

ORDINANCE NO. 1923

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF FONTANA, APPROVING ZONING AND DEVELOPMENT CODE AMENDMENT NO. 22-010 TO ESTABLISH THE DOWNTOWN CORE LAND USE DISTRICTS AND ASSOCIATED DEVELOPMENT STANDARDS IN ORDER TO INCREASE RESIDENTIAL HOUSING AND MIXED AND COMMERCIAL USES IN THE DOWNTOWN ON 478 ACRES BOUNDED BY FOOTHILL BOULEVARD ON THE NORTH, RANDALL AVENUE ON THE SOUTH, JUNIPER AVENUE ON THE WEST, AND MANGO AVENUE ON THE EAST.

WHEREAS, on March 28, 2019, the City of Fontana applied for the State of California SB2 grant to secure fundings for the increase in housing development; and

WHEREAS, it is the City goal to build a downtown that will provide for entertainment, retail, service, and residential uses; and

WHEREAS, the City desires to introduce six (6) new districts (Sierra Core, Gateway Core, Mixed-Use Core, Multi-Family Core, Neighborhood Core, Civic Core) to the City's downtown core, through Chapter 30 of the Fontana Municipal Code, that would allocate and increase the residential density and mixed-use development opportunities in the downtown core and foster the City's goal of creating a local and regional hub for entertainment, retail, service, and residential uses in the area; and

WHEREAS, the subject site includes 478 acres that were part of the incorporation of the City of Fontana on June 25, 1952; and

WHEREAS, all the notices required by statute, or the Fontana Municipal Code have been given as required; and

WHEREAS, on July 18, 2023, the Planning Commission received public testimony and evidence presented by City staff, and other interested parties at a public hearing held on the Downtown Core Project EIR (State Clearinghouse No. 2022110624), General Plan Amendment No. 22-010, Zoning District Map Amendment No. 22-010, and after carefully considering all information pertaining to the proposed project, including the staff report, findings, and all information, evidence, and testimony presented, the Planning Commission recommended approval of the Project to the City Council; and

WHEREAS, on July 25, 2023, the City Council held a duly noticed public hearing on Zoning District Map (Zone Change) Amendment No. 22-010, received testimony and the supporting documents in evidence, and found that the Zoning District Map Amendment is in conformance with the goals and policies of the General Plan to

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provide a community that is balanced between residential, commercial, and industrial that is developed to high standards and provides diverse economic and social opportunities for our citizens and those who wish to invest here; and

WHEREAS, Zoning District Map Amendment (Zone Change) Amendment No. 22- 010 is consistent with the goals and policies of the City of Fontana, General Plan Goal 7 of Chapter 15, “support high-quality development in design standards and land use decisions”; and

WHEREAS, the City of Fontana wishes to protect and preserve the quality of the life throughout the City, through effective land use and planning.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA DOES HEREBY ORDAIN AS FOLLOWS:

Section 1. Recitals. The recitals are true and correct and incorporated herein by this reference.

Section 2. CEQA. The City Council approves this Ordinance pursuant to the certified Downtown Core Project Environmental Impact Report (State Clearinghouse No. 2022110624). The City Council finds that the EIR contains a complete and accurate reporting of all the environmental impacts associated with the Ordinance. The City Council further finds that the EIR has been completed in compliance with CEQA, 2019 Local Guidelines for Implementing the California Environmental Quality Act, and the State CEQA Guidelines. Further, based on the CEQA Sections 15162 through 15164, staff has determined that none of the criteria requiring a subsequent environmental document have been met and that further environmental analysis is not required. A Notice of Determination has been prepared.

Section 3. Findings. Based on the entire record before the City Council and all written and oral evidence presented to the City Council, the City Council finds this Ordinance promotes the public health, safety, and welfare of the community.

Section 4. Findings Pursuant to Section 30-40 of FMC. The City of Fontana City Council hereby makes the following findings for Zoning and Development Code Amendment No. 22-010 in accordance with Section 30-40 “Purpose” of the Fontana Zoning and Development Code:

Finding No. 1: **The Zoning and Development Code may be amended by changing the development standards (text) or zoning designation map boundaries of any zone whenever such an amendment is deemed necessary to protect or promote the public's health, safety, or general welfare or when modification is viewed as appropriate in the context of generally accepted planning principles, surrounding land uses, and the General Plan.**

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Findings of Fact: The City of Fontana is implementing the following six “core” districts within the City’s Downtown: the Civic Core, Gateway Core, Multi-Family Core, Mixed-Use Core, Neighborhood Core and Sierra Core. The Sierra Core will be the heart of the Downtown and allow seventy (70) units per acre with commercial development required on the first floor. The goal is to allow desirable development with attractive architecture, pedestrian amenities, and commercial development to create a vibrant Downtown. The Gateway and Mixed-Use Core districts will allow for mixed-use development with incentives to permit a density of up to fifty (50) units per acre with commercial development. Currently, the Form Based Code limits development up to thirty- nine (39) units per acre. The Multi-Family Core will allow for multi- family development up to thirty-nine (39) per acre and up to fifty (50) units per acre with a one-acre lot assemblage. This area will act as a buffer between the Core districts previously mentioned and the lower density Neighborhood Core. The Neighborhood Core allows for single-family development but does allow incentives to permit an extra accessory dwelling unit (ADU) in addition to the State mandate on ADU’s. Multi-family development is permitted in the Neighborhood Core, but the minimum lot size is one acre.

Section 5. Approval. The City Council approves Zoning and Development Code Amendment No. 22-010 to amend the Zoning and Development Code to implement the Downtown Core as shown on **Exhibit A** (Attachment No. 7) and attached hereto and by this reference incorporated as though fully set forth herein.

Section 6. Effective Date. This Ordinance shall take effect thirty (30) days after the date of the adoption. This Ordinance shall be published by the City Clerk at least once in the Herald News or other local newspaper of the general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

Section 7. Publication. This Ordinance shall be published by the City Clerk at least once in the Herald News or other local newspaper of the general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

Section 8. Severability. If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held to be invalid or unconstitutional by any court of competent jurisdiction, such decision shall not affect the validity of the remainder of the Ordinance. Council hereby declares that it would have adopted this Ordinance, and each section, subsection, sentence, clause, phrase, or portion thereof, irrespective of the fact that any one or more sections, subsections, sentences, clauses, phrases, or portions may be declared invalid or unconstitutional.

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Section 9. Custodian of Records. The documents and materials that constitute the record of proceedings on which this Ordinance is based are located at the City Clerk's office located at 8353 Sierra Avenue, Fontana, CA 92335. The custodian of records is the City Clerk.

APPROVED AND ADOPTED this 12th day of September 2023.

READ AND APPROVED AS TO LEGAL FORM:

Michelina Hassell

City Attorney

I, City Clerk of the City of Fontana, and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance adopted by the City Council and was introduced at a regular meeting on the 25th day of July 2023, and was finally passed and adopted not less than five days thereafter on the 12th day of September 2023, by the following vote to wit:

AYES: Mayor Warren, Mayor Pro Tem Garcia, Council Members Cothran, Roberts and Sandoval

NOES: None

ABSENT: None

ABSTAIN: None

Germaine key

City Clerk of the City of Fontana

Lequanetta Warren

Mayor of the City of Fontana

ATTEST:

Germaine key

City Clerk

Ordinance for Zone Change – Exhibit A

ARTICLE III FORM-BASED CODE

DIVISION 1. ADMINISTRATION

DIVISION 3. PERMITTED LAND USES

Sec. 30-359. Uses permitted.

This section of the Form-Based Code establishes the permitted land uses in each district and the corresponding permit requirements. A parcel or building subject to the Form-Based Code shall be occupied with only the land uses allowed by Table 30-300.A—Land Uses. Definitions of allowed land uses are provided in Section 30-632 List of definitions.

- (1) Section 30-405—Overall Form-Based Code district map illustrates the overall land use plan for the Form-Based Code areas.
- (2) If a land use is not defined in this section, the Director of Community Development may determine that the use is not permitted, or determine the appropriate definition and determine the proposed use to be permitted provided the Director of Community Development approves a Director's determination and makes the following findings in writing:
 - a. The land use will not impair the orderly implementation of the City of Fontana General Plan.
 - b. The land use is consistent with the purpose of the applicable zoning district.
 - c. The characteristics and activities associated with the proposed land use are similar to one or more of the listed land uses in Table 30-359.A—Land Uses and will not produce greater impacts than the land uses listed for the zoning district.
 - d. The land use will be compatible with the other land uses allowed in the zoning district.
 - e. The land use is not listed as allowed in another zoning district.
- (3) A "P" indicates a use is permitted by right subject to design review by the Planning Commission or administrative site plan review by the Director of Community Development.
- (4) An "M" indicates the use requires the granting of a minor use permit (MUP).

- (5) A "C" indicates the use requires the granting of a conditional use permit (CUP).
- (6) A "—" means the use is not permitted in that zoning district. Any use that is not listed is not permitted.
- (7) Uses marked with an asterisk "*" indicate that the use is not permitted on the ground floor except on Sierra Avenue.
- (8) Uses marked with an S superscript "^S" indicate that the use is subject to special use regulations in (reference specific use regulations) Section 30-360.
- (9) Uses marked with a DT superscript "^{DT}" indicate that the requirement pertains to parcels within the downtown boundary.

