organization	Big Brothers/Big Sisters
	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty Strategy; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
54	Agency/ Group/ Organization	Cedar House Life Change Center

	Type	Foster Care Agency/Facility, Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty Strategy; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
	Agency/ Group/ Organization	Child Advocates of San Bernardino (CASAC)
55	Type	Foster Care Agency/Facility; Child Welfare Agency; Services-Children; Services-Homeless
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty Strategy; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
	Agency/ Group/ Organization	Child Care Resource Center
56	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty Strategy; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
	Agency/ Group/ Organization	High Desert Community Foundation – Hesperia Police Activities League (HPAL)
57	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
	Agency/ Group/ Organization	Kid-2-Kid Closet
58	Type	Services – Children
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
59	Agency/ Group/ Organization	Millionaire Mind Kids
	Type	Services-Children
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs Other-Non-Housing Community Development Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
EDUCATION		
60	Agency/ Group/ Organization	Chaffey College, Fontana Campus
	Type	Services-Education; Publicly Funded Institution/System of Care
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
61	Agency/ Group/ Organization	Fontana Unified School District
	Type	Services-Children; Publicly Funded Institution; Services-Education; Services-Homelessness
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Homelessness Strategy; Anti-Poverty; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
62	Agency/ Group/ Organization	Rancho Cucamonga Unified School District
	Type	Services-Education; Services-Children; Services-Homeless; Publicly Funded Institution
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Homelessness Strategy; Anti-Poverty; Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
63	Agency/ Group/ Organization	Victor Valley College
	Type	Services-Education; Publicly Funded Institution
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Anti-Poverty; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
64	Agency/ Group/ Organization	Upland Public Library
	Type	Services-Education
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
65	Agency/ Group/ Organization	Upland Unified School District
	Type	Services-Education; Services-Children; Services-Homeless; Publicly Funded Institution
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Homelessness Strategy; Anti-Poverty; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
FAIR HOUSING		
66	Agency/ Group/ Organization	Inland Fair Housing & Mediation Board (IFHMB)
	Type	Services-Fair Housing
	What section of the Plan was addressed by Consultation?	Housing Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
67	Agency/ Group/ Organization	Legal Aid Society of San Bernardino

	Type	Services-Fair Housing; Civic Leader
	What section of the Plan was addressed by Consultation?	Housing Need Analysis; Homelessness Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
	HOUSING	
68	Agency/ Group/ Organization	Building Industry Association
	Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
69	Agency/ Group/ Organization	California Apartment Association of Inland Empire
	Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
70	Agency/ Group/ Organization	City of Fontana Housing Authority
	Type	Housing; Public Land Agency
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
71	Agency/ Group/ Organization	City of Hesperia Housing Authority
	Type	Housing; Public Land Agency
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

72	Agency/ Group/ Organization	City of Upland Housing Authority
	Type	Housing; Public Land Agency
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
73	Agency/ Group/ Organization	Con Am
	Type	Service-Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
74	Agency/ Group/ Organization	GRID Alternatives
	Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
75	Agency/ Group/ Organization	Jamboree Housing
	Type	Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
76	Agency/ Group/ Organization	National Community Renaissance
	Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

77	Agency/ Group/ Organization	Palm Communities
	Type	Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
78	Agency/ Group/ Organization	Quality Management Group
	Type	Services-Housing; Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
79	Agency/ Group/ Organization	RPM Company
	Type	Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
80	Agency/ Group/ Organization	RSG
	Type	Services-Housing; Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment; Homelessness Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
81	Agency/ Group/ Organization	Siena Apartments
	Type	Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

82	Agency/ Group/ Organization	State of California Department of Housing and Community Development
	Type	State Government
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
83	Agency/ Group/ Organization	Sunrise Terrace I & II
	Type	Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
84	Agency/ Group/ Organization	VPM Management
	Type	Assisted Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
85	Agency/ Group/ Organization	Victor Valley Community Services Council
	Type	Services-Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Anti-poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
HEALTH		
86	Agency/ Group/ Organization	Behavioral Awareness
	Type	Health Agency; Services-Children;
	What section of the Plan was addressed by Consultation?	Non-Housing Special Needs

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
87	Agency/ Group/ Organization	Children's Dental Health Clinic
	Type	Services-Health; Services-Children
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
88	Agency/ Group/ Organization	The Children's Clinic
	Type	Services-Health, Services-Children
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
89	Agency/ Group/ Organization	Kaiser Permanente
	Type	Services-Health; Business Leader; Civic Leader
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
90	Agency/ Group/ Organization	Mental Health America of Los Angeles
	Type	Services-Health
	What section of the Plan was addressed by Consultation?	Non-Homeless Special Needs; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
91	Agency/ Group/ Organization	Pueblo Y Salud
	Type	Services-Health
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
92	Agency/ Group/ Organization	The Richstone Family Center
	Type	Services-Health
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
93	Agency/ Group/ Organization	Save the Brave US
	Type	Services-Health
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
BROADBAND		
94	Agency/ Group/ Organization	Inland Empire Regional Broadband Consortium
	Type	Broadband Advocated
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
95	Agency/ Group/ Organization	CA Emerging Technology Fund (CETF)
	Type	Broadband Advocate
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
96	Agency/ Group/ Organization	Frontier
	Type	Broadband ISP

	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
97	Agency/ Group/ Organization	HighSpeedInternet.com
	Type	Broadband ISP
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
98	Agency/ Group/ Organization	Spectrum Internet Provider
	Type	Broadband ISP
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
REGIONAL PLANNING		
99	Agency/ Group/ Organization	Inland Empire Economic Partnership (IEEP)
	Type	Regional Organization; Planning Organization
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
100	Agency/ Group/ Organization	San Bernardino Associated of Government (SANBAG)
	Type	Regional Organization; Planning Organization
	What section of the Plan was addressed by Consultation?	Housing Need Analysis; Homelessness Strategy Non-Homeless Needs Assessment; Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

101	Agency/ Group/ Organization	Victor Valley Transit Authority
	Type	Planning Organization; Regional Organization
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
CIVIC & BUSINESS LEADERS		
102	Agency/ Group/ Organization	City of Fontana Chamber of Commerce
	Type	Business Leader
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
103	Agency/ Group/ Organization	City of Hesperia Chamber of Commerce
	Type	Business Leader
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
104	Agency/ Group/ Organization	Inland Empire SBDC
	Type	Services-Employment; Business Leader
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
105	Agency/ Group/ Organization	Moses House Ministries
	Type	Civic Leader
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
106	Agency/ Group/ Organization	National Council of Negro Women, Bethune Center
	Type	Services-Employment
	What section of the Plan was addressed by Consultation?	Economic Development, Business Leader
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
107	Agency/ Group/ Organization	Shear Realty
	Type	Business Leader
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
108	Agency/ Group/ Organization	Today's Woman Foundation
	Type	Civic Leader
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
109	Agency/ Group/ Organization	City of Upland Chamber of Commerce
	Type	Business Leader
	What section of the Plan was addressed by Consultation?	Economic Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
110	Agency/ Group/ Organization	Wal Mart
	Type	Business Leader
	What section of the Plan was addressed by Consultation?	Other-Non-Housing Community Development

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
HOUSING & COMMUNITY DEVELOPMENT		
111	Agency/ Group/ Organization	California Department of Fish and Wildlife
	Type	Public Land Agency; State Government
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
112	Agency/ Group/ Organization	California Desert District Office, US Department of the Interior: Bureau of Land Management
	Type	Public Land Agency; Federal Government
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
113	Agency/ Group/ Organization	Federal Emergency Management Agency
	Type	Floodplain Management Agency; Emergency Management Agency; Federal Government
	What section of the Plan was addressed by Consultation?	Housing Need Assessment; Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
114	Agency/ Group/ Organization	Foothill AIDS Project
	Type	Service-HIV/AIDS; Services-Housing
	What section of the Plan was addressed by Consultation?	Housing Need Assessment; Non-Homeless Needs

	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
115	Agency/ Group/ Organization	High Desert Animal Coalition
	Type	Civic Leader
	What section of the Plan was addressed by Consultation?	Non-Housing Community Development; Non-Homeless Special Needs
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
116	Agency/ Group/ Organization	HUD Local Field Office
	Type	Federal Government
	What section of the Plan was addressed by Consultation?	Housing Needs Assessment; Homelessness Strategy; Non-Homeless Special Needs; Economic Development; Lead-Based Paint Strategy; Anti-Poverty Strategy
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.
117	Agency/ Group/ Organization	Victor Valley Wastewater Reclamation Authority
	Type	Water District/ Agency
	What section of the Plan was addressed by Consultation?	Housing Need Analysis; Non-Housing Community Development
	How was the Agency/ Group/ Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?	To obtain a comprehensive assessment of the needs and priorities within the community, the Consolidated Plan process included consultation and engagement with City residents, service providers, and selected departments through surveys, meetings, and email.

Identify any Agency Types not consulted and provide rationale for not consulting

The City maintains a comprehensive list of agencies, organizations and other stakeholders and invited representatives from each entity to participate in the planning process at multiple points in the planning process. If an agency did not attend meetings or participate in surveys, it was done so by the agency's choice.

Other local/regional/state/federal planning efforts considered when preparing the Plan

Table 4– Other local / regional / federal planning efforts

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care	Human Services Office of Homeless Services	The Strategic Plan goal to provide homeless services is consistent with the County of San Bernardino Homelessness Action Plan.
<i>2021-2029 Housing Element</i>	City of Fontana	The Strategic Plan is in alignment with the Housing of the City's General Plan.

Describe cooperation and coordination with other public entities, including the State and any adjacent units of general local government, in the implementation of the Consolidated Plan (91.215(l))

City of Fontana departments, adjacent units of government, the CoC, and HACSB were consulted with on the development and implementation of the *2025-2029 Consolidated Plan*.

PR-15 Citizen Participation

Summary of citizen participation process/Efforts made to broaden citizen participation

Summarize citizen participation process and how it impacted goal setting

In preparation for the *2025-2029 Consolidated Plan*, the City followed the established processes of the Citizen Participation Plan to ensure broad community engagement. These activities were coordinated and implemented by the Housing Department. The City sought input from its residents and stakeholder by circulating surveys about community needs. The surveys were available online and in hardcopy format. The resident survey was available in English and Spanish; the Stakeholder *survey* was available in English. The City received a total of 476 responses from residents and 24 from stakeholder. The survey results and the survey forms are included in Appendix B.

In accordance with the City's Citizen Participation Plan, residents and stakeholders were able to participate in the development of the *2025-2029 Consolidated Plan* through public hearings, meetings, and the 30-day review and comment period. The City engaged the residents and organizations through surveys. Publicly noticed hearing and meetings at the beginning of the Consolidated Planning process to obtain the views of the community on the City's housing and community development needs were held in the fall of 2024. The public hearing was held on September 24, 2024 at 2:00 PM, and the public meetings were held on September 19 at 9:00 AM and October 2, 2024 at 3:00 PM at City Hall. A public hearing to adopt the *2025-2029 Consolidated Plan* and first year Annual Action Plan is scheduled for March 25, 2025, at 2:00 PM, at City Hall.

In accordance with the City's Citizen Participation Plan, all public notices for community meetings and public hearings and the 30-day comment period were published in a medium of general circulation in the City. Additionally, the City used social media platforms such as Facebook and Instagram to advertise the opportunities to participate. At each step in the process, the City was careful to ensure that low- and moderate-income residents, members of minority groups, agencies involved in the provision of services to these populations, and others who are directly impacted by the programs and activities supported by the *2025-2029 Consolidated Plan* programs had the opportunity to be actively involved.

Table 5 - Citizen Participation Outreach

Outreach			Summary		
Mode	Additional Modes	Target	Content/ Attendance	Comments	Comments not accepted
Newspaper Ad	City website; Social Media; Flyers	English and Spanish Broad Community	Published September 5, 2024. Public Hearing, September 24, 2024, 2:00 PM, City Hall; Community Meeting September 5, 2024, 9:00 AM, City Hall; Community Meeting, October 2, 2024, 3:00 PM, City Hall; Community Needs <i>survey</i> .	N/A	N/A
Public Hearing		Broad Community	Public Hearing, September 24, 2024, 2:00 PM, City Hall. See Appendix B.	All comments were accepted	N/A
Community Meeting		Broad Community	September 19, 2024, 9:00 AM, City Hall. See Appendix B.	All comments were accepted	N/A
Community Meeting the		Broad Community	October 2, 2024, 3:00 PM, City Hall. See Appendix B.	All comments were accepted	N/A
Community Needs <i>survey</i>		English and Spanish Broad Community	See Appendix B	All comments were accepted	N/A
Newspaper Ad	Cityweb site	English and Spanish Broad Community	Substantially complete Draft <i>2025-2029 2025-2029 Consolidated Plan</i> and <i>2025-2026 Annual Action Plan</i> 30-day review period from February 24, to March 25, 2025 and public hearing on March, 2025, 2:00 PM, at City Hall.	N/A	N/A
30-Day Review		English and Spanish Broad Community	Made available on website and in hard copy.	No comments were received	NA
Public Hearing		Broad Community	Public hearing of Draft <i>2025-2029 2025-2029 Consolidated Plan</i> and <i>2025-2026 Annual Action Plan</i>	No comments were received	NA

Needs Assessment

NA-05 Overview

Needs Assessment Overview

The Consolidated Plan Needs Assessment examines a range of needs including housing, homelessness, non-homeless special needs, and non-housing community development needs. The Housing Needs Assessment section evaluates household income, tenure (renter or owner), housing cost as a function of household income, disproportionate need amongst racial and ethnic groups, and public housing needs.

The Homeless Needs Assessment examines the sheltered and unsheltered homeless population in San Bernardino County to inform the City's strategy to address homelessness during the next five years.

The Non-Homeless Special Needs Assessment section evaluates the needs of people who are not homeless, and due to various reasons need services. This population includes elderly, frail and elderly, people who have severe mental illness including Post Traumatic Stress Disorder (PTSD), developmental and physical disabilities, alcohol or other drug addictions, HIV/AIDS, and victims of human trafficking and domestic violence.

Lastly, the Non-Housing Community Development Needs Assessment section discusses the need for public facilities, public infrastructure improvements, and public services to benefit low- and moderate-income residents.

Methodology

To assess community needs, the City examined data, held community meetings, conducted a survey of residents and local stakeholders, and consulted with experts and local stakeholders. The Needs Assessment primarily relies on the following data sources:

- American Community Survey (ACS) 2020 five-year estimates
- Comprehensive Housing Affordability Strategy (CHAS) 2016–2020
- 2024 Point-In-Time Homeless Count

The ACS and CHAS five-year estimates were the most recent complete datasets available.

Consolidated Plan Survey for Residents and Stakeholders

Fontana residents had the opportunity to respond to a survey to rate the level of need for public services, housing, and housing services. The surveys also gathered insight into residents' internet access. Additionally, agencies and businesses that work with Fontana residents with low- and moderate-incomes, special needs, and those experiencing or at risk or experiencing homelessness, were given the opportunity to respond to a stakeholder survey. The tabulation of survey results from 476 residents and 24 organizations that

responded to the surveys are integrated throughout the Needs Assessment (NA) and Market Analysis (MA) of Consolidated Plan and can be found in the following sections:

- Housing facility and service results – NA-10 Housing Needs Assessment
- Public facility, infrastructure, and service results – NA-50 Non-Housing and Community Development Needs

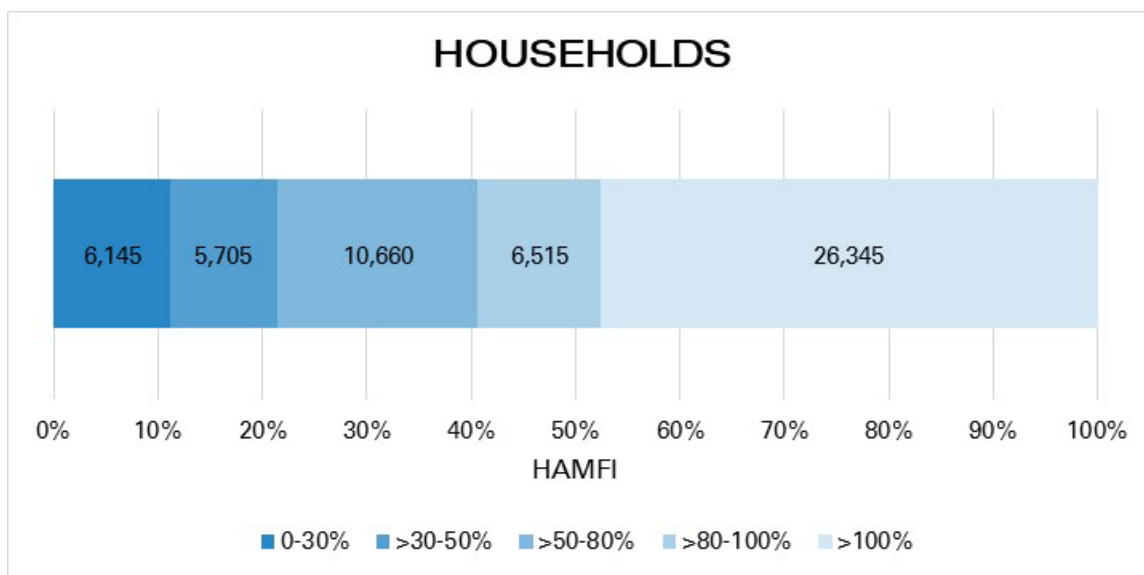
NA-10 Housing Needs Assessment

Summary of Housing Needs

According to the Demographics table, the City population rose by six percent from 196,069 to 208,393 over the ten-year period from 2010 to 2020. During this time, the number of households increased by 19 percent from 46,708 to 55,369 and the median household income grew by 20 percent, from 63,252 to 75,681.

Figure 1 illustrates the number of households in each income category. Over 41 percent of households in Fontana earn up to 80 percent Area Median Income (AMI). The household income levels correspond with the following HUD Area Median Family Income (HAMFI)/AMI definitions:

- Extremely low-income: 0-30% HAMFI/AMI
- Low-income: 30-50% HAMFI/AMI
- Moderate-income: 50-80% HAMFI/AMI
- Medium-income: 80-100% HAMFI/AMI
- Upper-income: 80-100% HAMFI/AMI



Data Source: 2016-2020 CHAS

Figure 1 – Households

Small-family households consist of two-to-four family members, while large-family households include five or more persons. The most common household type in Fontana is small-family households, which represent 52 percent of all households in the City.

This section contains eight data tables referencing housing problems. Housing problems, as defined by HUD, include the following:

1. Lacks complete kitchen facilities: Household lacks a sink with piped water, a range or stove, or a refrigerator.
2. Lacks complete plumbing facilities: Household lacks hot and cold piped water, a flush toilet and a bathtub or shower.
3. Overcrowding / severe overcrowding: A household is overcrowded, if there are more than 1.01 persons per room, excluding bathrooms, porches, foyers, halls, or half-rooms. A household is severely overcrowded if there are more than 1.5 persons per room.
4. Cost burden / severe cost burden: A cost burdened household pays more than 30 percent of its total gross income for housing costs. A severely cost burdened household pays more than 50 percent of its total income for housing costs. Renter housing costs include rent paid by the tenant plus utilities. Owner housing costs include mortgage, taxes, insurance, and utilities.

Table 8 show that housing cost burden – spending over 30 percent of income – is the most common housing problem among renter and owner households. Nearly 60 percent of households earning up to 80 percent AMI experience this burden. Additionally, about half of the households earning at or below 80 percent AMI, with at least one severe housing problem, are renters.

Table 6 - Housing Needs Assessment Demographics

Demographics	Base Year: 2010	Most Recent Year: 2020	% Change
Population*	196,069	208,393	6.3%
Households	46,708	55,369	19%
Median Income	\$63,252	\$75,681	20%

Data Source: *2010 & 2020 Decennial Census, 2010 and 2020 5-Year ACS Estimates

Table 7 - Number of Households Table

	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	>100% AMI
Total Households	6,145	5,705	10,660	6,515	26,345
Small-Family Households	2,490	2,900	5,425	3,510	14,595
Large-Family Households	1,305	1,180	2,970	1,765	6,855
Household contains at least one person aged 62-74 years	1,400	1,130	2,065	1,160	5,085
Household contains at least one-person aged 75 or older	845	675	1,000	430	1,130
Household contains one or more children six years old or younger	2,255	1,500	2,605	2,225	4,985

Data Source: 2016-2020 CHAS

Housing Needs Summary Tables**Table 8 - Housing Problem 1 (Households with one of the listed needs)**

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Substandard Housing	10	65	45	65	185	0	4	30	0	34
Severely Overcrowded	200	235	395	90	920	50	70	85	120	325
Overcrowded	620	595	635	265	2,115	160	195	605	280	1,240
Housing cost burden greater than 50% of income (and none of the above problems)	2,600	1,105	250	0	3,955	1,180	1,470	1,690	135	4,475
Housing cost burden greater than 30% of income (and none of the above problems)	170	830	1,580	350	2,930	95	300	2,075	1,565	4,035
Zero/negative Income (and none of the above problems)	160	0	0	0	160	165	0	0	0	165

Data Source: 2016-2020 CHAS

Table 9 - Housing Problem 2 (Households with one or more Severe Housing Problems: Lacks kitchen or complete plumbing, severe overcrowding, severe cost burden)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Having one or more of four housing problems	3,430	2,000	1,325	425	7,180	1,390	1,740	2,410	535	6,075
Having none of four housing problems	825	1,010	2,770	1,870	6,475	500	955	4,155	3,685	9,295
Household has negative income, but none of the other housing problems	160	0	0	0	160	165	0	0	0	165

Data Source: 2016-2020 CHAS

Table 10 - Housing Problem 3 (Cost Burden >30%)

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	1,670	1,605	1,045	4,320	445	925	2,235	3,605
Large Related	835	660	790	2,285	320	370	980	1,670
Elderly	715	270	234	1,219	510	505	585	1,600
Other	279	205	290	774	200	150	180	530
Total need by income	3,499	2,740	2,359	8,598	1,475	1,950	3,980	7,405

Data Source: 2016-2020 CHAS

Table 11 - Housing Problem 3 (Cost Burden > 50%)

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	1,610	855	80	2,545	410	795	975	2,180
Large Related	785	165	80	1,030	300	195	395	890
Elderly	625	145	69	839	470	410	245	1,125
Other	275	120	30	425	185	135	75	395
Total need by income	3,295	1,285	259	4,839	1,365	1,535	1,690	4,590

Data Source: 2016-2020 CHAS

Table 12 - Housing Problem 4 (Crowding Information – More than one person per room)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Single family households	750	660	765	340	2,515	185	130	485	330	1,130
Multiple, unrelated family households	65	215	305	90	675	25	135	205	75	440
Other, non-family households	0	10	0	0	10	0	0	20	0	20
Total need by income	815	885	1,070	430	3,200	210	265	710	405	1,590

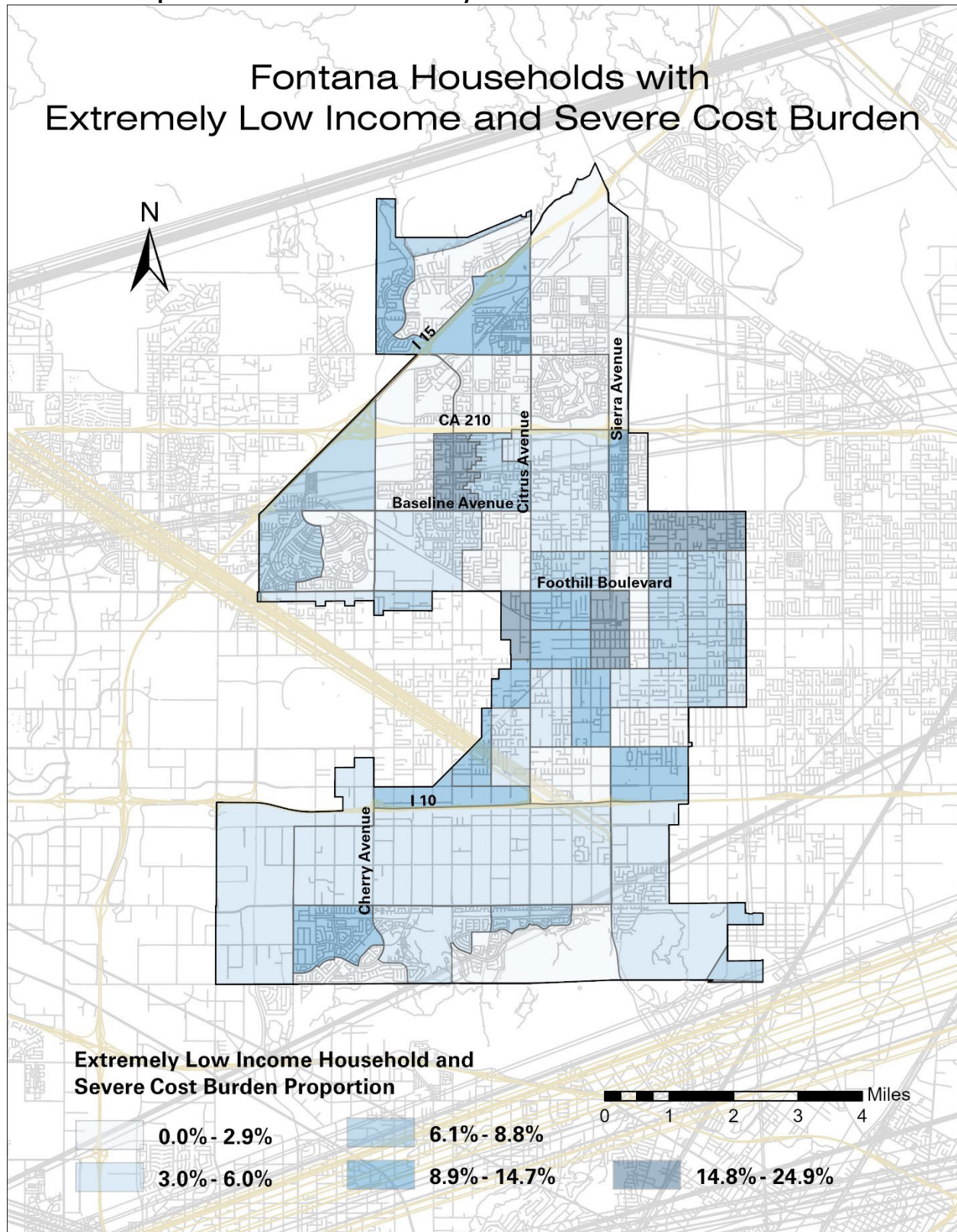
Data Source: 2016-2020 CHAS

Table 13 - Households with children under the age of six

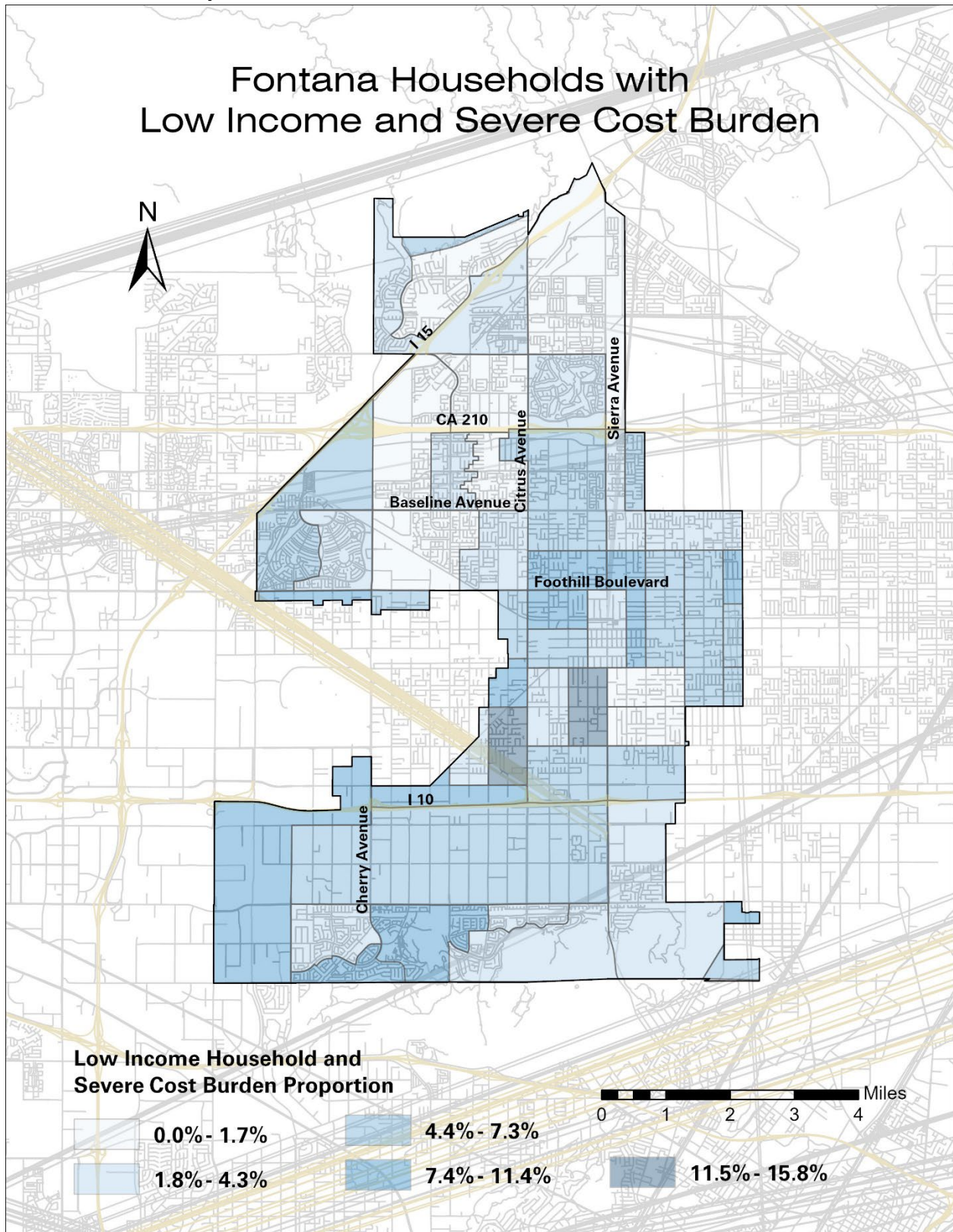
	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Household contains one or more children six years old or younger	1,765	1,040	1,235	4,040	490	460	1,370	2,320

Data Source: 2016-2020 CHAS

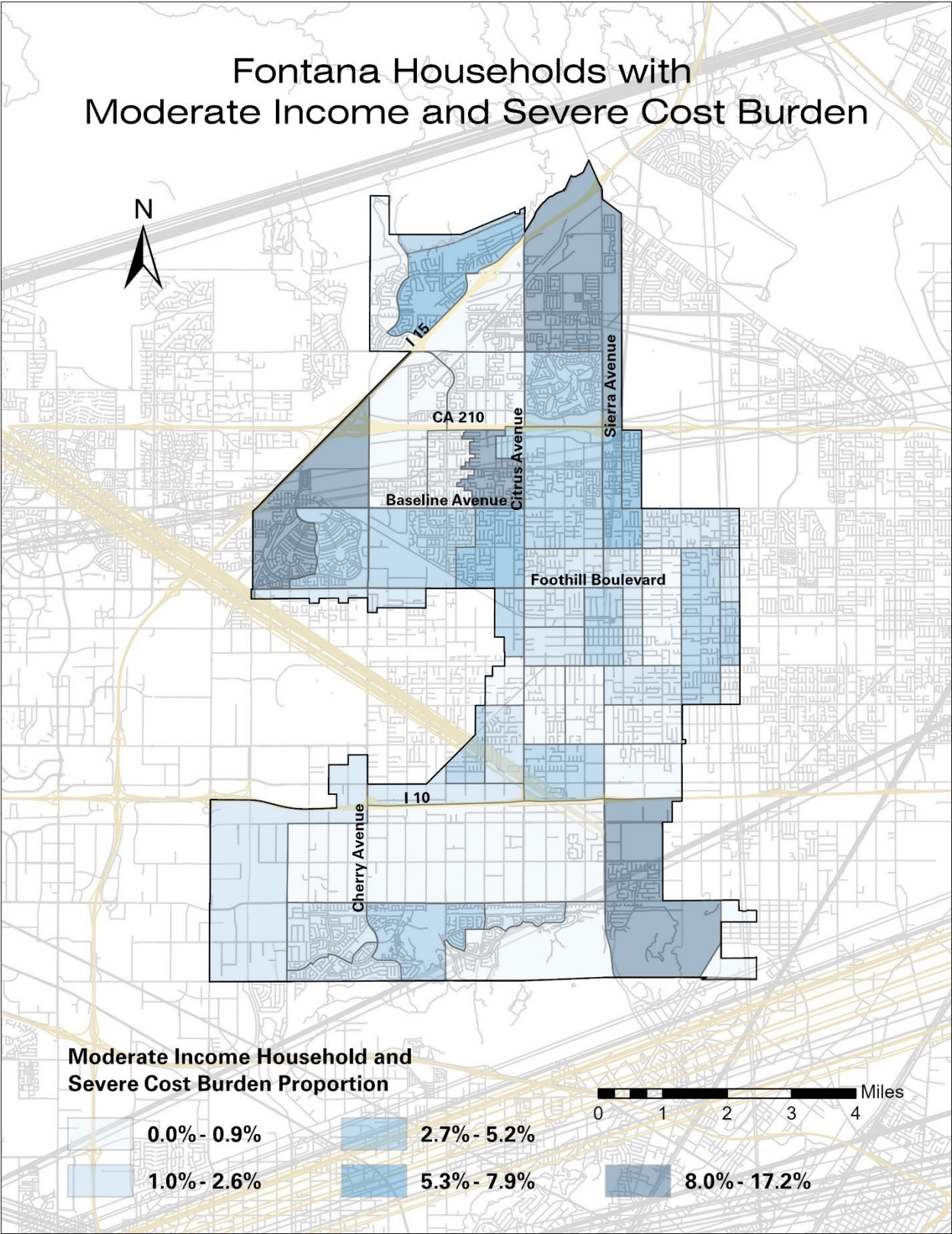
Map 1 - Households with Extremely Low-Income and Severe Cost Burden



Map 2 - Households with Low-Income and Severe Cost Burden



Map 3 - Households with Moderate-Income and Severe Cost Burden



Describe the number and type of single-person households in need of housing assistance.

The precise number of single-person households in need of housing assistance is not available. According to the 2016–2020 five-year ACS estimates, there were 6,051 single-person households in 2020, approximately four percent of whom were aged 65 or older.

Typically, it is presumed that a household needs housing assistance if it experiences one or more housing problem and has income at or below 80 percent AMI. Tables 5 and 6 provide data on the types of households impacted by housing cost burden. “Other” households are defined as nonfamily and nonelderly, a category that includes single persons. Elderly households include elderly families include:

1. Elderly families with two or more persons aged 62 and over.
2. Elderly nonfamilies with one or two persons, at least one of whom is aged 62 or over.

According to CHAS 2016–2020 estimates, 484 “other” and 855 elderly households in this income range spend 30-50 percent of their income on housing costs. Additionally, 820 “other” and 1,964 elderly households, spend more than 50 percent of their income on housing costs.

Estimate the number and type of families in need of housing assistance who are disabled or victims of domestic violence, dating violence, sexual assault, and stalking.

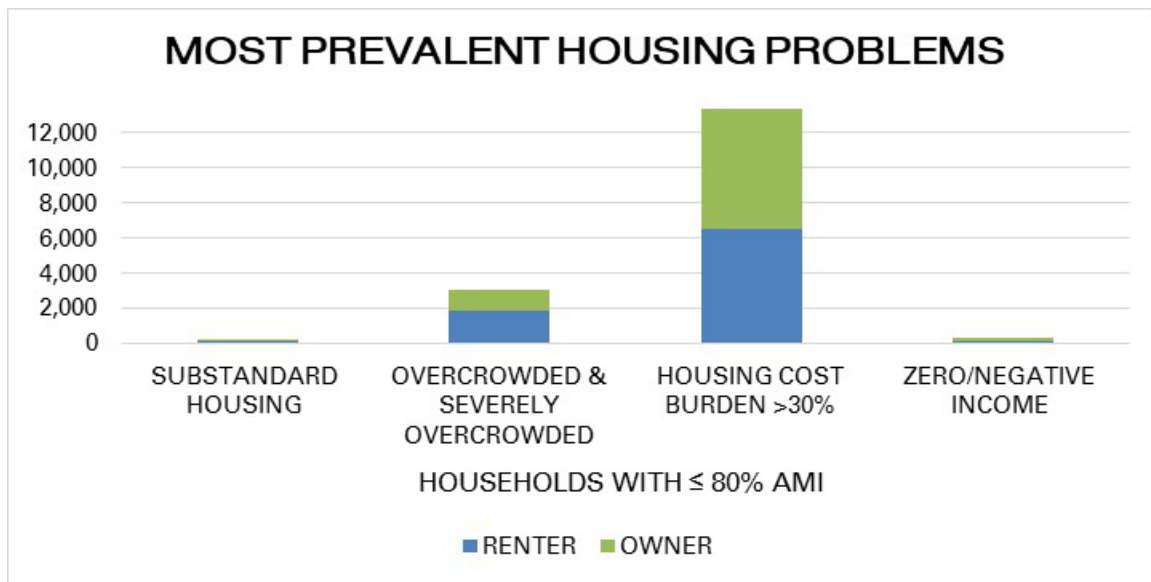
Domestic violence, dating violence, assault, and stalking are often not reported. According to the 2022 National Crime Victimization Survey, only 53 percent of all domestic violence events and 21 percent of rapes or sexual assaults were reported to the Police. The State of California Department of Justice maintains statistics on domestic violence calls to local law enforcement agencies statewide by jurisdiction (openjustice.doj.ca.gov). In 2022, 708 domestic violence-related calls were made from Fontana. Of these incidents:

- Four involved a firearm
- 11 involved a knife or cutting instrument
- 124 involved other dangerous weapons
- 620 involved personal weapons (e.g., feet or hands)

In households where physical violence occurred, at least one member may have needed to relocate to escape recurring violence. These households may have included children. Victims of domestic violence suffer in multiple ways, including economically, which impacts access to safe and affordable permanent housing. As a result, there is a need for emergency shelter and affordable permanent housing.

What are the most common housing problems?

The most common housing problems in the City affecting households with income at or below 80 percent AMI are housing cost burden greater than 30 percent of income, followed by overcrowding and severe overcrowding. Table 8 indicates nearly 60 percent of households in this income range experience a housing cost burden, while almost five percent live in overcrowded and severely overcrowded conditions. This includes 6,810 owner and 6,535 renter households that are cost burdened. Overcrowding and severe overcrowding affect 3,845 households, including 2,680 renter households and 1,165 owner households.



