



**DEPARTMENT OF
BUILDING & SAFETY**
8353 SIERRA AVE, FONTANA, CA 92335
(909) 350-7640

Plan Check Submittal Requirements for: ROOM ADDITIONS

All room addition plans submitted for plan check must meet the minimum requirements listed below. Defaced, faded, illegible, or incomplete plans will not be accepted or reviewed. The following information is intended to provide GENERAL GUIDELINES ONLY! Please contact staff at the Public Information Counter for complete requirements and policies regarding submission for plan check. All plan check fees must be paid at the time the plans are submitted for review. A PRE-ALTERATION INSPECTION IS REQUIRED PRIOR TO THE SUBMISSION OF ANY PLANS FOR PLAN CHECK. In addition, it is highly recommended that a pre-alteration inspection be obtained before plans are prepared.

To submit for plan check, you will need **FOUR (4) COMPLETE SETS OF PLANS [(5) COMPLETE SETS IF GREATER THAN 250 S.F.]** and **TWO (2) SETS OF STRUCURAL CALCULATIONS, REPORTS OR OTHER DATA.** Plans shall be drawn to scale upon substantial paper (18"x 24") minimum and shall be of sufficient clarity to indicate the location, nature, and extent of the work proposed and show in detail that it will conform to the provisions of all applicable and relevant codes, laws, ordinances, rules and regulations. A complete set of plans and calculations consists of at least the following information and/or plans:

1. Plot Plan: To scale, fully dimensioned, with a north arrow, indicating all lot lines (property lines), all existing buildings and structures, and the location of the proposed addition(s). Provide the job address, owner's name, assessor's parcel number, lot size, distance to lot lines (property lines) and all other building or structures on the property, basic site layout, existing type of construction; proposed use of addition(s), the use of all other buildings and/or structures on the property, the type and location of sewage disposal system, and location of any slopes on property that may affect design.
2. Foundation Plan(s): To scale, fully dimensioned, indicating the location of all footings and their size. Provide complete detailing indicating the width and depths of footings, how the existing and new footings will be tied together; slab thickness, type, size and spacing of anchor bolts/washers, hold-downs, column bases, etc. If the building has a raised floor, indicate the size and spacing of floor joists and girders, under-floor access and ventilation. Provide both existing and proposed conditions.
3. Floor Plan: Provide a doubled lined plan view of the proposed addition(s). Indicate size and location of all doors, windows, and headers. Show size and spacing, and direction of ceiling joist. Identify all plumbing fixtures, electrical devices, outlets, lights, and switches. Show the existing dwelling and the uses and sizes of all rooms. Show locations and size of the existing windows and doors. Indicate the square footage of the proposed addition and the use(s).
4. Roof Plan: A complete truss package is required if conventional construction is not used. Show the roof slope, type and size of the roof rafters, type and size of the roof sheathing. Indicate the type of roof covering materials and that all roof materials shall be installed per the manufacturer specifications for "High Wind" areas. Show how the new roof will tie into the existing roof.

(ROOM ADDITION)

5. Exterior Elevations: Provide three (3) exterior elevations ie; rear, left, right sides and the direction each elevation faces - north, south, east, etc. Show doors, windows, finished floor line, exterior finish, and indicate the roof materials and pitch.
6. Framing Plan: Provide a cross section (cut view) of the proposed addition. Show foundation, wall framing/studs, ceiling joist, rafters/trusses, roof pitch, etc. Indicate the size, spacing, and materials proposed. Show the locations of all braced wall panels, shear walls, columns, and posts. Show both existing and proposed conditions. Show all structural connections.
7. T-24 Energy Compliance: The following can be used to meet the State Energy Requirements (Climate Zone 10, Component Packages 'B' or 'C' per table 150.1-A of the 2019 California Energy Code) for room additions and must be specified on the plans:
 - a. Ceiling insulation:
 - Option 'B': R-38 and R-19 below roof deck, or
 - Option 'C': R-30
 - b. R-13 wall insulation.
 - c. R-19 insulation in raised floor areas.
 - d. Dual glazing (Total area of glazing not to exceed 20% of the gross floor area plus the area of any removed glazing for the addition; total West facing glazing not to exceed 5%.) All new windows must be factory labeled as 0.23 SHGC (max.) and 0.30 U-Factor (max).
 - e. The proposed room addition must also comply with the "Mandatory Features and Devices regulations. Any deviations in this area will be identified during the plan review process.
 - f. Radiant Barrier is required in the attic for option 'C' (not required for option 'B' if selected).
 - g. Insulation must be inspected and certified by a HERS rater.