Table 30-359.A.—Land Uses

	Civic	Station Area	Downtown Gateway	Neighborhood	Multi-Family	Transitional	Sierra Gateway	Route 66 Gateway	Valley Gateway	Village
Administrative/Professional										
Architectural, design, and engineering services	P	P	P	—	—	P	P	P	P	P
Attorney/legal services	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (with drive-thru)	—	—	M	—	—	M	P	P	P	P
Brokerage firms and financial institutions	—	P	P	—	—	P	P	P	P	M
Exhibit halls and galleries with 15% or less retail sales area	—	P	P	—	—	P	P	P	P	P
General administrative offices	—	P	P	—	—	P	P	P	P	P
Government offices	P	P	P	—	—	P	P	P	P	P
Insurance and accounting offices	—	P	P	—	—	P	P	P	P	P
Massage/acupressure as primary use	—	—	M	—	—	M ^{DT} C	C	C	C	M
Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business	—	M	M	—	—	M	M	M	M	M
Real estate, escrow & property management offices	—	P	P	—	—	P	P	P	P	P
Recording/film studios	—	M	M	—	—	M	M	M	M	P
Animal Services										
Feed, tackle supplies for large animals	—	—	—	—	—	—	—	—	—	—
Pet boarding and kennels	—	M	M	—	—	M	M	M	M	—
Pet grooming	—	P	P	—	—	P	P	P	P	P

Veterinarian clinic and hospitals (with incidental boarding)	—	—	—	—	—	—	P	P	P	P
Pet sales and supplies (without outdoor storage)	—	—	P	—	—	P	P	P	P	P
Alcoholic Beverage Sales										
Alcoholic sales for off-site consumption, with or without tasting room	M	M	M	—	—	M	C	C	C	M
On-site sales in connection w/restaurant	M	M	M	—	—	M	C	C	C	M
Restaurant and café with entertainment and/or dancing	—	M	M	—	—	—	—	—	—	—
Manufacturing, including winery or micro-brewery with tasting room and no restaurant	M	M	M	—	—	M	C	C	C	M
Micro-breweries in connection with restaurant (Brew Pub)	M	M	M	—	—	M	C	C	C	M
Micro-breweries without tasting room	—	—	—	—	—	—	—	—	C	—
Educational/Instructional/Day Care Uses										
Adult day care	—	—	M	—	—	M	C	C	C	M
Children tutorial classes	—	—	M	—	—	M	M	M	M	M
Colleges—public and private	M	M	M	—	—	M	C	C	C	C
Schools—elementary, middle, secondary, high, private	M	M	M	M ^{DT} C	M ^{DT} C	M	C	C	C	C
Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA	P	M	M	—	—	P	M	M	M	M
Studio—Art, Dance, Martial Arts, Music (School) with less than 1,500 sq. ft. GFA	P	P	P	—	—	M	M	M	M	M
Licensed nurseries, pre-schools and day care facilities for children	—	M	M	—	—	M	M	M	M	M
Adult vocational classes, trade schools, computer training	—	—	M	—	—	M ^{DT} C	M	C	C	C

Traffic and automobile driving schools	—	—	—	—	—	— ^{DT} C	C	C	C	C
Food/Restaurants/Eating Establishments										
Bakery—primarily retail sales	P	P	P	—	—	P	P	P	P	P
Banquet Hall as ancillary use to primary permitted use	M	M	M	—	—	—	C	C	C	C
Catering services as primary use—may include on-site dining facilities	—	—	—	—	—	M ^{DT} P	P	P	P	—
Ice cream, juice, tea and candy shops	P	P	P	—	—	P	P	P	P	P
Restaurant/coffee shop with drive thru	—	—	—	—	—	—	M S	M	M	—
Restaurant/coffee shop without drive thru facilities or alcohol sales	P	P	P	—	—	P	P	P	P	P
Outdoor dining in public right-of-way	P ^S	P ^S	P ^S	—	—	P ^{S-DT}	—	—	—	—
General Merchandise/Retail Trade										
Antiques retail sales (excludes pawn shop)	—	P	P	—	—	P	P	P	P	P
Consumer electronics, computer and phone equipment retail sales	—	P	P	—	—	P	P	P	P	P
Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)	—	P	P	—	—	P	P	P	P	P
Art supplies, framing	—	P	P	—	—	P	P	P	P	P
Beauty supplies	—	P	P	—	—	P	P	P	P	P
Books and magazines	—	P	P	—	—	P	P	P	P	P
Camera and photographic supplies	—	P	P	—	—	P	P	P	P	P
Clothing/shoe stores	—	P	P	—	—	P	P	P	P	P
Cigar/cigarette/smoke shops/electronic cigarettes as a primary use	—	—	—	—	—	—	C	C	C	—
Consignment clothing sales	—	P	P	—	—	P	P	P	P	P
Farmer's Market	M ^S	M ^S	M ^S	—	—	—	—	—	—	—
Convenience stores	—	—	—	—	—	—	P	P	P	P

Floor covering (carpet, tile, and similar)	—	—	—	—	—	—	P	P	P	—
Florists	—	P	P	—	—	P	P	P	P	P
Food/drug store (less than 5,000 square feet GFA)	—	P	P	—	—	P	P	P	P	P
Food/drug store (greater than 5,000 square feet GFA)	—	—	—	—	—	—	M	M	M	—
Fabric stores (less than 5,000 square feet GFA)	—	P	P	—	—	P	P	P	P	P
Firearms, ammunition, related products, assembly—retail sales	—	—	C	—	—	—	—	—	—	—
Furniture, office and home furnishings	—	—	P	—	—	P	P	P	P	P
Garden supply with outdoor display of plants	—	—	—	—	—	P	P	—	—	—
General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores	—	P	P	—	—	P	P	P	P	P
Hardware/home improvement stores	—	P	P	—	—	P	P	P	P	P
Health, herbal, botanical stores	—	P	P	—	—	P	P	P	P	P
Hobby, toy and game	—	—	P	—	—	P	P	P	P	P
Hookah lounge/smoking room	—	—	—	—	—	C	C	C	C	C
Indoor swap meets/concession malls	—	—	—	—	—	—	—	—	—	—
Interior decorating, linen, and bath stores	—	P	P	—	—	P	P	P	P	P
Jewelry sales and repair (excludes pawn shop)	—	P	P	—	—	P	P	P	P	P
Leather goods and equipment	—	P	P	--	—	P	P	P	P	P
Musical instruments	—	P	P	—	—	P	P	P	P	P
Office supplies/stationery/cards	—	P	P	—	—	P	P	P	P	P
Pharmacies (without drive-thru)	—	P	P	—	—	P	P	P	P	P
Pharmacies (with drive-thru)	—	—	—	—	—	—	P	P	P	—
Sporting goods and equipment (no gun sales)	—	P	P	—	—	P	P	P	P	P

Thrift stores/second-hand store	—	—	—	—	—	—	M	M	M	—
Lodging Places										
Bed and Breakfast	—	—	—	M ^S	—	M ^{S-DT} —	—	—	—	—
Hotels and motels	M	M	M	—	—	M	M	M	M	—
Medical/Health Services										
Acute care/walk-in medical services (urgent care)	—	—	M	—	—	—	P	P	C	C
Ambulance services	—	—	—	—	—	—	—	—	—	—
Hospitals	—	—	—	—	—	—	—	—	—	—
Medical/dental/counseling/psychology/hearing aids/acupuncture/homeopathy/physical therapy/sports therapy	—	P	P	—	—	P	P	P	P	P
Optometry sales	—	P	P	—	—	P	P	P	P	P
Motor Vehicle Services										
Auto body and painting (primary use)	—	—	—	—	—	—	—	—	—	—
Auto broker offices	—	—	—	—	—	—	P	P	P	—
Auto car washes	—	—	—	—	—	—	M	M	M	—
Auto and motorcycle sales—new and used	—	—	—	—	—	—	M ^S	M ^S	M ^S	—
Auto rental agencies with parking for vehicle rentals	—	—	—	—	—	—	M	M	M	—
Auto/motorcycle repair—general, including quick lube, smog check, transmission service	—	—	—	—	—	—	C ^S	C ^S	C ^S	—
Auto upholstery	—	—	—	—	—	—	—	—	—	—
Auto car alarm and stereo installation (within an enclosed building only)	—	—	—	—	—	—	C	C	C	—
Commercial parking facilities and garages	P	P	P	—	—	P ^{DT} —	—	—	—	—
Gas/service station	—	—	—	—	—	—	C	C	C	—
Gas station with mini mart, car wash and/or restaurant	—	—	—	—	—	—	C	C	C	—

Truck, trailer and equipment rentals	—	—	—	—	—	—	—	—	—	—	—
Personal Services											
Barber, hair/nail/skincare/tanning salon and day spa	—	P	P	—	—	P	P	P	P	P	P
Body art (tattooing, body piercing, and/or permanent cosmetics)	—	—	P	—	—	P	P	P	P	P	P
Check cashing/deferred deposit or payday advance uses with or without ancillary services	—	—	—	—	—	—	—	—	—	—	—
Cemeteries, crematory, mortuary and mausoleums	—	—	—	—	—	—	—	—	—	—	—
Dry cleaners/laundry—non-commercial	—	—	P	—	—	P	P	P	P	P	P
Fortunetelling	—	P	P	—	—	—	P	—	P	—	—
Funeral parlors	—	—	—	—	—	—	—	—	—	—	—
Locksmith/key shops	—	P	P	—	—	P	P	P	P	P	—
Pawnshops/cash for gold and diamonds (as primary use)	—	—	—	—	—	—	—	—	—	—	—
Photocopying and photo developing (retail)	—	P	P	—	—	P	P	P	P	P	P
Photography studios	—	P	P	—	—	P	P	P	P	P	P
Postal services/mail box rentals	—	—	P	—	—	P	P	P	P	P	P
Shoe repair	—	P	P	—	—	P	P	P	P	P	P
Tailor and alterations	—	P	P	—	—	P	P	P	P	P	P
Public Facilities/Utilities											
Public park	P	P	P	P	P	P	P	P	P	P	P
Public maintenance yard and other non-office uses	P	M	M	—	—	M	M	M	M	M	M
Public utility structures	M	M	M	M	M	M	M	M	M	M	M
Recreation/Entertainment											
Cyber café	—	—	—	—	—	—	—	—	—	—	—
Billiards and pool halls	—	—	—	—	—	—	—	—	—	—	—
Escape rooms	P	P	P	—	—	P	P	P	P	P	P
Game and video arcades	—	M	M	—	—	M ^{DT} C	C	C	C	C	M

Golf course and driving ranges	—	—	—	—	—	—	—	C	C	—
Health and fitness clubs	P	M	M	—	—	M	M	M	M	M
Indoor—amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	—	M	M	—	—	M	C	C	C	M
Outdoor amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	—	M	M	—	—	M	M	M	M	M
Public assembly/auditoriums/meeting halls/religious facilities	M ^S	M ^S	M ^S	C ^S	C ^S	M ^{S-DT} C ^S	C ^S	C ^S	C ^S	M ^S
Theatres (live stage and movie) and concert halls	M	M	M	—	—	M ^{DT} C	C	C	C	M
Repair Services										
Antique restoration	—	—	—	—	—	—	M	M	M	—
Equipment and appliance repair	—	—	—	—	—	—	M	M	M	—
Furniture refinishing	—	—	—	—	—	—	M	M	M	—
Furniture upholstery	—	—	—	—	—	—	M	M	M	—
Residential Uses										
Accessory structures	P	P	P	P	P	P	P	P	P	P
Assisted living facilities	—	M	M	C	C	C ^{DT}	C	C	C	C
Accessory dwelling units	P	P	P	P	P	P	P	P	P	P
Junior accessory dwelling units	—	—	—	P	—	P	—	—	—	P
Parolee home	—	—	—	—	—	—	—	—	—	—
Residential care facility (6 or fewer persons)	—	P	P	P	P	P	P	P	P	P
Residential care facility (7 or more persons)	—	M	M	M	M	M	M	M	M	M
Multiple-family development	—	P	P	—	P	P	P	P	P	P