Data Source: 2016-2020 CHAS
Figure 2 - Most Prevalent Housing Problems

Are any populations/household types more affected than others by these problems?

Small related households with low- and moderate-incomes are most affected by housing cost burden, while single family renter households are most affected by overcrowding. The number of cost burdened and severely cost burdened households is shown in Table 10 and Table 11. Approximately 30 percent of households earning up to 80 percent AMI (6,574 households) carry a housing cost burden of 30 to 50 percent. Of these households, approximately 14 percent are small related households, followed by large related households, which account for nine percent, and elderly households, which account for four percent.

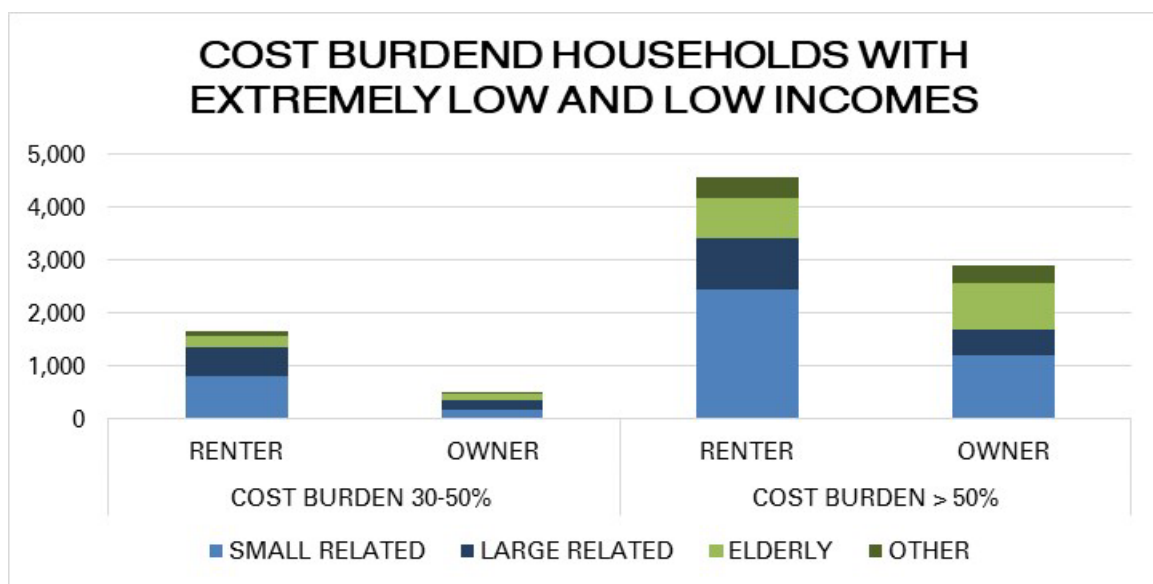
Approximately 42 percent of households (9,429 households) at the same income level carry a severe cost burden of over 50 percent of their income. Of these households, 21 percent

are small related, nine percent are elderly, and nine percent are large related. Single family renter households are the most impacted by overcrowding, representing 15 percent of households earning up to 80 percent AMI.

Describe the characteristics and needs of Low-income individuals and families with children (especially extremely low-income) who are currently housed but are at imminent risk of either residing in shelters or becoming unsheltered 91.205(c)/91.305(c)). Also discuss the needs of formerly homeless families and individuals who are receiving rapid re-housing assistance and are nearing the termination of that assistance.

Extremely low - and low-income households with one or more housing problem are presumed to be unstably housed, indicating that they are at risk of homelessness. Those with one or more housing problem at this income level are highly sensitive to adverse events. The greatest concentrations of unstably housed households are among small related renter households with a housing cost burden greater than 30 percent of their household income and single family renter households living in overcrowded conditions.

There are 11,850 households in Fontana earning less than or equal to 50 percent AMI, representing 21 percent of all households. Within this income range, small related households are the most impacted by housing cost burden, followed by large related and elderly households. Notably, 1,410 single family renter households are living in overcrowded conditions.



Data Source: 2016-2020 CHAS

Figure 3 - Households With >30-50% & >50% Cost Burden

As described in the Market Analysis section of the *2025-2029 Consolidated Plan*, rental housing costs have risen steadily over the past 10 years – creating more pressure on

extremely low-income households. The ACS data shows the median contract rent in Fontana increased 26 percent from 2010 to 2020. As rental prices continue to rise throughout San Bernardino County, the pressure on extremely low-income households will continue to increase.

Rapid rehousing programs may help homeless individuals and families; however, unless a housing unit is within a subsidized affordable housing development, formerly homeless families and individuals receiving rapid rehousing assistance face considerable uncertainty regarding their monthly housing costs and ability to remain stably housed once the assistance contract ends. As the assistance period nears its end, securing alternative housing remains difficult for the same reasons it was before homelessness – high housing costs and the potential impact of an eviction record.

If a jurisdiction provides estimates of the at-risk population(s), it should also include a description of the operational definition of the at-risk group and the methodology used to generate the estimates:

The assessment of at-risk populations described in the foregoing paragraphs in this *2025-2029 Consolidated Plan* is based on ACS and CHAS data using HUD definitions for household types and housing problems, supplemented by available local data for certain groups specified by HUD; such as households with children, and victims of domestic violence, dating violence, sexual assault, and stalking.

Specify particular housing characteristics that have been linked with instability and an increased risk of homelessness.

There are 4,580 renter households that earn less than or equal to 50 percent AMI and are severely cost burdened, according the CHAS data (Table 11). Of these households:

- 2,465 are small, related households with four or fewer members
- 950 are large, related households with five or more members
- 770 are elderly households with one or more members over the aged 62 or older
- 395 are other households

These extremely low- and low-income households are the most at risk of becoming homeless.

Discussion

Of households with incomes up to 50 percent AMI, 40 percent are cost burdened renters, and 14 percent are overcrowded and severely overcrowded renters. Of households with incomes up to 30 percent AMI, 45 percent are severely cost burdened renters and three percent are severely overcrowded renters. These households are presumed to be at risk of becoming homeless. To the greatest extent feasible, options should expand access to affordable housing for severely cost burdened and crowded renter households earning less than or equal to 50 percent AMI. This is one of many strategies to prevent homelessness.

NA-35 Public Housing

The Housing Authority of the County of San Bernardino (HACSB) pursues its mission to “empower all individuals and households in need to achieve an enriched quality of life by providing housing opportunities and resources throughout” the County. HACSB is a federally designated Moving To Work (MTW) housing authority. With this designation it has been able to increase cost efficiency, self-sufficiency, and housing choice.

HACSB primarily operates as a voucher-based housing authority, owning only one unit of public housing. As of December 2024, HACSB offers the following types and quantities of housing vouchers:

- 7,508 Tenant-Based Housing Choice Vouchers (HCV)
- 1,129 Project-Based HCVs
- 1,113 Rental Assistance Demonstration (RAD) HCVs
- 118 Family Unification Special Purpose Voucher (SPV)
- 309 Mainstream SPVs
- 420 Veteran Assistance Supportive Housing (VASH) SPVs
- 68 Housing Opportunities for Persons with AIDS vouchers
- 460 Emergency Housing Vouchers
- 246 Continuum of Care vouchers
- 8 master leasing projects

As of December 2024, a total of 745 housing vouchers of all types were in use throughout Fontana.

Table 14 - Public Housing by Program Type

	Public Housing	Vouchers					
		Total	Project - based	Tenant - based	Special Purpose Voucher		
					VASH	Family Unification	Disabled*
Unit vouchers in use	1,177	5,277	517	4,660	54		

Data Source: PIC (PIH Information Center) *includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Table 15 – Characteristics of Public Housing Residents by Program Type

	Public Housing	Vouchers				
		Total	Project - based	Tenant - based	Special Purpose Voucher	
					VASH	Family Unification
Average Annual Income	13,755	14,084	14,172	13,978	14,467	No data
Average length of stay	6	6	1	7	0	No data
Average Household size	3	2	1	2	1	No data
Homeless at admission	0	30	1	22	7	No data
Elderly Program Participants (>62)	239	1,122	357	754	3	No data
Disabled Families	200	1,284	39	1,200	28	No data
Families requesting accessibility features	1,177	NA	NA	NA	NA	No data
HIV/AIDS program participants	No data	No data	No data	No data	No data	No data
DV victims	No data	No data	No data	No data	No data	No data

Data Source: PIC (PIH Information Center)

Table 16 – Race of Public Housing Residents by Program Type

Race	Public Housing	Vouchers					
		Total	Project - based	Tenant - based	Special Purpose Voucher		
					VASH	Family Unification	Disabled*
White	644	2,226	372	1,791	38	No data	No data
Black/ African American	425	2,911	114	2,763	16	No data	No data
Asian	57	94	21	70	No data	No data	No data
American Indian/ Alaska Native	3	27	5	22	No data	No data	No data
Pacific Islander	29	12	3	9	No data	No data	No data
Other	19	7	2	5	No data	No data	No data

Data Source: PIC (PIH Information Center) *Includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Table 17 – Ethnicity of Public Housing Residents by Program Type

Program Type									
Ethnicity	Certificate	Mod-Rehab	Public Housing	Vouchers					
				Total	Project -based	Tenant -based	Special Purpose Voucher		
							VASH	Family Unification Program	Disabled *
Hispanic			504	1,326	167	1,132	14		
Not Hispanic			670	3,951	350	3,528	40		

Data Source: PIC (PIH Information Center) *Includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Section 504 Needs Assessment: Describe the needs of public housing tenants and applicants on the waiting list for accessible units.

Section 504 of the *Rehabilitation Act of 1973* prohibits discrimination based on disability in any program or activity that is conducted by federal agencies, or that receives financial assistance from a federal agency. A housing provider may not deny or refuse to sell or rent to a person with a disability, and may not impose application or qualification criteria, rental fees, or sales prices and rental or sales terms or conditions that are different than those required of or provided to persons who do not have disabilities. Further, housing providers may not require persons with disabilities to live only on certain floors, or to all live in one section of the housing. Housing providers may not refuse to make repairs, nor may limit or

deny access to recreational and other public and common use facilities, parking privileges, cleaning or janitorial services, or any services to persons with disabilities, that are made available to other residents. When possible, HACSB fulfills reasonable accommodation requests for households HACSB.

Most immediate needs of residents of Public Housing and Housing Choice voucher holders

The most pressing need is the high demand for affordable housing throughout San Bernardino County. There are over 112,846 duplicated households on waitlists for HACSB housing assistance. Approximately 40 percent of the 25,463 households on the tenant-based HCV waitlist were submitted by multiple members of the same household. The waitlist for project-based HCVs includes 35,781 households, and the RAD project-based voucher waitlist is up to 51,602 households.

How do these needs compare to the housing needs of the population at large?

The needs experienced by HACSB participants are similar to the needs of very low-income and low-income households throughout Fontana.

Discussion

HACSB implements a variety of strategies to address the need for affordable housing. The core strategies include maximizing affordable housing opportunities through continuous program and management improvement and leveraging additional resources by working with the San Bernardino County Affordable Housing and CDBG and HOME units.

NA-40 Homeless Needs Assessment

There are four federally defined categories by which individuals and families are considered homeless:

- 1) Literally Homeless – An individual or family:
 - a. Living unsheltered on the streets;
 - b. Living in a vehicle or other place not meant for habitation;
 - c. Living in an emergency shelter or transitional housing program, including a motel/hotel paid by a charitable organization or government program; or
 - d. Exiting an institution (resided 90 days or less and previously resided in one of the two items listed above).
- 2) Imminent Risk of Homelessness – An individual or family imminently losing their housing:
 - a. Housing will be lost within 14 days; and
 - b. Has no subsequent residence; and
 - c. Lacks the resources and support network.
- 3) Homeless Under other Federal Statutes – An unaccompanied youth under the age of 25 or families with children and youth, who do not otherwise qualify as homeless under this definition, but who do meet all of the following:
 - a. Are defined as homeless under Section 387 of the Runaway and Homeless Youth Act (42 U.S.C. 5732a), Section 637 of the Head Start Act (42 U.S.C. 9832), Section 41403 of the Violence Against Women Act of 1994 (42 U.S.C. 14043e-2), Section 330(h) of the Public Health Service Act (42 U.S.C. 254b(h)), Section 3 of the Food and Nutrition Act of 2008 (7 U.S.C. 2012), Section 17(b) of the Child Nutrition Act of 1966 (42 U.S.C. 1786(b)), or Section 725 of the McKinney-Vento Homeless Assistance Act (42 U.S.C. 11434a);
 - b. Have not had a lease, ownership interest, or occupancy agreement in permanent housing at any time during the 60 days immediately preceding the date of application for homeless assistance;
 - c. Have experienced persistent instability as measured by two or more moves during the 60-day period immediately preceding the date of applying for homeless assistance; and
 - d. Can be expected to continue in such status for an extended period of time because of chronic disabilities, chronic physical health or mental health conditions, substance addiction, histories of domestic violence or childhood abuse (including neglect), the presence of a child or youth with a disability, or two or more barriers to employment, which include the lack of a high school degree or General Education Development (GED), illiteracy, low English proficiency, a history of incarceration or detention for criminal activity, and a history of unstable employment.

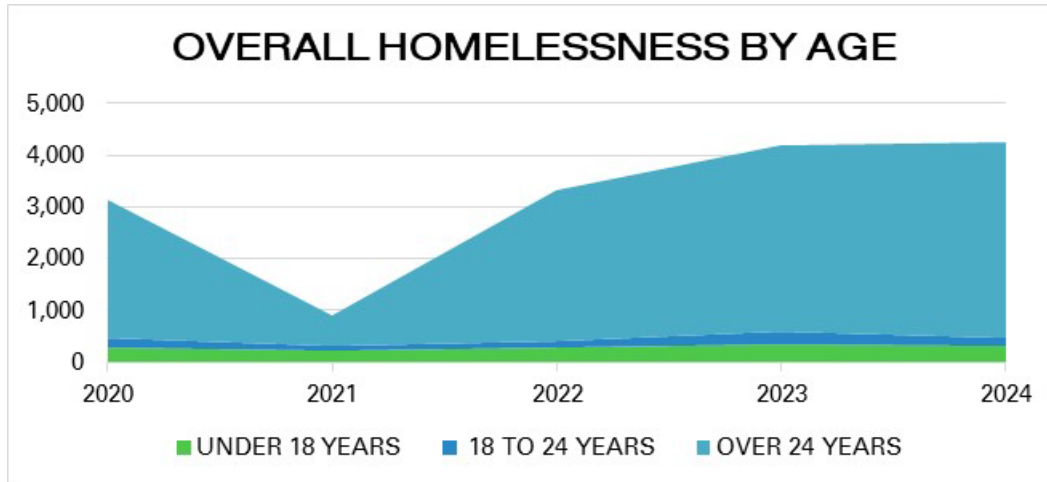
- 4) Fleeing or Attempting to flee Domestic Violence – An individual or family:
 - a. Fleeing or attempting to flee domestic violence situation, dating violence, sexual assault, stalking, or other dangerous or life-threatening conditions that relate to violence against the individual or a family member; and
 - b. Has no subsequent residence; and
 - c. Lacks the resources and support network.

According to the *2024 Annual Homeless Assessment Report (AHAR)* to Congress, during the PIT Count in January 2024, California had the highest number and rate of unsheltered homeless population in the Country. Twenty-eight percent of the nation's homeless population was reported in California. More than half of all the nation's homeless individuals are concentrated in three states: California (24 percent), New York (20 percent), and Washington (four percent). The rate of homelessness in California increased by three percent from 2023 to 2024, and 35 percent from 2007 to 2024.

The San Bernardino County Continuum of Care is known as the San Bernardino County Homeless Partnership (SBCHP). The partnership consists of three distinct bodies: the San Bernardino County Interagency Council on Homelessness, the Homeless Provider Network, and the Office of Homeless Services. Annually, the SBCHP conducts a PIT count to create a census of unsheltered and sheltered individuals experiencing homelessness to establish a baseline snapshot. On January 26, 2023, and again in January 25, 2024, the SBCHP conducted the annual PIT counts. The tables in the section draw on the HUD published 2024 PIT count. From 2023 to 2024 the number of individuals experiencing homelessness in the County increased from 2,976 to 3,055.

The number of sheltered and unsheltered homelessness individuals in Fontana accounts for seven percent of the 2024 PIT count in San Bernardino County, up from six percent in 2023. The 2024 PIT counted 41 sheltered individuals and 260 unsheltered individuals, while the 2023 PIT counted no sheltered individuals and 240 unsheltered individuals, while the 2023 PIT recorded no sheltered individuals and 240 unsheltered individuals. The increase in sheltered homeless individuals is due in large part to the opening of the Bridge of Hope emergency family shelter in Fontana in the latter half of 2023.

Since 2020, the countywide rate of homelessness experienced by children under the age of 18 has increased 16 percent, from 267 children to 311 children. The rate of homelessness experienced by transitionally aged youth aged 18 to 25 declined 22 percent, from 212 to 165. The rate of homelessness for those over the age of 24 increased 43 percent. PIT Counts were put on hold in 2021 due to the Coronavirus Pandemic.



Data Source: HUD 2020-2024 San Bernardino County Homeless Count

Figure 4 – Overall Homelessness By Age

Table 18 - Homeless Needs Assessment

Population	Homeless on a given night		Homeless each year			Days in homelessness
	Sheltered	Unsheltered	Experiencing	Becoming	Exiting	
Persons in households with adult(s) and child(ren)	420	55	NA	NA	NA	NA
Persons in households with only children	7	6				
Persons in households with only adults	773	2,994				
Chronically homeless individuals	240	1,698				
Chronically homeless families	3	8				
Veterans	35	211				
Unaccompanied Child	7	6				
Persons with HIV/AIDS	11	33				

Data Source: San Bernardino County Homeless Count & *survey* Report
Indicate if the homeless population type: Jurisdiction Has No Rural Homeless

If data is not available for the categories "number of persons becoming and exiting homelessness each year" and "number of days that persons experience homelessness", then describe these categories for each homeless population type (including chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth).

A chronically homeless individual or family is defined as living in an emergency shelter or in an unsheltered location with a disabling condition and having been continuously homeless for a year or more, or experiencing at least four episodes of homelessness in the past three years. The 2023 PIT Count recorded that on January 26, 129 sheltered and 1,308 unsheltered individuals were chronically homeless. This included three households with children living in emergency shelter and four households with children living in unsheltered conditions. In 2024, the number of people and households experiencing chronic homelessness increased to 240 sheltered individuals and 1,698 unsheltered individuals, including three sheltered and eight unsheltered households with minor aged children.

Families with children include at least one household member aged 18 or over and at least one household member under 18 years of age. According to the 2023 PIT Count in San Bernardino County, there were 509 people experiencing homelessness in households with at least one adult and one child; 478 people living in emergency or transitional shelters; and 31 people living in unsheltered conditions and in urgent need of housing assistance. The total number of individuals in households with minor aged children decreased in 2024 to 475, with 420 living in sheltered conditions and 55 living in unsheltered conditions.

Veterans are defined as persons who have served on active duty in the Armed Forces of the United States. This does not include inactive military reserves or the National Guard unless the person was called to active duty. The 2023 PIT count recorded 28 sheltered homeless veterans and 203 unsheltered and homeless veterans. The 2024 PIT Count recorded 35 sheltered homeless veterans and 211 unsheltered homeless veterans, an increase from the prior year.

Unaccompanied youth, individuals under the age of 18, are presumed to be emancipated if they are unsheltered without an adult. According to the 2023 PIT Count, there were 244 homeless unaccompanied youth, including 83 sheltered and 161 unsheltered. Among unaccompanied transitionally aged youth, ages 18 to 24 who were homeless, 75 were sheltered and 150 unsheltered. This pattern of transitionally aged youth accounting for most unaccompanied youth experiencing homelessness persisted in 2024. The total number of unaccompanied youths living in homelessness decreased to 166.

In addition, the PIT counts subpopulations living with severe mental illness, HIV/AIDS, chronic substance abuse, and victims of domestic violence.

Throughout San Bernardino County, in 2023, 820 individuals experiencing homelessness also had severe mental illness. Of those, 646, were unsheltered. In 2024, 811 persons experiencing homelessness had severe mental illness, with 631 of them unsheltered.

Within the SBCHP, in 2024, there were 74 homeless pe living with HIV/AIDS, of whom 35 were unsheltered, In 2024 there were 44 homeless individuals living with HIV/AIDS, of whom 33 were unsheltered.

In 2023, chronic substance abuse impacted 1,024 homeless individuals in San Bernardino County, of whom 929 were unsheltered. In 2024, 811 individuals were affected by chronic substance abuse with 866 of them unsheltered.

Throughout the SBCHP, in 2023, a reported 372 individuals experiencing homelessness had also experienced domestic violence, with 104 of them unsheltered. In 2024, there were a reported 304 individuals with this experience, 205 of whom were unsheltered.

Table 19 – Nature and Extent of Homelessness

Race	Sheltered	Unsheltered (optional)
American Indian, Alaska Native, or Indigenous	16	64
Asian or Asian American	20	30
Black, African American, or African	332	559
Hispanic/Latina/e/o Only	163	1,040
Middle Eastern or North African	0	9
Native Hawaiian or Other Pacific Islander	4	16
White	340	1,281
Ethnicity	Sheltered	Unsheltered (optional)
Hispanic	256	36
Not Hispanic	69	20

Data Source: San Bernardino County Homeless Count & *survey* Report

Estimate the number and type of families in need of housing assistance for families with children and the families of veterans.

According to the 2023 PIT Count in San Bernardino County there were 509 individuals experiencing homelessness in households with at least one adult and one child. Of these, 478 individuals were living in emergency or transitional shelters, while 31 individuals were living in unsheltered conditions and in urgent need of housing assistance.

There were 24 parenting youth, and 28 children of parenting youth, all of whom were sheltered. The total individuals in households with minor aged children decreased in 2024

to 475 with 420 living in sheltered conditions and 55 in unsheltered conditions. The number of parenting youth experiencing homelessness dropped to 10, with eight sheltered and two unsheltered.

The 2023 PIT Count recorded 28 sheltered veterans and 203 unsheltered veterans in San Bernardino County. The 2024 PIT counted 35 sheltered veterans and homeless and 211 unsheltered veterans, an increase over the prior year.

It is unclear how many unique families are represented in these numbers. Among the homeless population, it is unclear how many families of deceased or estranged veterans exist.

Describe the Nature and Extent of Homelessness by Racial and Ethnic Group.

The 2024 PIT Count found that most people experiencing homelessness in the County identified racially or ethnically as White (38 percent), followed by Hispanic/Latina/e/o Only (28 percent), Black, African American, or African (21 percent), American Indian, Hispanic and One or More Race (seven percent), Not Hispanic and Multiple Race (two percent), Alaska Native, or Indigenous (2 percent), Asian or Asian American (one percent), and Native Hawaiian or Other Pacific Islander (one percent). By far most people experiencing homelessness are living in unsheltered conditions.

Describe the Nature and Extent of Unsheltered and Sheltered Homelessness.

The 2023 and 2024 PIT Counts found that 60 more individuals experienced homelessness in 2023 than 2024, and the percentage of individuals living in unsheltered condition increased minimally from 71 to 72 percent. In 2023, of 4,195 homeless individuals, 71 percent were unsheltered. Unsheltered chronically homeless accounted for 44 percent of all unsheltered homeless individuals. Among those who were reported as being homeless and unsheltered, 31 percent were living with chronic substance abuse, 22 percent faced severe mental health issues, and nine percent had experienced domestic violence. In 2024, of the 4,255 individuals experiencing homelessness, 72 percent were unsheltered. Unsheltered chronically homeless accounted for 56 percent of all unsheltered homeless individuals. Among those who were reported as being homeless and unsheltered, 28 percent were living with chronic substance abuse, 21 percent faced severe mental health issues, and seven percent had experienced domestic violence.

NA-45 Non-Homeless Special Needs Assessment

Special needs populations consist of persons who are not homeless, but due to various reasons require services and supportive housing. Persons with special needs include the elderly, frail elderly, severely mentally ill, developmentally disabled, physically disabled, persons with alcohol or other drug addictions, persons with HIV/AIDS, and victims of domestic violence. The City will consider allocating CDBG to public services for special these needs populations, as well as victims of human trafficking, and individuals with PTSD or other needs.

Describe the characteristics of special needs populations in your community.

HUD defines elderly as a person who is 62 years of age or older. A frail elderly person is an elderly person who is unable to perform at least three “activities of daily living” including eating, bathing, grooming, or home management activities. Generally, elderly people have lower incomes than the population at large. Based on 2016-2020 CHAS data, of the 14,920 households containing at least one elderly person in Fontana, 48 percent (7,115 households) earn up to 80 percent AMI and may require public services to continue to live independently. ACS data from the same period shows 9,436 residents of Fontana aged 65 and above have a disability. Of those individuals, 50 percent experience ambulatory difficulty, 41 percent experience independent living difficulty, and 28 percent experience hearing difficulty.

HUD defines a disabled person as having a physical or mental impairment that substantially limits one or more major life activity. The obstacle to independent living for these adults is not only their disability, but also the lack of financial resources, often related to limited employment. Additionally, persons with disabilities have increased health care costs, are dependent on supportive services, and may require accessibility modifications to accommodate their disability. The 2021, 1-year ACS estimate of the total Civilian Noninstitutionalized Population age 18 to 64 in Fontana with a disability indicates 3,757 employed; 453 unemployed; and 4,576 not part of the labor force.

The Substance Abuse and Mental Health Services Administration (SAMHSA) is a federally funded institution established to disseminate information on mental disorders, including data on prevalence. Prevalence data is collected through the National *survey* on Drug Use and Health (NSDUH) and is calculated for a two-year period. Rates of substance use disorder, mental illness, serious mental illness, and receipt of mental health treatment have increased among Californians ages 18 to 25, and 26 and over, since the pandemic and there is a higher prevalence in the younger age segment than the older group.

Human Immunodeficiency Virus (HIV) weakens the immune system by destroying important cells that fight disease and infection. Acquired Immune Deficiency Syndrome (AIDS) is the final stage of HIV. The Center for Disease Control (CDC) Atlas Plus program

reported in San Bernardino County an estimated 288 individuals were newly diagnosed during 2022 (<https://www.cdc.gov/nchhstp/atlas/index.htm>, accessed November 2024). New HIV diagnoses were most concentrated among people 25-34 years of age. For persons living with HIV/AIDS, access to affordable housing, supportive services, and quality health care is important to maintaining their health and well-being.

Domestic violence, assault, and stalking are often not reported. According to the 2022 National Crime Victimization survey, only 53 percent of all domestic violence events and 21 percent of rapes and sexual assaults were reported to the Police. Domestic Violence includes, but is not limited to, felony or misdemeanor crimes of violence committed by a current or former spouse of the victim or by a person who is cohabitating with or has cohabited with the victim. In 2022, a total of 708 calls related to domestic violence were made from Fontana (openjustice.doj.ca.gov, accessed November 2023). Of those four were with a firearm; 11 were with a knife or cutting instruments; 124 were with other dangerous weapons; and 620 were with personal weapons.

What are the housing and supportive service needs of these populations and how are these needs determined?

Supportive services required for special needs populations include case management, medical or psychological counseling and supervision, childcare, transportation, and job training provided for the purpose of facilitating an individual's stability and independence. To determine the level of need and types of services needed by special needs populations, the City conducted a survey, consulted with local service providers, and reviewed ACS data.

In housing, accessibility modifications to accommodate persons with mobility disabilities may include, but are not limited to, wider doorways, no-step thresholds, installation of ramps, grab bars, lowered countertops, and accessible hardware.

The needs of residents with sensory disabilities are different from those with mobility disabilities. Individuals with hearing disabilities require visual adaptations for such items as the telephone ringer, doorbells, and smoke alarms. Residents who are blind may require tactile marking of changes in floor level and stair edges, as well as braille markings on appliances and controls. People with low vision may require large-print markings and displays, contrasting colors to distinguish changes in level or transition from one area to another, proper lighting, and reduced glare from lighting and windows.

For persons with special needs, the high cost of living in San Bernardino County makes it difficult to maintain a stable residence. Often these segments of the population rely on support services from various County nonprofit organizations to avoid becoming homeless or institutionalized.

Discuss the size and characteristics of the population with HIV/AIDS and their families within the Eligible Metropolitan Statistical Area.

According to the CDC, at the end of 2022, 1.1 million people in the United States were living with HIV. In 2021, 35,716 new HIV diagnoses were recorded, increasing to 37,601 new diagnoses in 2022 ([cdc.gov](https://www.cdc.gov), accessed January 2025). In San Bernardino County, CDC data show the number of persons living with HIV increased from 2,903 in 2013 to 5,240 in 2022. Among those diagnosed with HIV, 66 percent were in receiving medical care and 57 percent had achieved viral suppression. Viral load is an indicator of health and adherence to medication. A high viral load is indicative of illness. Viral load suppression (less than 200 copies/ml) is suggestive of improved health.

In 2022, 288 new HIV diagnoses were reported in San Bernardino County. People aged 25 to 34 accounted for 35 percent, the greatest concentration of new cases. Of the newly diagnosed, 87 percent were male, the majority of whom identified racially and ethnically as Hispanic/Latino.

Discussion

Additional subpopulations with special needs in San Bernardino County include victims of human trafficking and individuals with PTSD.

Victims of Human Trafficking: Human trafficking is a crime that involves forceful, fraudulent, or coercive methods of entrapping a person, real or perceived, to exploit them for financial gain. The exploitative nature can come in the form of labor services, involuntary servitude, enslavement, debt bondage or commercialized sex acts. Human trafficking is extremely difficult to track. There is no recent or reliable prevalence rate to report. In 2023, in California, the National Human Trafficking Hotline identified 1,128 cases of human trafficking, which involved 2,045 victims (<https://humantraffickinghotline.org/> accessed January 2025). The most common type of human trafficking reported in California was sex trafficking.

The U.S. Department of State *Trafficking in Persons Report* published in July 2022, reports victims of human trafficking are found in every state in the country and trafficked from every country in the world. Victims of human trafficking in the United States are most frequently trafficked from within the United States, Mexico, and Honduras.

Posttraumatic Stress Disorder: The National Institute of Mental Health (NIMH) explains PTSD can “develop after exposure to a potentially traumatic event that is beyond a typical stressor”. Potential inducing events may include, but are not limited to, “violent personal assaults, natural or human-caused disasters, accidents, combat, and other forms of violence.” Symptoms of PTSD can be debilitating. The U.S. Department of Veteran’s Affairs

National Center for PTSD recognizes the disorder impacts populations inside and outside of the military including families, children, and non-combatants. The National Center reports an estimated six percent of the population, eight percent of women and four percent of men, will have PTSD at some point in their lives. “Women are more likely to develop PTSD than men in part due to the types of traumatic events that women are more likely to experience – such as sexual assault—compared to men.” Challenges these special needs populations and subpopulations face include low-income and high housing cost. This segment of the population also struggles for a decent quality of life that includes access to necessities, adequate food, clothing, and medical care.

Novel coronavirus COVID-19: COVID-19 caused a global pandemic. The widespread impact on the United State began in March 2020. In the ensuing years, lives changed dramatically, from the effect of measures to prevent the spread of the disease – including stay-in-place orders, social distancing, mask wearing and vaccination – to death. The Coronavirus Aid, Relief and Economic Security (CARES) Act allocated funds to respond to the public health emergency through HUD. The City received and has expended \$2,467,484 CDBG-CV and \$2,343,005 ESG-CV funds to assist low- and moderate-income individuals and families impacted by COVID. The national and global public health emergency status was lifted in May 2023; however, the virus is still present and active around the world.

NA-50 Non-Housing Community Development Needs

Describe the jurisdiction's need for Public Facilities.

There is a relatively low level of need for improved public facilities, mainly built structures, in Fontana. City residents benefit from improved public facilities, such as parks and recreation facilities, youth centers, childcare centers, community libraries, and homeless facilities. However, compared to the high level of need for public services and affordable housing, the need for improved public facilities is low.

How were these needs determined?

The need for public facility improvements was determined through consultation with stakeholders including City departments and external organizations, and review of the City's Capital Improvement Plan.

Describe the jurisdiction's need for Public Improvements.

There is a relatively low level of need for improved public improvements in the City of Fontana. While City residents benefit from public improvements to infrastructure, such as sidewalks, streets, and alleys, compared to the high level of need for public services and affordable housing, the need for improved public infrastructure is low.

How were these needs determined?

The need for public facility improvements was determined through consultation with stakeholders including City departments and external organizations, and review of the City's Capital Improvement Plan.

Describe the jurisdiction's need for Public Services.

There is a high need for public services in Fontana. Approximately 41 percent of households in the City have incomes at or below 80 percent AMI. The provision of services at reduced or no cost expands choices available to residents with low- and moderate-incomes. Community Needs Survey respondents were asked to rate the availability and quality of public services from one to five stars, and they gave it an average of three stars. This is largely indicative of the availability of public services as the rate of need far exceeds the number of providers across a wide range of services.

How were these needs determined?

The need for public services was determined through the Community Needs *survey*, consultation with stakeholders, including City departments and external organizations, and 2016–2020 CHAS data.

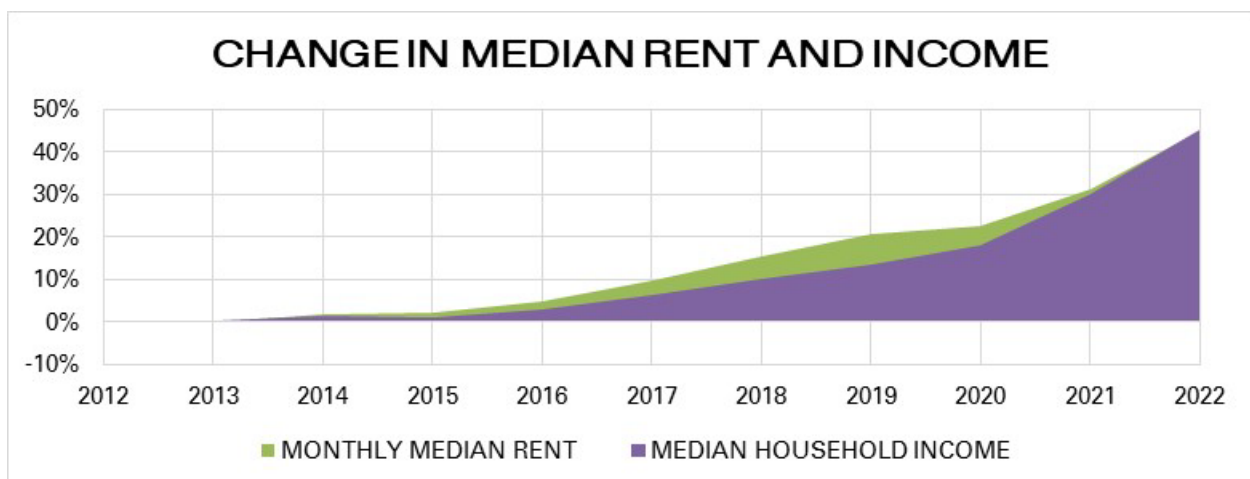
Housing Market Analysis

MA-05 Overview

Housing Market Analysis Overview

This section of the Consolidated Plan evaluates housing market conditions in Fontana, including housing supply, demand, condition, and cost. Single, detached-structures are most prominent, representing almost 80 percent of all structures. Owner households occupy 66 percent of units. The housing stock is aging, with 68 percent built over 40 years ago.

The data shows the housing market in Fontana is relatively tight and many households, especially renters, are experiencing a housing cost burden. According to the Zillow Home Value Index from 2020 to 2024 the median value for homes in Fontana increased 42 percent. ACS data shows median contract rent increased 26 percent over the last 10 years. While CHAS data indicates that there are enough housing units affordable to people with incomes up to 80 percent AMI, the surplus of units is minimal. There are only 405 more units affordable to households with income up to 80 percent AMI than there are households at that income level. Furthermore, there is no guarantee of which unit a household will occupy. CHAS data shows 42 percent of households earning up to 80 percent AMI experience a housing cost burden greater than 50 percent of their income. This situation is not new. For many years monthly rent increased at a faster rate than household income.



Source: 2016-2020 ACS

Figure 5- Change in Median Rent and Income

MA-10 Number of Housing Units

According to 2016–2020 ACS data, 79 percent of housing stock in Fontana is comprised of single, detached-structures. Structures that include 20 or more units represent the next greatest amount of housing at nine percent. Single, attached-structures comprise the smallest portion of the housing stock in the City at two percent. According to the 2016–2020 ACS, the gross number of housing units in the City increased by 4,975 from 52,080 in 2015 to 57,055 in 2020.

Most ownership housing units in Fontana have two or three bedrooms. In comparison, less than one percent are units with one-bedroom. The tables below indicate the number of residential properties in the City by property type, unit size, and tenure.

Table 20 - Residential Properties by Unit Number

Property Type	Number	%
1-unit detached structure	45,242	79%
1-unit, attached structure	1,259	2%
2-4 units	1,352	2%
5-19 units	2,421	4%
20 or more units	5,410	9%
Mobile Home, boat, RV, van, etc.	1,371	2%
Total	57,055	100%

Data Source: 2016-2020 ACS

Table 21 - Unit Size by Tenure

	Owners		Renters	
	Number	%	Number	%
No bedroom	227	1%	473	3%
1 bedroom	145	0%	2,425	13%
2 or 3 bedrooms	18,707	51%	12,672	68%
4 or more bedrooms	17,606	48%	3,114	17%
Total	36,685	100%	18,684	100%

Data Source: 2016-2020 ACS

Describe the number and targeting (income level/type of family served) of units assisted with federal, state, and local programs.

The City tracks the affordability status of a total of 1,898 affordable housing units across 79 properties, which were constructed or rehabilitated with HOME Investment Partnerships (HOME), Housing Set-Aside, Housing Bond, tax credits, or other public funds.

Provide an assessment of units expected to be lost from the affordable housing inventory for any reason, such as expiration of Section 8 contracts.

HUD requires the City to analyze federal, state and locally assisted housing units that may be at risk of being lost from the City's affordable housing stock. The expiration of affordability restrictions on government assisted rental units is the typical reason that affordable units convert to market rate and are "lost." Much of the housing at-risk of conversion from affordable housing to market rate housing is primarily reserved for lower income households.

Use restrictions, as defined by state law, refer to any federal, state, or local statute, regulation, ordinance, or contract which as a condition of receipt of any housing assistance, including a rental subsidy, mortgage subsidy, or mortgage insurance, to an assisted housing development, establishes maximum limitations on tenant income as a condition of eligibility for occupancy.