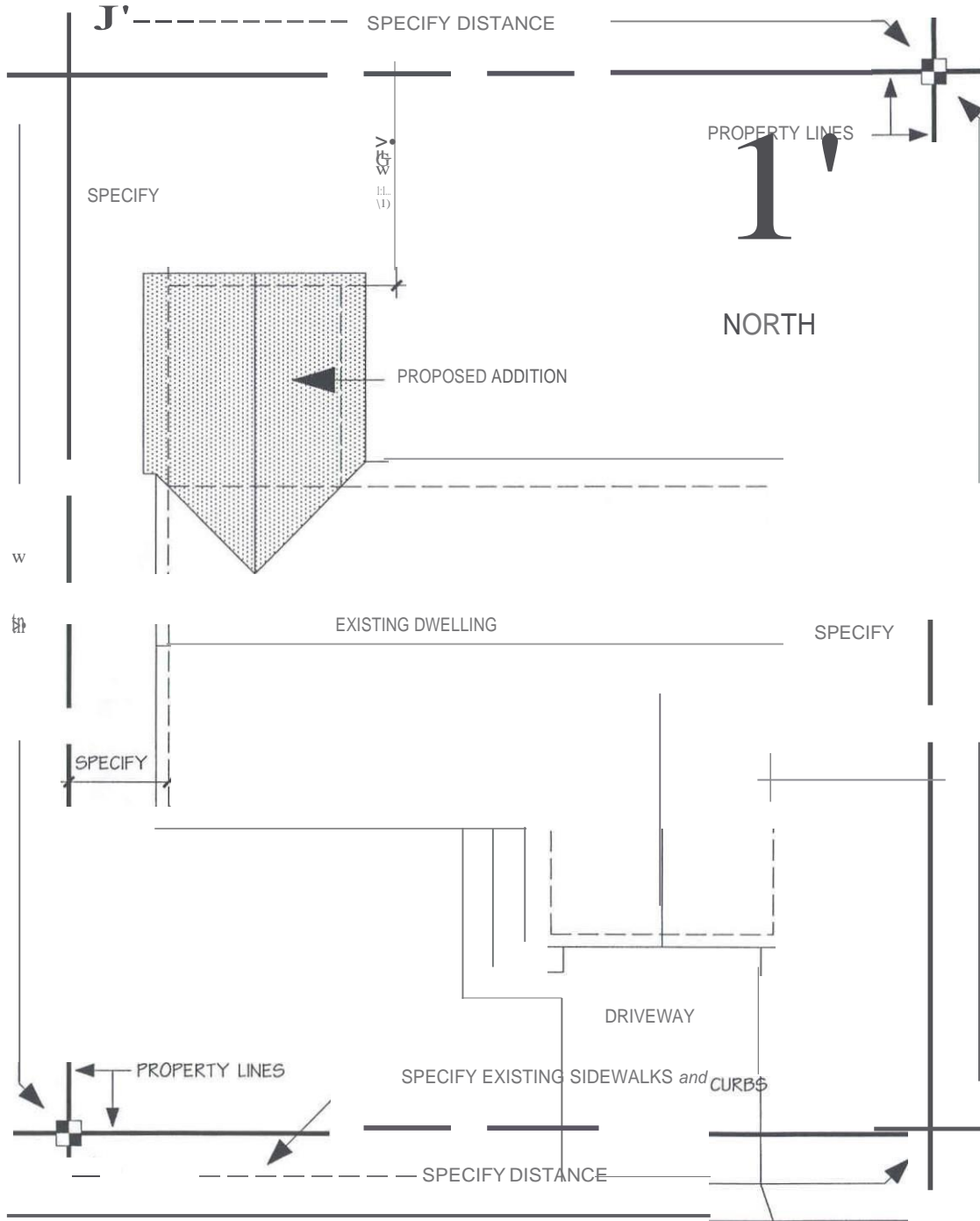
For additions which cannot meet the above requirements of the Package Compliance Method the Point System Compliance Method must be used. (Computer based system)