Residential within mixed-use development having a commercial component (may include senior, affordable, market rate, etc.)	—	P	P	—	—	P	P	P	P	P	P
Senior housing	—	M	M	M	M	M	M	M	M	M	M
Live/work (as a part of a mixed-use development or stand-alone)	—	M ^S	M ^S	—	—	M ^S	M ^S	M ^S	M ^S	M ^S	—
Detached, single family dwellings	—	—	—	P	—	P	—	—	—	—	P
Student housing/dormitory/group quarters	—	M	M	—	M ^{DT} C	M ^{DT} C	C	C	C	—	—
Small family childcare (1 to 6 children)	—	P	P	P	P	P	P	P	P	P	P
Large family childcare (7 to 14 children)	—	—	—	M	M	—	—	—	—	—	M
Service/Non-Profit Organizations											
Civic buildings/uses	P	P	P	P	P	P	P	P	P	P	P
Offices for philanthropic, charitable, civic and service organizations	—	P	P	—	—	P	P	P	P	P	P
Temporary political campaign offices and headquarters	P	P	P	—	—	P	P	P	P	P	P
Miscellaneous											
Industrial uses	—	—	—	—	—	—	—	—	—	—	—
Adult-oriented uses	—	—	—	—	—	—	—	—	—	—	—

P=Permitted;

M=Minor Use Permit;

C=Conditional Use Permit;

"—"=Not Permitted;

"*=Not permitted on the ground floor, except on Sierra Avenue;

"^S "=Special use regulations;"^{DT} "=Pertaining to parcels within the Downtown boundary

Table 30-359.B—Land Uses

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
Administrative/Professional						
Architectural, design, and engineering services	P	P	P	P	--	--
Attorney/legal services	P	P	P	P	--	--
Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)	P	P	P	P	--	--
Banks/financial institutions, credit unions and remote ATMs (with drive-thru)	--	--	M	M	--	--
Brokerage firms and financial institutions	P	P	P	P	--	--
Exhibit halls and galleries with 15% or less retail sales area	P	P	P	P	--	--
General administrative offices	P	P	P	P	--	--
Government offices	P	P	P	P	--	--
Insurance and accounting offices	P	P	P	P	--	--
Massage/acupressure as primary use	--	--	--	C	--	--
Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business	M	M	M	M	--	--
Real estate, escrow & property management offices	P	P	P	P	--	--
Recording/film studios	M	M	M	M	--	--
Animal Services						
Feed, tackle supplies for large animals	--	--	--	--	--	--
Pet boarding and kennels	--	--	--	C	--	--
Pet grooming	--	--	--	P	--	--
Veterinarian clinic and hospitals (with incidental boarding)	--	--	--	C	--	--
Pet sales and supplies (without outdoor storage)	--	--	P	P	--	--
Alcoholic Beverage Sales						
Alcoholic sales exclusively for off-site consumption	--	--	M	M	--	--
On-site sales in connection w/restaurant	M	M	M	M	--	--
Restaurant and café with entertainment and/or dancing	M	M	M	--	--	--
Manufacturing, including winery or micro-brewery with tasting room and no restaurant	M	M	M	M	--	--
Micro-breweries in connection with restaurant (Brew Pub)	M	M	M	M	--	--
Micro-breweries without tasting room	—	—	—	—	—	—
Educational/Instructional/Day Care Uses						

Adult day care	--	--	--	M	--	--
Children tutorial classes	--	--	--	M	--	--
Colleges—public and private	M	--	M	M	--	--
Schools—elementary, middle, secondary, high, private	--	--	--	M	M	M
Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA	--	--	P	P	--	--
Studio—Art, Dance, Martial Arts, Music (School) with less than 1,500 sq. ft. GFA	--	--	P	M	--	--
Licensed nurseries, pre-schools and day care facilities for children	--	--	--	M	--	--
Adult vocational classes, trade schools, computer training	M	--	M	M	--	--
Traffic and automobile driving schools	—	—	—	—	—	—
Food/Restaurants/Eating Establishments						
Bakery—primarily retail sales	P	P	P	P	--	--
Banquet Hall as ancillary use to primary permitted use	M	--	M	--	--	--
Catering services as primary use—may include on-site dining facilities	M	M	M	M	--	--
Ice cream, juice, tea and candy shops	P	P	P	P	--	--
Restaurant/coffee shop with drive thru	--	--	--	--	--	--
Restaurant/coffee shop without drive thru facilities or alcohol sales	P	P	P	P	--	--
Outdoor dining in public right-of-way	ps	ps	ps	ps	--	--
General Merchandise/Retail Trade						
Antiques retail sales (excludes pawn shop)	M	M	M	M	--	--
Consumer electronics, computer and phone equipment retail sales	P	P	P	P	--	--
Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)	P	P	P	P	--	--
Art supplies, framing	P	P	P	P	--	--
Beauty supplies	P	P	P	P	--	--
Books and magazines	P	P	P	P	--	--
Camera and photographic supplies	P	P	P	P	--	--
Clothing/shoe stores	P	P	P	P	--	--
Cigarette/smoke shops/electronic cigarettes as a primary use	--	--	--	--	--	--

Cigar sales only	P	P	P	P	--	--
Cigar lounge/hookah lounge/smoking room	C	C	C	C	--	--
Consignment clothing sales	C	C	C	C	--	--
Farmer's Market	M ^S	M ^S	M ^S	--	--	--
Convenience stores	--	--	C	C	--	--
Floor covering (carpet, tile, and similar)	--	--	P	P	--	--
Florists	P	P	P	P	--	--
Food/drug store	--	--	P	P	--	--
Fabric stores	--	--	P	P	--	--
Firearms, ammunition, related products, assembly—retail sales	--	--	--	--	--	--
Furniture, office and home furnishings	--	--	P	P	--	--
Garden supply with outdoor display of plants	--	--	P	P	--	--
General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores	P	P	P	P	--	--
Hardware/home improvement stores	--	--	P	P	--	--
Health, herbal, botanical stores	P	P	P	P	--	--
Hobby, toy and game	P	P	P	P	--	--
Indoor swap meets/concession malls	--	--	--	--	--	--
Interior decorating, linen, and bath stores	--	--	P	P	--	--
Jewelry sales and repair (excludes pawn shop)	P	P	P	P	--	--
Leather goods and equipment	P	P	P	P	--	--
Musical instruments	P	P	P	P	--	--
Office supplies/stationery/cards	P	P	P	P	--	--
Sporting goods and equipment (no gun sales)	M	M	M	M	--	--
Thrift stores/second-hand store	--	--	--	P	--	--
Lodging Places						
Bed and Breakfast	M	M	M	M ^S	--	M ^S
Hotels	M	M	M	M	--	--
Motels	--	--	--	--	--	--
Medical/Health Services						
Acute care/walk-in medical services (urgent care)	--	--	--	P	--	--
Ambulance services	--	--	--	--	--	--
Hospitals	--	--	--	--	--	--

Medical/dental/counseling/psychology/hearing aids/acupuncture/homeopathy/physical therapy/sports therapy	M	--	M	P	--	--
Optometry sales	P	P	P	P	--	--
Motor Vehicle Services						
Auto body and painting (primary use)	--	--	--	--	--	--
Auto broker offices	--	--	--	--	--	--
Auto car washes	--	--	--	--	--	--
Auto and motorcycle sales—new and used	--	--	--	--	--	--
Auto rental agencies with parking for vehicle rentals	--	--	--	--	--	--
Auto/motorcycle repair—general, including quick lube, smog check, transmission service	--	--	--	--	--	--
Auto upholstery	--	--	--	--	--	--
Auto car alarm and stereo installation (within an enclosed building only)	--	--	--	--	--	--
Commercial parking facilities and garages	P	P	P	P	--	--
Gas/service station	--	--	C	C	--	--
Gas station with mini mart, car wash and/or restaurant	--	--	C	C	--	--
Truck, trailer and equipment rentals	--	--	--	--	--	--
Personal Services						
Barber, hair/nail/skincare/tanning salon and day spa	M	M	M	P	--	--
Body art (tattooing, body piercing, and/or permanent cosmetics)	C	C	C	P	--	--
Check cashing/deferred deposit or payday advance uses with or without ancillary services	--	--	--	--	--	--
Cemeteries, crematory, mortuary and mausoleums	--	--	--	--	--	--
Dry cleaners/laundry—non-commercial	--	--	--	P	--	--
Fortunetelling	--	--	--	M	--	--
Funeral parlors	--	--	--	--	--	--
Locksmith/key shops	--	--	--	P	--	--
Pawnshops/cash for gold and diamonds (as primary use)	--	--	--	--	--	--
Photography studios	--	--	--	P	--	--
Postal services/mail box rentals	--	--	--	P	--	--
Shoe repair	--	--	--	P	--	--
Tailor and alterations	--	--	--	P	--	--

Public Facilities/Utilities						
Public park	P	P	P	P	P	P
Public maintenance yard and other non-office uses	P	--	M	M	--	--
Public utility structures	M	M	M	M	M	M
Recreation/ Entertainment						
Billiards and pool halls	M	M	M	--	--	--
Escape rooms	P	P	P	P	--	--
Game and video arcades	M	M	M	M	--	--
Golf course and driving ranges	--	--	--	--	--	--
Health and fitness clubs	--	--	M	M	--	--
Indoor—amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	M	M	M	M	--	--
Outdoor amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)	--	--	M	M	--	--
Public assembly/auditoriums/meeting halls/religious facilities	C ^s	C ^s	M ^s	M ^s	C ^s	C ^s
Theatres (live stage and movie) and concert halls	M	M	M	M	--	--
Repair Services						
Antique restoration	--	--	--	--	--	--
Equipment and appliance repair	--	--	--	--	--	--
Furniture refinishing	--	--	--	--	--	--
Furniture upholstery	--	--	--	--	--	--
Residential Uses						
Accessory structures	P	P	P	P	P	P
Assisted living facilities	—	—	M	M	C	C
Parolee home	--	--	--	--	--	--
Residential care facility (6 or fewer persons)	--	--	--	--	--	--
Residential care facility (7 or more persons)	--	--	--	--	--	P
Multiple-family development	--	--	--	--	P	P ^s
Residential within mixed-use development having a commercial component (may include senior, affordable, market rate, etc.)	P	P	P	P	--	--
Senior housing	M	M	M	M	M	M