Conversion Risk

According to the City *Housing Element 2021–2029*, there are 1,898 publicly assisted rental units across 79 developments, and 43 of those units are at risk of conversion to market rate between 2025 and 2028. The remainder are covenanted for the next 10 years or more, or are owned by large, stable, mission-driven nonprofit developers, and at low risk of losing affordability status.

Preservation and Replacement Options

To maintain the existing affordable housing stock, the City may either attempt to preserve the existing assisted units or facilitate the development of new ones. Each negotiation to preserve affordable units is unique, as ownership interests, and economic needs will vary by project. Additionally, City resources may be insufficient to preserve all units when covenants expire. Depending on the circumstances of each project that includes at-risk units, different strategies may be used to either preserve or replace them. Preservation options typically include: 1) transfer of units to nonprofit ownership, 2) providing rental assistance to tenants using alternative funding sources, 3) purchasing extended affordability covenants. For replacement, the most direct approach is the development of new affordable units with long-term covenants.

Does the availability of housing units meet the needs of the population?

There is a significant need for additional rental housing units of all sizes affordable to households earning up to 80 percent AMI, especially smaller units such as no-bedroom and one-bedroom units. Determining the exact number and size of units is challenging, as there is no guarantee regarding the size of the housing unit a household will occupy.

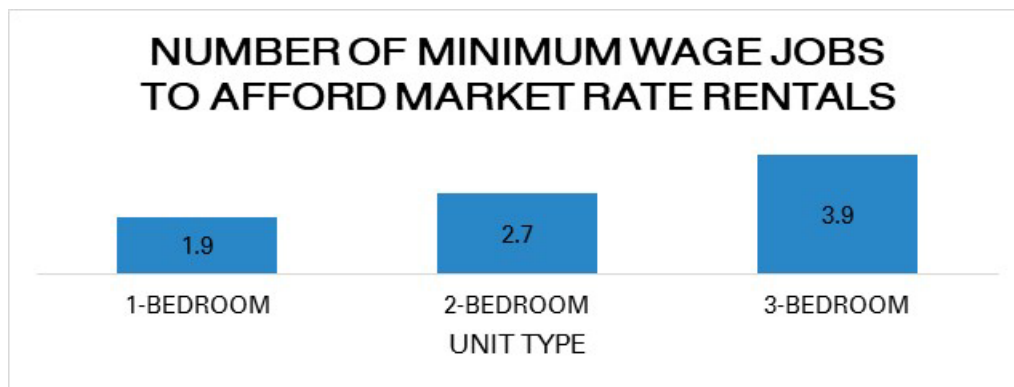
Describe the need for specific types of housing.

ACS data indicates that in 2020 there were 6,051 single-person households in Fontana – 2,824 renters and 3,227 owners. Table 30 shows 3,270 no-bedroom and one-bedroom units in the City, 2,898 rental, 372 owner. The data suggests a potential need for more opportunities to purchase small housing units.

Table 10 reports cost burden and illustrates the number and approximate size of households with incomes at or below 80 percent AMI living in housing units that are beyond their financial means. Elderly and “other” types include single-person households. There are 1,219 renter and 1,600 owner elderly households and 774 renter and 530 “other” households in Fontana. The data also indicates there may be a need for more opportunities to purchase small housing units.

Discussion

For decades, California’s housing market has been among the most expensive in the country, and the conditions persist today. To afford the median market rent for a two-bedroom unit in Fontana, a household must earn over \$42 per hour, or work over 106 hours per week at minimum wage of \$16 per hour – equivalent to nearly three full time jobs. These calculations were made using the method applied by the National Low Income Housing Coalition in the *Out of Reach* series and using market rate rent from Zumper. Market rate rents are significantly higher than fair market rents and more accurately reflect the experience low- and moderate-income households are facing.



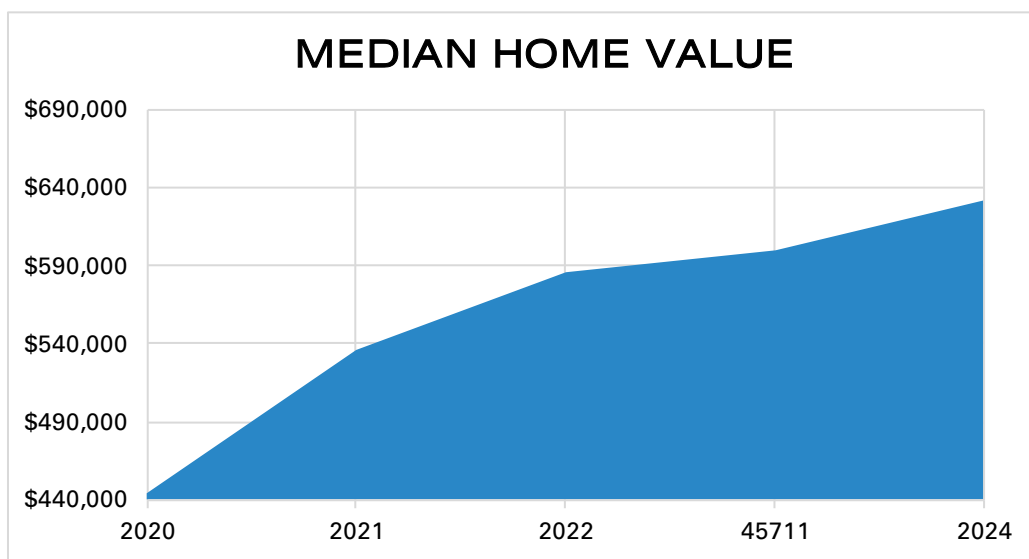
Data Source: 2024 Zumper Research & CA Minimum Wage Data

Figure 6 - Minimum Wage Affordability

MA-15 Housing Market Analysis: Cost of Housing

One of the most important factors in evaluating a community's housing market is the cost of housing and its affordability for current and prospective residents. If housing costs are relatively high in comparison to household income, correspondingly high housing cost burden and overcrowding will typically occur.

Table 32 indicates the median home value and contract rent (not including utility or other associated costs). These values are self-reported by residents through the ACS survey and the data reflects the 5-Year Estimate for 2016–2020. However, in looking at more current housing sales and rental market data – the cost of housing has risen tremendously in recent years. ACS data shows median contract rent increased 26 percent from 2010 to 2020. In 2020, according to ACS data, median home values in Fontana were 13 percent greater than in 2010, during the mortgage-backed securities housing foreclosure crisis. According to the Zillow home value index, value increased 42 percent from \$444,021 in November 2020 to \$631,304 in November 2024.



Data Source: 2021-2023 Zillow Home Value Index Research

Figure 7 - Median Home Value

Based on the reported housing costs, the Housing Affordability Table indicates the number of units currently affordable to households at different levels of income. It is important to note that simply because a unit is affordable to residents at that income level, it does not necessarily mean that a household at that income level is occupying the unit.

Table 22 - Rental Housing Costs

Rental Housing Cost by Bedroom	2022 (\$)	2023 (\$)	% Change
1-bedroom	2,033	1,430	-29.7%
2-bedroom	2,119	2,046	-3.4%
3-bedroom	2,980	2,996	0.5%

Data Source: Zumper Research (accessed March 2024)

Table 23 - Cost of Housing

Cost of Housing	2010 (\$)	2020 (\$)	% Change
Median Home Value	346,700	393,200	13%
Median Contract Rent	1,083	1,368	26%

Data Source: 2006-2010, 2016-2020 ACS (Most Recent Year)

Table 24 - Rent Paid

Rent Paid	Number	%
Less than \$500	650	3.58%
\$500-999	2,768	15.24%
\$1,000-1,499	7,378	40.61%
\$1,500-1,999	4,381	24.12%
\$2,000 or more	2989	16.45%
Total	18,166	100%

Data Source: 2016-2020 ACS

Table 25 - Housing Affordability

Units affordable to Households at:	Renter	Owner
30% HAMFI	4,254	1,889
50% HAMFI	3,083	2,744
80% HAMFI	4,360	6,585
100% HAMFI	2,380	4,425
Total	14,077	15,643

Data Source: 2016-2020 CHAS

Note: This includes vacant and occupied housing.

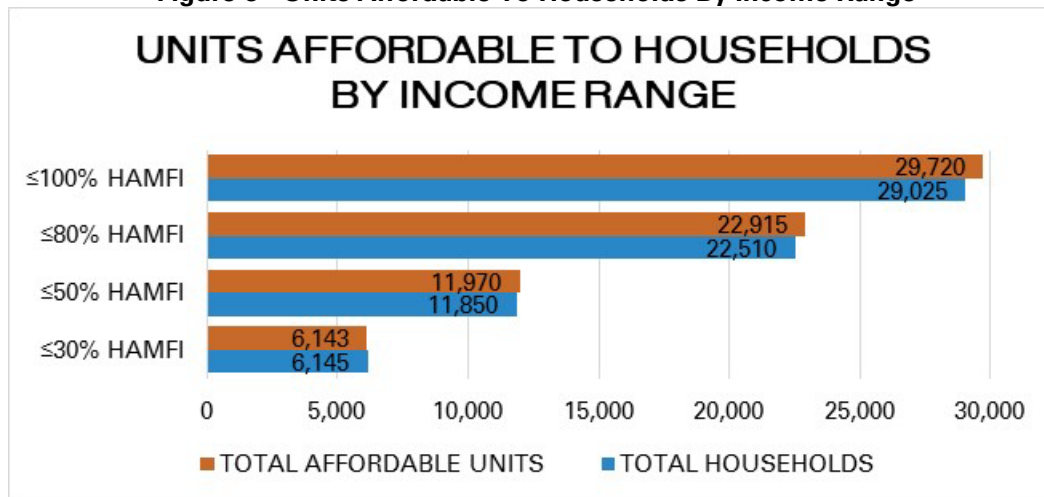
Table 26 - Monthly Rent

# of Bedrooms	Efficiency (none) (\$)	1 (\$)	2 (\$)	3 (\$)	4 (\$)
Fair Market Rent	1,062	1,202	1,509	2,065	2,542
High HOME Rent	981	1,053	1,266	1,454	1,603
Low HOME Rent	770	825	990	1,144	1,276

Data Source: 2022 HUD FMR and HOME Rents

Is there sufficient housing for households at all income levels?

The tables in section NA-10 show 11,850 households with incomes up to 50 percent AMI, of whom 9,664 are cost burdened and 7,480 are severely cost burdened. Table 34 indicates 11,970 units affordable to this income range. That is only an abundance of 120 housing units. There is no guarantee a household of a particular income level will occupy a unit that is affordable to their income level – even if a unit is available in the open marketplace. A significant number of Fontana residents are burdened by housing costs, which prohibits other decision making.

Figure 8 - Units Affordable To Households By Income Range

Data Source: 2016-2020 CHAS Data

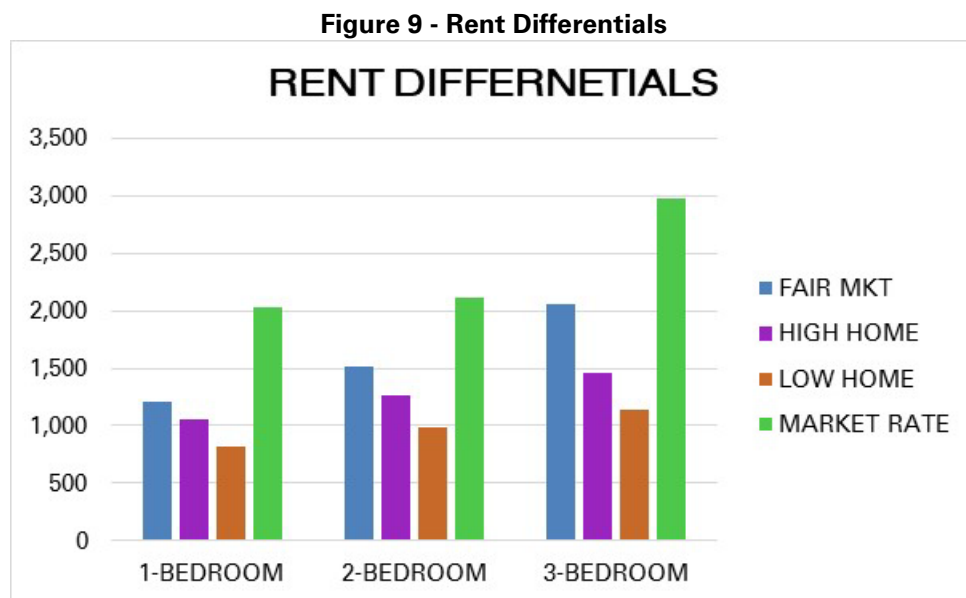
How is affordability of housing likely to change considering changes to home values and/or rents?

Rental housing costs have increased steadily over the past 10 years – creating more pressure on extremely low-income households. Median market rate rents exceed the Fair Market Rents for San Bernardino County and represent a significant burden for low- and moderate-income households struggling to remain housed. Similarly, median home sales prices increased 11 percent from \$545,900 to \$605,868 from 2021 to 2023 according to home

value data supplied by Zillow. Based on this information and barring significant regional and national changes in economic conditions, housing prices in Fontana are expected to continue increase during the *2025-2029 Consolidated Plan* period.

How do HOME rents / Fair Market Rent compare to Area Median Rent? How might this impact your strategy to produce or preserve affordable housing?

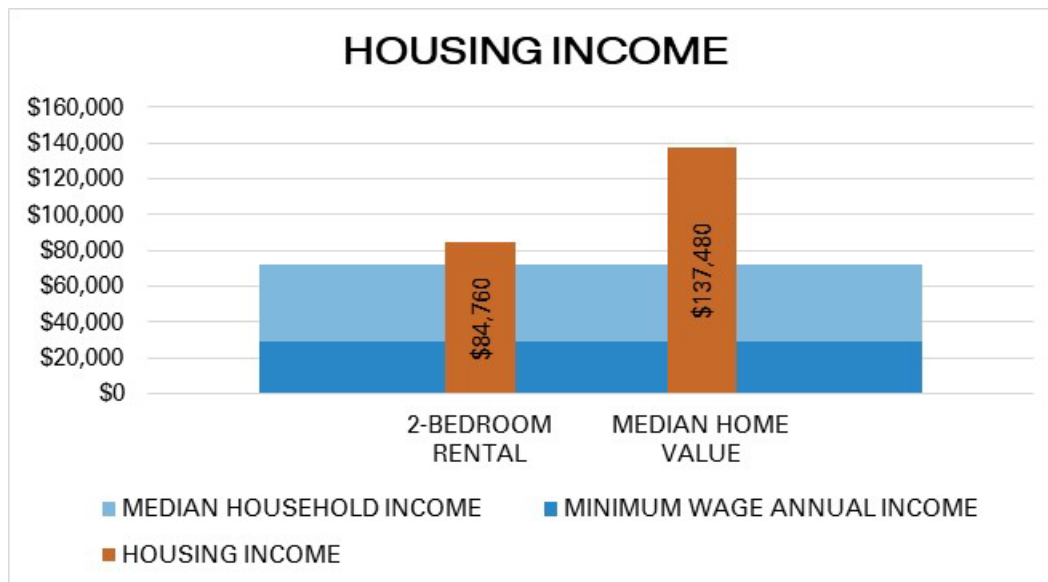
In 2022 there was significant variation in low HOME, fair market, market rate, and median contract rents. This variance makes it difficult to identify viable affordable housing projects to support and reduces the number of affordable housing units that become available.



Data Source: 2022 HOME Rates, 2016-2020 5—estimates ACS, 2022 Zumper Research

Discussion

Economic expansion over the last decade and a lag in production of new housing units in Southern California have created an overburdened housing economy. Homeownership is out of reach to more than half of Fontana households, and a single person earning minimum wage cannot reasonably afford a two-bedroom rental apartment. A household would need to earn approximately \$140,000 annually to reasonably afford a \$585,527 home, which was the median home value in 2022 per the Zillow Home Value Index. The median household income in Fontana in 2022 was about half that, \$72,298. A household would need to earn about \$80,000 annually to afford a two-bedroom rental in Fontana. A full-time minimum wage employee will gross approximately \$30,000 annually.



Data Source: 2022 Zumper Research, Zillow Home Value Index & Mortgage Calculator, CA Minimum Wage Data, Freddie Mac 30 Year Fixed Interest Rate Mortgage Data

Figure 10 – Rental & Ownership Housing Income

Housing income was calculated based on 30 percent of market rate housing costs, HUD Area Median Income, and Freddie Mac reporting of average 30-year fixed mortgage rates.

MA-20 Housing Market Analysis: Condition of Housing – 91.210(a)

Assessing the age and physical condition of housing in Fontana forms the basis of strategies to maintain and improve housing quality for low- and moderate-income residents. For this assessment, the ACS defines a “selected condition” as owner- or renter-occupied housing units with at least one of the following conditions:

- Lacking complete plumbing facilities
- Lacking complete kitchen facilities
- More than one occupant per room
- Selected monthly housing costs are greater than 30 percent of household income.

Approximately half of both renter- and owner-occupied units experience one or two selected conditions.

Definitions

Substandard housing is housing that does not meet the minimum standards contained in the State Housing Code (i.e., does not provide shelter, endangers health, safety or well-being of occupants). A substandard condition is one that adversely affects the habitability of the housing unit. As defined by the California Health and Safety Code, a substandard condition exists to the extent that it endangers the health and safety of its occupants or the public. Such conditions include:

- Inadequate sanitation
- Structural hazards
- Any nuisance that endangers the health and safety of the occupants or the public.
- All substandard plumbing, wiring, and/or mechanical equipment, unless it conformed to all applicable laws in effect at the time of installation and has been maintained in good and safe condition.
- Faulty weather protection.
- The use of construction materials not allowed or approved by the health and safety code.
- Fire, health and safety hazards (as determined by the appropriate fire or health official).
- Lack of, or inadequate fire-resistive construction or fire-extinguishing systems as required by the health and safety code, unless the construction and/or systems conformed to all applicable laws in effect at the time of construction and/or installation and adequately maintained.
- Inadequate structural resistance to horizontal forces

- Buildings or portions thereof occupied for living, sleeping, cooking, or dining purposes that were not designed or intended to be used for such occupancies.
- Inadequate maintenance that causes a building or any portion thereof to be declared unsafe.

Standard housing condition in Fontana is defined as housing that meets the minimum standards of the State Housing Code. For the purposes of the CDBG and HOME programs, a unit in substandard condition is considered suitable for rehabilitation provided the unit is structurally sound, and the cost of rehabilitation is considered economically warranted.

Table 27 - Condition of Units

Condition of Units	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
With one selected Condition	13,744	37.5%	8,752	46.8%
With two selected Conditions	886	2.4%	2,100	11.2%
With three selected Conditions	21	0.1%	58	0.3%
With four selected Conditions	0	0.0%	39	0.2%
No selected Conditions	22,034	60.1%	7,735	41.4%
Total	36,685	100.0%	18,684	100.0%

Data Source: 2016-2020 ACS

Table 28 - Year Unit Built

Year Unit Built	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
2000 or later	11,240	30.6%	2,900	15.5%
1980-1999	14,920	40.7%	8,410	45.0%
1960-1979	5,570	15.2%	4,250	22.8%
1940-1959	4,390	12.0%	2,810	15.0%
Before 1939	565	1.5%	310	1.7%
Total	36,685	100.0%	18,680	100.0%

Data Source: 2016-2020 CHAS

Table 29 - Risk of Lead-Based Paint

Risk of Lead-Based Paint Hazard	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
Units Built Before 1980	10,525	29%	7,370	39%
with children under the age of six present	1,970	5%	2,230	12%

Data Source: 2016-2020 ACS (Total Units) 2016-2020 CHAS (Units with Children present)

Table 30 - Blood Lead Levels (BLLs) of children under the age of six

	San Bernardino County			California		
Ages	<4.5 mcg/dL	4.5-9.49 mcg/dL	>9.49 mcg/dL	<4.5 mcg/dL	4.5-9.49 mcg/dL	>9.49 mcg/dL
0-5	20,871	142	26	336,386	3,292	838
6-20	1,625	11	4	27,497	658	142
0-20	22,496	153	30	363,883	3,950	980

Data Source: California Dept. of Public Health, Childhood Lead Poisoning Prevention Branch, California Blood Lead Data & California's Progress in Preventing and Managing Childhood Lead Exposure (Apr. 2022).

Table 31 - Condition of Units

Need for Owner and Rental Rehabilitation

The age and condition of Fontana housing stock is an important indicator of potential rehabilitation needs. Housing over 30 years old is presumed to need some form of major rehabilitation, such as roof replacement, foundation work, and plumbing systems. Housing over 20 years old will generally exhibit deficiencies in terms of paint, weatherization, heating / air-conditioning systems, hot water heaters, and finish plumbing fixtures. Housing values in Fontana have increased significantly over a relatively short period of time. Longtime homeowners, especially the elderly and disabled, are more likely to have fixed and limited incomes and may have difficulty maintaining their homes.

This housing stock in Fontana is relatively new, with 68 percent of housing units constructed after 1980 according to 2016-2020 CHAS data. About 42 percent of owner- and renter-occupied housing was built between 1980 and 1999, meaning it is now 30 to 40 years old. There are 14,920 households with at least one member over the age of 62, of which 7,115 household incomes are at or below 80 percent AMI, according to 2016-2020 CHAS data. Additionally, approximately 9,474 individuals aged 18 to 64 have disabilities, based on 2016–2020 ACS five-year estimates. These households are likely to have fixed incomes. It is reasonable to anticipate that a significant number of housing units are in need of repair and a significant number of households need financial assistance to complete those repairs.

Estimated Number of Housing Units Occupied by Low- or Moderate-Income Families with LBP Hazards

Any housing built before 1978 may contain lead-based paint. If ingested, lead may cause severe damage to young children including decreased growth, learning disabilities, impaired hearing, hyperactivity, nerve, and brain damage. Lead attacks the central nervous system, the neurological system, and can cause brain damage, IQ reduction, learning disabilities, decreased attention span, hyperactivity, growth inhibition, comas, seizures, and in some cases, death. Fetuses may also experience significant adverse effects through prenatal exposure. Children are more susceptible to the effects of lead because their growing bodies absorb more lead, and young children often put their hands and other objects in their mouths. Most children do not have any symptoms, even if a blood test shows that they have an elevated blood lead level. If a child does have symptoms, the symptoms may be mistaken for the flu or other illnesses.

Most of the housing stock in Fontana was built after 1978 and is presumed to not contain lead paint. The 2016-2020 CHAS data show 1,110 low- and moderate-income renter households with children under the age of six were living in housing constructed before 1980, and 925 owner-occupied households meet the same conditions.

Number of Children with Elevated Blood Levels of Lead

The State of California mandates lead screening for all children who participate in publicly funded health programs. In California, screening typically occurs at ages one and two years. A blood level of 10 µg/dL or higher was previously referred to as an “elevated blood level (EBL).” However, as it is now recognized there is no safe level of lead, and adverse effects occur at levels below 10 µg/dL, an “elevated” blood lead level is no longer defined at a specific cut-off point. Of San Bernardino County children under the age of six whose blood lead level has been fully tested in 2020 168 have levels greater than 4.5 mcg/DI (Kidsdata.org. accessed August 2024).

Discussion

Preservation of the physical and functional integrity of existing housing units occupied by low- and moderate-income households is a cost-effective way to invest limited resources to retain existing housing units already affordable to low- and moderate-income households in the community. Many different types of housing services are needed. As required by the HUD Lead Safe Housing Rule, the City’s housing rehabilitation programs will include appropriate safety measures, such as testing and abatement for projects involving units constructed prior to 1978.

MA-25 Public and Assisted Housing

The HACSB administers public housing program throughout the County, including to participating residents in Fontana. As of December 2024, 745 households in Fontana received HACSB administered housing vouchers. The City of Fontana does not own public housing.

Table 32 – Total Number of Units by Program Type

	Public Housing	Vouchers					
		Total	Project -based	Tenant -based	Special Purpose Voucher		
					Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
Units vouchers available	1,321	8,678	552	8,126	352	1,109	834
Accessible units	No data	N/A	N/A	N/A	N/A	N/A	N/A

Data Source: PIC (PIH Information Center)

Describe the number and physical condition of public housing units in the jurisdiction, including those that are participating in an approved Public Housing Agency Plan

There are no public housing developments in Fontana.

Public Housing Condition

Table 33 - Public Housing Condition

Public Housing Development	Average Inspection Score
Not Applicable	Not Applicable

Describe the restoration and revitalization needs of public housing units in the jurisdiction.

There are no public housing developments in Fontana. HACSB uses Housing Quality Standards for the inspection of all voucher units.

Describe the public housing agency's strategy for improving the living environment of low- and moderate-income families residing in public housing.

HACSB enforces its deconcentrating of poverty and income-mixing policy. HACSB encourages residents to be actively involved in the community, and in the management of public housing developments through resident councils and numerous opportunities for feedback, such as community meetings and surveys. HACSB encourages qualified public housing participants to pursue self-sufficiency and homeownership. In the Family Self-Sufficiency program, HACSB staff works with participants to establish a five-year plan to become independent of government assistance. As families' income increases, the amount of rent they are responsible for increases as well. The incremental increase in rent is put into an escrow account that becomes available to the family upon completion of the program, or for eligible expenses during the term of the program. Since 2000, 266 families have become homeowners through the HACSB Homeownership Assistance Program, which provides mortgage assistance to working families for up to 15 years and families with disabilities for up to 30 years.

MA-30 Homeless Facilities and Services

Regionally, there are many facilities and services targeted to residents at-risk of becoming homeless and experiencing homelessness, including a range of emergency shelters, transitional shelters, and permanent supportive housing options. HUD uses the following definitions for these three facility types:

- **Emergency Shelter:** Any facility with the primary purpose of providing a temporary shelter for the homeless in general or for specific populations of the homeless and which does not require occupants to sign leases or occupancy agreements.
- **Transitional Housing:** Transitional housing (TH) is designed to provide homeless individuals and families with interim stability and support to successfully move to and maintain permanent housing. Transitional housing may be used to cover the costs of up to 24 months of housing with accompanying supportive services. Program participants must have a lease (or sublease) or occupancy agreement in place when residing in transitional housing.
- **Permanent Supportive Housing:** Permanent supportive housing (PSH) is defined as community-based housing paired with supportive services to serve households in which at least one member has a disability. Housing does not have a designated length of stay in which formerly homeless individuals and families live as independently as possible. Under PSH, a program participant must be the tenant on a lease (or sublease) for an initial term of at least one year that is renewable and is terminable only for cause.

Table 34 - Facilities and Housing Targeted to Homeless Households

Facilities and Housing Targeted to Homeless Households	Emergency Shelter Beds		Transitional Housing Beds	Permanent Supportive Housing Beds	
	Year-Round Beds (Current & New)	Voucher / Seasonal / Overflow Beds	Current & New	Current & New	Under Development
Adults and Children	368	32	258	712	N/A
Only Adults	517	N/A	156	937	
Chronically Homeless	N/A	N/A	N/A	614	
Veterans	0	N/A	18	778	
Unaccompanied Youth	12	N/A	2	0	

Data Source: 2024 Housing Inventory Chart

Describe mainstream services, such as health, mental health, and employment services to the extent those services are used to complement services targeted to homeless persons.

In California, the primary programs for assisting families in poverty are CalWORKS, CalFresh, and Medi-Cal. These programs provide clients with employment assistance, discounted food, medical care, childcare, and cash payments to meet basic needs, such as housing and transportation.

The California Work Opportunities for Kids (CalWORKs) program provides financial assistance and Welfare-to-Work services to California families with little to no cash. Through this program, families may be eligible to receive immediate short-term help with housing, food, utilities, clothing, or medical care. Childcare is also available through this program.

CalFresh, formerly the Food Stamp Program, is a nutritional assistance program that provides Electronic Benefit Transfer Cards to individuals receiving public assistance to purchase food and other essential items.

The Medi-Cal program provides health coverage for individuals with low-income and limited ability to pay for health coverage, including seniors, those with disabilities, young adults and children, pregnant women, persons in a skilled nursing or intermediate care home, and persons in the Breast and Cervical Cancer Treatment Program (BCCTP). Recipients of federally funded cash assistance programs, such as CalWORKs (a state implementation of the federal Temporary Assistance for Needy Families (TANF) program), the State Supplementation Program (SSP) (a state supplement to the federal Supplemental Security Income (SSI) program), foster care, adoption assistance, certain refugee assistance programs, or In-Home Supportive Services (IHSS), are also eligible.

CDBG, HOME, and ESG Funded Activities

Congress designed the CDBG programs to serve low-income people, some of which may meet the federal poverty definition. The City receives funding for ESG, CDBG, and HOME programs. Program guidelines require that at least 70 percent of all CDBG funds are used for activities that benefit low- and moderate-income persons. Additionally, all CDBG activities must meet one of three national objectives:

- Benefit low- and moderate-income persons (at least 51 percent of the beneficiaries must be low- and moderate-income).
- Address slums or blight.
- Address a particularly urgent community development need.

CDBG programs assist the homeless and those at risk of homelessness directly and indirectly.

Under the HOME program, households must earn no more than 80 percent of the AMI, adjusted for household size, to be eligible for assistance. Furthermore, 90 percent of the allocation that is invested in affordable rental housing must be directed to assist households earning no more than 60 percent AMI.

The ESG program provides homeless individuals with basic shelter and essential supportive services. It can assist with the operational costs of the shelter facility, and for the administration of the funds. ESG also provides short-term homeless prevention assistance to individuals at imminent risk of losing their own housing due to eviction, foreclosure, or utility shutoffs.

List and describe services and facilities that meet the needs of homeless persons, particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth. If the services and facilities are listed on screen SP-40 Institutional Delivery Structure or screen MA-35 Special Needs Facilities and Services, describe how these facilities and services specifically address the needs of these populations.

Table 35 - Homeless Service Providers for the City of Fontana

Provider	Location	Description
Center for Spiritual Living	San Bernardino County	Seasonal ES
City of Victorville	San Bernardino County	ES
Community Action Partnership of San Bernardino	San Bernardino County	ES, TH
County of San Bernardino Transitional Assistance Department	San Bernardino County	ES
Department of Behavioral Health	San Bernardino County	ES, PSH
Desert Sanctuary	San Bernardino County	ES, TH
Doves of Big Bear	San Bernardino County	ES, TH
Family Assistance Program	San Bernardino County	ES, TH
Family Service Association of Redlands	San Bernardino County	ES
Foothills AIDS Project	San Bernardino County	ES
High Desert Homeless Services	San Bernardino County	ES
Holy Name Catholic Church	San Bernardino County	Seasonal ES
House of Ruth	San Bernardino County	ES, TH
Illumination Foundation	San Bernardino County	ES
Inland SoCal United Way	San Bernardino County	ES

Provider	Location	Description
Inland Temporary Homes	San Bernardino County	ES
Knowledge & Education for Your Success	San Bernardino County	ES
Lutheran Social Services of Southern California	San Bernardino County	ES, TH, PSH
Mercy House	San Bernardino County	ES
Morongo Basin	San Bernardino County	ES, TH
Mountain Homeless Coalition	San Bernardino County	ES, TH, PSH
New Hope Village	San Bernardino County	ES, TH, PSH
Operation Grace	San Bernardino County	ES
Option House	San Bernardino County	ES
Salvation Army	San Bernardino County	ES, TH
Set-Free Ministry	San Bernardino County	ES
Time for Change Foundation	San Bernardino County	ES, TH, PSH
Victor Valley Domestic Violence	San Bernardino County	ES
Victor Valley Family Resource Center	San Bernardino County	ES, TH
Victor Valley Rescue Mission	San Bernardino County	ES
Water of Life Community Church	San Bernardino County	ES
With Open Arms	San Bernardino County	ES
Foothills Family Shelter	San Bernardino County	TH
Life Community Development	San Bernardino County	TH
Mary's Mercy Center	San Bernardino County	TH
Pacific Lifeline	San Bernardino County	TH
Steps 4 Life	San Bernardino County	TH
The Blessing Center	San Bernardino County	TH
Housing Authority of San Bernardino County	San Bernardino County	PSH
Lighthouse Social Services	San Bernardino County	PSH
Step Up on Second Street	San Bernardino County	PSH
US Veterans Inc	San Bernardino County	PSH

MA-35 Special Needs Facilities and Services

Special needs populations include people who are not homeless, but due to various reasons need services and supportive housing. The City will consider allocating CDBG public service funding to programs that provide services to special needs populations, including but not limited to those serving the elderly, frail elderly, people with developmental and physical disabilities including alcohol or substance abuse, PTSD, HIV/AIDS, and victims of domestic violence and human trafficking.

Elderly is defined under the CDBG program as a person who is aged 62 or older. A frail elderly person is an elderly person who is unable to independently perform at least three “activities of daily living” including eating, bathing, grooming or home management activities. Based on 2016-2020 CHAS data of the 14,920 households containing at least one elderly person in Fontana, 7,115 earn up to 80 percent of the AMI, and may require public services to continue to live independently. ACS data from the same period shows 9,436 residents of Fontana aged 65 and older have a disability. Of those people, 50 percent experience independent living difficulty, 41 percent experience hearing difficulty, and 28 percent experience hearing difficulty.

Individuals with disabilities who have physical or mental impairment that substantially limits one or more major life activities generally rely on supportive services to perform activities of daily living. In Fontana, the Civilian Noninstitutionalized Population aged 18 to 64 is 134,581. According to the 2021 ACS estimate, an estimated three percent have a disability and are employed in the civilian sector, less than one percent have a disability and are unemployed, and about three percent have a disability and are not in the labor force. According to the 2020 ACS 5-Year estimate those who have a disability, 38 percent have an ambulatory difficulty, 32 percent experience an independent living difficulty, 39 percent have cognitive difficulty, 24 percent have a hearing difficulty, 28 percent have a vision difficulty, and 15 percent have a self-care difficulty.

Drug abuse or substance abuse is defined as the use of chemical substances that lead to an increased risk of problems, and an inability to control the use of the substance. Substance abuse can be indicative of addiction disorder and may stem from physical and mental health issues. SAMHSA conducted the National Survey on Drug Use and Health (NSDUH) and reported that in the State of California the prevalence of substance use disorder among the population over the age of 11 was 8.27 percent in 2013–2014, and was 17.12 percent in 2021–2022.

HIV is a virus that weakens the immune system by destroying important cells that fight diseases and infection. AIDS is the final stage of HIV. The CDC Atlas Plus program reported an estimated 5,240 persons living with HIV disease at the end of 2022 in the County. Of that total, 288 were newly diagnosed during that year (www.cdc.gov/nchhstp/atlas/index.htm).

accessed March 2024). New HIV diagnoses were most concentrated among those aged 25 to 34.

Domestic violence includes, but is not limited to, felony or misdemeanor crimes of violence committed by a current or former spouse of the victim, or by a person who is cohabitating with or has cohabited with the victim. In 2022, 708 calls related to domestic violence were made from Fontana (openjustice.doj.ca.gov, accessed November 2024).

Human trafficking is a crime that involves the forceful, fraudulent, or coercive methods of entrapping a person, real or perceived, to exploit them for financial gain. The exploitative nature can come in the form of labor services, involuntary servitude, enslavement, debt bondage, or commercial sex acts. Human trafficking is extremely difficult to track. There is no recent or reliable prevalence rate to report. In 2023, in California, the National Human Trafficking Hotline identified 1,128 cases of human trafficking that involved 2,045 victims (<https://humantraffickinghotline.org/> accessed January 2025). The most common type of human trafficking reported in California was sex trafficking. The U.S. Department of State *Trafficking in Persons Report* published in July 2022, reports victims of human trafficking are found in every state in the country and trafficked from every country in the world. Victims of human trafficking in the United States are most frequently trafficked from within the United States, Mexico, and Honduras.

NIMH explains PTSD can “develop after exposure to a potentially traumatic event that is beyond a typical stressor” and potential inducing events may include, but are not limited to, “violent personal assaults, natural or human-caused disasters, accidents, combat, and other forms of violence.” Symptoms of PTSD can be debilitating. The U.S. Department of Veteran’s Affairs National Center for PTSD reports an estimated six percent of the population, eight percent of women and four percent of men, will experience PTSD at some point in their lives.

Including the elderly, frail elderly, persons with disabilities (mental, physical, developmental), persons with alcohol or other drug addictions, persons with HIV/AIDS and their families, public housing residents and any other categories the jurisdiction may specify, and describe their supportive housing needs.

To determine the level of need and types of services needed by special needs populations, the City conducted the Community Needs survey, consulted with local service providers, and reviewed data from the ACS, CHAS, CDC, State of California Department of Justice, U.S. Department of State, and NIMH. Supportive services required for special needs populations include case management, medical or psychological counseling and supervision, childcare, transportation, and job training for the purpose of facilitating an individual’s stability and independence.

In housing, accessibility modifications to accommodate persons with mobility disabilities may include, but are not limited to, wider doorways, no step thresholds, installation of ramps, grab bars, lowered countertops, and accessible hardware. The needs of residents with sensory disabilities are different from those with mobility disabilities. Individuals with hearing disabilities require visual adaptations for such items as the telephone ringer, the doorbell, and smoke alarms. Residents who are blind may require tactile marking of changes in floor level and stair edges, and braille markings on appliances and controls. People with low vision may require large print markings and displays, contrasting colors to distinguish changes in level or transition from one area to another, proper lighting, and reduced glare from lighting and windows.

Describe programs for ensuring that persons returning from mental and physical health institutions receive appropriate supportive housing

Insufficient supply of supportive housing together with inadequate discharge planning and coordination contributes to homelessness in situations where people are released from public institutions or public systems of care without having an appropriate mainstream or supportive housing option in place. Coordinated discharge planning for those exiting foster care, health and mental health care, and corrections is a recognized as best practice. The state mandates discharge planning policy for foster, health and mental health, and corrections.

For entitlement/consortia grantees: Specify the activities that the jurisdiction plans to undertake during the next year to address the housing and supportive services needs identified in accordance with 91.215(e) with respect to persons who are not homeless but have other special needs. Link to one-year goals.

During the first year of this Consolidated Plan cycle the city plans to invest approximately \$40,000 in the Senior Scholarships Program, making the City's Parks and Recreation Departments programming accessible to non-homeless elderly residents. The City will continue offering its Housing Rehab Program in the next program year which benefits low- and moderated-income homeowners with and without special needs.

MA-40 Barriers to Affordable Housing

Negative Effects of Public Policies on Affordable Housing and Residential Investment

A barrier to affordable housing is a public policy or nongovernmental condition that constrains the development or rehabilitation of affordable housing, such as land use controls, property taxes, state prevailing wage requirements, environmental protection, cost of land and availability of monetary resources. Barriers to affordable housing differ from impediments to fair housing choice in that barriers are lawful and impediments to fair housing choice are usually unlawful.