Additional Requirements:

If the existing structure (dwelling) has fire sprinklers, the addition shall also be fire sprinklered. If the existing structure does not have fire sprinklers, but the addition exceeds 50% of the existing floor area, the addition and the existing structure shall be fire sprinklered. Fire sprinkler plans shall be submitted to & approved by the Fire Prevention, Planning, and Inspection section of the Fontana Fire Department (909) 428-8890.

School fees may be required. Contact the applicable School District for current fee information.

Street dedication and improvements may be required depending on the size of the addition. Contact the Land Development Section of the City of Fontana Engineering Department at (909) 350-7610 for further information.



LEGAL DESCRIPTION

TRACT# _____

LOT# _____

ASSESSOR PARCEL NUMBER

OWNER'S NAME:

(PRINT CLEARLY)

PROJECT ADDRESS:

(PRINT CLEARLY)

NOTE:

OWNER'S NAME AND PROJECT ADDRESS
MUST APPEAR ON EACH DRAWING SHEET

PLOT PLAN

SPECIFY DRAWING SCALE

NOTE:
(1) #4 (1/2" DIA.) REBAR REQUIRED
AT TOP AND BOTTOM OF ALL FOOTINGS

RAISED FLOOR:

- PROVIDE UNDERFLOOR ACCESS AND VENTILATION

ANCHOR BOLTS

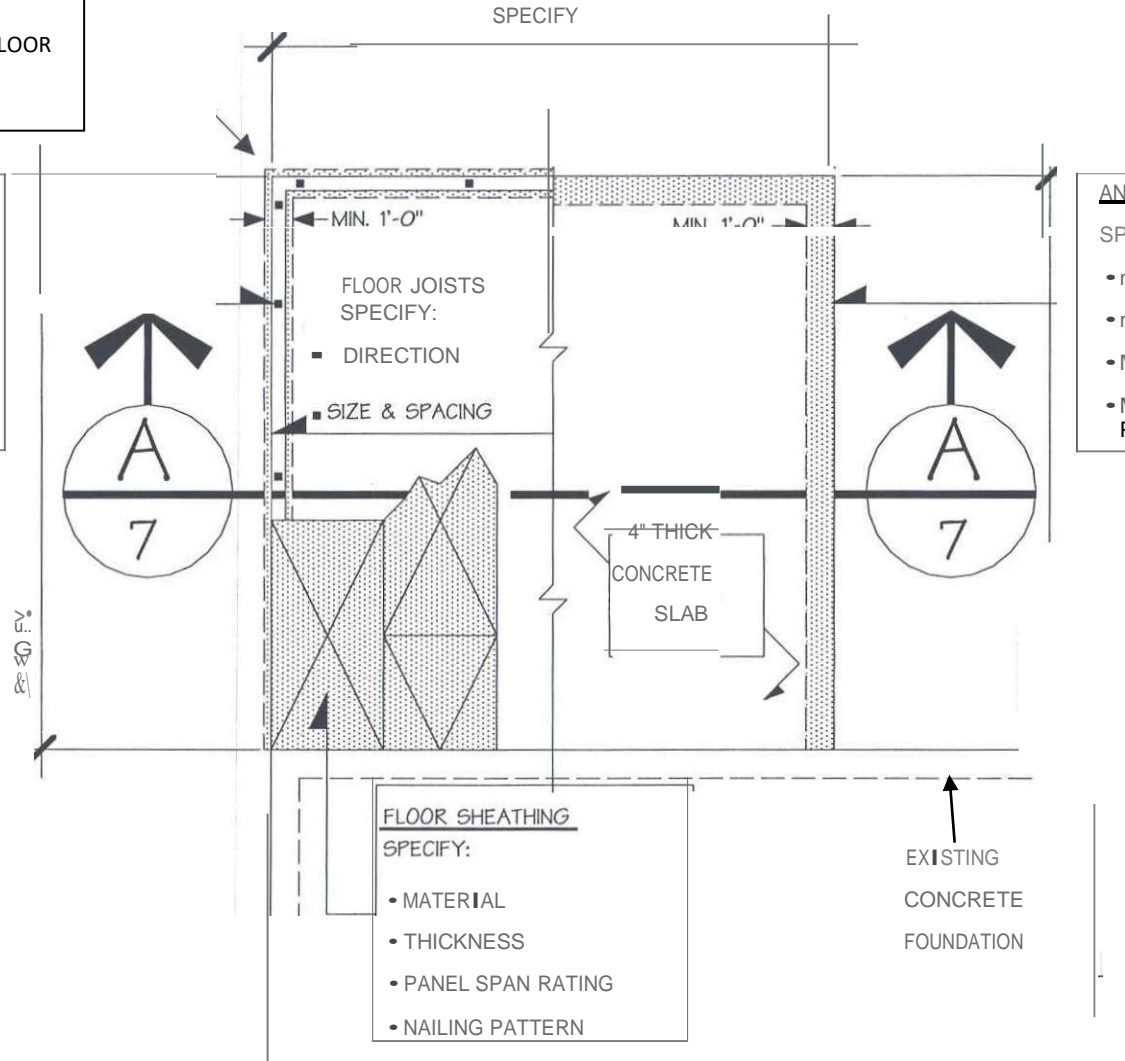
SPECIFY:

- min. 1/2" dia. x 10" Length
- min. 7" EMBEDMENT
- MAX. SPACING: 6'-0" o/c
- MAX. 1'-0" FROM END OF PLATE

ANCHOR BOLTS

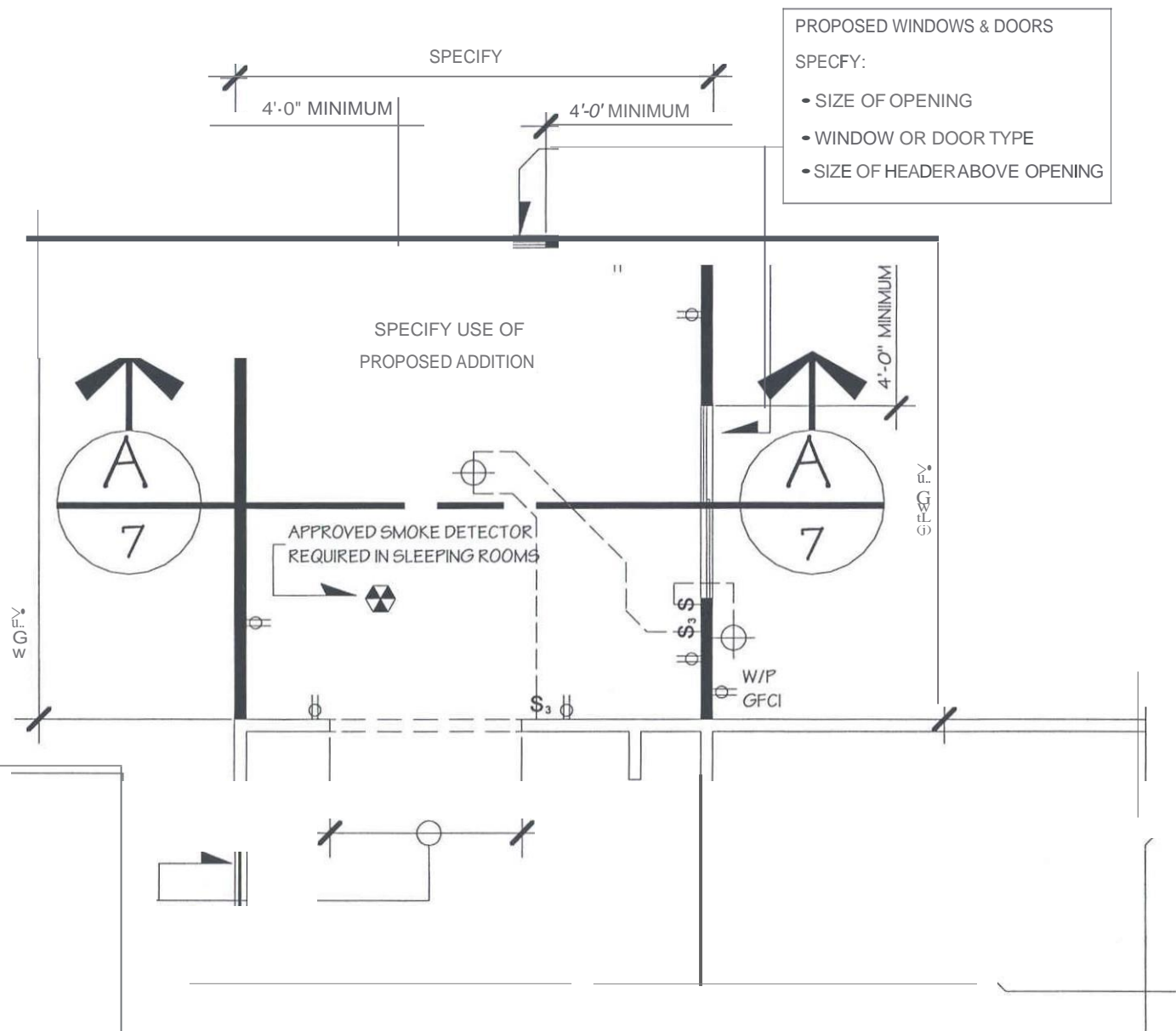
SPECIFY:

- min. 1/2" dia. x 10" Length
- min. 7" EMBEDMENT
- MAX. SPACING: 6'-0" o/c
- MAX. 1'-0" FROM END OF PLATE



SAMPLE

FOUNDATION PLAN



EXISTING OPENINGS

SPECIFY:

- SIZE OF EACH WINDOW OR DOOR IN EACH ROOM ADJACENT TO PROPOSED ADDITION
- SQUARE FOOTAGE & USE OF EACH ROOM ADJACENT TO PROPOSED ADDITION

FLOOR PLAN

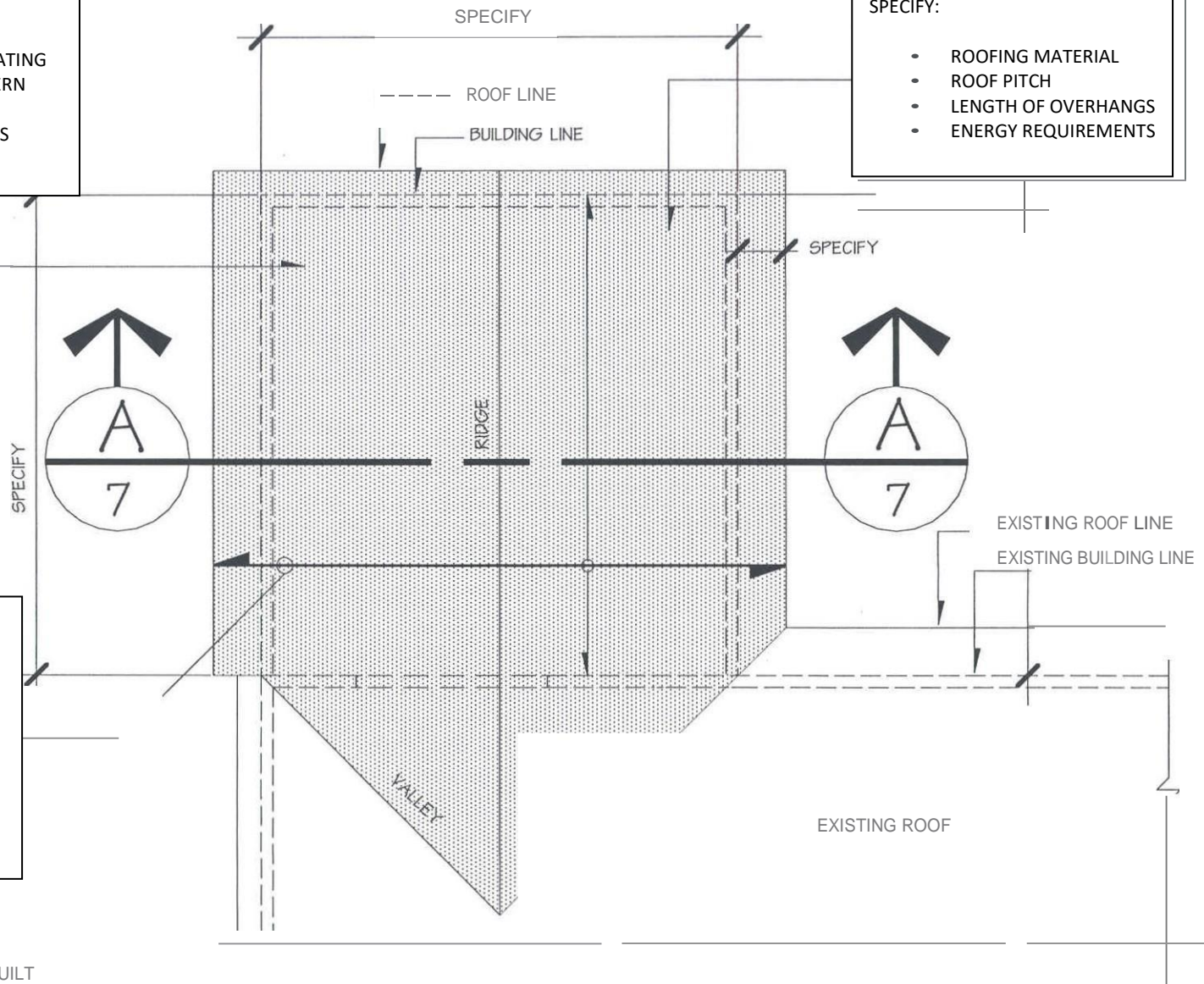
SPECIFY DRAWING SCALE

**NEW ROOF SHEATHING
SPECIFY:**

- MATERIAL
- THICKNESS
- PANEL SPAN RATING
- NAILING PATTERN