Live/work (as a part of a mixed-use development or stand-alone)	P ^S	P ^S	P ^S	P ^S	--	--
Detached, single family dwellings	--	--	--	P	--	P
Student housing/dormitory/group quarters	--	--	M	M	M	--
Small family childcare (1 to 6 children)	--	--	P	P	P	P
Large family childcare (7 to 14 children)	--	--	--	--	M	P
Service/Non-Profit Organizations						
Civic buildings/uses	P	P	P	P	P	P
Offices for philanthropic, charitable, civic and service organizations	P	P	P	P	--	--
Temporary political campaign offices and headquarters	P	P	P	P	--	--
Miscellaneous						
Industrial uses	—	—	—	—	—	—
Adult-oriented uses	—	—	—	—	—	—

P=Permitted; M=Minor Use Permit; C=Conditional Use Permit; "--"=Not Permitted; "S"=Special use regulations

DIVISION 4. DEVELOPMENT STANDARDS BY ZONING DISTRICT

Sec. 30-361. Civic district.

The civic district consists primarily of civic and institutional uses and active and passive recreation areas.

Setback		Building setback from PL				
		Front	Side/Rear	Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	5	25	-		
ii.	Side Street	0	15	-		
iii.	Side (Interior)	-	-	10		
iv.	Rear yard	-	-	10		

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/18	25/75	4/55	-
Liner	1/18	75/75	4/55	-
Frontage Coverage		50% minimum		
Story Height				
Ground Floor		Upper Stories		
Min. Height	12 ft.	Minimum Height		10 ft.

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking	
Non-Residential Uses	65% of cumulative parking requirements per FMC
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:	
Setback	
Front Street	Min. 20 ft
Side Street	Min. 5 ft
Side interior	0 ft
Rear property/rear alley	0 ft./min ft



Frontage Types

- Forecourt
- Arcade
- Gallery

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-362. Station area district.

The station area district includes the Metrolink station and Omnitrans bus terminal as the primary anchors. This area provides a transition between the retail district, the south Sierra gateway district and Chaffey College.

Residential or Mixed-Use Density		Minimum		Maximum
		15 units/acre		39 units/acre
Commercial Floor Area Ratio (without a residential component)		—		2.0
Setback		Building setback from PL		
i.	Front Street		Front	Side/Rear
			Min. (ft.)	Max. (ft)
i.	Front Street	0	10	-
ii.	Side Street	0	10	-
iii.	Side (Interior)	-	-	0
iv.	Rear yard	-	-	5
		rail-adjacent	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	1/18	100/100	4/55	150/150
Flex	2/30	25/100	4/55	400/150
Hybrid	2/30	150/160	4/55	400/150
Liner	2/30	100/100	4/55	200/150
Live/Work	2/24	75/80	3/40	150/150
Frontage Coverage		50% minimum		
Story Height				
Ground Floor		Upper Stories		
Min. Height	12 ft.	Minimum Height		10 ft.

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedroom	1.5 spaces per unit		
Non-Residential Uses	No Parking Required			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Shopfront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-363. Downtown gateway district.

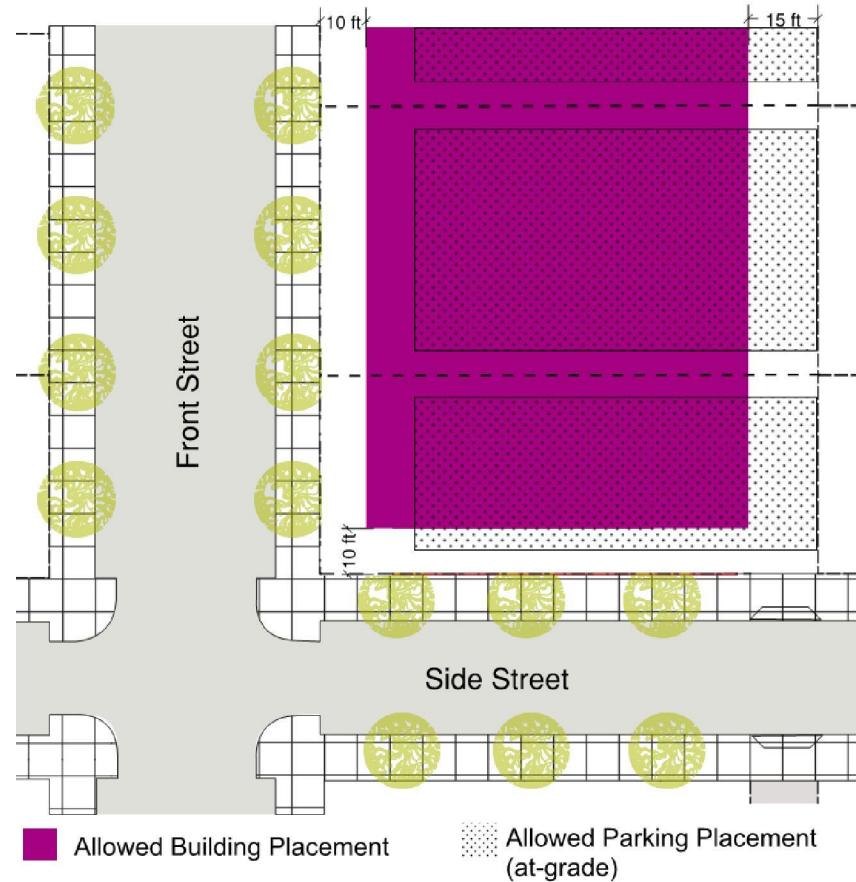
The downtown gateway district is primarily intended for commercial retail and personal service uses. New development should incorporate pedestrian elements to help serve as a transition to surrounding land uses.

Residential or Mixed-Use Density		Minimum	Maximum
		15 units/acre	39 units/acre
Commercial Floor Area Ratio (without a residential component)		—	2.0
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft)
i.	Front Street	5	35
ii.	Side Street	5	20
iii.	Side (Interior)	-	-
iv.	Rear yard	-	15

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Court	2/24	100/100	5/70	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedroom	1.5 spaces per unit		
Non-Residential Uses	No parking required			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	5 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Lightcourt
- Shopfront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-364. Neighborhood district.

The neighborhood district is an area primarily developed with single-family detached homes. New development should preserve and exemplify the character of existing neighborhoods.

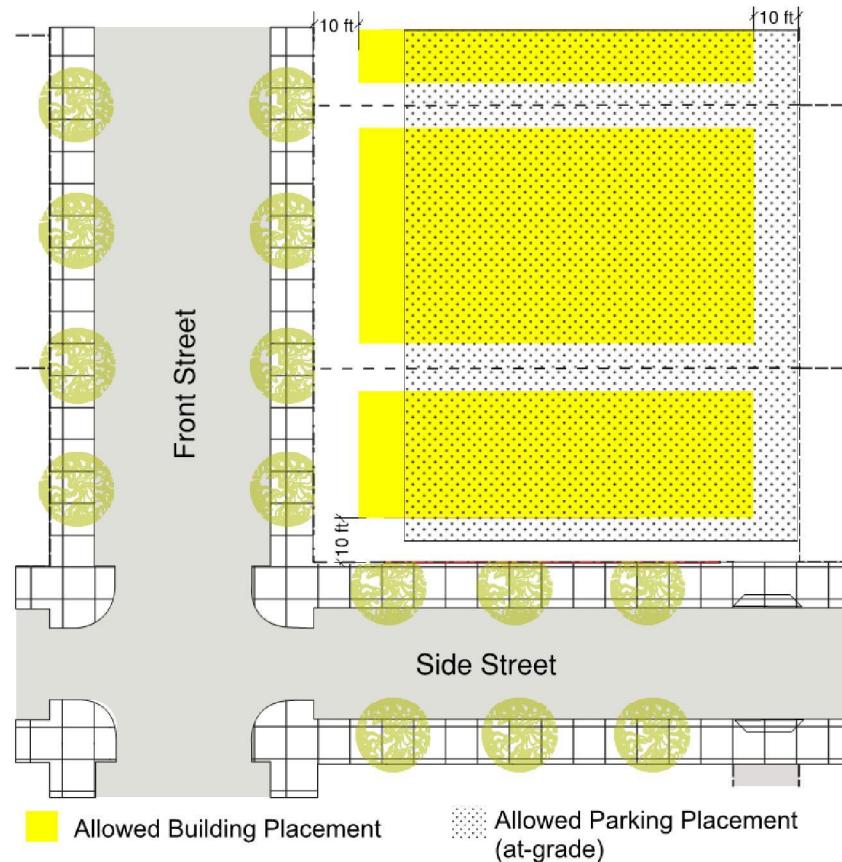
Single-Family Density		Minimum	Maximum
3 units/acre		5 units/acre	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	10	25
ii.	Side Street	10	20
iii.	Side (Interior)	-	5
iv.	Rear yard	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Single Family	1/15	50/75	3/40	75/100
Flex (non-residential only)	1/24	—	3/40	—

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Living area or a front porch shall be forward of the garage if provided.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space		
	2 to 4 bedrooms	2 spaces		
	5+ bedrooms	3 spaces		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Porch
- Stoop
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-365. Multi-family district.