According to the City's *2021-2029 Housing Element*, one of the major barriers to housing choice in Fontana and the region more broadly is the lack of sufficient housing affordable to a variety of income levels. While much of this is due to market and environmental constraints that are beyond the control of the City to address, the City's land use and zoning regulations, especially parking requirements, development fees, local processing and permit procedures, and infrastructure costs, may have contributed to new housing development not keeping pace with population growth.

MA-45 Non-Housing Community Development Assets

During the implementation of the 2025–2029 Strategic Plan, the City will use CDBG funds to provide a suitable living environment for low- and moderate-income people. To expand economic opportunities for low- and moderate-income people and provide a pathway out of poverty, the Annual Action Plan includes a scholarship program that supports family self-sufficiency.

Economic Development Market Analysis

Table 36 - Business Activity

Business Activity by Sector	Number of Workers	Number of Jobs	Share of Workers	Share of Jobs	Jobs less Workers
Agriculture, Mining, Oil & Gas	398	9	0.4%	0.0%	-0.4%
Arts, Entertainment, Accommodations	7,942	4,916	8.1%	9.5%	1.4%
Construction	7,852	2,415	8.0%	4.7%	-3.3%
Education and Health Care Services	19,789	15,570	20.1%	30.0%	9.9%
Finance, Insurance, and Real Estate	4,032	1,294	4.1%	2.5%	-1.6%
Information	1,145	145	1.2%	0.3%	-0.9%
Manufacturing	8,939	4,158	9.1%	8.0%	-1.1%
Other Services	5,317	1,218	5.4%	2.3%	-3.0%
Professional, Scientific, Management	7,692	962	7.8%	1.9%	-6.0%
Public Administration	5,047	1,295	5.1%	2.5%	-2.6%
Retail Trade	12,026	7,363	12.2%	14.2%	2.0%
Transportation and Warehousing	14,688	8,189	14.9%	15.8%	0.9%
Wholesale Trade	3,609	4,309	3.7%	8.3%	4.6%
Total	98,476	51,843	100%	100%	0

Data Source: 2016-2020 ACS (Workers), 2020 Longitudinal Employer-Household Dynamics (Jobs)

Table 37 - Labor Force

Labor Force Statistics	Number of People
Total Population in the Civilian Labor Force	158,624
Civilian Employed Population 16 years and over	104,702
Unemployment Rate	590.0%
Unemployment Rate for Ages 16-24	16.7%
Unemployment Rate for Ages 25-65	4.2%

Data Source: 2016-2020 ACS

Table 38 - Occupations by Sector

Occupations by Sector	Number of People
Management, business and financial	10,227
Farming, fisheries, and forestry occupations	194
Service	15,951
Sales and office	22,791
Construction, extraction, maintenance, and repair	6,446
Production, transportation, and material moving	23,453

Data Source: 2016-2020 ACS

Table 39 - Travel Time

Travel Time to Work	People	Percent
< 30 Minutes	47,410	52%
30-59 Minutes	26,584	29%
60 or More Minutes	16,946	19%
Total	90,940	100%

Data Source: 2016-2020 ACS

Table 40 - Educational Attainment by Employment Status (Population 16 and Older)

Educational Attainment	In Labor Force		Not in Labor Force
	Civilian Employed	Unemployed	
Less than high school graduate	13,858	829	7,648
High school graduate (includes equivalency)	22,677	1169	7,648
Some college or associate's degree	25,708	1,028	6,726
Bachelor's degree or higher	17,990	537	2,791

Data Source: 2016-2020 ACS

Table 41 - Educational Attainment by Age

Educational Attainment by Age	Age in years				
	18-24	25-34	35-44	45-65	65+
Less than 9th grade	352	767	2,651	7,305	4,500
9th to 12th grade, no diploma	1,997	2,300	3,307	6,005	2386
High school graduate, GED, or alternative	9,441	10,442	8,038	13,062	4,021
Some college, no degree	10,668	7,977	8,281	9,738	2,927
Associate's degree	783	2,998	1965	2,542	1009
Bachelor's degree	1763	5,325	5,170	5,520	1,842
Graduate or professional degree	22	1217	1895	2,191	807

Data Source: 2016-2020 ACS

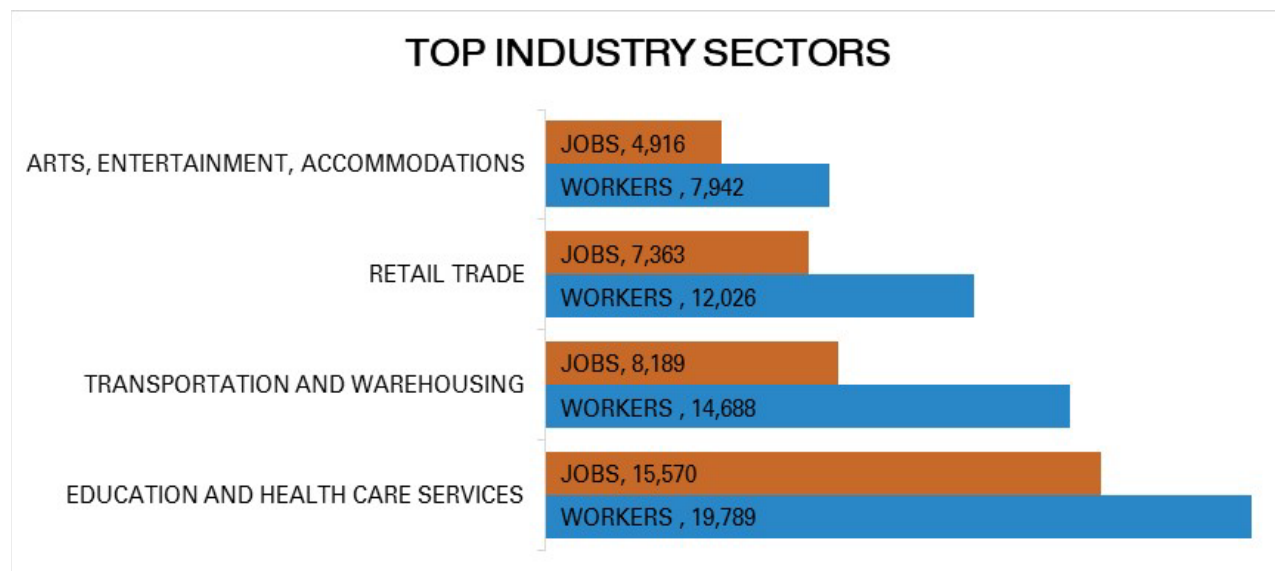
Table 42 - Median Earnings in the Past 12 Months by Educational Attainment

Educational Attainment	Median Earnings in the Past 12 Months
Less than high school graduate	\$40,150
High school graduate (includes equivalency)	\$30,119
Some college or associate's degree	\$35,401
Bachelor's degree	\$41,529
Graduate or professional degree	\$56,673

Data Source: 2016-2020 ACS

Based on the Business Activity table above, what are the major employment sectors within your jurisdiction?

According to 2020 Longitudinal Employer Household Dynamics (LEHD) data, the top four major private employment sectors by number of jobs were Education and Health Care Services (15,570 jobs), Transportation and Warehousing (8,189 jobs), Retail Trade (7,363 jobs), Arts, Entertainment, Accommodations (4,916 jobs).



Data Source: ACS 2016-2020 5-Year Estimates, 2020 Longitudinal Employer and Household Dynamics

Figure 11 - Top Industry Sectors By Jobs

Describe the workforce and infrastructure needs of the business community

The business community in Fontana relies largely on a skilled workforce. Employers across all sectors – particularly those in industries where local facilities serve as destination locations or part of a larger logistics chain such as transportation and warehousing – depend on well-maintained roads and transportation system.

Describe any major changes that may have an economic impact, such as planned local or regional public or private sector investments or initiatives that have affected or may affect job and business growth opportunities during the planning period. Describe any needs for workforce development, business support or infrastructure these changes may create.

Over the last five years, public and private investment in a range of projects have begun to shift the economic landscape in Fontana to one with a broader range of opportunities for residents of all skill levels. Significant federal, state, and local funding has been invested in the initial planning and implementation of the Downtown Revitalization Project. The City is committed to fostering mixed-use (housing, jobs, entertainment) development in its fast

growing central business district. Initial place making projects include a 911 Memorial, Downtown furnishings, utility equipment wraps, artwork and mural restoration, and a public arts building design and construction. Simultaneously the City is investing federal funds into the expansion of the Pacific Electric Trail, directly aligns with the regional Comprehensive Economic Development Strategy (CEDS) to bolster quality of life. by enhancing opportunities for outdoor urban recreation.

How do the skills and education of the current workforce correspond to employment opportunities in the jurisdiction?

An estimated 49 percent of Fontana population aged 18 to 64 has some post-secondary education, 32 percent of whom have some college or an associate's degree. Generally, the skills and education of the current workforce correspond to the employment opportunities in the City. Table 44 shows there are more workers than jobs in the industry sectors that follow: Agriculture, Mining, Oil & Gas, Arts, Entertainment, Accommodations, Construction, Education and Health Care Services, Finance, Insurance, and Real Estate, Information, Manufacturing, Other Services, Professional, Scientific, Management, Public Administration, Retail Trade, and Transportation and Warehousing. Most of the working population in Fontana travels less than 30 minutes to work.

Describe any current workforce training initiatives, including those supported by Workforce Investment Boards, community colleges and other organizations. Describe how these efforts will support the jurisdiction's Consolidated Plan.

The San Bernardino County Workforce Development Board (WDB) oversees Workforce Investment Act (WIA) programs in San Bernardino County. The WDB operates comprehensive one-stop career centers, satellite offices, and mobile One-Stop (M1) that serves adult job seekers, including youth ages 18 years and older. Youth Opportunity Centers (YOC) provide a system of support for the educational and employment success of youth in the area aged 16 to 21. All centers provide services to the business community. LAUNCH, an apprenticeship initiative led by the region's community colleges, K-12 school districts, and the WDBs of San Bernardino and Riverside Counties, combines paid, on-the-job training led by a local business with technical instruction from community colleges. This initiative strengthens pathways between education and employment, ensuring a skilled workforce for the region.

The Chaffey Community College District provides programming and services for the CalWORKs program, which provides numerous programs including the Workforce Training Program, Building Businesses Program, International Trade Development Program, and the Procurement Assistance Center Program. InTech Center at Chaffey College has partnered with California Steel Industries to provide technical training and professional development. Upon completion of one of InTech's pre-apprenticeship programs, graduates

earn a certificate and are equipped with in-demand skills. Building on the success of the InTech Center, Chaffey College and Victor Valley College collaborated to open the High Desert Training Center in 2021, to provide short-term intensive training to employees of local industrial companies.

Does your jurisdiction participate in a Comprehensive Economic Development Strategy (CEDS)?

Yes. The City participates with San Bernardino County in implementing their Comprehensive Economic Development Strategy.

If so, what economic development initiatives are you undertaking that may be coordinated with the Consolidated Plan? If not, describe other local/regional plans or initiatives that impact economic growth.

The current regional CEDS identifies four strategies. The fourth strategy, to bolster the quality of life, most directly aligns with initiatives the City will undertake as part of its five-year *2025-2029 Consolidated Plan*. The objectives of this CEDS strategy are to “promote and invest in opportunities or, access to, and entrepreneurship related to urban outdoor recreation, such as bike shops, community parks, and programs for school-aged children. Support municipalities’ development of employment center districts, including cultural arts and retail districts, to spur tourism, placemaking, and entrepreneurship” and “work with community leaders and organizations to explore the possibility of providing county support for community land trusts.” The City’s investments of CDBG and HOME funds in the expansion and preservation of affordable housing and public services directly and indirectly supports the objectives of the CEDS strategy. Specifically, the public services scholarship program expands access to extracurricular activities to households with low- and moderate-incomes.

Discussion

In the spring of 2020, unemployment rates in the United States reached the highest levels since the U.S. Bureau of Labor Statistics (BLS) began recording this data. According to the BLS, national unemployment rates reached 23.5 percent in May 2020. Unemployment rates remained at historically high levels for nearly six months. As of December 2023, unemployment rates declined to 4.8 percent in the City and five percent in San Bernardino County. In 2019, prior to the Coronavirus Pandemic, the unemployment rate in Fontana the unemployment rate was 3.1 percent, and the County was 3.4 percent.

MA-50 Needs and Market Analysis Discussion

Are there areas where households with multiple housing problems are concentrated? (include a definition of “concentration”)

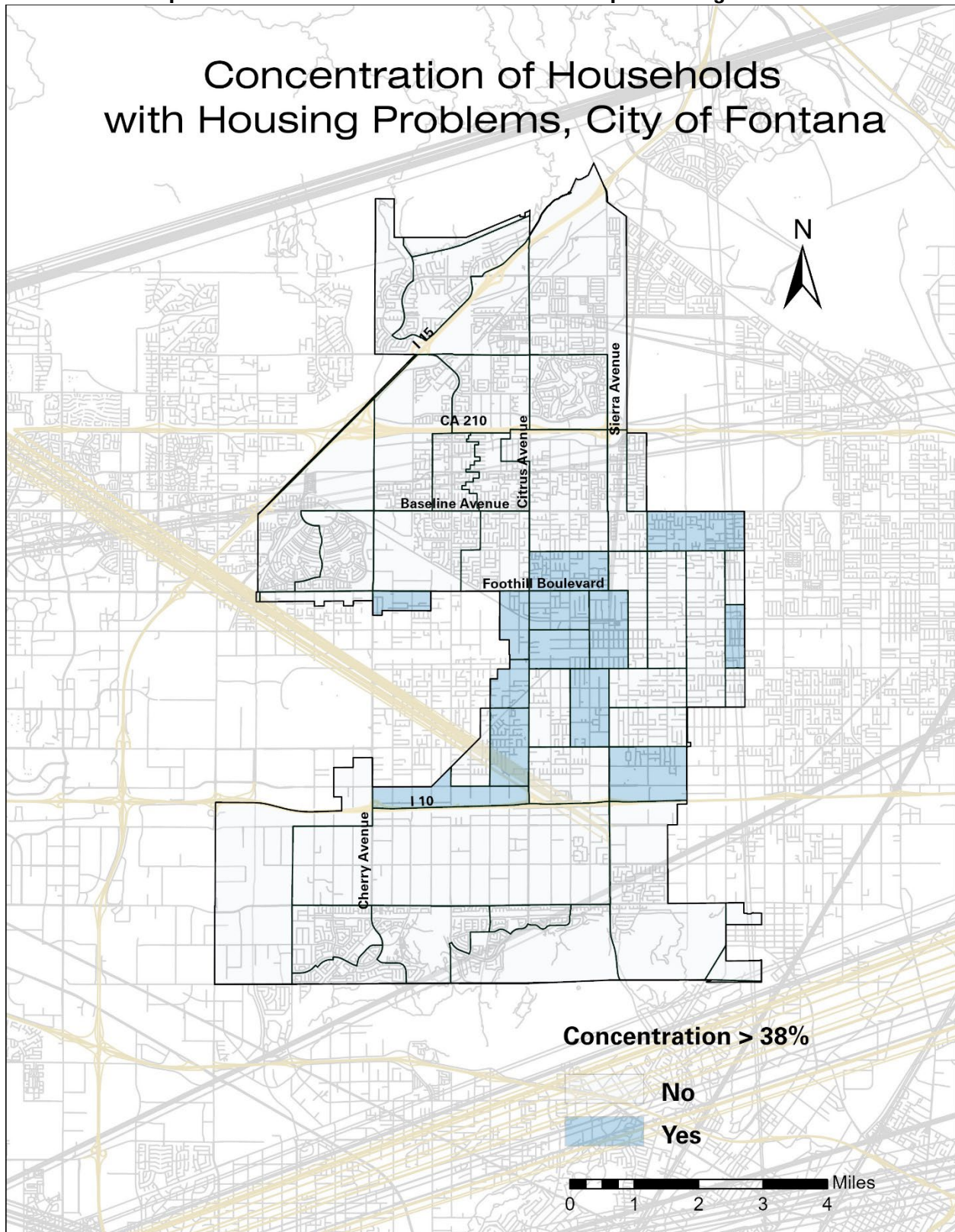
Concentrations of households with housing problems are defined as ten percent over the rate at which severe housing problems occur throughout the City as a whole, based on CHAS 2016-2020 data. Citywide 28 percent of households have one or more severe housing problem, therefore the threshold for concentration is set at 38 percent. There are 13 Census Tracts in the center of the City where a concentration of households that experience severe housing problems. Map 4 illustrates this concentration.

Are there any areas in the jurisdiction where racial or ethnic minorities or low-income families are concentrated? (include a definition of “concentration”)

Pursuant to the Interim Final Rule: Affirmatively Furthering Fair Housing Revisions [Federal Register Volume 90, No. 40 – March 3, 2025 – Pages 11020-11025](#), HUD reconsidered the need for this analysis. The Interim Final Rule, effective April 2, 2025 removed this requirement formerly stated at 24 CFR 91.205(b)(2).

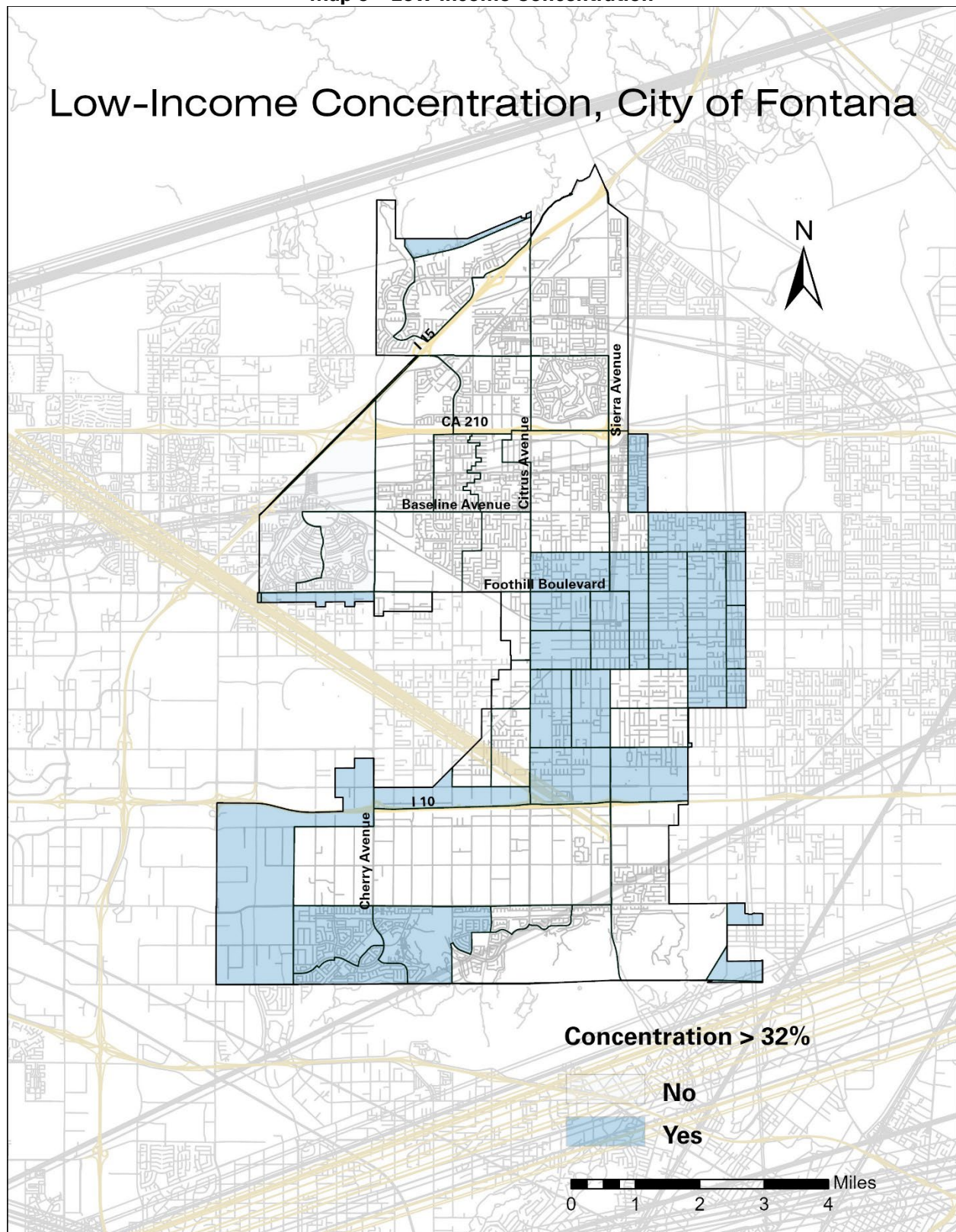
Concentration of residents with low-income is defined as ten percent over the rate at which those variables occur throughout the City as a whole. Citywide 22 percent of residents have low-incomes, therefore the threshold is set at 32 percent. There are 25 Census Tracts with a low-income concentration throughout the city. This is illustrated in Map 5.

Map 4 - Concentration Of Households With Multiple Housing Problems



Source: 20160-2020 CHAS Data

Map 5 – Low-Income Concentration



Source: 20160-2020 ACS Data

What are the characteristics of the market in these areas/neighborhoods?

These areas are mixed use with businesses, apartment complexes, parks, units of low-income housing, and public transportation centers (Metrolink Station/bus stops) in the neighborhoods along the Foothill Boulevard corridor between Citrus and Alder Avenues and the Sierra Avenue corridor between Foothill and Valley Boulevards. In the center of the City are two adjacent Census Tracts where many Low-Income Housing Tax Credit and Project-Based Section 8 developments are located and where there is a concentration of households with housing problems.

Are there any community assets in these areas/neighborhoods?

There are many community assets in the CDBG Target Areas, including:

- Fontana City Hall
- Fontana Civic Center
- Fontana Public Library
- Kaiser Permanente Medical Center
- Metrolink Station
- Numerous parks and recreational facilities

Additional assets are as follows:

- Education: While Fontana residents have lower rates of college education, UC/CSU eligibility, and English proficiency than the state overall, the City has higher teacher experience and high school graduation rates than the state.
- Employment: While Fontana residents have lower employment rates and median incomes than the state as whole, the rate of job growth is greater in the City than in the state.
- Homeownership and Housing Costs: Residents in Fontana have greater rates of home ownership and less housing cost burden than the state overall.
- Transportation: The City overall has better mobility ratings than the state. More Fontana residents have access to vehicles and commute less to work, compared to the state overall.

Are there other strategic opportunities in any of these areas?

The development of new transit-oriented market rate housing, and retail shopping and dining opportunities, as part of the Sierra Avenue Corridor zone will increase economic opportunity in the CDBG Target Areas north of the 10 Freeway and will likely bring additional diversity to the area in terms of race, ethnicity, and income.

MA-60 Broadband Needs

Describe the need for broadband wiring and connections for households, including low- and moderate-income households and neighborhoods.

All residences and small businesses in Fontana may have access to fixed and mobile broadband. Internet Service Providers (ISP) self-report to the Federal Communications Commission (FCC) on broadband availability throughout the County. Fixed broadband goes to homes and small businesses using fiber, cable, DSL, satellite, and fixed wireless technology. Mobile broadband is stationary coverage outdoors and mobile in-vehicle coverage. The FCC reports, as of June 2023, that fixed internet access is available at six different download/ upload speeds ranging from 0.2/0.2 megabits per second (Mbps) to 1000/100 Mbps and mobile access is available at the three fastest download/ upload rates available 4G 4G & 5/1 Mbps, 5G-NR 5G-NR & 7/1 Mbps, and 5G-NR 5G-NR & 35/3 Mbps.

The FCC's Affordable Connective Plan (ACP), which offered financial assistance to help households with low-income afford access to the internet has been discontinued. This program was available to new applicants from 2021 through February 2024. As of December 2023, 29,748, households in Fontana subscribed to this program. The State offers the California LifeLine program that offers discounted home and cell phone services to eligible households. A discounted phone line may defray all household costs, reducing the impact of the cost of an internet service provider. A high level of need for affordable broadband is indicated in Fontana.

Describe the need for increased competition by having more than one broadband Internet service provider serve the jurisdiction.

According to the FCC there are five active fixed internet providers in Fontana. Charter Communications, Viasat, Inc., Space Exploration Technologies Corp., and Hughes Network Systems, LLC reach at least 80 percent of residences in the City. There are three active mobile internet providers. The primary mobile internet providers are Verizon Communications Inc., T-Mobile USA, Inc., and AT&T Inc.

MA-65 Hazard Mitigation

Describe the jurisdiction's increased natural hazard risks associated with climate change.

The City's current Hazard Mitigation Plan was approved by City Council on August 18, 2018. Historically the hazards that have posed the greatest risk to the City are earthquakes, wind surges, and wildfires. In 2017, the following hazards were added: landslide, flood, terrorism, and climate change-drought. Of these hazards, those considered high risk are earthquakes, wildfires, floods/ winter storms, and wind surges. Terrorism and climate change-drought are considered mid-level risks, and landslides low risk. The City works with the County to mitigate the extent of these hazards and plan for response should they occur.

Describe the vulnerability of housing occupied by low- and moderate-income households to these risks.

Low- and moderate-income households, along with special needs populations, face significant vulnerabilities to climate-related hazards. The housing of these residents is often in poorer condition, making it more susceptible to harsh weather conditions like extreme heat. Additionally, elderly residents are particularly at higher risk during extreme weather events, including heatwaves.

Strategic Plan

SP-05 Overview

The Strategic Plan is a guide for the City to establish housing, community, and economic development priorities, strategies, and goals for its investment of CDBG, HOME, and ESG allocations from HUD over the next five years: beginning July 1, 2025, and ending June 30, 2030. The priority needs and goals established in this Strategic Plan are based on the Needs Assessment and Market Analysis of this *2025-2029 Consolidated Plan*.

The priority needs listed below are established as part of this *Strategic Plan*.

- Preserve the supply of affordable housing
- Expand the supply of affordable housing
- Ensure equal access to housing opportunities
- Prevent and eliminate homelessness
- Provide public services to low-income residents

Table 43 - Strategic Plan Summary

Goal Name	Time Period	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
Goal 1: Affordable housing	2025 – 2029	Affordable Housing	Citywide	Preserve the supply of affordable housing. Expand the supply of affordable housing	HOME: \$6,673,986.47 CDBG: \$6,314,535	-Rental units constructed: 11 households/ housing units -Rental units rehabbed: 15 households/ housing units -Homeowner Housing Rehabbed: 50 households/ housing units -Housing Units TBRA/RRH: 11 Households Assisted
Goal 2: Fair housing services	2025-2029	Affordable Housing Program Administration	Citywide	Ensure equal access to housing opportunities	CDBG: \$150,000	5 Other
Goal 3: Homeless services	2025 – 2029	Homeless	Citywide	Prevent and eliminate homelessness	ESG: \$799,105	-Tenant-based rental assistance/ Rapid rehousing: 20 Households Assisted -Homelessness Prevention: 500 Persons Assisted Homeless Person - Overnight Shelter: 100 Persons Assisted
Goal 4 Public services for families with low incomes	2025 -- 2029	Non-Housing Community Development	Citywide	Public services for residents	CDBG: \$1,457,200	Public services other than Low/ Moderate Income Housing Benefit: 64,225 persons assisted

SP-10 Geographic Priorities

Describe the basis for allocating investments geographically within the jurisdiction (or within the EMSA for HOPWA)

Investment in infrastructure improvements and public facilities will be focused primarily in areas with a concentration of at least 51 percent low- and moderate-income population. Investment in public facilities and services for special needs populations and primarily low- and moderate-income persons will be made throughout the City prioritizing those areas with a higher percentage of disabled residents. Housing assistance (including homebuyer and rehabilitation assistance) will be available to income-qualified households citywide.

The City utilizes HUD regulations for verification of income in accordance with Title 24 Code of Federal Regulations Part 5. Required income documentation may include tax records, income statements, benefit statements, and verification of assets. For those programs that benefit Fontana residents only, residency documentation may include a driver's license, utility bill, and/or lease agreement.

Table 44 - Geographic Priority Areas

Area Name
Citywide
Low- and Moderate-Income (LMI) Areas

SP-25 Priority Needs

Table 45 – Priority Needs Summary

1. Expand the supply of affordable housing	Priority Level	High	
	Population	Income Levels	Extremely low Low Moderate
		Family Types	NA
		Homeless	NA
		Non-homeless Special Needs	NA
	Geographies Affected	Citywide	
	Associated Goals	Affordable housing	
	Description	<p>The most common housing problems in the City impacting households with income at or below 80 percent AMI are housing cost burden greater than 30 percent of income followed by overcrowding and severe overcrowding. Analysis of Housing Problems (Table 8) shows nearly 60 percent of households in this income range experience a housing cost burden, while almost five percent are living in overcrowded and severely overcrowded conditions. This includes 6,810 owner and 6,535 renter households that are cost burdened. Overcrowding and severe overcrowding affects 3,845 households comprised of 2,680 renter households and 1,165 owner households.</p>	
		<p>Extremely low - and low-income households with one or more housing problem are presumed to be unstably housed, meaning they are at risk of falling into homelessness. Those with one or more housing problem at this income level are highly sensitive to adverse events. The greatest concentrations of unstably housed households are among small related renter households with a housing cost burden greater than 30 percent of their income, and single family renter households living in overcrowded conditions.</p> <p>There are 4,580 renter households who earn less than or equal to 50 percent AMI and are severely cost burdened, according the CHAS data (Table 11). Of these households:</p> <ul style="list-style-type: none"> 2,465 are small related households with four or fewer members 	

		<ul style="list-style-type: none"> ▪ 950 are large related households with five or more members ▪ 770 are elderly households with one or more members over aged 62 and older ▪ 395 are other households <p>These extremely low- and low-income households are considered the most at risk of becoming homeless.</p>	
	Relative Basis	<p>The development of additional affordable housing units affordable for low- and moderate-income households and individuals is a high priority due to the number of severely cost burdened households. Increasing the supply of affordable housing includes the development of rental housing with long-term affordability covenants and income targeting. To the extent that resources may be leveraged for supportive services, such developments should follow permanent supportive housing models determined to be a national best-practice to address homelessness. Based on responses to the Community Needs survey and data examined, increasing the supply of affordable housing, and providing rental assistance will be crucial tools of the City.</p>	
2. Preserve the supply of affordable housing	Priority Level	High	
	Population	Income Levels	Extremely low Low Moderate
		Family Types	NA
		Homeless	NA
		Non-Homeless Special Needs	NA
	Geographies Affected	Citywide	
	Associated Goals	Affordable housing	
	Description	<p>The age and condition of Fontana housing stock is an important indicator of potential rehabilitation needs. Housing over 30 years of age can be presumed to need some form of major rehabilitation, such as roof replacement, foundation work and plumbing systems. Housing over 20 years of age will generally exhibit deficiencies in terms of paint, weatherization, heating / air-conditioning systems, hot water heaters and finish plumbing fixtures. Housing values in Fontana have increased significantly over a relatively short period of time.</p>	

		<p>Longtime homeowners, especially the elderly and disabled, are more likely to have fixed and limited incomes and may have difficulty maintaining their homes.</p> <p>Thirty-two percent of housing units were constructed in or before 1979. About 42 percent of owner- and renter-occupied housing was built 30 to 40 years ago, between 1980 and 1999. There are 14,920 households with at least one member over the age of 62 and 7,115 of whom have household incomes at or below 80 percent AMI, according to 2016-2020 CHAS data. There are approximately 9,474 people aged 18 to 64 with disabilities, according to 2016-2020, ACS five-year estimates. These households may be presumed to have fixed incomes. It is reasonable to anticipate a significant number of housing units in need of repair and a significant number of households need financial assistance to complete those repairs.</p>	
	Relative Basis	<p>Preservation of the physical and functional integrity of existing housing units occupied by low- and moderate-income households is a cost-effective way to invest limited resources to retain existing housing units that are already affordable to low- and moderate-income households in the community. Expanding the stock of affordable housing by supporting the construction of affordable units, homebuyer and rental assistance programs are also effective ways to make housing more affordable to households. Based on responses to the Community Needs survey and data examined, rehabilitation of housing currently occupied by households with low- and moderate-incomes is an efficient and effective way to preserve affordable housing.</p>	
3. Equal access to housing opportunities	Priority Level	High	
	Population	Income Levels	Extremely Low Low Moderate Middle
		Family Types	Large Families Families with children Elderly Public Housing Residents
		Homeless	N/A
		Non-homeless Special Needs	Persons with Mental Disabilities Persons with Physical Disabilities Persons with

			Developmental Disabilities Other
	Geographies Affected	Citywide	
	Associated Goals	Fair Housing Services CDBG Administration	
	Description	HUD mandates that all recipients of federal housing and community development assistance, such as CDBG, take actions to affirmatively further fair housing choice within their communities. The City will certify its compliance with HUD requirement to affirmatively further fair housing choice in each Annual Action Plan requesting an annual allocation of CDBG funds.	
	Relative Basis Priority Need	Affirmatively furthering fair housing choice by ensuring equal access to housing opportunities is a high priority for HUD and the City. In accordance with HUD requirements, this priority will be addressed using CDBG funds.	
4. Prevent and eliminate homelessness	Priority Level	High	
	Population	Income Levels	Extremely Low Low
		Family Types	NA
		Homeless	Chronic Homelessness Individuals Families with Children Mentally Ill Chronic Substance Abuse veterans Unaccompanied Youth
		Non-homeless Special Needs	NA
	Geographies Affected	Citywide	
	Associated Goals	Homeless Services	
	Description	<p>Since 2020, the countywide rate of homelessness experienced by children under the age of 18 has increased 16 percent, from 267 children to 311 children. The rate of homelessness experienced by transitionally aged youth aged 18 to 25, fell 22 percent, from 212 to 165. For those over the age of 24 the rate of homelessness increased 43 percent.</p> <p>The amount of sheltered and unsheltered homelessness in the City accounts for seven percent of the 2024 PIT count in San Bernardino County, up from six percent in 2023. The 2024 PIT counts 41 sheltered individuals and 260 unsheltered</p>	

		<p>individuals, while the 2023 PIT counted no sheltered individuals and 240 unsheltered individuals in Fontana. The increase in sheltered homeless individuals is due in large part to the opening of the Bridge of Hope emergency family shelter in Fontana in the latter half of 2023.</p> <p>The 2023 and 2024 PIT Counts found that 60 additional people were experiencing homelessness in 2023 than were in 2024, and the percentage of individuals living in unsheltered condition increased minimally from 71 to 72 percent. In 2023, of 4,195 homeless individuals, 71 percent were unsheltered. Unsheltered chronically homeless accounted for 44 percent of all unsheltered homeless individuals. Among those who were reported as being homeless and unsheltered, 31 percent were living with chronic substance abuse; 22 percent faced severe mental health issues; and nine percent had experienced domestic violence. In 2024, of the 4,255 individuals experiencing homelessness, 72 percent were unsheltered. Unsheltered chronically homeless accounted for 56 percent of all unsheltered homeless individuals. Among those who were reported as being homeless and unsheltered, 28 percent were living with chronic substance abuse; 21 percent faced severe mental health issues; and seven percent had experienced domestic violence.</p>	
	Relative Basis Priority Need	The City considers ending and preventing homelessness a high priority and will support activities that help prevent and shorten periods of homelessness, and that provide a structured path to stable housing for individuals and families who become homeless.	
5. Public services for residents	Priority Level	High	
	Population	Income Levels	Extremely Low Low Moderate
		Family Types	Elderly Families with Children
		Homeless	NA
		Non-homeless Special Needs	Frail Elderly
	Geographies Affected	Citywide CDBG Low- and Moderate Income Block Groups	
	Associated Goals	Public Services for low-income residents	
	Description	Households with low- and moderate-incomes, living below the poverty line, and experiencing or at-risk	

		of falling into homelessness are most in need of public services to defray the cost of living and ameliorate the impacts of poverty. CHAS 2016-2020 data shows that over 41 percent of households in Fontana have incomes at or below 80 percent AMI (see Table 1). ACS data for the same period shows 11 percent of the population of Fontana is living below the poverty level, accounting for 24,789 residents. Of residents living below the poverty level 10,461 are children under the age of 18, and 2,009 are elderly aged 65 and over.
	Relative Basis	Consistent with the results of the Needs Assessment and Market Analysis sections of this plan, including the results of the Community Needs and Stakeholder surveys, the provision of a wide range of public services for households with low- and moderate-incomes, living below the poverty line, and experiencing or at-risk of falling into homelessness is a priority need for the City.

In establishing five-year priorities for assistance, the City has taken several concerns into consideration:

- Those categories of extremely low-, low- and moderate-income households most in need of housing and community development assistance;
- Which activities will best meet the needs of those identified households; and
- The extent of federal and other resources available to address these needs.

Based on input received through the outreach and consultation process, priority needs for expenditure of CDBG, HOME, and ESG funds have been designated as high.

The City will implement projects in each five-year Action Plan that address the Priority Needs. Pursuant to CDBG regulations, projects must meet one of three national objectives set forth by HUD: (1) Benefit low- and moderate-income households, (2) Aid in the elimination/ prevention of slum and blight, or (3) Meet an urgent need (catastrophic events). Pursuant to HOME regulations, HOME funds are specifically focused on affordable housing activities, and may be used to develop and support affordable rental housing and homeownership opportunities for households earning up to 80 percent of the AMI citywide.