- ENERGY REQUIREMENTS

**NEW ROOF AREA
SPECIFY:**

- ROOFING MATERIAL
- ROOF PITCH
- LENGTH OF OVERHANGS
- ENERGY REQUIREMENTS



**PROPOSED ROOF FRAMING
SPECIFY:**

- RAFTER SIZE & SPACING
- RAFTER DIRECTION
- CEILING JOIST SIZE & SPACING
- CEILINGJOIST DIRECTION
- SIZE OF RIDGE BOARD

NOTE: TRUSS CALCULATIONS ARE
REQUIRED FOR FACTORY-BUILT
PREFABRICATED ROOF TRUSSES

ROOF PLAN

SPECIFY DRAWING SCALE

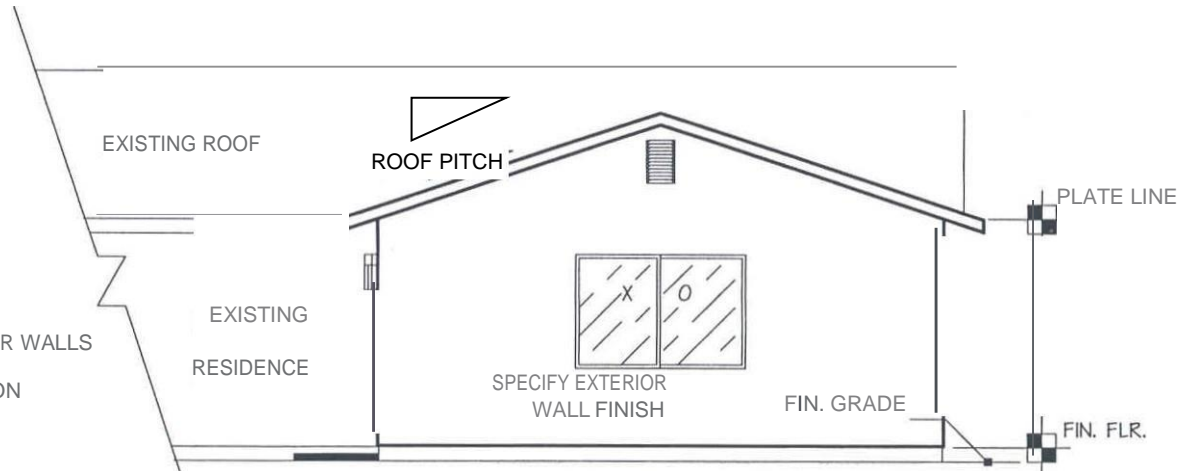
EXTERIOR ELEVATIONS

SPECIFY:

- REAR, LEFT and RIGHT SIDE VIEWS
- DOORS and WINDOWS
- EXTERIOR WALL FINISH MATERIALS
- ROOFING MATERIAL

ROOF PITCH

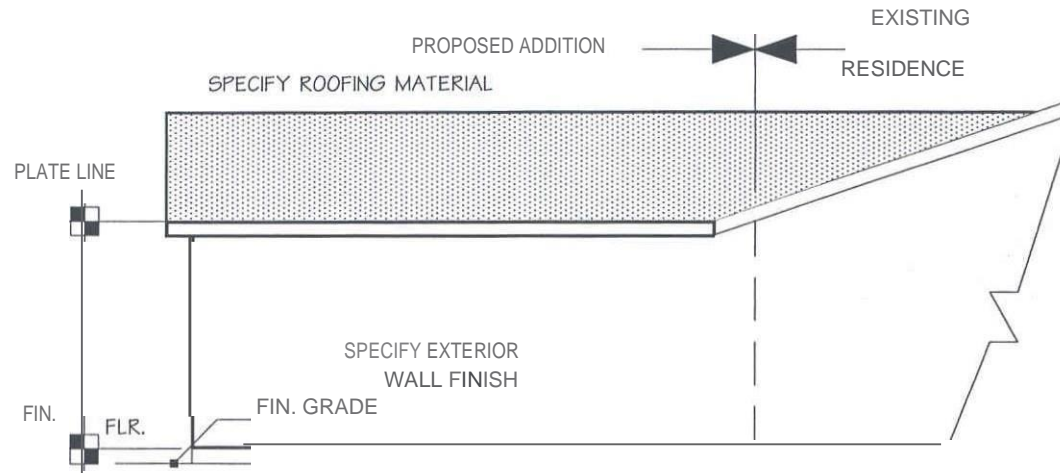
- METHOD OF LATERAL BRACING OF EXTERIOR WALLS
- FINISHED FLOOR to PLATE LINE DIMENSION
- LINE OF FINISHED GRADE