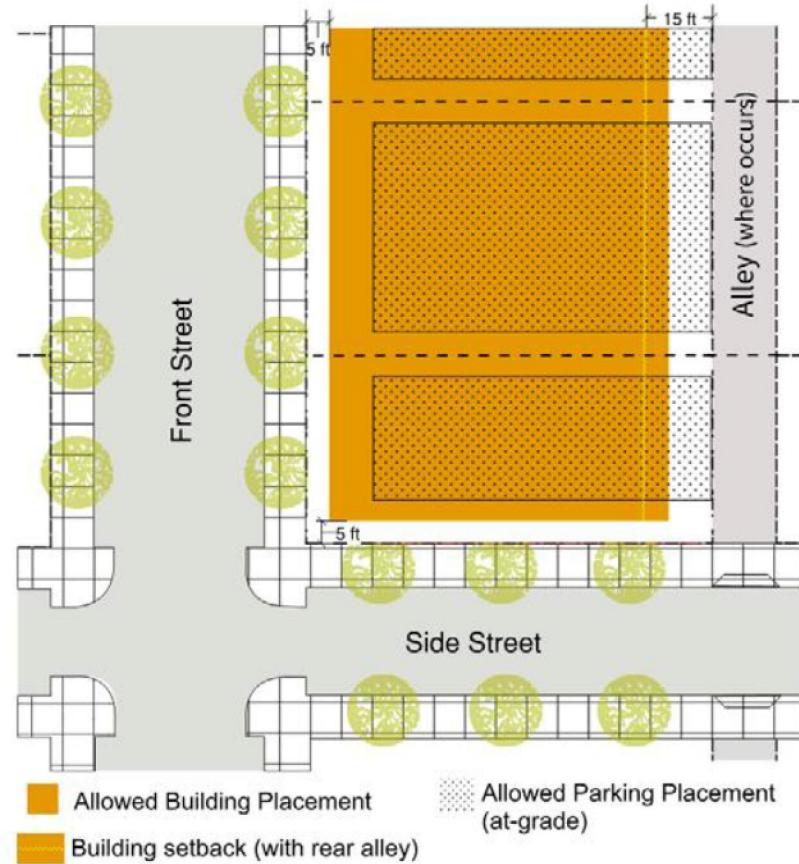
The multi-family district provides higher densities focused along the fringe of the more urban development. New development should incorporate increased density with architectural design and materials that exemplify one of the designated architectural styles.

Multi-Family Density		Minimum	Maximum
12 units/acre		39 units/acre	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	5	20
ii.	Side Street	5	10
iii.	Side (Interior)	-	0
iv.	Rear yard	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	1/18	100/100	4/55	200/200
Liner	1/24	100/100	4/55	200/200
Rowhouse	2/24	125/125	3/40	125/150
Rosewalk & Bungalow Court	1/18	100/100	2/40	200/200
Duplex, Multiplex	1/18	50/100	3/40	75/150
Flex	1/24	—	3/40	—
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 15 ft			
Side Street	Min. 10 ft			
Side interior	5 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Dooryard
- Stoop
- Forecourt
- Lightcourt

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-366. Transitional district.

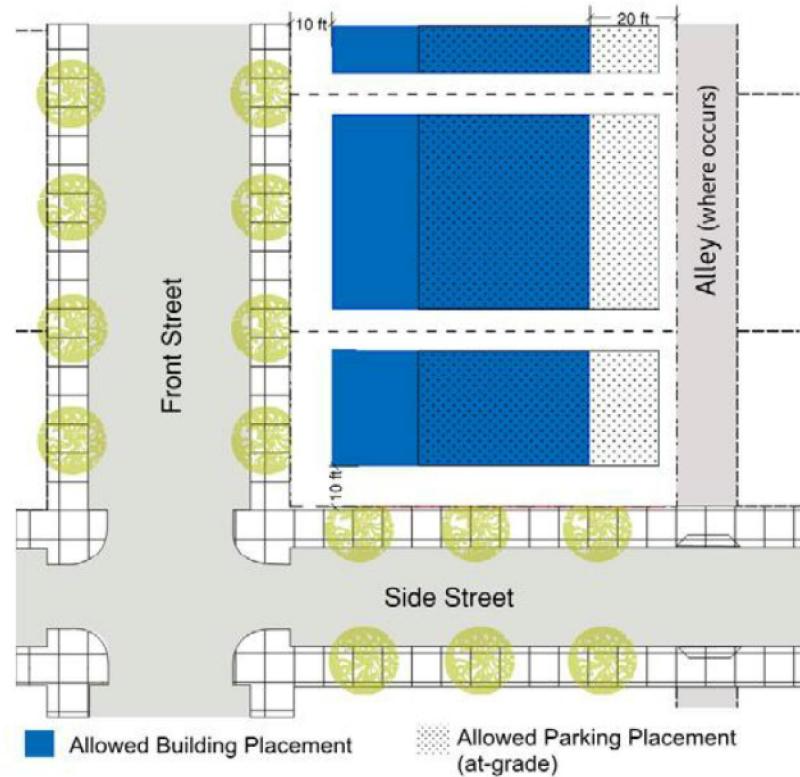
The transitional district is adjacent to more intense commercial uses providing a transition to more sensitive uses, such as residential. This district includes a mixture of commercial office, retail, personal services, and residential.

Multi-Family or Mixed-Use Density		Minimum	Maximum
12 units/acre		39 units/acre	
Detached Single-Family Density		3 units/acre	
Commercial Floor Area Ratio		—	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	10	30
ii.	Side Street	10	15
iii.	Side (Interior)	-	5
iv.	Rear yard	-	20

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	2/30	100/100	3/40	150/150
Live/Work	1/18	75/80	3/40	150/150
Rowhouse	1/18	125/125	3/40	125/150
Rosewalk & Bungalow Court	1/18	75/100	3/40	150/150
Duplex, Multiplex	1/18	50/100	3/40	75/100
Single Family	1/18	50/100	3/40	—
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC (no parking required in downtown)			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 30 ft			
Side Street	Min. 10 ft			
Side interior	5 ft			
Rear property/rear alley	Min 5 ft			



Frontage Types

- Forecourt
- Stoop
- Porch
- Shopfront
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-367. Sierra gateway district.

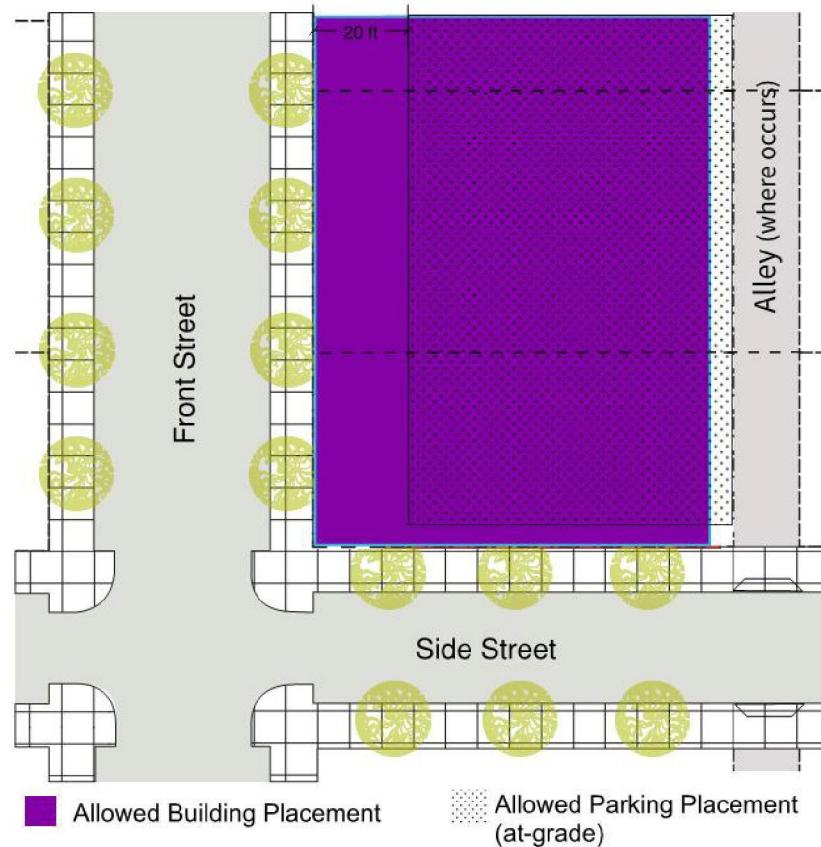
The Sierra gateway district is intended to encourage pedestrian-oriented development and land uses. Uses are to include a mix of medium- to high-density residential, retail and services, office, entertainment, education, and open space.

Residential or Mixed-Use Density		Minimum	Maximum
18 units/acre		18 units/acre	39 units/acre
Commercial Floor Area Ratio (without residential component)		—	2
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	-
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/30	25/100	4/60	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
	When the development project is 5 acres or more in size and does not include any residential uses, frontage coverage can be reduced to 25% at the discretion of the Planning Commission if it can be determined that the reduced frontage benefits public safety.			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-368. Route 66 gateway district.

The Route 66 gateway district is primarily intended for commercial retail and personal service uses with incorporated automobile uses that have traditionally been located along the corridor.

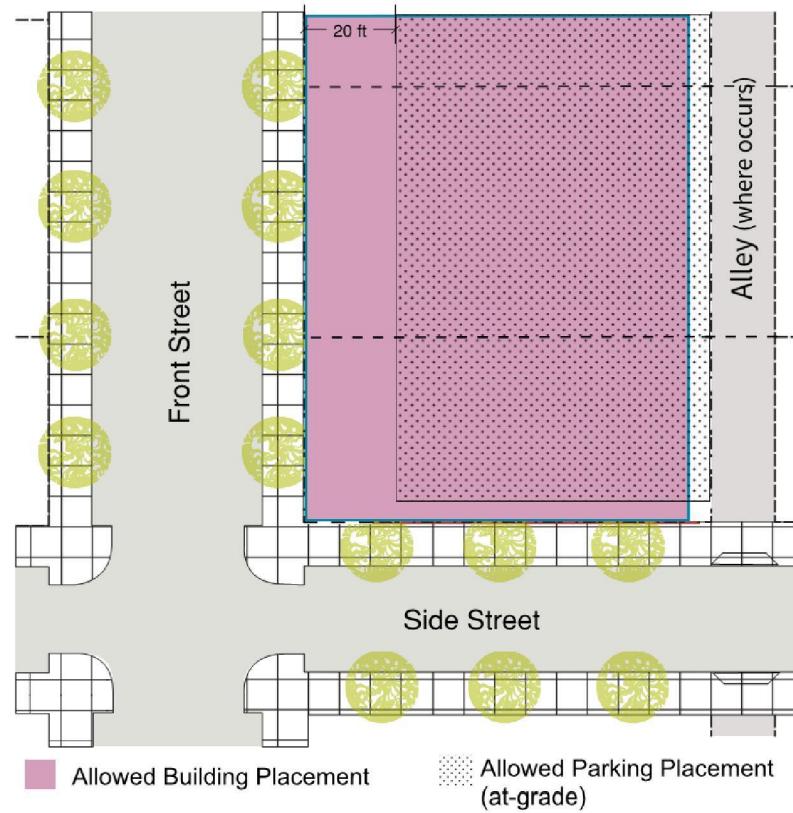
Residential or Mixed-Use Density		Minimum	Maximum
		18 units/acre	39 units/acre
Commercial Floor Area Ratio (without a residential component)		—	2.0
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	0
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/30	25/100	4/60	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	75/80	3/40	150/150
Frontage Coverage		50% minimum		
Story Height				
Ground Floor		Upper Stories		
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Hotels may be allowed to a maximum of seven stories and 90 feet in height.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Lightcourt
- Storefront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-369. Valley gateway district.