SP-30 Influence of Market Conditions

Table 46 – Influence of Market Conditions

Affordable Housing Type	Market Characteristics that will influence the use of funds available for housing type
Tenant Based Rental Assistance (TBRA)	<p>The City will consider using a portion of its HOME funds to provide TBRA. Extremely low - and low-income households with one or more housing problem are presumed to be unstably housed, indicating that they are at risk of homelessness. There are 4,580 renter households who earn less than or equal to 50 percent AMI and are severely cost burdened, according the CHAS data (Table 11). Of these households:</p> <ul style="list-style-type: none"> ▪ 2,465 are small related households with four or fewer members ▪ 950 are large related households with five or more members ▪ 770 are elderly households with one or more members over aged 62 and older ▪ 395 are other households <p>These extremely low- and low-income households are considered the most at risk of becoming homeless and would benefit from rental assistance.</p>
TBRA for Non-Homeless Special Needs	<p>The City will consider using a portion of its HOME funds to provide TBRA. Included among those eligible to apply for TBRA are special non-homeless special needs populations.</p>
New Unit Production	<p>The most common housing problems in the City impacting households with income at or below 80 percent AMI are housing cost burden greater than 30 percent of income, followed by overcrowding and severe overcrowding. Based on funding availability and allocations, the City may allocate a portion of the HOME funds to increase the supply of safe, decent, affordable housing for lower-income households (including extremely low-income households, and low- and moderate-income households), such as seniors, those with disabilities, and those experiencing and/ or at risk of experiencing homelessness.</p>
Rehabilitation	<p>Sixty eight percent of housing units in Fontana were constructed after 1980 according to 2016-2020 CHAS data. About 42 percent of owner- and renter-occupied housing was built 30 to 40 years ago between 1980 and 1999. This indicates a significant need for rehabilitation. The City will aid rehabilitation of residential housing units. Preservation of the physical and functional integrity of existing housing units occupied by low- and moderate-income households is a cost-effective way to invest limited resources to retain existing housing units that are already affordable to low- and moderate-income households in the community. Addressing substandard housing conditions through housing preservation activities provides that all economic segments of the community have the means to ensure that their property meets local standards.</p>
Acquisition, including preservation	<p>As the Needs Assessment and Market Analysis in this document have clearly shown, thousands of Fontana households are cost burdened and likely eligible for newly acquired and rehabilitated affordable housing units. This is a relatively cost-effective way to make incremental increases affordable rental and homeownership housing stock. As funding is available to properly support this type of project, the City will invest in acquisition rehabilitation.</p>

SP-35 Anticipated Resources

During the five-year period of the 2025-2029 Consolidated Plan from July 1, 2025, to June 30, 2030, the City anticipates investing an estimated \$9.7 million CDBG, \$ 2.9 million HOME, and \$860,000 ESG funds (over the 5-year period) to support the goals of this Strategic Plan. The annual allocations are subject to federal appropriations and changes in demographic data used in HUD formulas for each respective program.

The City's Fiscal Year 2025 Action Plan will lay out the use of the annual allocations to address the priority needs and achieve the goals defined in the Strategic Plan. For the 2025-2026 program year the City was allocated \$1,942,933 CDBG, \$588,015.66 HOME, and \$172,779 ESG funds. In addition to the City's annual allocations it will carry forward \$3,922,280 unallocated prior year and program income HOME funds.

Table 47- Anticipated Resources

Program	Uses of Funds	Anticipated Amount Available for 5-Years				Anticipated Amount Available Remainder of Con Plan	Narrative Description
		Annual Allocation:	Program Income:	Prior Year Resources:	Total:		
CDBG	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	\$1,942,933	\$0	\$0	\$1,942,933	\$7,771,732	Based on 2025 FY allocation from HUD.
HOME	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	\$588,015.66	\$105,636.00	\$3,922,280.00	\$4,615,931.66	\$2,352,062.64	Based on 2025 FY allocation from HUD.
ESG	Conversion and rehab for transitional housing Financial Assistance Overnight shelter Rapid re-housing (rental assistance) Rental Assistance Services Transitional housing	\$172,779	\$0	\$0	\$172,779	\$691,116	Based on 2025 FY allocation from HUD.

Explain how federal funds will leverage those additional resources (private, state, and local funds), including a description of how matching requirements will be satisfied.

The City is expected to receive HOME funding, which can be leveraged with CDBG funding if used for affordable housing and housing rehabilitation. The City will leverage HOME funding if future projects are presented during the next five years. The HOME program requires a 25 percent match based on fund expenditure, unless a jurisdiction meets the thresholds to have the match requirements reduced. The threshold conditions are: 1) Fiscal distress; 2) Severe fiscal distress, and 3) Presidentially declared major disasters covered under the Stafford Act. The City was identified by HUD as a fiscally distressed jurisdiction and has been granted a 50 percent match reduction for Fiscal Year 2023. The determinations for 2024 have not been made public as of January 23, 2025. The City anticipates this designation will continue into the *2025-2029 Consolidated Plan* period.

Given the limited size of the CDBG and HOME annual allocations, the City may consider pursuing new Section 108 loans within the five-year *2025-2029 Consolidated Plan* period to support large-scale public improvements or housing projects.

Depending on the financing structure of a given activity, it may be advantageous for the City to use CDBG funds to leverage appropriate state, local, and private resources, including but not limited to those listed below.

Federal Resources:

- Continuum of Care (CoC) Program
- HUD Veterans Affairs Supportive Housing (HUD-VASH)
- Supportive Housing for the Elderly (Section 202)
- Supportive Housing for Persons with Disabilities (Section 811)
- Housing Opportunities for Persons with AIDS (HOPWA)
- YouthBuild
- Federal Low-Income Housing Tax Credit Program
- Project Based Housing Choice Vouchers

State Resources:

- Low-Income Housing Tax Credit Program
- Tax-Exempt Bond Financing
- Permanent Local Housing Allocation
- Building Equity and Growth in Neighborhoods Program (BEGIN)
- CalHome Program
- Multifamily Housing Program (MHP)
- Homekey
- CalHFA Single and Multi-Family Program

- Mental Health Service Act (MHSA) Funding
- Affordable Housing and Sustainable Communities Program

Local Resources:

- San Diego County CoC
- San Diego Housing Commission (SDHC)
- California Home Finance Agency
- City of Fontana In Lieu Fees
- Low and Moderate Income Housing Asset Fund (Successor Housing Agency)

Private Resources:

- Federal Home Loan Bank, Affordable Housing Program
- Community Reinvestment Act Programs
- United Way
- Private Contributions

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan.

Fontana will comply with state requirements under AB1486 and AB1255 to inventory and support developers to access and utilize surplus municipal and state land for the construction of affordable housing. If such sites are identified, the City will consider the use of HUD funding or other resources to assist with site preparation and/ or development. At this time, no publicly owned land or property is expected to be used to address the needs in this plan, unless the City addresses ADA Transition Plan needs with CDBG funds.

Discussion

Assuming continued level funding, the City expects to utilize \$12.6 million of CDBG, ESG and HOME funds during the five-year period beginning July 1, 2025, and ending June 30, 2030, to achieve the goals of the Strategic Plan.

SP-40 Institutional Delivery Structure

Table 56 provides an overview of the institutional structure through which the City will carry out its *2025-2029 Consolidated Plan* including private industry, nonprofit organizations, and public institutions.

Table 48- Institutional Delivery Structure

Responsible Entity	Responsible Entity Type	Role	Geographic Area Served
Fontana	Government	Affordable Housing, Rental Homelessness Non-homeless Special Needs, Public Services Planning	Jurisdiction
County of San Bernardino Housing Authority	PHA	Affordable Housing, Ownership and Public Housing Rental	Region

Assess of Strengths and Gaps in the Institutional Delivery System

The institutional delivery system in Fontana is high-functioning and collaborative—particularly the relationship between local government and the nonprofit sector comprised of a network of capable nonprofit organizations that are delivering a full range of services to residents. Strong City departments anchor the administration of HUD grant programs and the housing, community, and economic development activities that are implemented by the City.

Availability of services targeted to homeless persons and persons with HIV and mainstream services

Table 49 - Homeless Prevention Services Summary

Homelessness Prevention Services	Available in the Community	Targeted to Homeless	Targeted to People with HIV
Homelessness Prevention Services			
Counseling/Advocacy	X	X	X
Legal Assistance	X	X	X
Mortgage Assistance	X		X
Rental Assistance	X	X	X
Utilities Assistance	X	X	X
Street Outreach Services			
Law Enforcement	X	X	
Mobile Clinics			
Other Street Outreach Services	X	X	
Supportive Services			
Alcohol & Drug Abuse	X	X	X
Child Care	X		
Education	X	X	X
Employment and Employment Training	X	X	
Healthcare	X	X	X
HIV/AIDS	X	X	X
Life Skills	X	X	X
Mental Health Counseling	X	X	X
Transportation	X	X	X

Describe how the service delivery system including, but not limited to, the services listed above meet the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth)

There are multiple pathways to access the services available in Fontana to individuals and households experiencing, or at risk of experiencing, homelessness. The CoC and the recipients of homeless funding from HUD and Homeless Housing, Assistance and Prevention (HHAP) Grant funds from the State of California utilize the Coordinated Entry System (CES) system to match clients to appropriate services.

Describe the strengths and gaps of the service delivery system for special needs population and persons experiencing homelessness, including, but not limited to, the services listed above.

In Fontana, there are a variety of services available to those with special needs and those experiencing or at risk of experiencing homelessness. These services are provided through a mix of public, private, and charitable organizations. This has been the case for many years. During the last Consolidated Planning process, the City applied for and was awarded two competitive state grants to address homelessness: Homekey and the Family Homelessness Challenge. Additionally, the City has allocated a portion of its Permanent Local Housing Allocation Program entitlement to address homelessness. Despite these resources, the City ESG allocation, and the contributions of community partners, there is still not enough funding available to provide the level of services needed for long-term assistance for clients on fixed or extremely limited incomes.

Provide a summary of the strategy for overcoming gaps in the institutional structure and service delivery system for carrying out a strategy to address priority needs.

To address the lack of resources necessary to fully address the needs of special needs populations and persons experiencing homelessness, the City will continue allocating the maximum allowable amount of CDBG funds to public services, and ESG to aid households experiencing homelessness. The City will work to leverage its HOME funds, including CHDO Set-Aside and Low Moderate Income Housing Asset (LMIHAF) funds, with other state, federal, and local resources to address its priority needs.

SP-45 Goals Summary

Table 50 – Goals Summary

Goal Name	Time Period	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
Goal 1: Affordable housing	2025 – 2029	Affordable Housing	Citywide	Preserve the supply of affordable housing. Expand the supply of affordable housing	HOME: \$6,673,986.47 CDBG: \$6,314,535	-Rental units constructed: 11 households/ housing units -Rental units rehabbed: 15 households/ housing units -Homeowner Housing Rehabbed: 50 households/ housing units -Housing Units TBRA/RRH: 11 Households Assisted
In partnership with housing developers, leverage HOME funds in support of new rental housing units affordable to households earning less than 30, 60 or 80 percent of AMI, including units reserved for residents with special needs. In addition, the City may use CDBG and HOME funds to acquire and rehabilitate existing single family and multi-family housing units to increase the supply of affordable rental housing for its lower-income households. Funds will also be used to preserve the quality of existing affordable housing occupied by low- and moderate-income households through housing rehabilitation.						
Goal 2: Fair housing services	2025-2029	Affordable Housing	Citywide	Ensure equal access to housing opportunities	CDBG: \$150,000	5 Other
Affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination and landlord-tenant mediation services.						

Goal Name	Time Period	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
Goal 3: Homeless services	2025 – 2029	Homeless	Citywide	Prevent and eliminate homelessness	ESG: \$863,895	-Tenant-based rental assistance/ Rapid rehousing: 20 Households Assisted -Homelessness Prevention: 500 Persons Assisted Homeless Person -Overnight Shelter: 100 Persons Assisted
Support a continuum of services to prevent and eliminate homelessness, including but not limited to homeless prevention programs, emergency shelter, and transitional housing. When and if necessary, Fontana will use HUD funding to address urgent issues and conditions impacting the health and safety of homeless residents, and those at risk of becoming homeless.						
Goal 4 Public services for families with low incomes	2025 -- 2029	Non-Housing Community Development	Citywide	Public services for residents	CDBG: \$1,457,200	Public services other than Low/Moderate Income Housing Benefit: 64,225 persons assisted
Provide low- and moderate-income families with a range of public services necessary to prevent homelessness and ameliorate the effects of poverty.						
Goal 5: Planning and administration	2025 - 2029	Program Admin	N/A	Comply with federal CDBG and HOME regulations	CDBG: \$1,792,930 HOME: \$294,007.83	Other
These funds will be used to comply with federal statutes and regulations pertaining to the CDBG and HOME Programs.						

Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.315(b)(2)

Approximately 76 extremely low-, low- and moderate-income households will benefit from the City's affordable housing activities.

SP-50 Public Housing Accessibility and Involvement

Need to Increase the Number of Accessible Units (if Required by a Section 504 Voluntary Compliance Agreement)

There are no public housing units in Fontana. This section does not apply.

Activities to Increase Resident Involvement

There are no public housing units in Fontana. This section does not apply.

Is the public housing agency designated as troubled under 24 CFR part 902?

HACSBC is not designated as troubled.

Plan to remove the 'troubled' designation

Not applicable

SP-55 Barriers to Affordable Housing

Barriers to Affordable Housing

A barrier to affordable housing is a public policy or nongovernmental condition that constrains the development or rehabilitation of affordable housing, such as land use controls, property taxes, state prevailing wage requirements, environmental protection, cost of land and availability of monetary resources. Barriers to affordable housing differ from impediments to fair housing choice in that barriers are lawful, while impediments to fair housing choice are usually unlawful.

According to the City's *2021-2029 Housing Element*, one of the major barriers to housing choice in Fontana and the region more broadly is the lack of sufficient housing affordable to a variety of income levels. While much of this is due to market and environmental constraints that are beyond the control of the City to address, the City's land use and zoning regulations, especially parking requirements, development fees, local processing and permit procedures, and infrastructure costs, may have contributed to new housing development not keeping pace with population growth.

Strategy to Remove or Ameliorate the Barriers to Affordable Housing

The City's *Housing Element* includes a Housing Plan with four broad goals and various supporting policies, programs, and actions for addressing the City's housing needs, including the following:

Goal #1: Adequate housing to meet the needs of all residents in Fontana

1. Provision of Adequate Sites to Meet Regional Housing Needs Assessment Goals
2. Rezone Parcels to R-4/R-4 Overlay to Accommodate RHNA Growth Need for Low and Very Low-Income Households
3. Rezone Parcels to R5 to Accommodate RHNA Growth Need for Low and Very Low-Income Households
4. Proactively Coordinate with Property Owners to Encourage the Development of Affordable Housing in Fontana
5. Encourage the Development of Housing Units for Low-, Very Low-, and Extremely Low-Income Levels
6. Annual Monitoring of Housing Production
7. Compliance with State Density Bonus Law
8. Manufactured and Modular Housing
9. Infill Housing Program
10. Accessory Dwelling Unit Construction
11. Accessory Dwelling Units Monitoring Program
12. Conversion of Existing, Non-Permitted Accessory Dwelling Units
13. Farmworker and Employee Housing Act Compliance
14. Amend Fontana Zoning Code for a Variety of Housing Types
15. Minimum Lot Sizes in Multifamily Zones

16. Replacement Housing for Non-vacant Sites
17. Lot Consolidation Program for Small Sites

Goal #2: A high standard of quality in existing affordable housing stock

1. Monitoring of "At-Risk" Housing Units
2. Code Enforcement for Residential Properties
3. Housing Unit Revitalization Program
4. Resources Conservation Practices
5. Promotion of Green/Sustainable Development Practices
6. Water and Sewer Service Purveyors

Goal #3: Housing development that is not affected by governmental constraints

1. Expedited Permit Processing and other Procedures
2. Review Parking Requirements
3. Monitoring Development Fees
4. SB 35 Streamlining Procedures

Goal #4: Affirmatively further fair housing in Fontana

1. Affordable Housing Online Resource Website
2. Participation and Support of Regional Fair Housing Efforts
3. Family Self-Sufficiency Program
4. Mental Health Services Program
5. Supportive/Transitional Housing Facilitation
6. Domestic Violence Services Program
7. Community Assistance Program
8. Anti-Poverty Program
9. Housing Referral and Information Services
10. Community and Stakeholder Engagement
11. Housing for Persons with Developmental Disabilities
12. Affirmatively Further Fair Housing

SP-60 Homelessness Strategy

Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs

The 2023 and 2024 PIT Counts found that 60 more individuals experienced homelessness in 2023 than 2024, and the percentage of individuals living in unsheltered condition increased minimally from 71 to 72 percent. In 2023, of 4,195 homeless individuals, 71 percent were unsheltered. The 2024 PIT unsheltered homeless people living with the complicating conditions that follow,

- 631 Severe mental illness
- 33 HIV/AIDS
- 866 Chronic substance abuse
- 205 Domestic violence victims/ survivors

The City is committed to being a place where all are welcome, where individuals are supported, and where everyone has an opportunity to thrive. It will do so by coordinating with County partners, including the CoC, local businesses, community faith groups, and nonprofits to engage the homeless population. During the last Consolidated Planning cycle, the City directed PLHA, Family Homelessness Challenge grant, and ESG-CV funds, to support street outreach programming.

Initiatives like the City of Fontana Police Department (FPD) Multiple Enforcement Team (MET) provide balanced community-oriented policing in parts of the City with a high concentration of unhoused people. These residents are highly transient, have had varied experiences with authority figures, and are uniquely vulnerable to crime. During MET patrols, officers engage people experiencing unhoused homelessness, and when appropriate, connect them with the services needed. This is sensitive and intensive work, which requires a high level of effort. It can take many engagements before an unhoused individual is ready to receive services. This specialized team provides an invaluable service to the community it serves by providing consistent personal contact with the residents and unsheltered individuals. They create relationships with the community that would not have been achieved with a standard patrol unit that rotates personnel on a regular basis.

The implementation of HUD and non-HUD funded programming will continue to engage unsheltered homeless people and connect them with needed resources.

Addressing the emergency and transitional housing needs of homeless persons

There are many emergency and transitional housing beds in San Bernardino, but there are more people experiencing homelessness than there are beds. The 2024 PIT Count recorded 420 sheltered and 55 unsheltered people in households with children and adults, and 773 sheltered and 2,994 unsheltered people in households with only adults. Of the sheltered

and homeless population, 70 percent resided in emergency shelter and 30 percent in transitional housing. The 2024 Housing Inventory Count reported 368 emergency shelter beds and 258 transitional housing beds, for households with adults and children, and 517 emergency shelter beds and 156 transitional housing beds, for households with only adults.

During the last five years, the City directed federal ESG-CV, Community Project Funding, American Rescue Package Act, county, state, and local resources to support the development and operation of emergency and temporary shelter for families and individuals experiencing homelessness. This includes Bridge of Hope, an eight-bed emergency family shelter and the Path a 120-bed of temporary shelter. The City has supported the operations of these facilities, as well as the provision of hotel/ motel vouchers when needed, with CDBG-CV, ESG-CV, Family Homelessness Challenge, and other sources that do not include ESG or CDBG. The City will continue to support the development and operations of emergency shelter and temporary housing, and may consider directing CDBG, HOME, HOME-ARP, and ESG toward these efforts.

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again.

To transition from homelessness to stably housed, individuals and families need access to housing that they can reasonably afford. The City has and plans to continue directing a portion of ESG and state funds to rapid rehousing, to shorten the period a household experiences homelessness. In addition to funding rapid rehousing activities, the City may leverage CDBG, HOME, PLHA, and HOME-ARP funds to expand the supply of housing affordable to households with extremely low-incomes.

Help low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families who are likely to become homeless after being discharged from a publicly funded institution or system of care, or who are receiving assistance from public and private agencies that address housing, health, social services, employment, education, or youth needs.

The City has plans to continue using ESG and state resources to fund rapid rehousing, which include case management, and rental assistance to households experiencing and at risk of experiencing homelessness.

SP-65 Lead based paint Hazards

Actions to address LBP hazards and increase access to housing without LBP hazards.

The Residential Lead Based Paint (LBP) Hazard Reduction Act of 1992 (Title X) emphasizes prevention of childhood lead poisoning through housing-based approaches. This strategy requires the City to implement programs that protect children living in older housing from lead hazards.

Thirty-two percent of housing units were constructed before 1979, according to 2016-2020 CHAS data. Units constructed prior to January 1, 1978, are presumed to have the potential to contain LBP. In these units, the best way to have reasonable assurance that LBP hazards are not present is to have the painted surfaces tested.

To reduce hazards, the City takes the following actions:

- Include lead testing and abatement procedures, as required, in all residential rehabilitation activities for units built prior to January 1, 1978.
- Educate residents on the health hazards of LBP through brochures and encourage screening children for elevated blood-lead levels.
- Disseminate brochures about lead hazards through the City's residential rehabilitation activities.

In fiscal year 2023 the City was awarded a grant from HUD's Office of Lead Hazard Control and Healthy Homes. The resulting Lead Hazard Reduction Program will help prevent childhood lead poisoning and unsafe lead conditions by eliminating lead and other hazards (e.g., cracking paint, contaminated soil) in rental and owner-occupied properties where households with low-income reside.

How are the actions listed above related to the extent of lead poisoning and hazards?

Over time, through actions and program described above, the public will have greater awareness of the hazards of LBP to children. This will prompt homeowners, landlords, and parents of young children, to proactively address unsafe housing conditions.

How are the actions listed above integrated into housing policies and procedures?

In accordance with federal regulation, the City has established policies regarding the identification of LBP hazards. Housing built prior to 1978 must undergo LBP testing prior to receiving funding for rehabilitation. If hazards are found, they must be stabilized during the rehabilitation of the property. As required, hazard treatment must be performed by a certified assessor prior to the issuance of the Notice of Completion.

SP-70 Anti-Poverty Strategy

Jurisdiction Goals, Programs and Policies for reducing the number of Poverty-Level Families.

Poverty continues to be a significant challenge in Fontana. According to the 2016-2020 ACS, 11 percent of the population of Fontana is living below federal poverty level (FPL), accounting for 24,789 residents. Of residents living below FPL, 10,461 are children under the age of 18, and 2,009 are elderly aged 65 and older.

To meaningfully address this challenge, each of the goals included in the Strategic Plan support activities to promote the availability of affordable housing and the provision of essential services that directly benefit low- and moderate-income residents. In the implementation of the Strategic Plan, the City will prioritize funding for activities that most effectively address these goals over the next five years. This strategy will emphasize using CDBG and HOME funds to help individuals and families rise out of poverty to long-term self-sufficiency.

The implementation of CDBG and HOME activities meeting the goals established in this Strategic Plan will help to reduce the number of poverty-level families by supporting affordable housing, fair housing, homeless services, and public services for households with low-incomes.

In addition to these local efforts, mainstream state and federal resources also contribute to reducing the number of individuals and families in poverty. Federal programs, such as the Earned Income Tax Credit and Head Start, offer a pathway out of poverty for families who are ready to pursue employment and educational opportunities. In California, the primary programs that assist families in poverty are CalWORKS, CalFresh (formerly food stamps) and Medi-Cal. Together, these programs provide individuals and families with employment assistance, subsidy for food, medical care, childcare, and cash payments to meet basic needs such as housing, nutrition and transportation. Other services are available to assist individuals suffering from substance abuse, domestic violence, and mental illness.

How are the Jurisdiction poverty reducing goals, programs, and policies coordinated with this affordable housing plan?

The goals of this Strategic Plan are aligned to benefit low- and moderate-income residents to reduce the number of poverty-level families. For example, activities completed under the affordable housing goal will increase the housing stock accessible to extremely low- and low-income households transitioning out or at risk of homelessness. Implementation of this goal may reduce a household housing cost burden, thereby increasing disposable income and enabling opportunity to pursue previously inaccessible choices.

SP-80 Monitoring

Describe the standards and procedures that the jurisdiction will use to monitor activities carried out in furtherance of the plan and will use to ensure long-term compliance with requirements of the programs involved, including minority business outreach and the comprehensive planning requirements.

To ensure CDBG, HOME, and ESG funds are used efficiently and in compliance with applicable regulations, the City provides technical assistance and monitors the progress of subrecipients throughout the program year.

The City provides technical assistance to its departments, agencies, and subrecipients receiving CDBG, HOME and ESG funding. Following approval of the Annual Action Plan, City staff conduct detailed reviews of program regulations with subrecipients and City departments. This process provides useful forms and resources for documenting compliance, as well as reviewing the City's compliance procedures and requirements. Additionally, individualized technical assistance is provided on an as-needed basis throughout the program year.

All activities undergo monitoring, beginning with a detailed review upon receipt of an application to assess eligibility, conformance with a National Objective, and alignment with a Plan goal. This review also examines the proposed use of funds, eligibility of the service area, eligibility of the intended beneficiaries, and likelihood of compliance with other federal requirements.

Subrecipients are required to submit an audit and other documentation to establish their capacity. Any findings noted in the audit are reviewed with the applicant. Eligible applications are then considered for funding. Once funded, desk monitoring includes ongoing review of required quarterly performance reports. For CDBG public service and ESG activities, on-site monitoring is conducted at least once every two years to ensure compliance. These are fiscal and programmatic reviews of the subrecipient's activities to determine compliance with the program regulations and City contract.

Following the monitoring visit, a written report is provided delineating the results of the review and any findings of non-compliance, and required corrective action. Subrecipients and City departments typically have 30 days to provide the City with corrective actions taken addressing any noted findings. Individualized technical assistance is provided, as noted above, when compliance concerns are identified. For CDBG capital projects, monitoring also includes compliance with regulatory agreement requirements.

For HOME funded activities, annual monitoring ensures that renter occupied units comply with household income, rent restrictions, and utility allowance requirements, pursuant to the affordability covenant. For ownership units, annual monitoring of occupancy is conducted throughout the affordability period.

2025-2026 Action Plan

AP-15 Expected Resources

During the five-year period of the 2025-2029 Consolidated Plan from July 1, 2025, to June 30, 2030, the City anticipates investing an estimated \$9.7 million CDBG, \$ 2.9 million HOME, and \$860,000 ESG funds (over the 5-year period) to support the goals of this Strategic Plan. The annual allocations are subject to federal appropriations and changes in demographic data used in HUD formulas for each respective program.

The City's Fiscal Year 2025 Action Plan will lay out the use of the annual allocations to address the priority needs and achieve the goals defined in the Strategic Plan. For the 2025-2026 program year the City was allocated \$1,942,933 CDBG, \$588,015.66 HOME, and \$172,779 ESG funds. In addition to the City's annual allocations it will carry forward \$3,922,280 unallocated prior year and program income HOME funds.

Table 51- Expected Resources

Program	Uses of Funds	Expected Amount Available for 5-Years				Anticipated Amount Available Remainder of Con Plan	Narrative Description
		Annual Allocation:	Program Income:	Prior Year Resources:	Total:		
CDBG	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	\$1,942,933	\$0	\$0	\$1,942,933	\$7,771,732	Based on 2025 FY allocation from HUD.
HOME	Acquisition Homebuyer assistance Homeowner rehab Multifamily rental new construction Multifamily rental rehab New construction for ownership TBRA	\$588,015.66	\$105,636.00	\$3,922,280.00	\$4,615,931.66	\$2,352,062.64	Based on 2025 FY allocation from HUD.
ESG	Conversion and rehab for transitional housing Financial Assistance Overnight shelter Rapid re-housing (rental assistance) Rental Assistance Services Transitional housing	\$172,779	\$0	\$0	\$172,779	\$863,895	Based on 2025 FY allocation from HUD.

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied.

The extent of need in Fontana far exceeds the available funding from CDBG, HOME, and ESG. Most activities into which these funds are invested will leverage a variety of additional sources including, but not limited to, public and private grants, capital development and general funds, public financing, and private donations. The City has been awarded HUD HOME American Rescue Plan (ARP) and state Permanent Local Housing Allocation (PLHA) funds to further address extremely low- and low-income housing needs including the needs of residents experiencing and at risk of experiencing homelessness. The City has Low- and Moderate-Income Housing Asset Funds (LMIHAF) which may be used to supplement homeless services provided to residents. The City encourages the use of Low-Income Housing Tax Credits to fund construction, substantial rehabilitation, or acquisition or affordable housing.

The HOME program requires a 25 percent match based on fund expenditure, unless a jurisdiction meets a threshold to have the match requirements reduced; those threshold conditions are: 1) Fiscal distress; 2) Severe fiscal distress, and 3) Presidentially declared major disasters covered under the Stafford Act. The City was identified by HUD as a fiscally distressed jurisdiction and has been granted a 50 percent match reduction for fiscal year 2023, as of the preparation of this Action Plan neither the fiscal year 2024 or 2025 reductions have been published. The City expects the 2023 designation will continue in fiscal year 2025.

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan.

Fontana will comply with new State requirements under AB1486 and AB1255 to inventory and support developers to access and utilize surplus municipal and state land for the construction of affordable housing. If such sites are identified, the City will consider the use of HUD funding or other resources to assist with site preparation and/ or development. At this time, no publicly owned land or property is expected to be used to address the needs in this plan, unless the City addresses ADA Transition Plan needs with CDBG funds.

Discussion

The City of Fontana shares overall responsibility for meeting the priority needs identified in the Strategic Plan with many other organizations and is solely responsible for using CPD entitlement funds to address the needs of low- and moderate-income residents.

AP-20 Annual Goals and Objectives

Table 52 – Goals Summary

Goal Name	Time Period	Category	Geographic Area	Needs Addressed	Funding (\$)	Goal Outcome Indicator
Goal 1: Affordable housing	2025 – 2029	Affordable housing	Citywide	Preserve the supply of affordable housing. Expand the supply of affordable housing	HOME: 4,557,130.09 CDBG: 1,262,907	-Rental units constructed: 2 households/ housing units -Rental units rehabbed: 3 households/ housing units -Homeowner Housing Rehabbed: 10 households/ housing units
In partnership with housing developers, leverage HOME funds in support of new rental housing units affordable to households earning less than 30, 60 or 80 percent of AMI, including units reserved for residents with special needs. In addition, the City may use CDBG and HOME funds to acquire and rehabilitate existing single family and multi-family housing units to increase the supply of affordable rental housing for its lower-income households. Funds will also be used to preserve the quality of existing affordable housing occupied by low- and moderate-income households through housing rehabilitation.						
Goal 2: Fair housing services	2025 – 2029	Affordable Housing Program Admin	Citywide	Ensure equal access to housing opportunities	CDBG: 30,000	1 Other
Affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination and landlord-tenant mediation services.						

Goal Name	Time Period	Category	Geographic Area	Needs Addressed	Funding (\$)	Goal Outcome Indicator
Goal 3: Homeless services	2025 – 2029	Homeless	Citywide	Prevent and eliminate homelessness	ESG: 172,799	-Tenant-based rental assistance/ Rapid rehousing: 4 Households Assisted -Homeless Prevention: 100 Persons Assisted -Emergency Shelter: 20 Persons Assisted
Support a continuum of services to prevent and eliminate homelessness, including but not limited to homeless prevention programs, emergency shelter, and transitional housing. When and if necessary, Fontana will use HUD funding to address urgent issues and conditions impacting the health and safety of homeless residents, and those at risk of becoming homeless.						
Goal 4: Public services for families with low incomes	2025 - 2029	Non-Housing Community Development	LMI Areas Citywide	Public services for residents	CDBG: 291,440	Public services other than Low/Moderate Income Housing Benefit: 12,845 persons assisted
Provide low- and moderate-income seniors with a range of public services necessary to prevent homelessness and ameliorate the effects of poverty.						
Goal 5: Planning and administration	2025 – 2029	Program administration	LMI Areas Citywide	All	HOME: 58,801.57 CDBG: 358,586	1 Other
These funds will be used to comply with federal statutes and regulations pertaining to the CDBG & HOME Programs.						

AP-35 Projects

To address the high priority needs identified in the Strategic Plan, the City of Fontana will invest CDBG, HOME, and ESG funds in projects to preserve existing affordable housing, provide fair housing services, and services to the elderly, and improve public facilities and infrastructure. Together, these projects will address the needs of low- and moderate-income Fontana residents.

Table 53 – Project Information

2025-2026 Projects	
1.	Fair Housing Services
2.	Affordable Rental Housing Development
3.	Senior scholarships
4.	Public safety
5.	Homeless Assistance (ESG25 Fontana)
6.	Program Administration

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

Based on the Strategic Plan, in program year 2025-2026 the City is allocating 100 percent of its non-administrative CDBG, HOME, and ESG to projects and activities that benefit extremely low-, low-, or moderate-income households. The primary obstacles to meeting the underserved needs of low- and moderate-income people include limited funding from federal, state, and other local sources.

AP-38 Project Summary

Table 54 – Project Summary Information

1	Project Name	Fair housing services
	Target Area	Citywide
	Goals Supported	Fair housing services
	Needs Addressed	Ensure equal access to fair housing opportunities
	Funding	CDBG: \$30,000
	Description	Fulfill the HUD regulatory mandate to affirmatively further fair housing choice through the provision of fair housing education, counseling, anti-discrimination, and landlord-tenant mediation services.
	Target Date	6/30/2026
	Estimated number and type of beneficiaries	90 low- and moderate-income people
	Location Description	Citywide
	Planned Activities	Fair housing services
2	Project Name	Affordable rental housing development
	Target Area	Citywide
	Goals Supported	Affordable housing
	Needs Addressed	Preserve the supply of affordable housing; Expand the supply of affordable housing
	Funding	CDBG: \$1,262,907 HOME: \$4,557,130.09 (\$529,214.09 annual allocation, \$105,636 program income, \$3,922,280 prior year resources)
	Description	HOME funds in support of the development of new affordable rental housing units for a yet to be determined a project. Should a project be identified the Plan will be amended. CDBG funds in support of the acquisition/rehabilitation of existing housing units affordable to household earning less than 80 percent of AMI.
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit	2 affordable rental units constructed for lower income households; 3 affordable housing units acquired and rehabbed for lower income households
	Location Description	Citywide
	Planned Activities	Labor and materials
3	Project Name	Youth/ Senior scholarships
	Target Area	Citywide
	Goals Supported	Public services for low-income residents
	Needs Addressed	Provide public services for residents
	Funding	CDBG \$75,000
	Description	Recreational and Targeted Services for eligible residents (such as elderly and youth). Activities may include recreational scholarships, meals, and transportation assistance
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit	40 low- to moderate-income seniors

	Location Description	Citywide
	Planned Activities	Scholarships
4	Project Name	Public safety
	Target Area	LMI Areas
	Goals Supported	Public services for low-income residents
	Needs Addressed	Provide public services for residents
	Funding	CDBG: \$216,440
	Description	Serve and protect residents in LMI Areas with high concentrations of homelessness.
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit	12,845 LMI persons, 20,735 total persons
	Location Description	LMI Areas
	Planned Activities	Extra patrols
5	Project Name	Homeless Assistance (ESG25 Fontana)
	Target Area	Citywide
	Goals Supported	Homeless services
	Needs Addressed	Prevent and eliminate homelessness
	Funding	ESG: \$172,779
	Description	Support a continuum of services in San Bernardino County to prevent and eliminate homelessness including but not limited to homelessness prevention and rapid rehousing programs.
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit	Approximately 25 extremely low-income households
	Location Description	Citywide
	Planned Activities	Homeless assistance services which may include street outreach, emergency shelter, homelessness prevention, rapid rehousing, and program administration.
6	Project Name	Program Administration
	Target Area	Citywide
	Goals Supported	Affordable housing, Fair Housing services, Homeless services, and public services for families with low incomes; Planning and administration
	Needs Addressed	Preserve the supply of affordable housing; Expand the supply of affordable housing; Ensure equal access to affordable housing; Prevent and eliminate homelessness; Comply with federal CDBG, HOME, and ESG regulations.
	Funding	HOME: \$58,801.57; CDBG: \$358,586
	Description	Provide for the planning and administration of CDBG and HOME programs
	Target Date	6/30/2026
	Estimate the number and type of families that will benefit	Other
	Location Description	Citywide
	Planned Activities	Administration of CDBG and HOME programs, projects, and activities.

AP-50 Geographic Distribution

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The City has identified LMI Areas target areas where some CDBG funds will be invested. Most CDBG funds will benefit individuals and households citywide. Infrastructure and public facility improvement and public safety projects will be focused on areas with a concentration of residents with low and moderate incomes throughout the City. Housing, public service and homeless assistance will be made available to income-qualified households throughout the City.

Table 55 - Geographic Distribution

Target Area	Percentage of Funds
LMI Areas	16%
Citywide	84%

Rationale for the priorities for allocating investments geographically

HUD allows CDBG and HOME grantees to implement certain activities such as initial construction or expansion of community facilities and infrastructure that benefit certain neighborhoods or villages (but not the entire City) provided the service area for the facility or infrastructure is primarily residential and where at least 51 percent of residents are low- and moderate-income.

The City will use a place-based and citywide strategy to distribute funding. It is the City's intent to fund activities in the areas and for the populations most directly affected by the needs of low-income residents and those with other special needs. Where appropriate the Annual Action Plan will direct investment to an area benefit neighborhood. The area benefit category is the most used national objective for activities benefiting a residential neighborhood. An area benefit activity is one that benefits all residents, where at least 51 percent are low- and moderate-income. Public infrastructure improvements are an area benefit activity when they are in a predominantly low- and moderate-income neighborhood.

AP-55 Affordable Housing

The 2025-2029 Strategic Plan provides the framework for investing CDBG and HOME funds in Fontana. Affordable housing is a high priority need and will be addressed by activities performed under the affordable housing goal.

One Year Goals for the Number of Households to be Supported	
Homeless	0
Non-Homeless	5
Special-Needs	0
Total	5

Table 56 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	2
Rehabilitation of Existing Units	0
Acquisition of Existing Units	3
Total	5

Table 57 - One Year Goals for Affordable Housing by Support Type

Discussion

Fontana residents have a significant need for high quality and affordable housing. In program year 2025-2026 the city anticipates supporting the development of two new affordable rental units, and acquiring three units of affordable rental housing. This assistance will be provided to eligible household with low to moderate incomes.

The City may submit a request to HUD for using recent sales data to determine a Fontana specific homeownership value limit for detached and attached properties. The limits for 2025 have not been released for the region.

AP-60 Public Housing

There is no public housing located within the City of Fontana.

Actions planned during the next year to address the needs to public housing

Public housing needs are addressed by the Housing Authority of the County of San Bernardino.

Actions to encourage public housing residents to become more involved in management and participate in homeownership.

To encourage public housing residents to become more involved in the management of public housing units, HACSB has developed a Resident Advisory Board (RAB) made up of participants from its Term-Limited Lease Assistance Program, Project Based Voucher Program, VASH, and the Tenant-Based Voucher Program. The RAB is tasked with discussing critical issues, like policy changes, program participant outreach efforts and messaging, that affect residents and program participants.

The HACSB offers several ongoing programs to help residents become more involved in management and participate in homeownership. HACSB offers a Family Self-Sufficiency (FSS) program for its residents, which allows participants to save a portion of their income in escrow toward the family's departure from subsidized housing. Residents in the FSS program and HACSB's Term-Limited Lease Assistance program have access to employment services through the HACSB's Family Empowerment Services Department. The Department assigns families to a coach that assists the family with creating and implementing an Individual Training and Services Plan focused on educational and career goals. HACSB also administers a successful Homeownership Assistance Program. Through this program, eligible families participating in the Housing Choice Voucher (HCV) program can utilize their HCV financial assistance to purchase a home.

If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance.

HACSB is a high performing PHA. This is not applicable.

AP-65 Homeless and Other Special Needs Activities

The City of Fontana has identified the prevention and elimination of homelessness and provisions of public services to residents as high priority needs in the *2025-2029 Consolidated Plan*. The City will allocate 100 percent of its ESG resources to providing homeless assistance in the City and approximately 86 percent of its CDBG public service cap (15 percent of the total allocation) to the public safety program uniquely tailored to engage and protect Fontana's homeless residents and the remainder of the allocation will be used to provide recreational service to non-homeless elderly residents.

Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs.

The City of Fontana's goal of providing public services and the associated public safety project, the FPD MET reaches out to unhoused homeless residents, assesses their needs, and helps to connect them with appropriate resources. The MET provides balanced community-oriented policing in parts of the City with a high concentration of unhoused people. These residents are highly transient, have had varied experiences with authority figures, and are uniquely vulnerable to crime. During MET patrols, officers engage people experiencing unhoused homelessness, and when appropriate, connect them with the services needed. This is sensitive and intensive work, which requires a high level of effort. It can take many engagements before an unhoused individual is ready to receive services. This specialized team provides an invaluable service to the community it serves by providing consistent personal contact with the residents and unsheltered individuals. They create relationships with the community that would not have been achieved with a standard patrol unit that rotates personnel on a regular basis.

Addressing the emergency shelter and transitional housing needs of homeless persons

For program year 2025-2026, the City plans to support the operations of the Bridge of Hope family emergency shelter with state Family Homelessness Challenge funds and of the Path shelter with state PLHA funds.

Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again.

During program year 2025-2026 the City will direct federal ESG and state resource such as the Family Homelessness Challenge grant funds to provide rapid rehousing, rental assistance, emergency shelter, and permanent supportive housing services to households experiencing homelessness, including supporting households living in emergency shelter, to transition as quickly as possible to permanent housing. It is anticipated that ESG funds will provide approximately four households with rapid rehousing assistance.

Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs

The County in collaboration with the CoC maintains Discharge Coordination Policies for the systems of care it administers, such as discharge from the Corrections, Foster Care, and the Mental Health systems. The City supports the CoC's advocacy for development of consistent policy implementation by hospital administrators for best practices such as recuperative care, and co-location of health services near affordable housing developments.

During the program year 2025-2026 the City will direct ESG and state funds to provide homelessness prevention, rapid rehousing, emergency shelter, and case management services to help households at risk of falling into homelessness avoid that experience if possible. It is anticipated that ESG funds will provide approximately 100 people with homelessness prevention assistance.

AP-75 Barriers to Affordable Housing

A barrier to affordable housing is a public policy or nongovernmental condition that constrains the development or rehabilitation of affordable housing, such as land use controls, property taxes, state prevailing wage requirements, environmental protection, cost of land and availability of monetary resources. The City of Fontana works to remove barriers to affordable housing and the financial impact of efforts to protect public health and safety by taking actions to reduce costs or provide offsetting financial incentives to assist in the production of safe, high quality, affordable housing. Barriers to affordable housing are distinguished from impediments to fair housing choice in that barriers are lawful and impediments to fair housing choice are usually unlawful.

According to the City's *2021-2029 Housing Element*, one of the major barriers to housing choice in Fontana and the region more broadly is the lack of sufficient housing affordable to a variety of income levels. While much of this is due to market and environmental constraints that are beyond the control of the City to address, the City's land use and zoning regulations, especially parking requirements, development fees, local processing and permit procedures, and infrastructure costs, may have contributed to new housing development not keeping pace with population growth.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment.

The City's *Housing Element* includes a Housing Plan with four broad goals and various supporting policies, programs, and actions for addressing the City's housing needs, including the following:

Goal #1: Adequate housing to meet the needs of all residents in Fontana

18. Provision of Adequate Sites to Meet Regional Housing Needs Assessment Goals
19. Rezone Parcels to R-4/R-4 Overlay to Accommodate RHNA Growth Need for Low and Very Low-Income Households
20. Rezone Parcels to R5 to Accommodate RHNA Growth Need for Low and Very Low-Income Households
21. Proactively Coordinate with Property Owners to Encourage the Development of Affordable Housing in Fontana
22. Encourage the Development of Housing Units for Low-, Very Low-, and Extremely Low-Income Levels
23. Annual Monitoring of Housing Production
24. Compliance with State Density Bonus Law
25. Manufactured and Modular Housing
26. Infill Housing Program
27. Accessory Dwelling Unit Construction

28. Accessory Dwelling Units Monitoring Program
29. Conversion of Existing, Non-Permitted Accessory Dwelling Units
30. Farmworker and Employee Housing Act Compliance
31. Amend Fontana Zoning Code for a Variety of Housing Types
32. Minimum Lot Sizes in Multifamily Zones
33. Replacement Housing for Non-vacant Sites
34. Lot Consolidation Program for Small Sites

Goal #2: A high standard of quality in existing affordable housing stock

7. Monitoring of "At-Risk" Housing Units
8. Code Enforcement for Residential Properties
9. Housing Unit Revitalization Program
10. Resources Conservation Practices
11. Promotion of Green/Sustainable Development Practices
12. Water and Sewer Service Purveyors

Goal #3: Housing development that is not affected by governmental constraints

5. Expedited Permit Processing and other Procedures
6. Review Parking Requirements
7. Monitoring Development Fees
8. SB 35 Streamlining Procedures

Goal #4: Affirmatively further fair housing in Fontana

13. Affordable Housing Online Resource Website
14. Participation and Support of Regional Fair Housing Efforts
15. Family Self-Sufficiency Program
16. Mental Health Services Program
17. Supportive/Transitional Housing Facilitation
18. Domestic Violence Services Program
19. Community Assistance Program
20. Anti-Poverty Program
21. Housing Referral and Information Services
22. Community and Stakeholder Engagement
23. Housing for Persons with Developmental Disabilities
24. Affirmatively Further Fair Housing

The City's *2025 Analysis of Impediments to Fair Housing* identified housing issues, conditions which restrict fair housing choice or access to opportunity, and goals for addressing them. The following specific actions to address each fair housing issue identified in the assessment:

- Lending Discrimination: Hispanic and African American individuals or families experienced lower loan approval rates than other groups when purchasing or

refinancing a home in the City. African Americans continue to have the lowest approval rates for home purchase loans and Hispanics have the lowest approval rate for refinance loans. To address this issue, the City will monitor HMDA data and affirmatively market the availability of first-time homebuyer assistance programs that provide down payment assistance to low- and moderate-income homebuyers. The City will also provide written outreach to lending institutions regarding the City's commitment to eliminate racial discrimination in lending patterns; encourage attendance of all staff at Inland Fair Housing and Mediation Board (IFHMB) workshops; and provide flyers regarding FTHB education, including IFHMB's FAQ on the City's website.

- **Discrimination Based on Disability:** Complaints received by the City's contracted fair housing service provider based on disability continue to be the leading basis of all discrimination complaints. This demonstrates a lack of understanding and sensitivity of the fair housing rights of the disabled by the housing industry. To address this issue, the City will continue working with their contracted fair housing service provider to provide recommendations of properties believed to be discriminatory in their practices as information is received; facilitate accessibility reviews of multi-family properties; and distribute design and construction information to all who inquire about building permits.
- **Fair Housing Education:** There is an increasing number of fair housing complaint intakes performed by the City's contracted fair housing service provider. Furthermore, their interactions with housing providers and housing seekers during workshops have demonstrated a lack of understanding of both Federal and State fair housing laws. To address this issue, the City will continue working with IFHMB to provide opportunities for conducting Fair Housing workshops in the City and providing IFHMB outreach materials as a part the City's newsletter and utility bill mailings. The City will also encourage collaboration with local realtors; provide recurring education to members of the Inland Valleys Association of Realtors; offer no-cost Fair Housing workshops; and develop a fair housing FAQ for the City's website.
- **Transit Access:** Omnitrans does not have a bus route connecting the public transit system to the Falcon Ridge and Summit shopping centers located on either side of Summit Avenue off the 1-15 freeway in North Fontana. This is a major employment center that includes shops, restaurants, and stores such as Target, Kohls, Staples, and Stater Brothers. Additionally, bus route 82 is the southwestern-most as well as the northernmost bus route in the City, running east-west in the south for miles along Jurupa Avenue, and north along Sierra Avenue from Jurupa up to the 210

freeway. An extension of this line or another route along Slover Avenue just south of the 10 freeway would connect residents to two of the top 10 employers in Fontana that are not located within one-half mile of a bus stop. To increase transit access, the City will continue to build and expand public transportation opportunities servicing the Falcon Ridge / Summit Avenue Job Center and the Southwest Industrial / Jurupa Hills Job Centers.

- **Reasonable Accommodation:** A significant portion of the housing in Fontana was built before the advent of modern accessibility standards, thus modifications to homes may be needed to allow access by a disabled person. To address this issue and comply with Federal and State housing laws (SB 520), the City will analyze existing land use controls, building codes, and permit and processing procedures to determine constraints they impose on the development, maintenance, and improvement of housing for persons with disabilities. Based on its findings, the City will develop a policy for reasonable accommodation to provide relief from Code regulations and permitting procedures that have a discriminatory effect on housing for individuals with disabilities. The procedures shall include the process for requesting accommodation, a timeline for processing and appeals, criteria for determining whether a requested accommodation is reasonable, and ministerial approval for minor requests.
- **Public Investment in Specific Neighborhoods:** Neighborhoods in the center of the city lack access to economic and educational opportunities. To address this issue, the City of Fontana has identified a total of 8 sites to accommodate future housing in a R/ECAP area. The 8 sites estimate a total of 216 potential units, 151 of which are estimated to be affordable to lower income households. The City recognizes the unique needs of R/ECAP areas will schedule at least two (2) targeted outreach meetings in the designated R/ECAP area to better understand community needs as they are related to housing. The City will work with interested developers to support affordable housing options in the R/ECAP area with a focus on quality design and access to economic and educational resources.
- **Availability of Affordable Housing:** The need for affordable housing outpaces the supply of housing in Fontana. To address this issue, the City will seek to increase affordable housing options for lower income residents across the City. The City's sites strategy will take an aggressive approach to promote affordable housing in higher resource areas and will meeting with local and regional stakeholders to increase the feasibility and development of affordable housing. The City will streamline affordable housing projects, and provide additional incentives when

funding is available. Additionally, the City will work with developer to potentially utilize the existing Inclusionary Ordinance.

- Access to Proficient Education: Disparities in access to high quality schools disproportionately impacts protected class groups in the city, in large part due to limited affordable housing options near high-performing schools. To address this issue, the City has identified parcels adjacent to local schools for housing opportunities. Additionally, with the Fontana Unified School Districts support, parcels owned by FUSD have been identified near schools for rezone to increase density. The City will support housing opportunities adjacent to educational institutions and schools in order to decrease challenges related to access and commuting. The City will partner with FUSD annually to gather insight via community outreach about key housing and economic needs of FUSD families and students.

AP-85 Other Actions

Priority needs established in the five-year *2025-2029 Consolidated Plan* form the basis for establishing objectives and outcomes in the Action Plan. Those needs are as follows:

- Preserve the supply of affordable housing
- Expand the supply of affordable housing
- Ensure equal access to housing opportunities
- Prevent and eliminate homelessness
- Provide public services to low-income residents

Actions planned to address obstacles to meeting underserved needs

The primary obstacles to meeting the needs of underserved households with low- and moderate-incomes are limited and reduced funding from federal, state, and other local sources, and the high cost of housing. To address these obstacles, at least in part, the City will continue to work to leverage public and private resources through grant and partnership opportunities.

The City will continue to promote fair housing practices for sale and rental housing and to facilitate community awareness of fair housing. The City of Fontana is in the process of selecting the organization that will provide fair housing services to City residents in program year 2025. The services will include fair housing and tenant/ landlord services. The City fully expects to have a service provider selected and in place begin delivering services by July 1, 2025.

Actions planned to foster and maintain affordable housing

The City of Fontana works to remove barriers to affordable housing and the financial impact of efforts to protect public health and safety by taking actions to reduce costs or provide offsetting financial incentives to assist in the production of safe, high quality, affordable housing. In program year 2025-2026, the City plans to allocate over \$4 million in HOME and \$1.2 million in CDBG funds to the for affordable rental housing development activity.

Actions planned to reduce lead-based paint hazards

To reduce LBP hazards, the City takes the following actions:

- Include lead testing and abatement procedures, as required, in all residential rehabilitation activities for units built prior to January 1, 1978.
- Educate residents on the health hazards of LBP through brochures and encourage screening children for elevated blood-lead levels.
- Disseminate brochures about lead hazards through the City's residential rehabilitation activities.

During the period of the last Consolidated Planning cycle the City was awarded a grant from HUD's Office of Lead Hazard Control and Healthy Homes. The City is using these resources to administer its Lead Hazard Reduction Program. This program is intended to prevent childhood lead poisoning and unsafe lead conditions by eliminating lead hazards (e.g., cracking paint, contaminated soil) in rental and owner-occupied properties where households with low-income reside.

Actions planned to reduce the number of poverty-level families

The implementation of CDBG, HOME, and ESG activities to meet the goals established in the *2025-2029 Consolidated Plan*-Strategic Plan and this Action Plan will help reduce the number of poverty-level families. The projects are as follows:

- Affordable Rental Housing Development,
- Fair housing services,
- Homeless Assistance (ESG25 Fontana),
- Senior scholarships, and
- Public safety.

Actions planned to develop institutional structure

The City of Fontana works with a wide range of public and community social service agencies to meet and address the various needs of the community. This program year City staff will continue to collaborate internally, as well as with local non-profit advocacy groups and other County, State and Federal organizations. Specifically, the City participates in various regional efforts that involve the collaboration of local jurisdictions, private organizations, and other public and quasi-public agencies to address homelessness, fair housing, and affordable housing issues.

Actions planned to enhance coordination between public and private housing and social service agencies

To enhance coordination between public and private housing and social service agencies, the City will welcome and continue to encourage partnering with non-profit providers, community and faith-based organizations, public institutions, community residents, and City Departments to ensure the delivery of quality housing and supportive services to low-income persons.

City staff attend several local and regional meetings, which include service providers, neighboring agencies, and elected officials to keep abreast of issues affecting the quality of life for low-income residents. The City maintains a web presence and is pro-active in providing technical assistance throughout the year to assist interested citizens and agencies in understanding and applying for CDBG, HOME, and ESG funds.

Discussion:

In the implementation of the 2025 Annual Action Plan the City will invest CDBG, HOME, and ESG resources to address obstacles to meeting underserved needs, foster and maintain affordable housing, reduce LBP hazards, reduce the number of families living at or below the poverty level, develop institutional structure, and enhance coordination between public and private housing and social service agencies.

AP-90 Program Specific Requirements

In the implementation of programs and activities under the 2025 Annual Action Plan, the City of Fontana will follow all HUD regulations concerning the use of program income, forms of investment, overall low- and moderate-income benefit for the CDBG program and recapture requirements for the HOME program.

Eligible applicants for CDBG and ESG assistance include subrecipients who may carry out programs to benefit program beneficiaries on behalf of the City. Applications from interested subrecipients may be solicited by the City directly or via published Notices of Funds Availability at the discretion of the City. Eligible beneficiaries for CDBG or HOME funded housing rehabilitation or first-time homebuyer programs include households earning less than 80 percent of AMI. Developers for HOME-assisted rental housing development projects shall be selected via an application and underwriting process determined by the City based on the regulatory requirements applicable to the prospective project based on the nature and scope of the proposed development. Opportunities for leveraging and matching funds shall be emphasized in the selection of affordable housing Developers. Selection of affordable rental housing development projects shall be based on project feasibility; funding availability; and City needs as determined by staff and the City Council.

Prospective subrecipients, beneficiaries and developers may obtain more information on the Fontana Housing Department / Housing Authority website at www.fontanaca.gov.

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(l)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

Table 58 – CDBG Requirements

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed	0
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan.	0
3. The amount of surplus funds from urban renewal settlements	0
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan	0
5. The amount of income from float-funded activities	0
Total Program Income:	0

Years 2023,2024,2025

Table 59 – Other CDBG Requirements

Other CDBG Requirements

1. The amount of urgent need activities	0
2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low- and moderate-income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low- and moderate-income. Specify the years covered that include this Annual Action Plan.	100.00%

HOME Investment Partnerships Program (HOME) Reference 24 CFR 91.220(l)(2)

1. A description of other forms of investment being used beyond those identified in Section 92.205 is as follows:

The City will not use any other forms of investment beyond those identified in Section 92.205.

2. A description of the guidelines that will be used for resale or recapture of HOME funds when used for homebuyer activities as required in 92.254, is as follows:

During the 2025 program year, the City of Fontana will not implement any HOME-assisted homebuyer activities. In the future, should the City choose to implement a homebuyer assistance activity, the City will incorporate either a resale or recapture requirement in the Annual Action Plan and written agreements as required by 24 CFR 92.254.

3. A description of the guidelines for resale or recapture that ensures the affordability of units acquired with HOME funds? See 24 CFR 92.254(a)(4) are as follows:

See above.

4. Plans for using HOME funds to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds along with a description of the refinancing guidelines required that will be used under 24 CFR 92.206(b), are as follows:

The City does not intend to use HOME funds under the 2025 Annual Action Plan to refinance existing debt secured by multifamily housing that is rehabilitated with HOME funds.

If applicable to a planned HOME TBRA activity, a description of the preference for persons with special needs or disabilities. (See 24 CFR 92.209(c)(2)(i) and CFR 91.220(l)(2)(vii)).

NA

If applicable to a planned HOME TBRA activity, a description of how the preference for a specific category of individuals with disabilities (e.g. persons with HIV/AIDS or chronic mental illness) will narrow the gap in benefits and the preference is needed to narrow the gap in benefits and services received by such persons. (See 24 CFR 92.209(c)(2)(ii) and 91.220(l)(2)(vii)).

NA

If applicable, a description of any preference or limitation for rental housing projects. (See 24 CFR 92.253(d)(3) and CFR 91.220(l)(2)(vii)). Note: Preferences cannot be administered in a manner that limits the opportunities of persons on any basis prohibited by the laws listed under 24 CFR 5.105(a).

NA

Emergency Solutions Grant (ESG) Reference 91.220(l)(4)

1. Include written standards for providing ESG assistance (may include as attachment).

The written standards for providing ESG assistance are included in Appendix C.

2. If the Continuum of Care has established centralized or coordinated assessment system that meets HUD requirements, describe that centralized or coordinated assessment system.

The County of San Bernardino coordinates homeless services with both entitlement and non-entitlement cities through its Department of Behavioral Health Office of Homeless Services (OHS). This office is the designated administrative authority, or Lead Agency, over the County's Continuum of Care (CoC), Coordinated Entry System (CES) and Homeless Management Information System (HMIS). In accordance with federal regulations the ESG recipients are required to participate in the CES and HMIS. The HMIS maintains exceptions for victim service providers as set forth under 24 CFR 576.400(d).

3. Identify the process for making sub-awards and describe how the ESG allocation available to private nonprofit organizations (including community and faith-based organizations) will be allocated

The City will be providing direct services in program year 2025.

4. If the jurisdiction is unable to meet the homeless participation requirement in 24 CFR 576.405(a), the jurisdiction must specify its plan for reaching out to and consulting with homeless or formerly homeless individuals in considering policies and funding decisions regarding facilities and services funded under ESG.

The City can meet this requirement.

5. Describe performance standards for evaluating ESG

The City will work to meet the CoC's performance standards and will track outcomes in HMIS. The City will document both the performance measure (unduplicated people) and the outcome in accordance with federal regulations.

Discussion:

All City of Fontana projects, programs, and services in use of CDBG and HOME funds will be managed in compliance with all applicable federal rules and regulations.



FONTANA CALIFORNIA

2025-2029 CONSOLIDATED PLAN
JULY 1, 2025 THROUGH JUNE 30, 2030

2025-2026 ANNUAL ACTION PLAN
JULY 1, 2025 THROUGH JUNE 30, 2026

APPENDIX B Citizen Participation and Consultation

- Proofs of Publication
- Public Meeting Materials
- Resident Survey & Results

Proof of Publication

(201.15.5 C.C.P.)q

STATE OF CALIFORNIA.

SS

County of San Bernardino.

I declare under penalty of perjury that:

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to nor interested in the above entitled matter. I am the principal clerk of the printer of the El Chicano Community Newspaper, a newspaper printed and published weekly in the City of San Bernardino, County of San Bernardino and which newspaper has petitioned the Superior Court of said county for determination as a newspaper of general circulation being case no. 154019; dated May, 1, 1972, that the Notice of Application for Determination as a Newspaper of General Circulation and Petition for Determination as a Newspaper of General Circulation, of which the annexed is a printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

September 5, 2024

I certify under penalty of perjury that the foregoing is true and correct.

Dated: September 5, 2024

Signature

Denise Berver

El Chicano Newspaper

P.O. Box 110

Colton, CA 92324

Phone (909) 381-9898 • email: iecnlegals@gmail.com



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AVISO PÚBLICO CIUDAD DE FONTANA REUNIÓN COMUNITARIA/AUDIENCIA PÚBLICA SOBRE EL PLAN CONSOLIDADO & ENCUESTA SOBRE PRIORIDADES DE SUBVENCIÓN

Descripción del programa: Cada año la Ciudad de Fontana (Ciudad) recibe fondos del Departamento de Vivienda y Desarrollo Urbano de los Estados Unidos (HUD, por sus siglas en Inglés) para programas de vivienda y desarrollo comunitario. Para recibir estos fondos, la Ciudad debe completar un Plan Consolidado, un Plan de Acción Anual y un Reporte Consolidado de la Evaluación de Desempeño Anual (CAPER, por sus siglas en Inglés). El Plan Consolidado sirve como marco para la asignación de recursos federales mediante el establecimiento de las metas, objetivos y resultados deseados para los próximos cinco años. El Plan de Acción Anual define las actividades específicas que deben completarse a lo largo de un año para alcanzar las metas y objetivos identificados en el Plan Consolidado. El CAPER indica los logros anuales de la Ciudad y el progreso hacia el cumplimiento de las metas establecidas en el Plan Consolidado. El propósito de las reuniones comunitarias/audiencias públicas sobre los programas de Subsidio en Bloque para el Desarrollo Comunitario (CDBG, por sus siglas en Inglés), Asociaciones para la Inversión en Vivienda (HOME, por sus siglas en Inglés), y Subsidios para Soluciones de Emergencia (ESG, por sus siglas en Inglés) es escuchar las opiniones de los residentes y responder a las propuestas o preguntas relativas a las necesidades de vivienda y desarrollo comunitario, las necesidades prioritarias de desarrollo comunitario no relacionadas con la vivienda, las estrategias y acciones propuestas para promover afirmativamente la vivienda justa, el desarrollo de las actividades propuestas y una revisión del rendimiento del programa.

Primera audiencia pública del Plan consolidado:

POR MEDIO DE LA PRESENTE SE NOTIFICA que la primera audiencia pública del Plan Consolidado para proporcionar información sobre las necesidades a corto y largo plazo de la comunidad y cómo se pueden utilizar los fondos federales se llevará a cabo de la siguiente manera:

FECHA:

24 de septiembre de 2024

TIEMPO:

2 pm

UBICACIÓN:

8353 Sierra Ave., Fontana, CA 92335

Las reuniones del Ayuntamiento se retransmiten por televisión en KFON Canal 3 o en www.fontanaca.gov/162/KNO-F-TV.

Primera Reunión comunitaria del Plan Consolidado:

POR MEDIO DE LA PRESENTE SE NOTIFICA que la primera reunión comunitaria del Plan Consolidado para proporcionar información sobre las necesidades a corto y largo plazo de la comunidad y cómo se pueden utilizar los fondos federales tendrá lugar de la siguiente manera:

FECHA:

19 de septiembre de 2024

TIEMPO:

3pm

UBICACIÓN:

Ayuntamiento, sala de conferencias ejecutiva
8353 Sierra Ave., Fontana, CA 92335

Segunda Reunión comunitaria del Plan Consolidado:

POR MEDIO DE LA PRESENTE SE NOTIFICA que la segunda reunión comunitaria del Plan Consolidado para proporcionar información sobre las necesidades a corto y largo plazo de la comunidad y cómo se pueden utilizar los fondos federales se llevará a cabo de la siguiente manera:

FECHA:

2 de octubre de 2024

TIEMPO:

9am

UBICACIÓN:

Ayuntamiento, sala de conferencias ejecutiva
8353 Sierra Ave., Fontana, CA 92335

Encuesta sobre prioridades

de subvención:

Por favor complete la Encuesta de Prioridades de Subvenciones para compartir lo que usted ve como prioridades para los servicios sociales, programas de vivienda y mejoras públicas en Fontana. La encuesta estará abierta hasta el 30 de septiembre de 2024.

ONLINE:

<https://www.fontanaca.gov/622/Federal-Grant-Programs>

COPIA EN PAPEL:

Prevía solicitud

Ayuntamiento de Fontana, Departamento de Vivienda
8353 Sierra Ave., Fontana, CA 92335.

ADA:

La intención de la Ciudad es cumplir con la Ley de Estadounidenses con Discapacidades (ADA) en todos los aspectos. Si, como asistente o participante en esta reunión, necesita asistencia especial más allá de la que normalmente se proporciona, la Ciudad intentará acomodarlo de todas las maneras razonables. Póngase en contacto con Mary Aguilar, Especialista de Proyectos, llamando al (909) 350-6606 al menos 48 horas antes de la reunión para informarnos de sus necesidades y determinar si es posible realizar alguna adaptación.

Contacto en la ciudad:

Preguntas y comentarios por escrito sobre el Plan Consolidado y la Encuesta de Prioridades de Subvenciones pueden ser enviados a Mary Aguilar, Especialista del Proyecto, en el Ayuntamiento de Fontana, Departamento de Vivienda 8353 Sierra Ave., Fontana, CA 92335.

Secretario Municipal:

Germán Mc Clellan Key
Publicado:

5 de septiembre de 2024

CNS-3847774#

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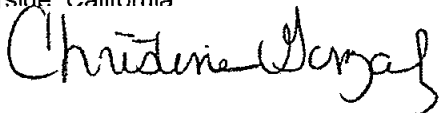
I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

09/05/2024

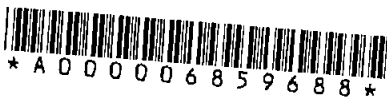
I certify (or declare) under penalty of perjury that the foregoing is true and correct:

Date: September 05, 2024.

At: Riverside California



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PUBLIC NOTICE CITY OF FONTANA CONSOLIDATED PLAN COMMUNITY MEETING/PUBLIC HEARING & GRANT PRIORITIES SURVEY

Program Description:
Each year the City of Fontana ("City") receives funds from the U.S. Department of Housing and Urban Development (HUD) for housing and community development programs. To receive these funds, the City must complete a Consolidated Plan, Annual Action Plan, and a Consolidated Annual Performance Evaluation Report (CAPER). The Consolidated Plan serves as a framework for allocating federal resources by establishing the goals, objectives, and desired outcomes over the next five years. The Annual Action Plan defines specific activities to be completed over a year to meet the goals and objectives identified in the five-year Consolidated Plan. The CAPER indicates the City's annual accomplishments and progress toward meeting the five-year goals established in the Consolidated Plan. The purpose of Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG) programs community meetings/public hearings is to hear the views of residents and respond to proposals or questions concerning housing and community development needs, priority non-housing community development needs, proposed strategies and actions for affirmatively furthering fair housing, the development of proposed activities, and a review of program performance.

First Consolidated Plan Public Hearing:

NOTICE IS HEREBY GIVEN the first Consolidated Plan public hearing to provide input on short- and long-term needs of the community and how federal funds may be used will take place as follows:

DATE:

September 24, 2024

TIME:

2 pm

LOCATION:

8353 Sierra Ave., Fontana, CA 92335
City Council meetings are televised on KFON Channel 3 or streamed on www.fontanaca.gov/162/KNOF-TV.

First

Consolidated Plan Community Meeting:

NOTICE IS HEREBY GIVEN the first Consolidated Plan community meeting to provide input on short- and long-term needs of the community and how federal funds may be used will take place as follows:

DATE:

September 19, 2024

TIME:

3PM

LOCATION:

City Hall, Executive Conference Room

8353 Sierra Ave., Fontana, CA 92335

Second

Consolidated Plan Community Meeting:

NOTICE IS HEREBY GIVEN the

second Consolidated Plan community meeting to provide input on short- and long-term needs of the community and how federal funds may be used will take place as follows:

DATE:

October 2, 2024

TIME:

9AM

LOCATION:

City Hall, Executive Conference Room

8353 Sierra Ave., Fontana, CA 92335

Grant Priorities Survey:

Please complete the Grant Priorities Survey to share what you view as priorities for social services, housing programs, and public improvements in Fontana. The survey will be open until September 30, 2024.

ONLINE:

<https://www.fontanaca.gov/622/Federal-Grant-Programs>

HARD COPY:

Upon Request

Fontana City Hall, Housing Department 8353 Sierra Ave., Fontana, CA 92335.

ADA:

It is the intention of the City to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or participant at this meeting, you need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact Mary Aguilar, Project Specialist, at (909) 350-6606 at least 48 hours prior to the meeting to inform us of your needs and to determine if accommodation is feasible.

LAP:

Si necesita más información sobre este aviso o la traducción de documentos en español, comuníquese con Mary Aguilar, Project Specialist, at (909) 350-6606.

City Contact:

Questions and written comments regarding the Consolidated Plan and Grant Priorities Survey may be addressed to Mary Aguilar, Project Specialist, at Fontana City Hall, Housing Department 8353 Sierra Ave., Fontana, CA 92335.

City Clerk:

Germain Mc Clellan Key

Published:

September 5, 2024

9/5/24

PE-3847772#

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Mary Aguilar
CITY OF FONTANA/HOUSING
8353 SIERRA AVENUE
FONTANA, CA - 92335

SB #: 3847771

**PUBLIC NOTICE
CITY OF FONTANA
CONSOLIDATED PLAN
COMMUNITY MEETING/PUBLIC
HEARING &
GRANT PRIORITIES SURVEY**

Program Description:
Each year the City of Fontana ("City") receives funds from the U.S. Department of Housing and Urban Development (HUD) for housing and community development programs. To receive these funds, the City must complete a Consolidated Plan, Annual Action Plan, and a Consolidated Annual Performance Evaluation Report (CAPER). The Consolidated Plan serves as a framework for allocating federal resources by establishing the goals, objectives, and desired outcomes over the next five years. The Annual Action Plan defines specific activities to be completed over a year to meet the goals and objectives identified in the five-year Consolidated Plan. The CAPER indicates the City's annual accomplishments and progress toward meeting the five-year goals established in the Consolidated Plan. The purpose of Community Development Block Grant (CDBG), HOME Investment Partnership (HOME), and Emergency Solutions Grant (ESG) programs community meetings/public hearings is to hear the views of residents and respond to proposals or questions concerning housing and community development needs, priority non-housing community development needs, proposed strategies and actions for affirmatively furthering fair housing, the development of proposed activities, and a review of program performance.

First Consolidated Plan Public Hearing:

NOTICE IS HEREBY GIVEN the first Consolidated Plan public hearing to provide input on short- and long-term needs of the community and how federal funds may be used will take place as follows:

DATE:
September 24, 2024

TIME:

2 pm

LOCATION:

8353 Sierra Ave., Fontana, CA 92335
City Council meetings are televised on KFON Channel 3 or streamed on www.fontanaca.gov/162/KNOF-TV.

First Consolidated Plan Community Meeting:

NOTICE IS HEREBY GIVEN the first Consolidated Plan community meeting to provide input on short- and long-term needs of the

PROOF OF PUBLICATION

(2015.5 C.C.P.)

State of California)
County of SAN BERNARDINO) ss

Notice Type: HRG - NOTICE OF HEARING

Ad Description:

Public Notice Comm Meeting_Hearing_Survey_Final

I am a citizen of the United States and a resident of the State of California; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer and publisher of the SAN BERNARDINO COUNTY SUN, a newspaper published in the English language in the city of SAN BERNARDINO, county of SAN BERNARDINO, and adjudged a newspaper of general circulation as defined by the laws of the State of California by the Superior Court of the County of SAN BERNARDINO, State of California, under date 06/27/1952, Case No. 73081. That the notice, of which the annexed is a printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

09/05/2024

Executed on: 09/05/2024
At Riverside, California

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Signature



Email

* A 0 0 0 0 0 6 8 6 0 8 6 6 *

community and how federal funds may be used will take place as follows:

DATE:

September 19, 2024

TIME:

3PM

LOCATION:

City Hall, Executive Conference Room
8353 Sierra Ave., Fontana, CA 92335

Second

Consolidated Plan Community

Meeting:

NOTICE IS HEREBY GIVEN the second Consolidated Plan community meeting to provide input on short- and long-term needs of the community and how federal funds may be used will take place as follows:

DATE:

October 2, 2024

TIME:

9AM

LOCATION:

City Hall, Executive Conference Room
8353 Sierra Ave., Fontana, CA 92335

Grant Priorities Survey:

Please complete the Grant Priorities Survey to share what you view as priorities for social services, housing programs, and public improvements in Fontana. The survey will be open until September 30, 2024.

ONLINE:

<https://www.fontanaca.gov/622/Federal-Grant-Programs>

HARD COPY:

Upon Request

Fontana City Hall, Housing Department 8353 Sierra Ave., Fontana, CA 92335.

ADA:

It is the intention of the City to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or participant at this meeting, you need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact Mary Aguilar, Project Specialist, at (909) 350-6606 at least 48 hours prior to the meeting to inform us of your needs and to determine if accommodation is feasible.

LAP:

Si necesita más información sobre este aviso o la traducción de documentos en español, comuníquese con Mary Aguilar, Project Specialist, at (909) 350-6606.

City Contact:

Questions and written comments regarding the Consolidated Plan and Grant Priorities Survey may be addressed to Mary Aguilar, Project

Specialist, at Fontana City Hall, Housing Department 8353 Sierra Ave., Fontana, CA 92335.

City Clerk:

Germain Mc Clellan Key

Published:

September 5, 2024

9/5/24

SBS-3847771#

Proof of Publication

(201.15.5 C.C.P.)q

STATE OF CALIFORNIA.

SS

County of San Bernardino,

I declare under penalty of perjury that:

I am a citizen of the United States and a resident of the County aforesaid: I am over the age of eighteen years, and not a party to nor interested in the above entitled matter. I am the principal clerk of the printer of the El Chicano Community Newspaper, a newspaper printed and published weekly in the City of San Bernardino, County of San Bernardino and which newspaper has petitioned the Superior Court of said county for determination as a newspaper of general circulation being case no. 154019; dated May, 1, 1972, that the Notice of Application for Determination as a Newspaper of General Circulation and Petition for Determination as a Newspaper of General Circulation, of which the annexed is a printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

February 20, 2025

I certify under penalty of perjury that the foregoing is true and correct.

Dated: February 20, 2025

Signature



Denise Berber

El Chicano Newspaper

P.O. Box 110

Colton, CA 92324

Phone (9

l.com



* A 0 0 0 0 7 0 3 6 0 1 4 *

CIUDAD DE FONTANA AVISO DE AUDIENCIA PUBLICA Y REVISIÓN BORRADOR DEL PLAN CONSOLIDADO, DEL PLAN DE ACCIÓN, Y DEL ANÁLISIS DE IMPEDI- MENTOS PARA LA ELECCIÓN DE VIVIENDA JUSTA

Descripción del programa: Por medio de la presente se notifica que el Ayuntamiento de la Ciudad de Fontana ha preparado el Borrador del Plan Consolidado 2025-2029, el Borrador del Plan de Acción Anual de 2025-2026, y el Borrador del Análisis de Impedimentos para la Elección de Vivienda Justa de 2025-2029 (AI) conforme a los requisitos del Departamento de Vivienda y Desarrollo Urbano de los Estados Unidos (HUD, por sus siglas en inglés) para preparar y presentar un Plan Consolidado cada cinco años, un Plan de Acción cada año, y un AI cada cinco años como condición para recibir asignaciones anuales de los fondos de los programas de Subsidios Globales para el Desarrollo Comunitario (CDBG, por sus siglas en inglés), Asociaciones para Inversiones en Vivienda (HOME, por sus siglas en inglés), y Subsidio para Soluciones de Emergencia (ESG, por sus siglas en inglés).

El Plan Consolidado establece las necesidades prioritarias en materia de vivienda, comunidad y desarrollo económico de la ciudad y proporciona una estrategia para los tipos de proyectos que recibirán fondos de CDBG, HOME, y ESG durante el período de cinco años para abordar metas específicas relacionadas al suministro de vivienda decente, medio ambiente, oportunidades económicas para los residentes de ingresos bajos y moderados. Las metas propuestas incluidas en el Borrador del Plan Consolidado 2025-2029 incluyen: 1) Vivienda Asequible; 2) Servicios para Vivienda Justa; 3) Servicios para Personas Sin Hogar; 4) Servicios Públicos para Familias de Ingresos Bajos; 5) Administración. El Plan de Acción establece los programas y actividades a realizar utilizando fondos de CDBG, HOME, y ESG durante

el año del programa iniciando en Julio 1, 2025 y finalizando el Junio 30, 2026. El Ayuntamiento anticipa recibir \$2,099,562 de fondos de CDBG, \$714,986 de fondos de HOME, y \$170,675 de fondos de ESG para el año del programa 2025-2026 y anticipa recibir asignaciones similares para los cuatro años de programas subsiguientes cubiertos por el Borrador del Plan Consolidado 2025-2029. Además, el Plan de Acción incluye \$4,027,882 en fondos de HOME del año anterior. Las asignaciones de fondos anuales de CDBG, HOME, y ESG están sujetas a cambios en funciones federales y cualquier cambio en las fórmulas de asignación de subsidios de HUD o los datos utilizados en las fórmulas. El AI analiza la medida en que las personas con niveles de ingresos similares en el mismo mercado inmobiliario tienen a su disposición rangos de elección similares, independientemente de su raza, color, ascendencia, origen nacional, edad, religión, sexo, discapacidad, estado civil, situación familiar, fuente de ingresos, orientación sexual o cualquier otra condición de clase protegida o factor arbitrario.

Período de revisión pública de 30 días: Las copias de los borradores de dichos documentos estarán disponibles para que el público los revise y comente durante 30 días. Las personas que deseen expresar sus puntos de vista con respecto a los documentos mencionados anteriormente y las actividades propuestas pueden proporcionar comentarios por escrito al Ayuntamiento antes de las 4:00 p.m. del 25 de marzo de 2025 enviando esos comentarios por correo electrónico a Mary Aguilar, analista de subvenciones, a maguilar@fontanaca.gov.