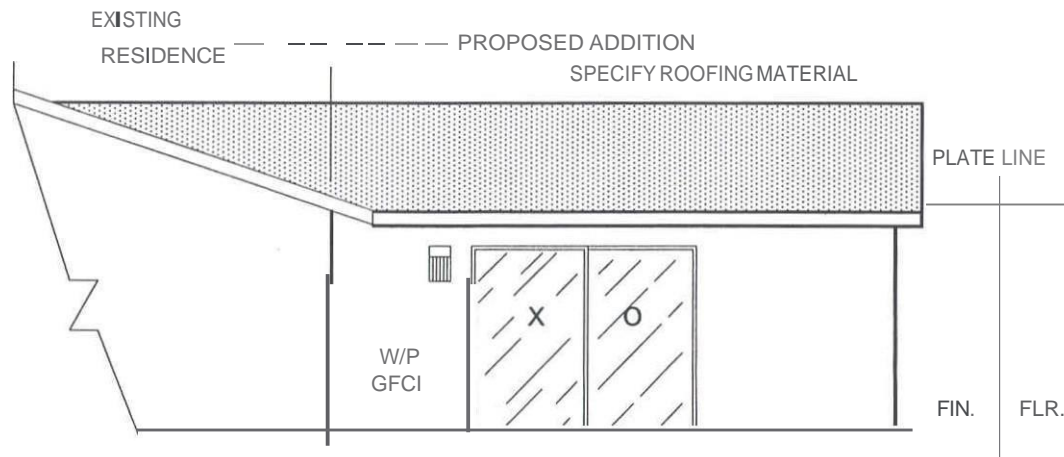
REAR

EXTERIOR ELEVATION

SPECIFY DRAWING SCALE



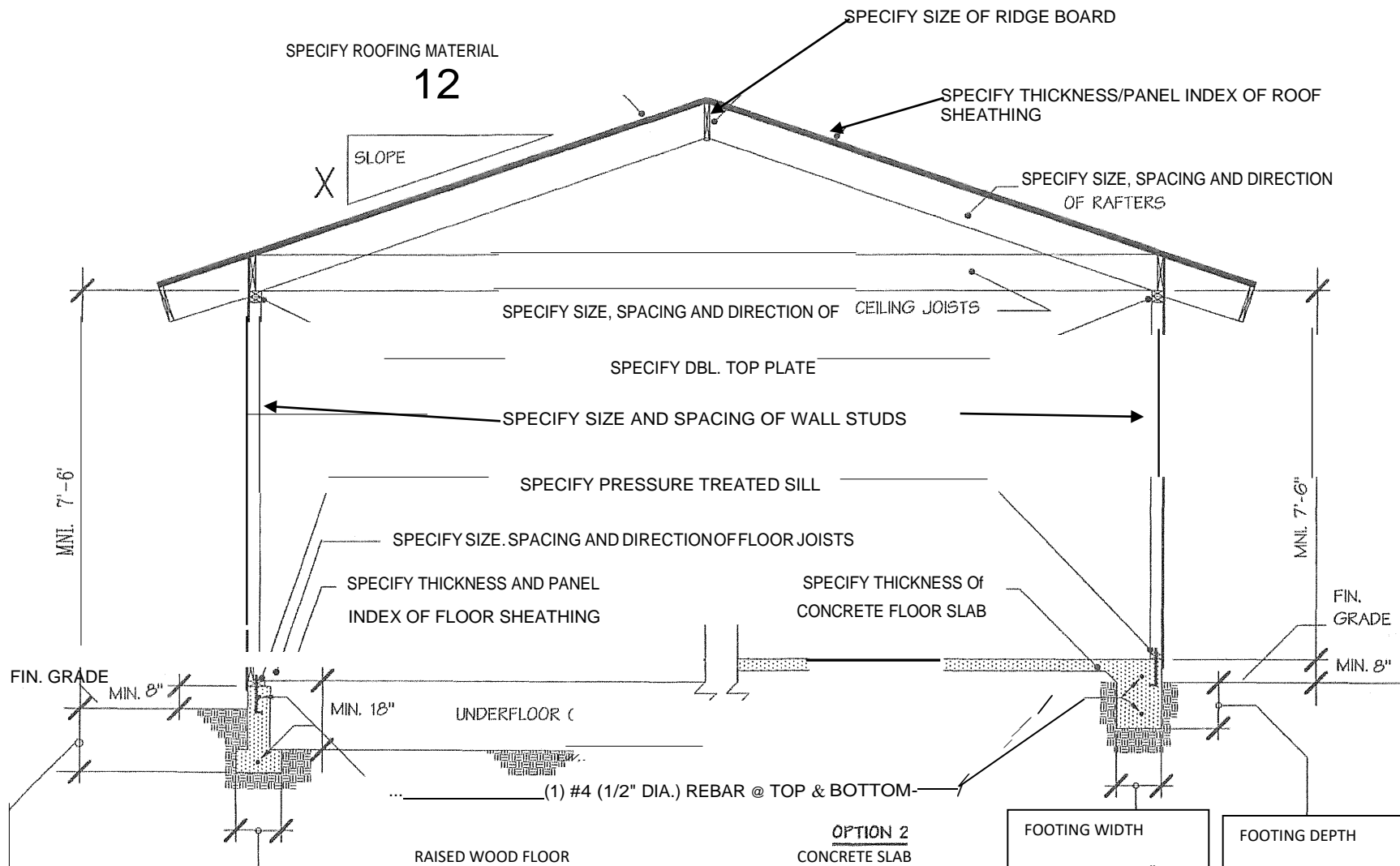
RIGHT SIDE



LEFT SIDE

EXTERIOR ELEVATIONS

SPECIFY DRAWING SCALE



CROSS SECTION A-A

SPECIFY DRAWING SCALE