The Valley gateway district is intended to encourage pedestrian and transit-oriented development. Land uses should include a mixture of housing types, retail and services, general and medical office, entertainment and education.

Residential or Mixed-Use Density		Minimum	Maximum
20 units/acre		39 units/acre	
Commercial Floor Area Ratio (without residential component)		—	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	-
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Hotels may be allowed to a maximum number of seven stories and 90 feet in height.

Required Parking								
Residential Uses	Studio or 1 bedroom	1 space per unit						
	2+ bedrooms	1.5 spaces per unit						
Non-Residential Uses	65% of cumulative parking requirements per FMC							
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:								
Setback								
Front Street	Min. 20 ft							
Side Street	Min. 5 ft							
Side interior	0 ft							
Rear property/rear alley	0 ft./min ft							



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-370. Village district.

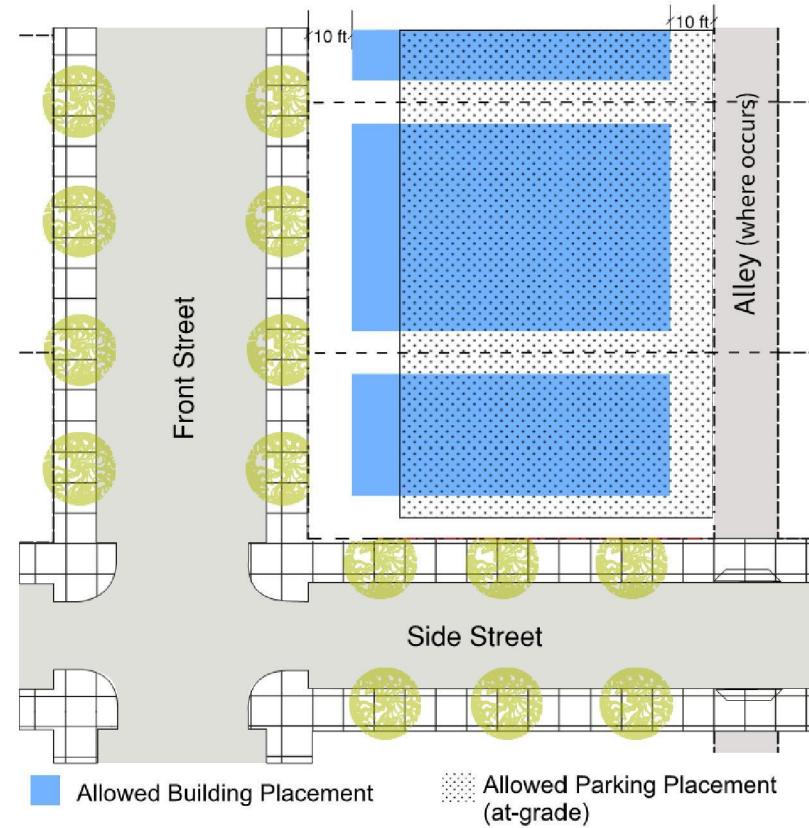
The Village district is intended to provide an alternative to conventional subdivision development with a mixture of housing types, neighborhood-service retail, and open space.

Residential or Mixed-Use		Minimum		Maximum
		2.1 units/acre		24 units/acre
Commercial Floor Area Ratio (without residential component)		—		1.0
Setback		Building setback from PL		
		Front	Side/Rear	
		Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	10	25	-
ii.	Side Street	10	20	-
iii.	Side (Interior)	-	-	5
iv.	Rear yard	-	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	2/30	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	125/125	3/40	-
Court	2/24	100/100	5/70	150/150
Single Family	1/15	50/75	3/40	75/100
Duplex, Multiplex	1/18	50/100	3/40	75/150
Rosewalk or Bungalow Ct.	1/18	75/100	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking								
Residential Uses	Studio or 1 bedroom	1 space per unit						
	2+ bedrooms	1.5 spaces per unit						
Non-Residential Uses	65% of cumulative parking requirements per FMC							
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:								
Setback								
Front Street	Min. 20 ft							
Side Street	Min. 5 ft							
Side interior	0 ft							
Rear property/rear alley	0 ft./min ft							



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery
- Stoop
- Porch
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-371. Downtown Core.

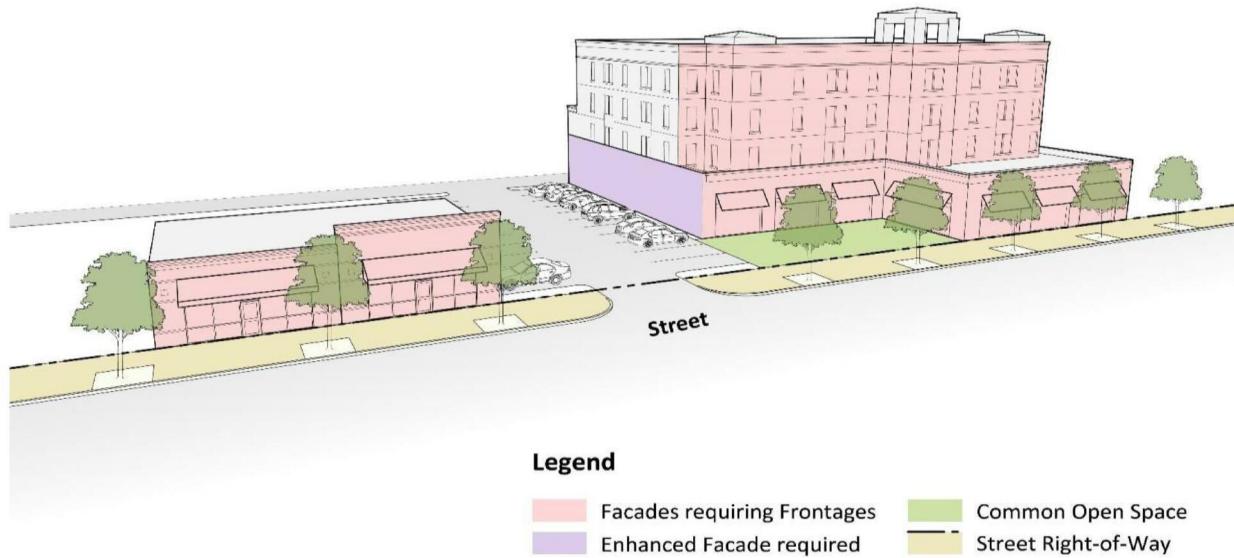
The Downtown Core is required to meet the standards of the Form Based Code, including the following:

- (a) District Core development requirements (30-371)
- (b) Fences, hedges and walls. (Section 30-389)
- (c) Parking
 - 1. Off-street parking and loading standards (Section 30-390)
 - 2. Off-street parking reductions (Section 30-391)
 - 3. Loading (Section 30-392)
 - 4. Bicycle parking (Section 30-393)
- (d) Architectural style (Section 30-394)
- (e) Downtown Core Design Regulations (Commercial, Apartment, and Mixed-Use Buildings) (Section 30-396.a)
- (f) Downtown Core Design Regulations (Residential Buildings) (Section 30-396.b)
- (g) Private open space types (Section 30-398)
- (h) Downtown Core Private Open Space Requirements (Section 30-404.a)

Downtown Core Frontages

Frontages shall be provided at all locations where a building meets the street right-of-way and common open space. A frontage type must be selected from Division 6.

Building facades that are visible from the public right-of-way but do not require a building frontage shall be screened with planting or enhanced in a manner that reflects the architectural style or is in accordance with Article XII - Sign Regulations.



	Civic Core	Sierra Core	Gateway	Mixed-Use	Multi-Family	Neighborhood
	Core	Core	Core	Core	Core	Core
Porch	X			X		x
Dooryard	X			X	X	X
Stoop	X		X	X	X	X
Forecourt	X	X	X	X	X	X
Lightcourt	X		X		X	X
Shopfront	X	X	X	X		
Gallery	X	X	X	X		
Arcade	X	X	X	x		

Sec. 30-371.a Civic Core

The Civic Core consists primarily of civic and institutional uses as well as active and passive recreation areas.