FECHA: Del 24 de febrero, 2025 al 25 de marzo, 2025

EN LINEA: <https://www.fontanaca.gov/622/Federal-Grant-Programs>

COPIA IMPRESA: Ayuntamiento: Oficina del Secretario Municipal 8353 Sierra Avenue Fontana, CA 92335 Ayuntamiento: Departamento de Vivienda 8353 Sierra Avenue Fontana, CA 92335

Biblioteca y Centro Tecnológico Lewis de Fontana 8437 Sierra Avenue Fontana, CA 92335

Audiencia pública: Está invitado a asistir a una audiencia pública que celebrará el Ayuntamiento para que el público pueda expresar sus opiniones sobre las necesidades de vivienda y desarrollo comunitario, las necesidades prioritarias de desarrollo comunitario no relacionadas con la vivienda, las estrategias para promover de manera afirmativa la vivienda justa, los objetivos descritos en el Plan Consolidado, las actividades propuestas en el Plan de Acción y el rendimiento del programa.

La audiencia pública tendrá lugar de la siguiente manera:

FECHA: 25 de marzo 2025

HORA: 2:00 PM

LUGAR: Ayuntamiento de la Ciudad 8353 Sierra Ave., Fontana, CA 92335

ADA: La intención de la Ciudad es cumplir con la Ley de Estadounidenses con Discapacidades (ADA) en todos los aspectos. Si, como asistente o participante en esta reunión, necesita asistencia especial más allá de la que normalmente se proporciona, la Ciudad intentará acomodarlo de todas las maneras razonables. Póngase en contacto con Mary Aguilar, analista de subvenciones, llamando al (909) 350-6606 al menos 48 horas antes de la reunión para informarnos de sus necesidades y determinar si es posible realizar alguna adaptación.

Contacto de la ciudad: Las preguntas y comentarios escritos pueden ser enviados a Mary Aguilar, especialista de proyectos, en el Ayuntamiento de Fontana, Departamento de Vivienda 8353 Sierra Ave., Fontana, CA 92335.

Secretario Municipal: Germain

Mc Clellan Key

Publicado: 02/20/2025

CNS-3896895#

PUBLISHED EL CHICANO 2/20/25 E-875

The Press-Enterprise

3512 14th Street
Riverside, CA 92501
Willoughby, OH 44096
951-368-9222
951-368-9018 FAX

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LOS ANGELES, CA 90060

Publication: The Press-Enterprise

PROOF OF PUBLICATION OF

Ad Desc: 3896899-1 / 3896899

FILE NO. 3896899

PROOF OF PUBLICATION

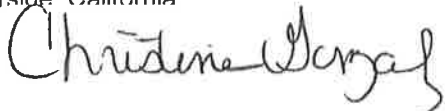
I am a citizen of the United States. I am over the age of eighteen years and not a party to or interested in the above entitled matter. I am an authorized representative of THE PRESS-ENTERPRISE, a newspaper in general circulation, printed and published daily in the County of Riverside, and which newspaper has been adjudicated a newspaper of general circulation by the Superior Court of the County of Riverside, State of California, under date of April 25, 1952, Case Number 54446, under date of March 29, 1957, Case Number 65673, under date of August 25, 1995, Case Number 267864, and under date of September 16, 2013, Case Number RIC 1309013; that the notice, of which the annexed is a printed copy, has been published in said newspaper in accordance with the instructions of the person(s) requesting publication, and not in any supplement thereof on the following dates, to wit:

02/20/2025

I certify (or declare) under penalty of perjury that the foregoing is true and correct:

Date: February 20, 2025.

At: Riverside, California



Legal Advertising Representative, The Press-Enterprise

Legal No. 0011720089

Ad Copy:

CITY OF Fontana NOTICE OF PUBLIC HEARING & REVIEW DRAFT CONSOLIDATED PLAN, ACTION PLAN & ANALYSIS OF IMPEDIMENTS TO FAIR HOUSING

Program Description:

Notice is hereby given that the City of Fontana has prepared the Draft 2025-2029 Consolidated Plan, Draft 2025-2026 Annual Action Plan, and Draft 2025-2025 Analysis of Impediments to Fair Housing Choice (AI) in accordance with U.S. Department of Housing and Urban Development (HUD) requirements to prepare and submit a Consolidated Plan every five years, an Action Plan every year, and an AI every five years as a condition of receiving annual allocations of Community Development Block Grant (CDBG), Emergency Solutions Grant (ESG), and HOME Investment Partnerships (HOME) programs funds.

The Consolidated Plan establishes the priority housing, community and economic development needs of the City and provides a strategy for the types of projects that will receive CDBG, ESG, and HOME funds during the five-year period to address specific goals related to the provision of decent housing, a suitable living environment and expanded economic opportunity for low- and moderate-income residents. The proposed goals included in the Draft 2025-2029 Consolidated Plan include: 1) Affordable Housing; 2) Fair Housing Services; 3) Homelessness Services; 4) Public Services for Lower-Income Families; and 5) Planning and Administration.

The Action Plan establishes the programs and activities to be undertaken using CDBG, ESG, and HOME funds during the 2025-2026 program year beginning July 1, 2025 and ending June 30, 2026. The City anticipates receiving \$1,965,902 of CDBG funds, \$173,930 of ESG funds, and \$604,793 of HOME funds for the 2025-2026 program year and anticipates receiving similar allocations for the subsequent four program years covered by the Draft 2025-2029 Consolidated Plan. In addition, the City Action Plan includes \$4,027,882 in prior year HOME funds. Annual allocations of CDBG, ESG, and HOME funds are subject to change based on federal appropriations and any changes to the HUD grant allocation formulas or data used in the formulas.

The AI analyzes the extent that individuals of similar income levels in the same housing market have like ranges of choice available to them regardless of race, color, ancestry, national origin, age, religion, sex, disability, marital status, familial status, source of income, sexual orientation, or any other protected class status or arbitrary factor.

30 Day Public Review Period

Copies of these draft documents will be available to the public for review and comment for 30 days. Individuals wishing to express their views concerning the above-referenced documents and proposed

SAN BERNARDINO COUNTY SUN

This space for filing stamp only

473 E CARNEGIE DR #200, SAN BERNARDINO, CA 92408
Telephone (909) 889-9666 / Fax (909) 884-2536

Mary Aguilar
CITY OF FONTANA/HOUSING
8353 SIERRA AVENUE
FONTANA, CA - 92335

SB #: 3896897

**CITY OF Fontana
NOTICE OF PUBLIC HEARING &
REVIEW
DRAFT CONSOLIDATED PLAN,
ACTION PLAN &
ANALYSIS OF IMPEDIMENTS
TO FAIR HOUSING**

Program Description:

Notice is hereby given that the City of Fontana has prepared the Draft 2025-2029 Consolidated Plan, Draft 2025-2026 Annual Action Plan, and Draft 2025-2025 Analysis of Impediments to Fair Housing Choice (AI) in accordance with U.S. Department of Housing and Urban Development (HUD) requirements to prepare and submit a Consolidated Plan every five years, an Action Plan every year, and an AI every five years as a condition of receiving annual allocations of Community Development Block Grant (CDBG), Emergency Solutions Grant (ESG), and HOME Investment Partnerships (HOME) programs funds.

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PROOF OF PUBLICATION

(2015.5 C.C.P.)

State of California)
County of SAN BERNARDINO) ss

Notice Type: HRG - NOTICE OF HEARING

Ad Description:

Public Notice_CP_AI_30Day_PH

I am a citizen of the United States and a resident of the State of California; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer and publisher of the SAN BERNARDINO COUNTY SUN, a newspaper published in the English language in the city of SAN BERNARDINO, county of SAN BERNARDINO, and adjudged a newspaper of general circulation as defined by the laws of the State of California by the Superior Court of the County of SAN BERNARDINO, State of California, under date 06/27/1952, Case No. 73081. That the notice, of which the annexed is a printed copy, has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

02/20/2025

Executed on: 02/20/2025
At Riverside, California

I certify (or declare) under penalty of perjury that the foregoing is true and correct.



Signature



Email

* A 0 0 0 0 0 7 0 3 0 3 0 1 *

like ranges of choice available to them regardless of race, color, ancestry, national origin, age, religion, sex, disability, marital status, familial status, source of income, sexual orientation, or any other protected class status or arbitrary factor.

30 Day Public Review Period

Copies of these draft documents will be available to the public for review and comment for 30 days. Individuals wishing to express their views concerning the above-referenced documents and proposed activities may provide written comments to the City on or before 4:00 p.m. on March 25, 2025 by emailing those comments to Mary Aguilar, Grant Analyst at maguilar@fontanaca.gov.

DATE:

February 24, 2025 to March 25, 2025

ONLINE:

<https://www.fontanaca.gov/622/Federal-Grant-Programs>

HARD COPY:

City Hall: City Clerk's Office

8353 Sierra Avenue

Fontana, CA 92335

City Hall: Housing Department

8353 Sierra Avenue

Fontana, CA 92335

Fontana Lewis Library &

Technology Center

8437 Sierra Avenue

Fontana, CA 92335

Public Hearing

You are invited to attend a public hearing to be held by the City Council to provide public comments regarding housing and community development needs, priority non-housing community development needs, strategies for affirmatively furthering fair housing, goals outlined in the Consolidated Plan, proposed activities in the Action Plan, and program performance.

The public hearing will take place as follows:

DATE:

March 25, 2025

TIME:

2:00 PM

LOCATION:

City Hall

8353 Sierra Ave., Fontana, CA 92335

ADA:

It is the intention of the City to comply with the Americans with Disabilities Act (ADA) in all respects. If, as an attendee or participant at this meeting, you need special assistance beyond what is normally provided, the City will attempt to accommodate you in every reasonable manner. Please contact Mary Aguilar, Grant Analyst, at (909) 350-6606 at least 48 hours prior to the meeting to inform

us of your needs and to determine if accommodation is feasible.

LAP:

Si necesita más información sobre este aviso o la traducción de documentos en español, comuníquese con Mary Aguilar a (909) 350-6606.

City Contact:

Questions and written comments may be addressed to Mary Aguilar, Project Specialist, at Fontana City Hall, Housing Department 8353 Sierra Ave., Fontana, CA 92335.

City Clerk:

Germain Mc Clellan Key

Published:

02/20/2025

2/20/25

SBS-3896897#



City of Fontana | Resident Survey

The City of Fontana is preparing its 5-Year Consolidated Plan as required by the U.S. Department of Housing and Urban Development (HUD). This plan will establish an investment strategy for utilizing funds from the Community Development Block Grant (CDBG), HOME Investment Partnerships (HOME), and Emergency Solutions Grants (ESG) programs to enhance the quality of life for residents.

We invite you to participate in this essential planning process by completing our survey. Your feedback will help us identify and prioritize our community's needs and guide our investment strategy in these areas.

The survey is entirely anonymous and will only take a few minutes to complete. If you wish to stay informed about our progress and initiatives, you may provide your e-mail address at the end of the survey.

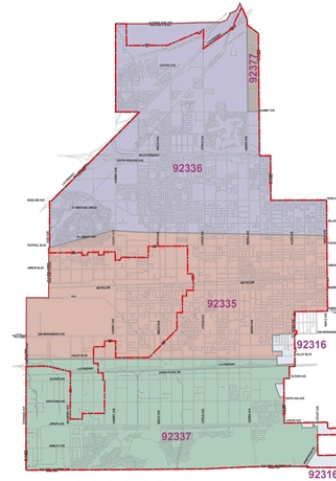
Para los hispanohablantes, vean el siguiente vídeo sobre cómo ver esta encuesta en español: <https://youtu.be/r7oS56I7IPo>

About You

This survey is anonymous. Your individual response will not be made public or shared externally.

1

What zip code do you live in? *



Select your answer



2

How old are you? *

Select your answer



3

What is your gender? *

Select your answer



4

What is your race? *

Select your answer



5

Do you identify as Hispanic? *

Select your answer



6

What is your annual household income? *

Select your answer



Community Needs Assessment

7

How would you rate the **availability** and **quality of affordable housing** in the City? *



8

What is the level of need for the following **types of affordable housing** in our community? *

	No Opinion	No Need	Low Need	High Need
Senior housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Housing for persons with disabilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Affordable rental housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Affordable ownership housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Homeless housing	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Accessory Dwelling Units (ADUs)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

What is the level of need for the following **types of housing services** in our community? *

	No Opinion	No Need	Low Need	High Need
Housing repair	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Assistance to purchase a home	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Fair housing discrimination services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Lead-based paint removal	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Energy efficient improvements	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Accessibility improvements	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Rental Assistance	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

How would you rate the **availability** and **quality of social services** in the City? *

☐ ☐ ☐ ☐ ☐

11

What is the level of need for the following **types of social services** in our community? *

	No Opinion	No Need	Low Need	High Need
Homeless services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Senior services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Services for persons with disabilities	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Services for abused and neglected children	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Services for survivors of domestic violence	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Legal services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Youth services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Crime prevention programs	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Health services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Mental health services	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

12

Have you ever experienced discrimination in renting or buying a home? *

The federal Fair Housing Act prohibits discrimination in the sale, rental, and financing of housing based on race, color, ancestry, national origin, religion, sex, disability, marital status, familial status, or any other arbitrary factor.

If you feel you have been discriminated against, please contact Inland Fair Housing and Mediation Board at (909) 984-2254 or via e-mail at fairhousing@ifhmb.com. Services are free and available to all residents.

13

How would you prefer to receive information and updates about housing and community development programs? *

Select all that apply

- ☐ City website
- ☐ Local newspapers
- ☐ E-mail newsletters
- ☐ Public meetings
- ☐ Social media
- ☐ Other

14

If there is another community need you feel should be addressed in the Consolidated Plan, please write your suggestions below.

15

If you wish to stay informed about our progress and initiatives, please provide your e-mail address below.

This content is neither created nor endorsed by Microsoft. The data you submit will be sent to the form owner.



Microsoft Forms



Ciudad de Fontana | Encuesta para los Residentes

* Obligatorio

Evaluación de las Necesidades de la Comunidad

7

¿Cómo calificaría la **disponibilidad** y **calidad de las viviendas asequibles** en la ciudad? *



8

¿Cuál es el nivel de necesidad de los siguientes **tipos de vivienda asequible** en nuestra comunidad? *

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Viviendas para personas mayores	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Viviendas para discapacitados	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Viviendas para alquiler asequible	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Viviendas para propietarios asequible	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Viviendas para personas sin hogar	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Unidades de Vivienda Accesorias (ADU)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

9

¿Cuál es el nivel de necesidad de los siguientes **tipos de servicios de vivienda** en nuestra comunidad? *

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Reparación de viviendas	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Asistencia para comprar una vivienda	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios contra discriminación	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Eliminación de pintura a base de plomo	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Mejoras de eficiencia energética	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Mejoras de accesibilidad	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Asistencia para el alquiler	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

10

¿Cómo calificaría la **disponibilidad y calidad de los servicios sociales** en la ciudad?
*

☐ ☐ ☐ ☐ ☐

11

¿Cuál es el nivel de necesidad de los siguientes **tipos de servicios sociales** en nuestra comunidad? *

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Servicios para personas sin hogar	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios para personas mayores	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios para discapacitados	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

	Sin opinión	Sin Necesidad	Baja necesidad	Necesidad moderada	Necesidad
Servicios para niños abusados/desatendidos	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios para víctimas de violencia doméstica	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios de asesoría legal	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios para jóvenes	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Programas para prevenir el crimen	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios de salud	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>
Servicios de salud mental	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>

12

¿Ha sufrido alguna vez discriminación en el alquiler o la compra de una vivienda? *

La Ley Federal de Vivienda Justa prohíbe la discriminación en la venta, alquiler y financiación de viviendas por motivos de raza, color, ascendencia, origen nacional, religión, sexo, discapacidad, estado civil, situación familiar o cualquier otro factor arbitrario.

Si cree que ha sido discriminado, póngase en contacto con Inland Fair Housing and Mediation Board en (909) 942-2254 o por correo electrónico a fairhousing@ifhmb.com. Los servicios son gratuitos y están disponibles para todos los residentes.

Selecciona la respuesta



13

¿Cómo prefiere recibir información actualizada sobre los programas de vivienda y desarro comunitario? *

(Seleccione todas las opciones que correspondan)

☐ Sitio web de la ciudad

☐ Periódicos locales

☐ Correo electrónico

☐ Reuniones públicas

☐ Redes sociales

☐ Otras

14

Si hay alguna necesidad en la comunidad que crea que se debería contemplar en el Plan Consolidado, escriba sus sugerencias a continuación.

Escribe tu respuesta

15

Si desea mantenerse informado sobre nuestros avances, facilítenos su dirección de correo

electrónico a continuación:

Escribe tu respuesta

Página 2 de 2



Este contenido lo creó el propietario del formulario. Los datos que envíes se enviarán al propietario del formulario. Microsoft no es responsable de las prácticas de privacidad o seguridad de sus clientes, incluidas las que adopte el propietario de este formulario. No des tu contraseña.

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El propietario de este formulario no ha proporcionado una declaración de privacidad sobre cómo utilizarán los datos de tus respuestas. No proporcionar información personal o confidencial. | [Términos de uso](#)

Responses Overview

Closed


Responses

476




Average Time

05:46



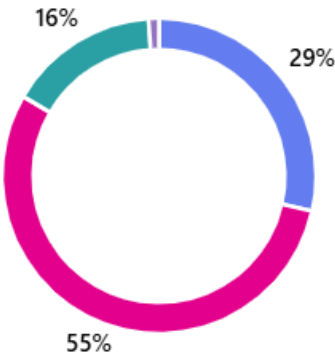
Duration

1776

Days 

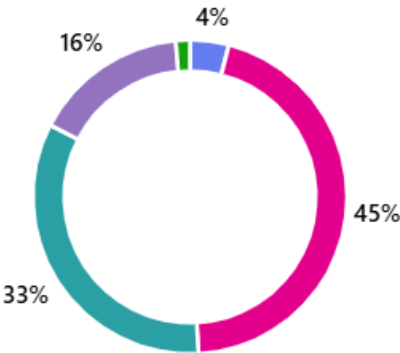
1. What zip code do you live in?

92335	136
92336	261
92337	74
Prefer not to answer	5



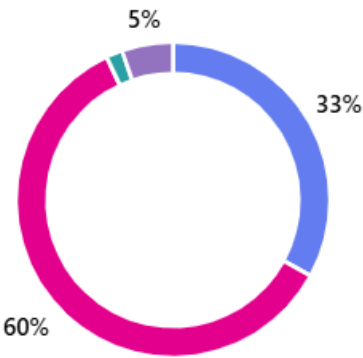
2. How old are you?

Under 25	19
25-43	215
44-61	159
62 or older	76
Prefer not to answer	7



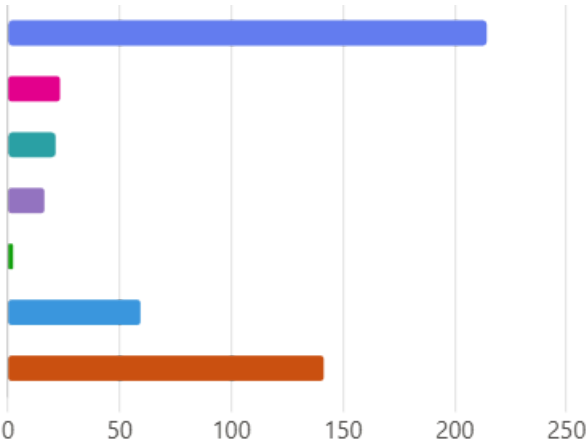
3. What is your gender?

Male	157
Female	286
Non-binary	8
Prefer not to answer	25



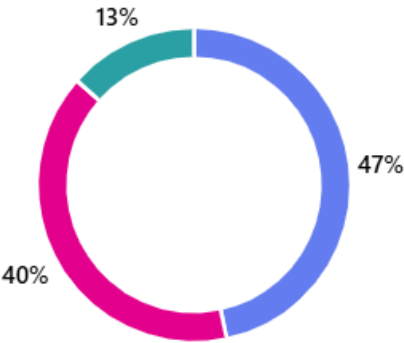
4. What is your race?

White	214
Black or African American	23
Asian	21
Native American	16
Native Hawaiian or Pacific Islander	2
Multi-racial (two or more)	59
Prefer not to answer	141



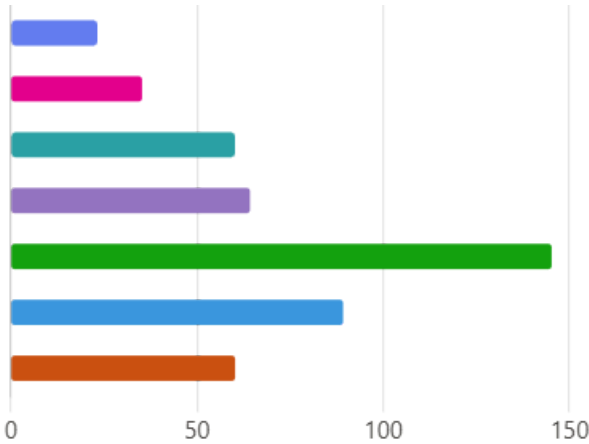
5. Do you identify as Hispanic?

Yes	222
No	190
Prefer not to answer	64



6. What is your annual household income?

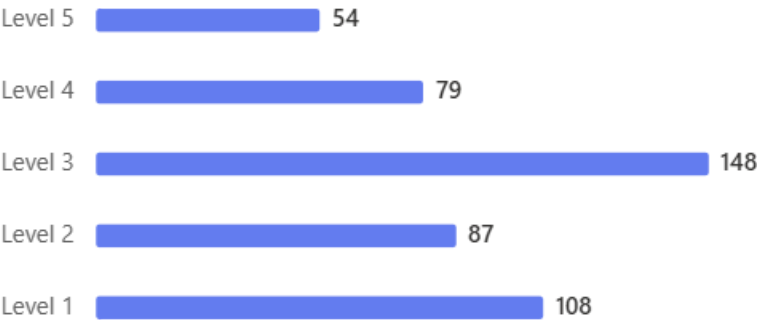
Under \$30,000	23
\$30,000 to \$49,999	35
\$50,000 to \$74,999	60
\$75,000 - \$99,999	64
\$100,000 to \$174,999	145
\$175,000 or more	89
Prefer not to say	60



7. How would you rate the **availability** and **quality of affordable housing** in the City?

2.76

Average Rating



8. What is the level of need for the following **types of affordable housing** in our community?

No Opinion No Need Low Need Moderate Need High Need

Senior housing

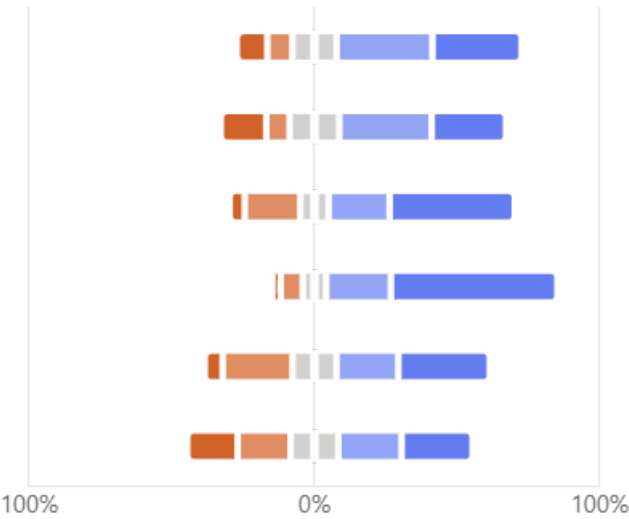
Housing for persons with disabilities

Affordable rental housing

Affordable ownership housing

Homeless housing

Accessory Dwelling Units (ADUs)



9. What is the level of need for the following **types of housing services** in our community?

No Opinion No Need Low Need Moderate Need High Need

Housing repair

Assistance to purchase a home

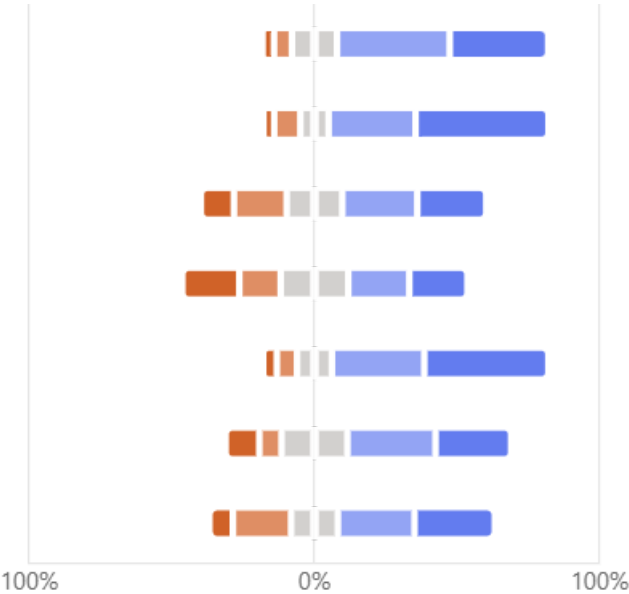
Fair housing discrimination services

Lead-based paint removal

Energy efficient improvements

Accessibility improvements

Rental Assistance



10. How would you rate the **availability** and **quality of social services** in the City?



11. What is the level of need for the following **types of social services** in our community?

No Opinion No Need Low Need Moderate Need High Need

Homeless services

Senior services

Services for persons with disabilities

Services for abused and neglected children

Services for survivors of domestic violence

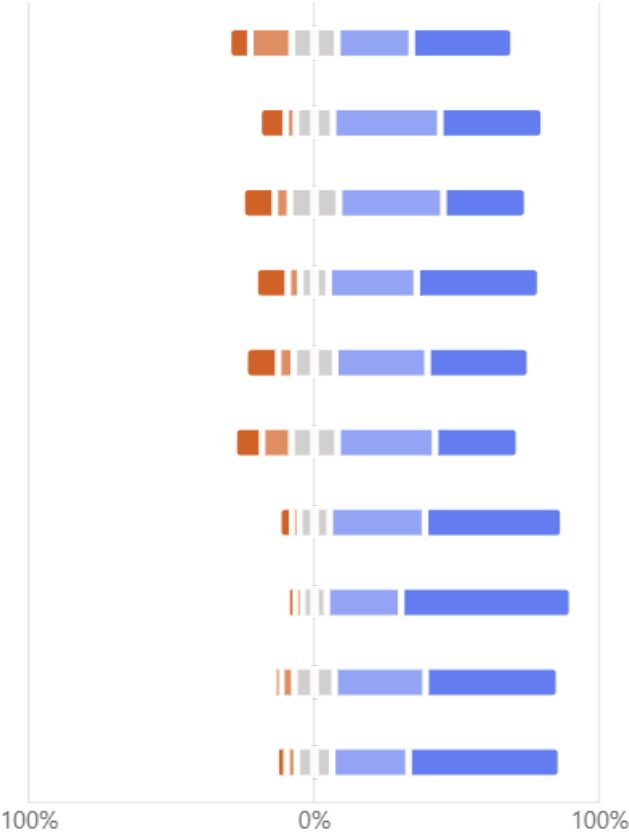
Legal services

Youth services

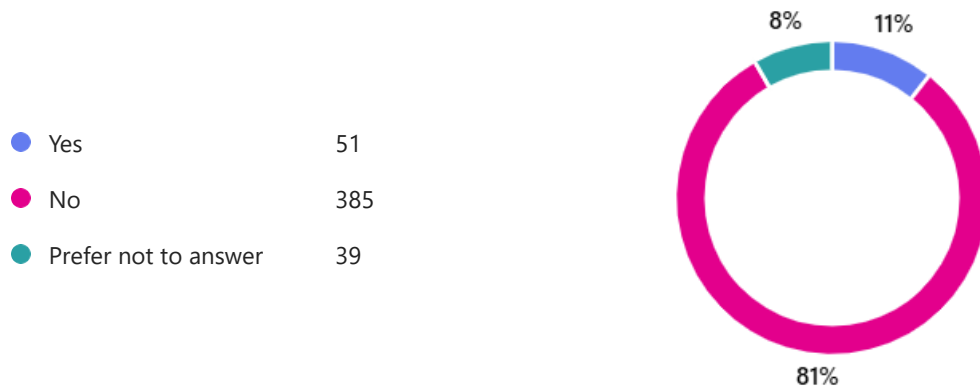
Crime prevention programs

Health services

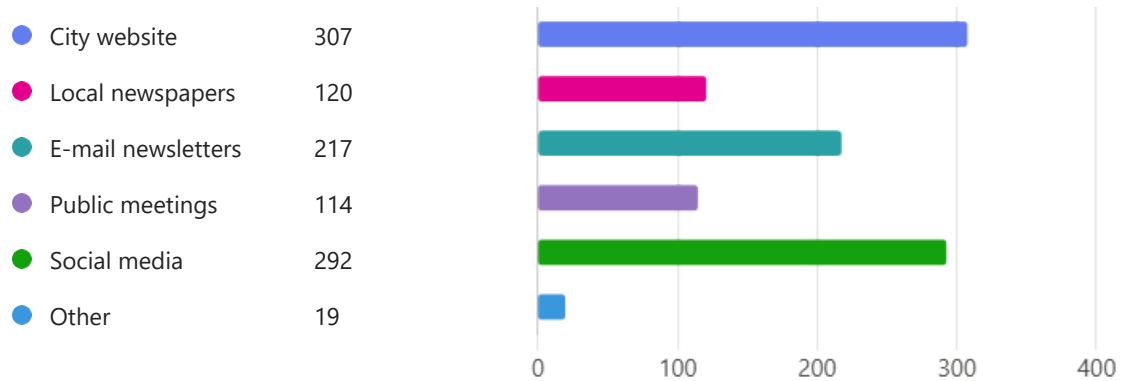
Mental health services



12. Have you ever experienced discrimination in renting or buying a home?



13. How would you prefer to receive information and updates about housing and community development programs?



14. If there is another community need you feel should be addressed in the Consolidated Plan, please write your suggestions below.

247
Responses

Latest Responses

"more stores needed in south fontana, especially with all of t..."

"Less warehouses, more homes"

...

64 respondents (26%) answered Need for this question.

Word cloud for "Need" responses:

- areas in the city
- need community
- warehouses
- family homes
- city of Fontana
- streets
- Fontana
- areas
- needs repairing
- park
- city council
- people
- homeless
- Homes
- city
- need for homes
- School
- need city
- need back to work

15. If you wish to stay informed about our progress and initiatives, please provide your e-mail address below.

172
Responses

Latest Responses

...

4 respondents (2%) answered Yes for this question.

Word cloud for "Yes" responses:

- asdfghj
- dansome 2006@yahoo.com
- file
- Yes
- No
- Nope
- warehouses



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APPENDIX C Grantee Unique Appendix

Written Standards for providing ESG assistance

ESG PROGRAM STANDARDS

The new Emergency Solutions Grant (ESG), pursuant to the 2009 Homeless Emergency Assistance and Rapid Transition to Housing (HEARTH) "Act," signifies a shift in federal funding from traditional emergency shelter and street outreach activities to homeless prevention and rehousing efforts. Effective rapid re-housing programs help people transition out of the homeless assistance system as quickly as possible, thus reducing the number of persons who are homeless within the community. Rapid re-housing also ensures that emergency housing resources are used to serve individuals and families with the most urgent housing crises.

Document references herein to the Code of Federal Regulation (CFR) Parts 91 and 576 can be accessed at the following HUD website:

http://www.hud.gov/offices/cpd/about/conplan/pdf/Emergency_solutions_interim_rule.pdf

Written standards for providing ESG assistance in accordance with 24 CFR 576.400(e)(1) and (e)(3) are described below.

- a) Eligibility for assistance:
 - i) Eligible applicants must meet the definition of "homeless" or "at risk of becoming homeless according to 24 CFR 576.2 and meet the record keeping requirements in 24 CFR 576.500 (b), (c), (d), and (e).
 - ii) Gross household income limit: 30% of Area Median Income (AMI).
 - iii) Individuals and families who have insufficient resources immediately available to attain housing stability, who have moved frequently due to economic reasons, or who require short-term leasing and/or utility assistance.
- b) Coordination among emergency shelter providers, essential service providers, homelessness prevention and rapid re-housing assistance providers; other homeless assistance providers, and mainstream service and housing providers.
 - i) Promote a strategic, community-wide system to prevent and end homelessness through the coordination and integration of program components with available homeless assistance programs (§576.400 [b]) and mainstream housing and service programs (§576.400 [c]).

Assistance programs available for coordination and integration may include, but not be limited to:

- San Bernardino County Continuum of Care
- Interagency Council on Homelessness Participation

- County Workforce Development Department
- County Workforce Investment Board x County Transitional Assistance Department
- Shelter Plus Care Program
- Supportive Housing Program
- HUD Veterans Affairs Supportive Housing
- Education for Homeless Children and Youth Grants
- Healthcare for the Homeless
- Programs for Runaway and Homeless Youth x Emergency Food and Shelter program
- VA Homeless Providers Grant and Per Diem Program
- Mainstream Service Programs may include, but not be limited to:
- Temporary Assistance for Needy Families (TANF)
- Social Security (SSI, SSDI)
- Medi-Cal x Food Stamps
- Unemployment Insurance Benefits
- Veterans Benefits
- Head Start
- Mental Health and Substance Abuse Grants

ii) Continue use of the HMIS tracking system to enable service providers to access client history and for reporting to HUD.

c) Prioritize which eligible families and individuals will receive homelessness prevention assistance and which eligible families and individuals will receive rapid re-housing assistance:

i) Intake and case management designed to target and reach as many needy individuals and families as possible by determining those most in need and limiting resources to the minimum necessary for stabilization.

1) Homeless Prevention to:

target those closest to becoming homeless and

assess wide ranging risk factors to remedy causal characteristics through case management and training.

2) Rapid Re-Housing to:

overcome immediate housing obstacles;

connect individuals/families with necessary resources; and

identify and remedy causal characteristics through case management and training.

- d) Share of rent and utility costs program participants must pay, if any, while receiving homelessness prevention and rapid re-housing assistance;
 - i) Rental Assistance Rent Share: client to pay up to 30% of Adjusted Gross Income (based upon “ability to pay”).
 - ii) Utility Assistance: client may receive assistance of up to 100% of each eligible utility (based upon “ability to pay”), including up to 6 months in arrears. Utilities are restricted to electricity, gas, and water and include security deposits.
 - iii) Considerations will be made with regard to:
the presence, or absence, of other resources available in the community,
respective challenges associated with the homelessness, and
the presence of exorbitant medical expenses.
- e) Program participant rental assistance eligibility and re-assessment guidance:
 - i) To target and reach as many needy individuals and families as possible; rental assistance will be limited to the minimum necessary to stabilize program participants.
 - ii) As self-sufficiency increases, rental assistance will be reduced.
 - iii) Program participants receiving rapid re-housing assistance must be re-evaluated at least every six (6) months.
 - iv) Program participants receiving homelessness prevention assistance must be reevaluated at least once every 3 months.
- f) Determination of the type, amount, and duration of housing stabilization and/or relocation services to provide a program participant, including the limits, if any, on the homelessness prevention or rapid re-housing assistance that each program participant may receive, such as the maximum amount of assistance, maximum number of months the program participant receives assistance; or the maximum number of times the program participant may receive assistance.

Except as provided for housing stability case management, no program participant may receive more than 24 months of assistance in a three-year period.

i) Rental Assistance:

- 1) To support as many needy individuals and families as possible, rental assistance are for rents of “reasonable” expense and be limited to a

maximum of 3 months for Short Term, and 4 to 18 months for Medium Term. The justification for "reasonable rents" shall be assessed based upon applicable local sub-market rents, but in no circumstance shall it exceed the local area's Fair Market Rent (FMR) established by HUD.

2) Program to pay rent shortfall after client-paid share of up to 30% of Adjusted Gross Income (AGI) is met. Based upon "ability to pay", the Program may provide up to 100% of first month's start-up costs (including security deposits).

3) Maximum rental assistance is not to exceed \$4,000 (including up to 6 months in rental arrears) per individual or family.

4) Program participants cannot receive more than 24 months of assistance within a three-year period.

ii) Utility Assistance

1) Program to pay up to 100% of utility start-up costs, based upon "ability to pay", (including security deposits) for each eligible utility (electricity, gas, and/or water) to a maximum of \$1,000 or 24 payments (including up to 6 months in arrears).

2) Utility assistance will be limited to a maximum 24 months of assistance in a three-year period.

iii) Motel Vouchers

1) Motel vouchers may be used for emergency assistance for up to 30 days if no shelter beds available and rental housing is identified but not immediately available.

2) Voucher values are to be "reasonable" and are not to exceed \$65 per night. 4 iv) Housing Relocation and Stabilization Services 1) Case management, counseling, and training will be provided for each program participant to extent needed for the duration of program eligibility.

g) Emergency Shelter and Street Outreach

i) Coordination, targeting, and providing essential services related to street outreach:

1) Target and reach as many homeless individuals and families as possible; and

2) Provide emergency shelter/motel vouchers as needed, while maximizing case management services to provide stable housing to the maximum number of eligible recipients.

ii) Admission, diversion, referral, and discharge by emergency shelters assisted under ESG, including standards regarding length of stay, if any, and safeguards to meet the safety and shelter needs of special populations, e.g., victims of domestic violence, dating violence, sexual assault, and stalking; and individuals and families who have the highest barriers to housing and are likely to be homeless the longest:

1) Shelters may use screening policies such as substance abuse, criminal activity to restrict its services and provide a safe environment for all clients. As necessary, restricted clients are to be referred to applicable service providers as listed under 37(b) above.

2) Maximum length of stay may be determined by the policies of individual shelter service providers.

3) Victim service providers protect client-level data by reporting only aggregate data in HMIS.

iii) Assessing, prioritizing, and re-assessing individual/family needs for essential services related to shelter. 1) Families will be assessed based on imminent need, and reassessed monthly as case management progresses.