Minimum Lot Size:

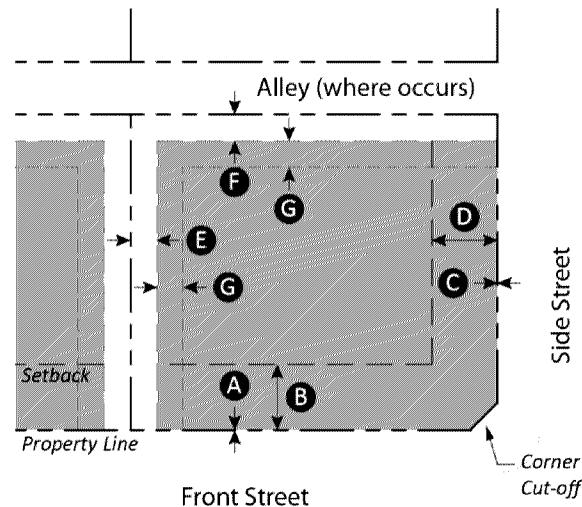
5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt, Lightcourt, Shopfront, Gallery and Arcade

Capacity

	Min.	Max.
FAR	-	2.0



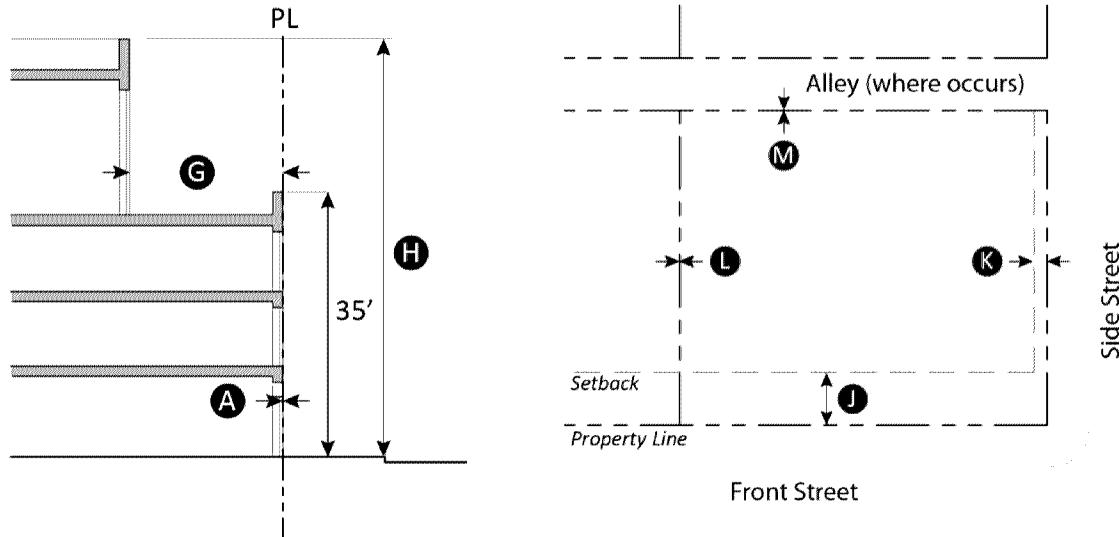
Setbacks

	Min.	Max.
Front Street	0	A 25' B
Side Street	0	C 25' D
Side (Interior)	10'	E -
Rear Yard	10'	F -
Stepback*	10'	G -

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

Height	70 ft. Max.	H
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Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side (Interior)	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Parking

Non-Residential Uses 65% of cumulative parking requirements per Zoning Code

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)
Front Street	20 on Sierra Ave 5 on Arrow Blvd
Side Street	5
Side (Interior)	-
Rear Yard	-

Sec. 30-371.b Sierra Core

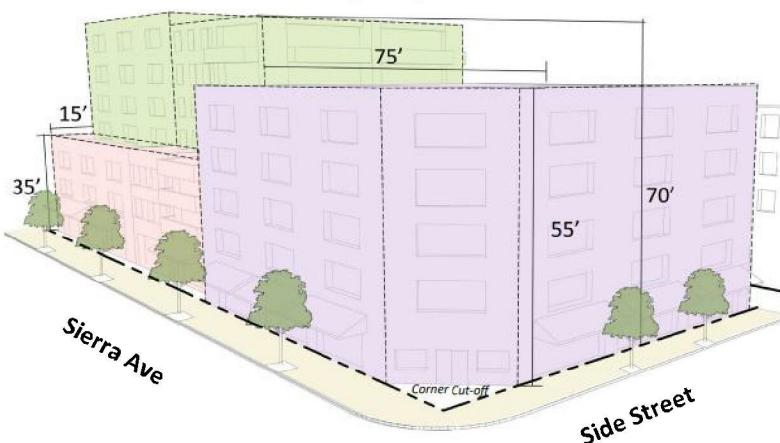
The Sierra Core is the commercial core of Fontana and functions as the city center. Uses include a mixture of commercial, retail, entertainment, office, and residential.

Building placement shall be close to the streets and integrated within the pedestrian realm. Architectural features should provide shade and variation in building design.

Capacity

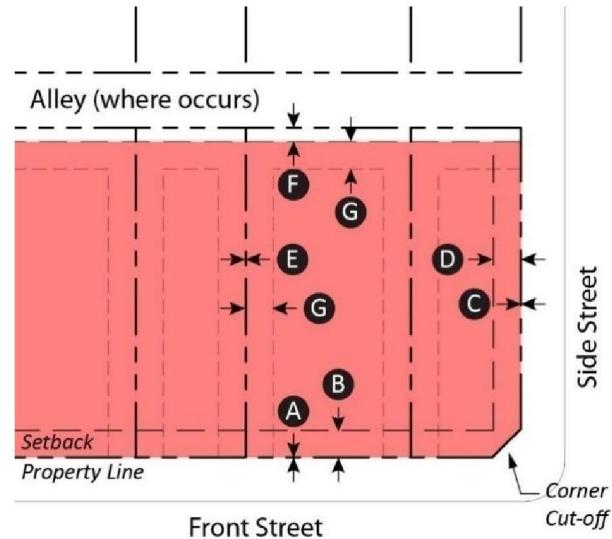
	Min.	Max.
Residential or Mixed-Use Density	24 DU/Ac	70 DU/Ac
Commercial FAR (Retail and Restaurants)	Refer to Sec. 30-405 for frontages that require ground floor commercial	2.0

Sierra Core Building Height Standards



Legend

- Sierra Stepback
- Mid Block Height
- Intersection Height
- Street Right-of-Way



Setbacks

	Min. (ft.)	Max. (ft.)
Front Street	0	A
Side Street	0	C
Side (Interior)	0	E
Rear Yard	5	F
Stepback*	10	G

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Height

Frontage Coverage 80% Min.

35' Max
55' Max. within 75' of Side Street Property Line
70' Max. with Min. Stepback 75' from Side Street and 15' from Sierra Ave Property Line

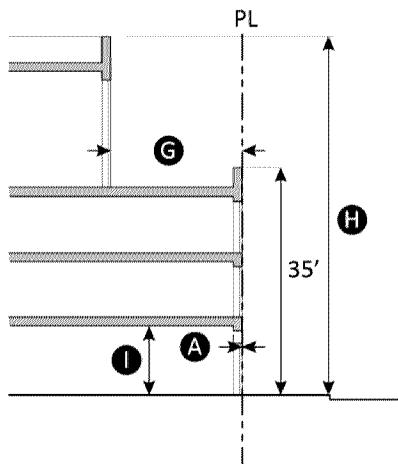
Height**

12 ft. Min

I

Ground Floor Commercial Height**

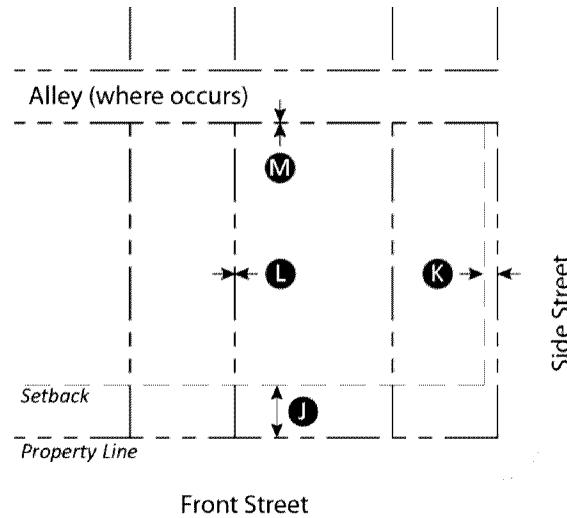
Public and private spaces should be integrated to act as one. Awnings or canopies extending over sidewalks and significant glazing should be included in all new construction or renovation.



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Interior	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear



Parking

	Required Spaces
Residential	1.25 per unit
Non-Residential Uses Under 6,000 Square Feet	No Parking Required
Non-Residential Uses Over 6,000 Square Feet	50% of the Requirements in the Zoning Code (30-685.A)

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)
Front Street	20
Side Street	5
Side Interior	-
Rear Yard	-

Minimum Lot Size:

5,000 Square Feet

Required Frontage:

Forecourt, Shopfront, Gallery and Arcade

Sec. 30-371.c Gateway Core

The Gateway Core is primarily intended for commercial retail and personal service uses as well as residential development. New development should incorporate pedestrian elements to help serve as a transition to surrounding land uses.

Capacity

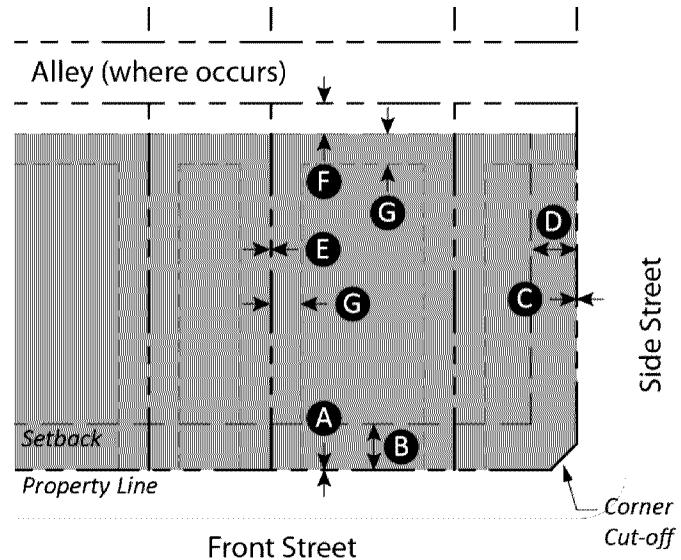
	Min.	Max.
Residential or Mixed-Use Density	24 DU/Ac	39 DU/Ac 50 DU/Ac* with the inclusion of ground floor commercial along the front street
Commercial FAR (Retail and Restaurants)	-	2.0
* If a development application includes the State Density Bonus under Section 65915 et seq. AND ground floor commercial, an additional 50% of the State Density Bonus that is achieved may be added in excess of the units allowed by the State Density Bonus.		

For Example

A project on a 2 acre parcel may construct 78 residential units. If the project includes ground floor commercial, 100 residential units may be constructed.

Density Bonus:

If the same project also applies for the State Density Bonus and receives 20 additional residential units, Fontana will allow an additional 10 units (50% of the State Density Bonus achieved) for a total of a maximum of 130 units.