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2025-2026 ANNUAL ACTION PLAN
JULY 1, 2025 THROUGH JUNE 30, 2026

APPENDIX D SF-424s and Action Plan Certifications

- SF-424 & 424-B: Community Development Block Grant
- SF-424 & 424-B: HOME Investment Partnerships
- SF-424 & 424-B: Emergency Shelter Grant
- 2025-2026 Non-State Certifications

Application for Federal Assistance SF-424*** 1. Type of Submission:**

- ☐ Preapplication
☒ Application
☐ Changed/Corrected Application

*** 2. Type of Application:**

- ☒ New
☐ Continuation
☐ Revision

*** If Revision, select appropriate letter(s):***** Other (Specify):***** 3. Date Received:**

05/28/2025

4. Applicant Identifier:**5a. Federal Entity Identifier:**

CA61332

5b. Federal Award Identifier:

B-25-MC-06-0565

State Use Only:**6. Date Received by State:****7. State Application Identifier:****8. APPLICANT INFORMATION:***** a. Legal Name:** City of Fontana*** b. Employer/Taxpayer Identification Number (EIN/TIN):**

95-6004770

*** c. UEI:**

WLF8LH1TH3P8

d. Address:*** Street1:** 8353 Sierra Avenue

Street2:

*** City:**

Fontana

County/Parish:

*** State:**

CA: California

Province:

*** Country:**

USA: UNITED STATES

*** Zip / Postal Code:**

92335-3526

e. Organizational Unit:

Department Name:

Division Name:

f. Name and contact information of person to be contacted on matters involving this application:

Prefix:

*** First Name:**

Valerie

Middle Name:

*** Last Name:**

Gonzales

Suffix:

Title: Housing Development Manager


Organizational Affiliation:

*** Telephone Number:** (909) 350-6625

Fax Number:

*** Email:** vgonzales@fontanaca.gov

Application for Federal Assistance SF-424	
* 9. Type of Applicant 1: Select Applicant Type: <div>C: City or Township Government</div> Type of Applicant 2: Select Applicant Type: <div></div> Type of Applicant 3: Select Applicant Type: <div></div> * Other (specify): <div></div>	
* 10. Name of Federal Agency: <div>U.S. Department of Housing and Urban Development</div>	
11. Assistance Listing Number: <div>14.210</div> Assistance Listing Title: <div>Community Development Block Grant/ Entitlement Grant</div>	
* 12. Funding Opportunity Number: <div>NA</div> * Title: <div>NA</div>	
13. Competition Identification Number: <div></div> Title: <div></div>	
14. Areas Affected by Project (Cities, Counties, States, etc.): <div></div> <div>Add AttachmentDelete AttachmentView Attachment</div>	
* 15. Descriptive Title of Applicant's Project: <div>2025-2026 Action Plan project using Community Development Block Grant (CDBG) funds pursuant to Title I of the Housing and Community Development Act of 1974, as amended.</div>	
Attach supporting documents as specified in agency instructions. <div>Add AttachmentsDelete AttachmentsView Attachments</div>	

Application for Federal Assistance SF-424	
16. Congressional Districts Of:	
* a. Applicant	31, 35
* b. Program/Project	31, 35
Attach an additional list of Program/Project Congressional Districts if needed.	
	<input type="button" value="Add Attachment"/> <input type="button" value="Delete Attachment"/> <input type="button" value="View Attachment"/>
17. Proposed Project:	
* a. Start Date:	07/01/2025
* b. End Date:	07/01/2026
18. Estimated Funding (\$):	
* a. Federal	1,942,933.00
* b. Applicant	
* c. State	
* d. Local	
* e. Other	
* f. Program Income	
* g. TOTAL	1,942,933.00
* 19. Is Application Subject to Review By State Under Executive Order 12372 Process?	
<input type="checkbox"/> a. This application was made available to the State under the Executive Order 12372 Process for review on	
<input type="checkbox"/> b. Program is subject to E.O. 12372 but has not been selected by the State for review.	
<input checked="" type="checkbox"/> c. Program is not covered by E.O. 12372.	
* 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If "Yes", provide explanation and attach	
	<input type="button" value="Add Attachment"/> <input type="button" value="Delete Attachment"/> <input type="button" value="View Attachment"/>
21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)	
<input checked="" type="checkbox"/> ** I AGREE	
** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.	
Authorized Representative:	
Prefix:	
* First Name:	Matthew
Middle Name:	
* Last Name:	Ballantyne
Suffix:	
* Title:	City Manager
* Telephone Number:	(909) 350-7653
Fax Number:	
* Email:	mballantyne@fontanaca.gov
* Signature of Authorized Representative:	
* Date Signed:	05/28/2025

**Applicant and Recipient
Assurances and Certifications**
**U.S. Department of Housing
and Urban Development**

 OMB Number: 2510-0017
 Expiration Date: 1/31/2026

Instructions for the HUD 424-B Assurances and Certifications

As part of your application for HUD funding, you, as the official authorized to sign on behalf of your organization or as an individual, must provide the following assurances and certifications. The Responsible Civil Rights Official has specified this form for use for purposes of general compliance with 24 CFR §§ 1.5, 3.115, 8.50, and 146.25, as applicable. The Responsible Civil Rights Official may require specific civil rights assurances to be furnished consistent with those authorities and will specify the form on which such assurances must be made. A failure to furnish or comply with the civil rights assurances contained in this form may result in the procedures to effect compliance at 24 CFR §§ 1.8, 3.115, 8.57, or 146.39.

By submitting this form, you are stating that all assertions made in this form are true, accurate, and correct.

As the duly representative of the applicant, I certify that the applicant: [Insert below the Name and title of the Authorized Representative, name of Organization and the date of signature]:

*Authorized Representative Name:

Matthew C. Ballantyne

*Title: City Manager

*Applicant/Recipient Organization:

City of Fontana

1. Has the legal authority to apply for Federal assistance, has the institutional, managerial and financial capability (including funds to pay the non-Federal share of program costs) to plan, manage and complete the program as described in the application and the governing body has duly authorized the submission of the application, including these assurances and certifications, and authorized me as the official representative of the application to act in connection with the application and to provide any additional information as may be required.

2. Will administer the grant in compliance with Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000(d)) and implementing regulations (24 CFR part 1), which provide that no person in the United States shall, on the grounds of race, color or national origin, be excluded from participation in, be denied the benefits of, or otherwise be subject to discrimination under any program or activity that receives Federal financial assistance OR if the applicant is a Federally recognized Indian tribe or its tribally designated housing entity, is subject to the Indian Civil Rights Act (25 U.S.C. 1301-1303).

3. Will administer the grant in compliance with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794), as amended, and implementing regulations at 24 CFR part 8, the American Disabilities Act (42 U.S.C. §§ 12101 et seq.), and implementing regulations at 28 CFR part 35 or 36, as applicable, and the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) as amended, and implementing regulations at 24 CFR part 146 which together provide that no person in the United States shall, on the grounds of disability or age, be excluded from participation in, be denied the benefits of, or otherwise be subjected to discrimination under any program or activity that receives Federal financial assistance; except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

4. Will comply with the Fair Housing Act (42 U.S.C. 3601-19), as amended, and the implementing regulations at 24 CFR part 100, which prohibit discrimination in housing on the basis of race, color, religion sex (including gender identity and sexual orientation), disability, familial status, or national origin and will affirmatively further fair housing; except an

applicant which is an Indian tribe or its instrumentality which is excluded by statute from coverage does not make this certification; and further except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

5. Will comply with all applicable Federal nondiscrimination requirements, including those listed at 24 CFR §§ 5.105(a) and 5.106 as applicable.

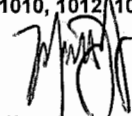
6. Will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (42 U.S.C. 4601) and implementing regulations at 49 CFR part 24 and, as applicable, Section 104(d) of the Housing and Community Development Act of 1974 (42 U.S.C. 5304(d)) and implementing regulations at 24 CFR part 42, subpart A.

7. Will comply with the environmental requirements of the National Environmental Policy Act (42 U.S.C. 4321 et seq.) and related Federal authorities prior to the commitment or expenditure of funds for property.

8. That no Federal appropriated funds have been paid, or will be paid, by or on behalf of the applicant, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, and officer or employee of Congress, or an employee of a Member of Congress, in connection with the awarding of this Federal grant or its extension, renewal, amendment or modification. If funds other than Federal appropriated funds have or will be paid for influencing or attempting to influence the persons listed above, I shall complete and submit Standard Form-LLL, Disclosure Form to Report Lobbying. I certify that I shall require all subawards at all tiers (including sub-grants and contracts) to similarly certify and disclose accordingly. Federally recognized Indian Tribes and tribally designated housing entities (TDHEs) established by Federally-recognized Indian tribes as a result of the exercise of the tribe's sovereign power are excluded from coverage by the Byrd Amendment, but State-recognized Indian tribes and TDHs established under State law are not excluded from the statute's coverage.

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct. **WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§287, 1001, 1010, 1012/1014; 31 U.S.C. §3729, 3802).**

* Signature:



* Date: (mm/dd/yyyy): 05/28/2025



Public Reporting Burden Statement: The public reporting burden for this collection of information is estimated to average 0.5 hours per response, including the time for reviewing instructions, searching existing data sources, gathering, and maintaining the data needed, and completing and reviewing the collection of information. Comments regarding the accuracy of this burden estimate and any suggestions for reducing this burden can be sent to: U.S. Department of Housing and Urban Development, Office of the Chief Data Officer, R, 451 7th St SW, Room 4176, Washington, DC 20410-5000. **Do not send completed HUD-424B forms to this address.** This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid OMB control number. The Department of Housing and Urban Development is authorized to collect this information under the authority cited in the Notice of Funding Opportunity for this grant program. The information collected provides assurances and certifications for legal requirements related to the administration of this grant program. HUD will use this information to ensure compliance of its grantees. This information is required to obtain the benefit sought in the grant program. This information will not be held confidential and may be made available to the public in accordance with the Freedom of Information Act (5 U.S.C. §552).

Application for Federal Assistance SF-424		
* 1. Type of Submission: <input type="checkbox"/> Preapplication <input checked="" type="checkbox"/> Application <input type="checkbox"/> Changed/Corrected Application		
* 2. Type of Application: <input checked="" type="checkbox"/> New <input type="checkbox"/> Continuation <input type="checkbox"/> Revision		
* If Revision, select appropriate letter(s): <input type="text"/> * Other (Specify): <input type="text"/>		
* 3. Date Received: 05/28/2025		4. Applicant Identifier: <input type="text"/>
5a. Federal Entity Identifier: CA61332		5b. Federal Award Identifier: M-25-MC-06-0548
State Use Only:		
6. Date Received by State: <input type="text"/>		7. State Application Identifier: <input type="text"/>
8. APPLICANT INFORMATION:		
* a. Legal Name: City of Fontana		
* b. Employer/Taxpayer Identification Number (EIN/TIN): 95-6004770		* c. UEI: WLF8LH1TH3P8
d. Address:		
* Street1: 8353 Sierra Avenue		
Street2: <input type="text"/>		
* City: Fontana		
County/Parish: <input type="text"/>		
* State: CA: California		
Province: <input type="text"/>		
* Country: USA: UNITED STATES		
* Zip / Postal Code: 92335-3526		
e. Organizational Unit:		
Department Name: <input type="text"/>		Division Name: <input type="text"/>
f. Name and contact information of person to be contacted on matters involving this application:		
Prefix: <input type="text"/>		* First Name: Valerie
Middle Name: <input type="text"/>		
* Last Name: Gonzales		
Suffix: <input type="text"/>		
Title: Housing Development Manager		
Organizational Affiliation: <input type="text"/>		
* Telephone Number: (909) 350-6625		Fax Number: <input type="text"/>
* Email: vgonzales@fontanaca.gov		

Application for Federal Assistance SF-424		
* 9. Type of Applicant 1: Select Applicant Type:		
<input type="text" value="C: City or Township Government"/>		
Type of Applicant 2: Select Applicant Type:		
<input type="text"/>		
Type of Applicant 3: Select Applicant Type:		
<input type="text"/>		
* Other (specify):		
<input type="text"/>		
* 10. Name of Federal Agency:		
<input type="text" value="U.S. Department of Housing and Urban Development"/>		
11. Assistance Listing Number:		
<input type="text" value="14.239"/>		
Assistance Listing Title:		
<input type="text" value="HOME Investment Partnership Program/ Entitlement Grant"/>		
* 12. Funding Opportunity Number:		
<input type="text" value="NA"/>		
* Title:		
<input type="text" value="NA"/>		
13. Competition Identification Number:		
<input type="text"/>		
Title:		
<input type="text"/>		
14. Areas Affected by Project (Cities, Counties, States, etc.):		
<input type="text"/>	<input type="button" value="Add Attachment"/>	<input type="button" value="Delete Attachment"/>
	<input type="button" value="View Attachment"/>	
* 15. Descriptive Title of Applicant's Project:		
<input type="text" value="2025-2026 Action Plan project using HOME Investment Partnership (HOME) Program funds pursuant to Title II of the National Affordable Housing Act of 1990, as amended."/>		
Attach supporting documents as specified in agency instructions.		
<input type="button" value="Add Attachments"/>	<input type="button" value="Delete Attachments"/>	<input type="button" value="View Attachments"/>

Application for Federal Assistance SF-424

16. Congressional Districts Of:

* a. Applicant

31, 35

* b. Program/Project

31, 35

Attach an additional list of Program/Project Congressional Districts if needed.

Add Attachment

Delete Attachment

View Attachment

17. Proposed Project:

* a. Start Date:

07/01/2025

* b. End Date:

07/01/2026

18. Estimated Funding (\$):

* a. Federal

588,015.66

* b. Applicant

* c. State

* d. Local

* e. Other

* f. Program Income

* g. TOTAL

588,015.66

* 19. Is Application Subject to Review By State Under Executive Order 12372 Process?

☐ a. This application was made available to the State under the Executive Order 12372 Process for review on☐ b. Program is subject to E.O. 12372 but has not been selected by the State for review.☒ c. Program is not covered by E.O. 12372.

* 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)

☐ Yes☒ No

If "Yes", provide explanation and attach

Add Attachment

Delete Attachment

View Attachment

21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)

☒ ** I AGREE

** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.

Authorized Representative:

Prefix:

* First Name:

Matthew

Middle Name:

* Last Name:

Ballantyne

Suffix:

* Title:

City Manager

* Telephone Number:

(909) 350-7653

Fax Number:

* Email:

mballantyne@fontanaca.gov

* Signature of Authorized Representative:

* Date Signed:

05/28/2025

**Applicant and Recipient
Assurances and Certifications**
**U.S. Department of Housing
and Urban Development**

 OMB Number: 2510-0017
 Expiration Date: 1/31/2026

Instructions for the HUD 424-B Assurances and Certifications

As part of your application for HUD funding, you, as the official authorized to sign on behalf of your organization or as an individual, must provide the following assurances and certifications. The Responsible Civil Rights Official has specified this form for use for purposes of general compliance with 24 CFR §§ 1.5, 3.115, 8.50, and 146.25, as applicable. The Responsible Civil Rights Official may require specific civil rights assurances to be furnished consistent with those authorities and will specify the form on which such assurances must be made. A failure to furnish or comply with the civil rights assurances contained in this form may result in the procedures to effect compliance at 24 CFR §§ 1.8, 3.115, 8.57, or 146.39.

By submitting this form, you are stating that all assertions made in this form are true, accurate, and correct.

As the duly representative of the applicant, I certify that the applicant: [Insert below the Name and title of the Authorized Representative, name of Organization and the date of signature]:

*Authorized Representative Name:

Matthew C. Ballantyne

*Title: City Manager

*Applicant/Recipient Organization:

City of Fontana

1. Has the legal authority to apply for Federal assistance, has the institutional, managerial and financial capability (including funds to pay the non-Federal share of program costs) to plan, manage and complete the program as described in the application and the governing body has duly authorized the submission of the application, including these assurances and certifications, and authorized me as the official representative of the application to act in connection with the application and to provide any additional information as may be required.

2. Will administer the grant in compliance with Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000(d)) and implementing regulations (24 CFR part 1), which provide that no person in the United States shall, on the grounds of race, color or national origin, be excluded from participation in, be denied the benefits of, or otherwise be subject to discrimination under any program or activity that receives Federal financial assistance OR if the applicant is a Federally recognized Indian tribe or its tribally designated housing entity, is subject to the Indian Civil Rights Act (25 U.S.C. 1301-1303).

3. Will administer the grant in compliance with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794), as amended, and implementing regulations at 24 CFR part 8, the American Disabilities Act (42 U.S.C. §§ 12101 et seq.), and implementing regulations at 28 CFR part 35 or 36, as applicable, and the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) as amended, and implementing regulations at 24 CFR part 146 which together provide that no person in the United States shall, on the grounds of disability or age, be excluded from participation in, be denied the benefits of, or otherwise be subjected to discrimination under any program or activity that receives Federal financial assistance; except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

4. Will comply with the Fair Housing Act (42 U.S.C. 3601-19), as amended, and the implementing regulations at 24 CFR part 100, which prohibit discrimination in housing on the basis of race, color, religion sex (including gender identity and sexual orientation), disability, familial status, or national origin and will affirmatively further fair housing; except an

applicant which is an Indian tribe or its instrumentality which is excluded by statute from coverage does not make this certification; and further except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

5. Will comply with all applicable Federal nondiscrimination requirements, including those listed at 24 CFR §§ 5.105(a) and 5.106 as applicable.

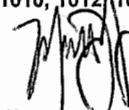
6. Will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (42 U.S.C. 4601) and implementing regulations at 49 CFR part 24 and, as applicable, Section 104(d) of the Housing and Community Development Act of 1974 (42 U.S.C. 5304(d)) and implementing regulations at 24 CFR part 42, subpart A.

7. Will comply with the environmental requirements of the National Environmental Policy Act (42 U.S.C. 4321 et seq.) and related Federal authorities prior to the commitment or expenditure of funds for property.

8. That no Federal appropriated funds have been paid, or will be paid, by or on behalf of the applicant, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, and officer or employee of Congress, or an employee of a Member of Congress, in connection with the awarding of this Federal grant or its extension, renewal, amendment or modification. If funds other than Federal appropriated funds have or will be paid for influencing or attempting to influence the persons listed above, I shall complete and submit Standard Form-LLL, Disclosure Form to Report Lobbying. I certify that I shall require all subawards at all tiers (including sub-grants and contracts) to similarly certify and disclose accordingly. Federally recognized Indian Tribes and tribally designated housing entities (TDHEs) established by Federally-recognized Indian tribes as a result of the exercise of the tribe's sovereign power are excluded from coverage by the Byrd Amendment, but State-recognized Indian tribes and TDHs established under State law are not excluded from the statute's coverage.

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct. **WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§287, 1001, 1010, 1012/1014; 31 U.S.C. §3729, 3802).**

* Signature:



* Date: (mm/dd/yyyy): 05/28/2025



Public Reporting Burden Statement: The public reporting burden for this collection of information is estimated to average 0.5 hours per response, including the time for reviewing instructions, searching existing data sources, gathering, and maintaining the data needed, and completing and reviewing the collection of information. Comments regarding the accuracy of this burden estimate and any suggestions for reducing this burden can be sent to: U.S. Department of Housing and Urban Development, Office of the Chief Data Officer, R, 451 7th St SW, Room 4176, Washington, DC 20410-5000. **Do not send completed HUD-424B forms to this address.** This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid OMB control number. The Department of Housing and Urban Development is authorized to collect this information under the authority cited in the Notice of Funding Opportunity for this grant program. The information collected provides assurances and certifications for legal requirements related to the administration of this grant program. HUD will use this information to ensure compliance of its grantees. This information is required to obtain the benefit sought in the grant program. This information will not be held confidential and may be made available to the public in accordance with the Freedom of Information Act (5 U.S.C. §552).

Application for Federal Assistance SF-424*** 1. Type of Submission:**

- ☐ Preapplication
☒ Application
☐ Changed/Corrected Application

*** 2. Type of Application:**

- ☒ New
☐ Continuation
☐ Revision

*** If Revision, select appropriate letter(s):***** Other (Specify):***** 3. Date Received:**

05/28/2025

4. Applicant Identifier:**5a. Federal Entity Identifier:**

CA61332

5b. Federal Award Identifier:

E-25-MC-06-0565

State Use Only:**6. Date Received by State:****7. State Application Identifier:****8. APPLICANT INFORMATION:***** a. Legal Name:** City of Fontana*** b. Employer/Taxpayer Identification Number (EIN/TIN):**

95-6004770

*** c. UEI:**

WLF8LH1TH3P8

d. Address:*** Street1:** 8353 Sierra Avenue

Street2:

*** City:** Fontana

County/Parish:

*** State:** CA: California

Province:

*** Country:** USA: UNITED STATES*** Zip / Postal Code:** 92335-3526**e. Organizational Unit:**

Department Name:

Division Name:

f. Name and contact information of person to be contacted on matters involving this application:

Prefix:

*** First Name:**

Valerie

Middle Name:

*** Last Name:**

Gonzales

Suffix:

Title:

Organizational Affiliation:

Housing Development Manager

*** Telephone Number:** (909) 350-6625

Fax Number:

*** Email:** vgonzales@fontanaca.gov

Application for Federal Assistance SF-424*** 9. Type of Applicant 1: Select Applicant Type:**

Type of Applicant 2: Select Applicant Type:

Type of Applicant 3: Select Applicant Type:

* Other (specify):

*** 10. Name of Federal Agency:****11. Assistance Listing Number:**

Assistance Listing Title:

*** 12. Funding Opportunity Number:**

* Title:

13. Competition Identification Number:

Title:

14. Areas Affected by Project (Cities, Counties, States, etc.):*** 15. Descriptive Title of Applicant's Project:**

Attach supporting documents as specified in agency instructions.

Application for Federal Assistance SF-424	
16. Congressional Districts Of:	
* a. Applicant <input style="width: 80px;" type="text" value="31, 35"/>	* b. Program/Project <input style="width: 80px;" type="text" value="31, 35"/>
Attach an additional list of Program/Project Congressional Districts if needed.	
<input style="width: 300px;" type="text"/>	<input type="button" value="Add Attachment"/> <input type="button" value="Delete Attachment"/> <input type="button" value="View Attachment"/>
17. Proposed Project:	
* a. Start Date: <input style="width: 80px;" type="text" value="07/01/2025"/>	* b. End Date: <input style="width: 80px;" type="text" value="07/01/2026"/>
18. Estimated Funding (\$):	
* a. Federal	<input style="width: 150px;" type="text" value="172,779.00"/>
* b. Applicant	<input style="width: 150px;" type="text"/>
* c. State	<input style="width: 150px;" type="text"/>
* d. Local	<input style="width: 150px;" type="text"/>
* e. Other	<input style="width: 150px;" type="text"/>
* f. Program Income	<input style="width: 150px;" type="text"/>
* g. TOTAL	<input style="width: 150px;" type="text" value="172,779.00"/>
* 19. Is Application Subject to Review By State Under Executive Order 12372 Process?	
<input type="checkbox"/> a. This application was made available to the State under the Executive Order 12372 Process for review on <input style="width: 100px;" type="text"/> .	
<input type="checkbox"/> b. Program is subject to E.O. 12372 but has not been selected by the State for review.	
<input checked="" type="checkbox"/> c. Program is not covered by E.O. 12372.	
* 20. Is the Applicant Delinquent On Any Federal Debt? (If "Yes," provide explanation in attachment.)	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If "Yes", provide explanation and attach	
<input style="width: 300px;" type="text"/>	<input type="button" value="Add Attachment"/> <input type="button" value="Delete Attachment"/> <input type="button" value="View Attachment"/>
21. *By signing this application, I certify (1) to the statements contained in the list of certifications** and (2) that the statements herein are true, complete and accurate to the best of my knowledge. I also provide the required assurances** and agree to comply with any resulting terms if I accept an award. I am aware that any false, fictitious, or fraudulent statements or claims may subject me to criminal, civil, or administrative penalties. (U.S. Code, Title 18, Section 1001)	
<input checked="" type="checkbox"/> ** I AGREE	
<small>** The list of certifications and assurances, or an internet site where you may obtain this list, is contained in the announcement or agency specific instructions.</small>	
Authorized Representative:	
Prefix: <input style="width: 100px;" type="text"/>	* First Name: <input style="width: 300px;" type="text" value="Matthew"/>
Middle Name: <input style="width: 300px;" type="text"/>	
* Last Name: <input style="width: 500px;" type="text" value="Ballantyne"/>	
Suffix: <input style="width: 100px;" type="text"/>	
* Title: <input style="width: 450px;" type="text" value="City Manager"/>	
* Telephone Number: <input style="width: 300px;" type="text" value="(909) 350-7653"/>	Fax Number: <input style="width: 250px;" type="text"/>
* Email: <input style="width: 600px;" type="text" value="mballantyne@fontanaca.gov"/>	
* Signature of Authorized Representative: 	* Date Signed: <input style="width: 100px;" type="text" value="05/28/2025"/>

**Applicant and Recipient
Assurances and Certifications**
**U.S. Department of Housing
and Urban Development**

 OMB Number: 2510-0017
 Expiration Date: 1/31/2026

Instructions for the HUD 424-B Assurances and Certifications

As part of your application for HUD funding, you, as the official authorized to sign on behalf of your organization or as an individual, must provide the following assurances and certifications. The Responsible Civil Rights Official has specified this form for use for purposes of general compliance with 24 CFR §§ 1.5, 3.115, 8.50, and 146.25, as applicable. The Responsible Civil Rights Official may require specific civil rights assurances to be furnished consistent with those authorities and will specify the form on which such assurances must be made. A failure to furnish or comply with the civil rights assurances contained in this form may result in the procedures to effect compliance at 24 CFR §§ 1.8, 3.115, 8.57, or 146.39.

By submitting this form, you are stating that all assertions made in this form are true, accurate, and correct.

As the duly representative of the applicant, I certify that the applicant: [Insert below the Name and title of the Authorized Representative, name of Organization and the date of signature]:

*Authorized Representative Name:

Matthew C. Ballantyne

*Title: City Manager

*Applicant/Recipient Organization:

City of Fontana

1. Has the legal authority to apply for Federal assistance, has the institutional, managerial and financial capability (including funds to pay the non-Federal share of program costs) to plan, manage and complete the program as described in the application and the governing body has duly authorized the submission of the application, including these assurances and certifications, and authorized me as the official representative of the application to act in connection with the application and to provide any additional information as may be required.

2. Will administer the grant in compliance with Title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000(d)) and implementing regulations (24 CFR part 1), which provide that no person in the United States shall, on the grounds of race, color or national origin, be excluded from participation in, be denied the benefits of, or otherwise be subject to discrimination under any program or activity that receives Federal financial assistance OR if the applicant is a Federally recognized Indian tribe or its tribally designated housing entity, is subject to the Indian Civil Rights Act (25 U.S.C. 1301-1303).

3. Will administer the grant in compliance with Section 504 of the Rehabilitation Act of 1973 (29 U.S.C. 794), as amended, and implementing regulations at 24 CFR part 8, the American Disabilities Act (42 U.S.C. §§ 12101 et seq.), and implementing regulations at 28 CFR part 35 or 36, as applicable, and the Age Discrimination Act of 1975 (42 U.S.C. 6101-07) as amended, and implementing regulations at 24 CFR part 146 which together provide that no person in the United States shall, on the grounds of disability or age, be excluded from participation in, be denied the benefits of, or otherwise be subjected to discrimination under any program or activity that receives Federal financial assistance; except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

4. Will comply with the Fair Housing Act (42 U.S.C. 3601-19), as amended, and the implementing regulations at 24 CFR part 100, which prohibit discrimination in housing on the basis of race, color, religion sex (including gender identity and sexual orientation), disability, familial status, or national origin and will affirmatively further fair housing; except an

applicant which is an Indian tribe or its instrumentality which is excluded by statute from coverage does not make this certification; and further except if the grant program authorizes or limits participation to designated populations, then the applicant will comply with the nondiscrimination requirements within the designated population.

5. Will comply with all applicable Federal nondiscrimination requirements, including those listed at 24 CFR §§ 5.105(a) and 5.106 as applicable.

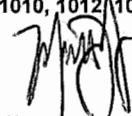
6. Will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended (42 U.S.C. 4601) and implementing regulations at 49 CFR part 24 and, as applicable, Section 104(d) of the Housing and Community Development Act of 1974 (42 U.S.C. 5304(d)) and implementing regulations at 24 CFR part 42, subpart A.

7. Will comply with the environmental requirements of the National Environmental Policy Act (42 U.S.C. 4321 et seq.) and related Federal authorities prior to the commitment or expenditure of funds for property.

8. That no Federal appropriated funds have been paid, or will be paid, by or on behalf of the applicant, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, and officer or employee of Congress, or an employee of a Member of Congress, in connection with the awarding of this Federal grant or its extension, renewal, amendment or modification. If funds other than Federal appropriated funds have or will be paid for influencing or attempting to influence the persons listed above, I shall complete and submit Standard Form-LLL, Disclosure Form to Report Lobbying. I certify that I shall require all subawards at all tiers (including sub-grants and contracts) to similarly certify and disclose accordingly. Federally recognized Indian Tribes and tribally designated housing entities (TDHEs) established by Federally-recognized Indian tribes as a result of the exercise of the tribe's sovereign power are excluded from coverage by the Byrd Amendment, but State-recognized Indian tribes and TDHs established under State law are not excluded from the statute's coverage.

I/We, the undersigned, certify under penalty of perjury that the information provided above is true and correct. **WARNING: Anyone who knowingly submits a false claim or makes a false statement is subject to criminal and/or civil penalties, including confinement for up to 5 years, fines, and civil and administrative penalties. (18 U.S.C. §§287, 1001, 1010, 1012/1014; 31 U.S.C. §3729, 3802).**

* Signature:



* Date: (mm/dd/yyyy): 05/28/2025



Public Reporting Burden Statement: The public reporting burden for this collection of information is estimated to average 0.5 hours per response, including the time for reviewing instructions, searching existing data sources, gathering, and maintaining the data needed, and completing and reviewing the collection of information. Comments regarding the accuracy of this burden estimate and any suggestions for reducing this burden can be sent to: U.S. Department of Housing and Urban Development, Office of the Chief Data Officer, R, 451 7th St SW, Room 4176, Washington, DC 20410-5000. **Do not send completed HUD-424B forms to this address.** This agency may not conduct or sponsor, and a person is not required to respond to, a collection of information unless the collection displays a valid OMB control number. The Department of Housing and Urban Development is authorized to collect this information under the authority cited in the Notice of Funding Opportunity for this grant program. The information collected provides assurances and certifications for legal requirements related to the administration of this grant program. HUD will use this information to ensure compliance of its grantees. This information is required to obtain the benefit sought in the grant program. This information will not be held confidential and may be made available to the public in accordance with the Freedom of Information Act (5 U.S.C. §552).

CERTIFICATIONS

In accordance with the applicable statutes and the regulations governing the consolidated plan regulations, the jurisdiction certifies that:

Affirmatively Further Fair Housing --The jurisdiction will affirmatively further fair housing.

Uniform Relocation Act and Anti-displacement and Relocation Plan -- It will comply with the acquisition and relocation requirements of the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970, as amended, (42 U.S.C. 4601-4655) and implementing regulations at 49 CFR Part 24. It has in effect and is following a residential anti-displacement and relocation assistance plan required under 24 CFR Part 42 in connection with any activity assisted with funding under the Community Development Block Grant or HOME programs.

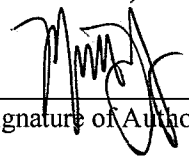
Anti-Lobbying --To the best of the jurisdiction's knowledge and belief:

1. No Federal appropriated funds have been paid or will be paid, by or on behalf of it, to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any Federal contract, the making of any Federal grant, the making of any Federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any Federal contract, grant, loan, or cooperative agreement;
2. If any funds other than Federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this Federal contract, grant, loan, or cooperative agreement, it will complete and submit Standard Form-LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions; and
3. It will require that the language of paragraph 1 and 2 of this anti-lobbying certification be included in the award documents for all subawards at all tiers (including subcontracts, subgrants, and contracts under grants, loans, and cooperative agreements) and that all subrecipients shall certify and disclose accordingly.

Authority of Jurisdiction --The consolidated plan is authorized under State and local law (as applicable) and the jurisdiction possesses the legal authority to carry out the programs for which it is seeking funding, in accordance with applicable HUD regulations.

Consistency with plan --The housing activities to be undertaken with Community Development Block Grant, HOME, Emergency Solutions Grant, and Housing Opportunities for Persons With AIDS funds are consistent with the strategic plan in the jurisdiction's consolidated plan.

Section 3 -- It will comply with section 3 of the Housing and Urban Development Act of 1968 (12 U.S.C. 1701u) and implementing regulations at 24 CFR Part 75.



Signature of Authorized Official

6/4/25

Date

City Manager

Title

Specific Community Development Block Grant Certifications

The Entitlement Community certifies that:

Citizen Participation -- It is in full compliance and following a detailed citizen participation plan that satisfies the requirements of 24 CFR 91.105.

Community Development Plan -- Its consolidated plan identifies community development and housing needs and specifies both short-term and long-term community development objectives that have been developed in accordance with the primary objective of the CDBG program (i.e., the development of viable urban communities, by providing decent housing and expanding economic opportunities, primarily for persons of low and moderate income) and requirements of 24 CFR Parts 91 and 570.

Following a Plan -- It is following a current consolidated plan that has been approved by HUD.

Use of Funds -- It has complied with the following criteria:

1. Maximum Feasible Priority. With respect to activities expected to be assisted with CDBG funds, it has developed its Action Plan so as to give maximum feasible priority to activities which benefit low- and moderate-income families or aid in the prevention or elimination of slums or blight. The Action Plan may also include CDBG-assisted activities which the grantee certifies are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community, and other financial resources are not available (see Optional CDBG Certification).

2. Overall Benefit. The aggregate use of CDBG funds, including Section 108 guaranteed loans, during program year(s) 2023, 2024, 2025 [a period specified by the grantee of one, two, or three specific consecutive program years], shall principally benefit persons of low and moderate income in a manner that ensures that at least 70 percent of the amount is expended for activities that benefit such persons during the designated period.

3. Special Assessments. It will not attempt to recover any capital costs of public improvements assisted with CDBG funds, including Section 108 loan guaranteed funds, by assessing any amount against properties owned and occupied by persons of low and moderate income, including any fee charged or assessment made as a condition of obtaining access to such public improvements.

However, if CDBG funds are used to pay the proportion of a fee or assessment that relates to the capital costs of public improvements (assisted in part with CDBG funds) financed from other revenue sources, an assessment or charge may be made against the property with respect to the public improvements financed by a source other than CDBG funds.

In addition, in the case of properties owned and occupied by moderate-income (not low-income) families, an assessment or charge may be made against the property for public improvements financed by a source other than CDBG funds if the jurisdiction certifies that it lacks CDBG funds to cover the assessment.

Excessive Force -- It has adopted and is enforcing:

1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
2. A policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within its jurisdiction.

Compliance with Anti-discrimination laws -- The grant will be conducted and administered in conformity with title VI of the Civil Rights Act of 1964 (42 U.S.C. 2000d) and the Fair Housing Act (42 U.S.C. 3601-3619) and implementing regulations.

Lead-Based Paint -- Its activities concerning lead-based paint will comply with the requirements of 24 CFR Part 35, Subparts A, B, J, K and R.

Compliance with Laws -- It will comply with applicable laws.

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Signature of Authorized Official

6/4/25
Date

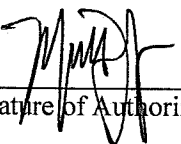
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OPTIONAL Community Development Block Grant Certification

Submit the following certification only when one or more of the activities in the action plan are designed to meet other community development needs having particular urgency as specified in 24 CFR 570.208(c):

The grantee hereby certifies that the Annual Plan includes one or more specifically identified CDBG-assisted activities which are designed to meet other community development needs having particular urgency because existing conditions pose a serious and immediate threat to the health or welfare of the community and other financial resources are not available to meet such needs.

RVB



Signature of Authorized Official

6/4/25

Date

City Manager

Title

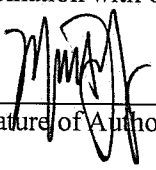
Specific HOME Certifications

The HOME participating jurisdiction certifies that:

Tenant Based Rental Assistance -- If it plans to provide tenant-based rental assistance, the tenant-based rental assistance is an essential element of its consolidated plan.

Eligible Activities and Costs -- It is using and will use HOME funds for eligible activities and costs, as described in 24 CFR §§92.205 through 92.209 and that it is not using and will not use HOME funds for prohibited activities, as described in §92.214.

Subsidy layering -- Before committing any funds to a project, it will evaluate the project in accordance with the guidelines that it adopts for this purpose and will not invest any more HOME funds in combination with other Federal assistance than is necessary to provide affordable housing;

RB


Signature of Authorized Official

6/4/25

Date

City Manager

Title

Emergency Solutions Grants Certifications

The Emergency Solutions Grants Program recipient certifies that:

Major rehabilitation/conversion/renovation – If an emergency shelter's rehabilitation costs exceed 75 percent of the value of the building before rehabilitation, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 10 years after the date the building is first occupied by a homeless individual or family after the completed rehabilitation.

If the cost to convert a building into an emergency shelter exceeds 75 percent of the value of the building after conversion, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 10 years after the date the building is first occupied by a homeless individual or family after the completed conversion.

In all other cases where ESG funds are used for renovation, the recipient will maintain the building as a shelter for homeless individuals and families for a minimum of 3 years after the date the building is first occupied by a homeless individual or family after the completed renovation.

Essential Services and Operating Costs – In the case of assistance involving shelter operations or essential services related to street outreach or emergency shelter, the recipient will provide services or shelter to homeless individuals and families for the period during which the ESG assistance is provided, without regard to a particular site or structure, so long the recipient serves the same type of persons (e.g., families with children, unaccompanied youth, disabled individuals, or victims of domestic violence) or persons in the same geographic area.

Renovation – Any renovation carried out with ESG assistance shall be sufficient to ensure that the building involved is safe and sanitary.

Supportive Services – The recipient will assist homeless individuals in obtaining permanent housing, appropriate supportive services (including medical and mental health treatment, victim services, counseling, supervision, and other services essential for achieving independent living), and other Federal State, local, and private assistance available for these individuals.

Matching Funds – The recipient will obtain matching amounts required under 24 CFR 576.201.

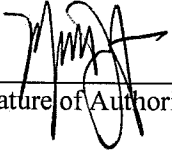
Confidentiality – The recipient has established and is implementing procedures to ensure the confidentiality of records pertaining to any individual provided family violence prevention or treatment services under any project assisted under the ESG program, including protection against the release of the address or location of any family violence shelter project, except with the written authorization of the person responsible for the operation of that shelter.

Homeless Persons Involvement – To the maximum extent practicable, the recipient will involve, through employment, volunteer services, or otherwise, homeless individuals and families in constructing, renovating, maintaining, and operating facilities assisted under the ESG program, in providing services assisted under the ESG program, and in providing services for occupants of facilities assisted under the program.

Consolidated Plan – All activities the recipient undertakes with assistance under ESG are consistent with its consolidated plan.

Discharge Policy – The recipient will establish and implement, to the maximum extent practicable and where appropriate, policies and protocols for the discharge of persons from publicly funded institutions or systems of care (such as health care facilities, mental health facilities, foster care or other youth facilities, or correction programs and institutions) in order to prevent this discharge from immediately resulting in homelessness for these persons.

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Signature of Authorized Official

6/4/25

Date

City Manager

Title

APPENDIX TO CERTIFICATIONS

INSTRUCTIONS CONCERNING LOBBYING CERTIFICATION:

Lobbying Certification

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by section 1352, title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.