Setbacks

	Min. (ft.)	Max. (ft.)
Front Street	0	15 (B)
Side Street	0	15 (D)
Side Interior	0	- (E)
Rear Yard	0	- (F)
	5 if adjacent to a street	15 if adjacent to a street
Stepback**	10 (G)	-

** Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

Frontage	Coverage	50% Min.
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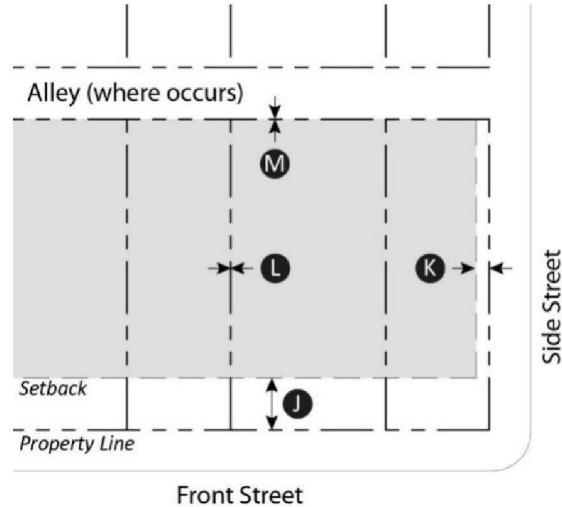
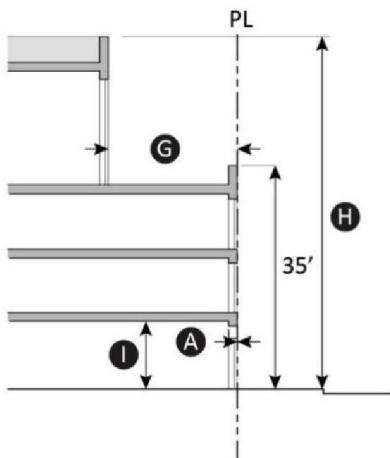
	35' Max
	55' Max. within 75' of Side Street Property Line
Height***	70' Max. with Min. Stepback 75' from Cross Street and 15' from Sierra Ave Property Line (H)

Ground Floor

Commercial 12 ft. Min

Height

*** Refer to Sierra Core Building Height Standards Figure

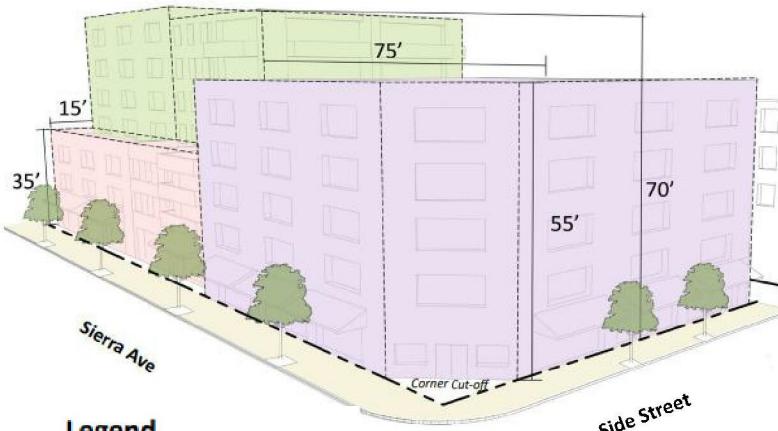


Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Interior	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Gateway Core Building Height Standards



Legend

- Sierra Stepback
- Mid Block Height
- Intersection Height
- Street Right-of-Way

Parking

	Required Spaces
Residential	1.25 per unit
Non-Residential Uses Under 6,000 Square Feet	No Parking Required
Non-Residential Uses Over 6,000 Square Feet	50% of the Requirements in the Zoning Code (30-685.A)
On-site above-ground parking and access shall be located in compliance with the following setback requirements:	
	Min. (ft.)
Front Street	20
Side Street	5
Side (Interior)	-
Rear Yard	-

Minimum Lot Size:

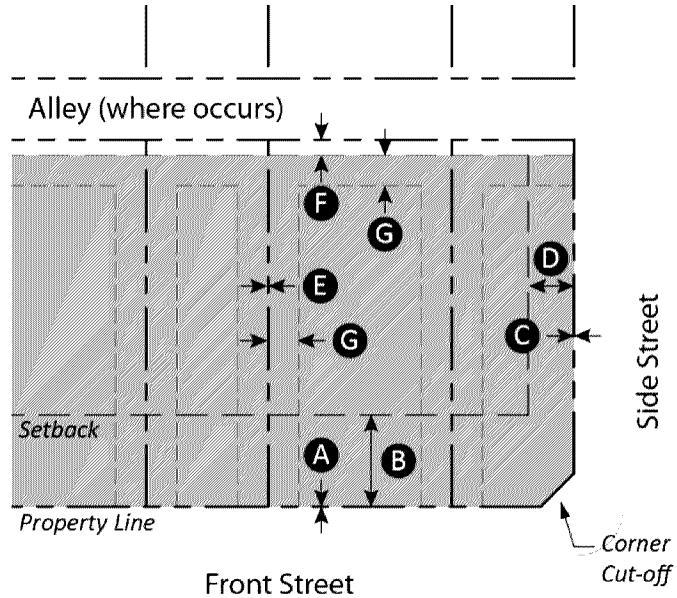
5,000 Square Feet

Required Frontage:

Stoop, Forecourt, Lightcourt,
Shopfront, Gallery and Arcade

Sec. 30-371.d Mixed-Use Core

The Mixed-Use Core provides a transition between more intense commercial uses and residential uses. This district includes a mixture of commercial, office, retail, personal services, and residential.



Capacity

	Min.	Max.
Residential or Mixed-Use Density	12 DU/Ac	39 DU/Ac 50 DU/Ac* with the inclusion of ground floor commercial along the front street
Commercial FAR (Retail and Restaurants)	Refer to Sec. 30-405 for frontages that require ground floor commercial	2.0

* If a development application includes the State Density Bonus under Section 65915 et seq. AND ground floor commercial, an additional 50% of the State Density Bonus that is achieved may be added in excess of the units allowed by the State Density Bonus.

For Example

A project on a 2 acre parcel may construct 78 residential units. If the project includes ground floor commercial, 100 residential units may be constructed.

Density Bonus:

If the same project also applies for the State Density Bonus and receives 20 additional residential units, Fontana will allow an additional 10 units (50% of the State Density Bonus achieved) for a total of 130 units.

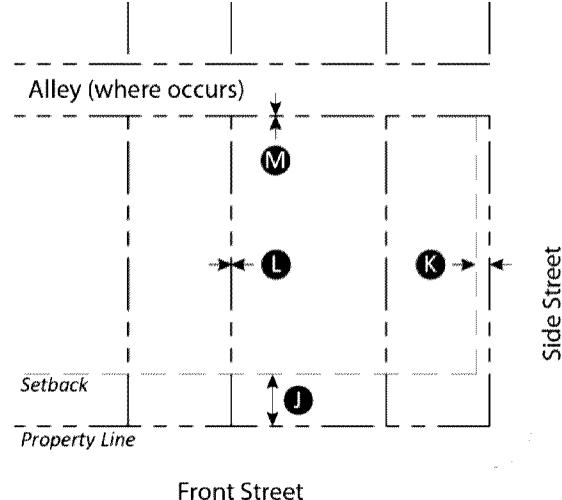
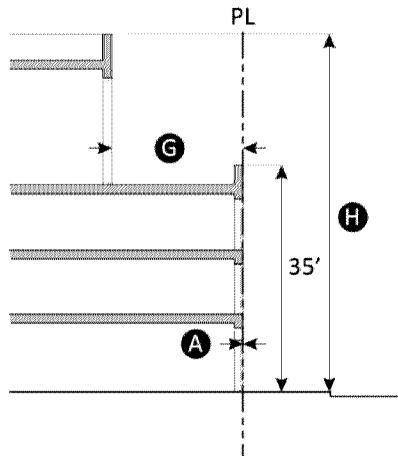
Setbacks

	Min. (ft.)	Max. (ft.)
Front Street	0	A 15 B
Side Street	0	C 15 D
Side Interior	0	E -
Rear Yard	5	F -
Stepback**	10	G -

** Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

Frontage	50% Min.
Coverage	
Height	55 ft. Max. H
Ground Floor Commercial	12 ft. Min I
Height	



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Interior	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Parking

Required Spaces	
Residential	1.25 per unit
Non-Residential Uses	50% of the Requirements in the Zoning Code (30-685.A)

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)
Front Street	20
Side Street	5
Side Interior	-
Rear Yard	-

Minimum Lot Size:

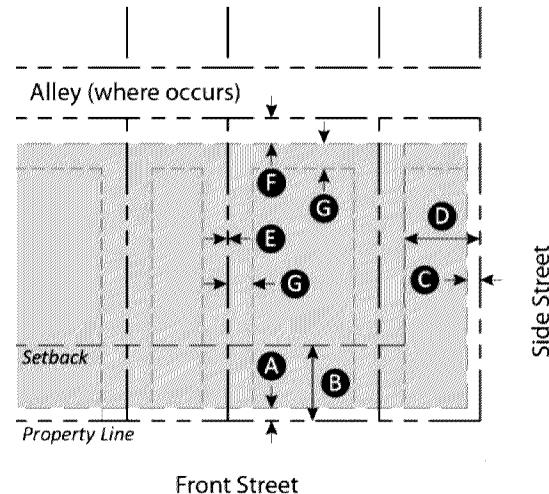
5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt, Shopfront, Gallery and Arcade

Sec. 30-371.e Multi-Family Core

The Multi-Family Core provides higher residential intensities adjacent to commercial areas. New development should incorporate increased density with architectural design and materials that exemplify one of the designated architectural styles.



Capacity

	Min.	Max.
Residential Density	12 DU/Ac	39 DU/Ac 50 DU/Ac with 1 ac or greater lots

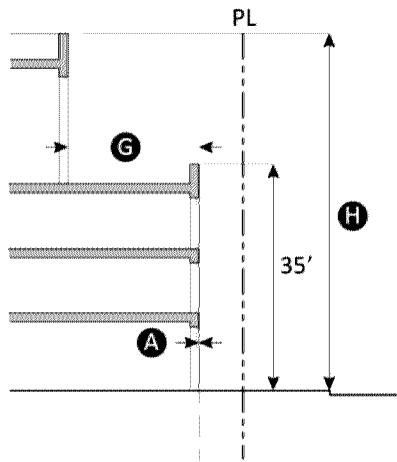
Setbacks

	Min. (ft.)	Max. (ft.)
Front Street	5 (A)	30 (B)
Side Street	5 (C)	30 (D)
Side Interior	0 (E)	-
Rear Yard	10 (F)	-
Stepback*	10 (G)	-

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

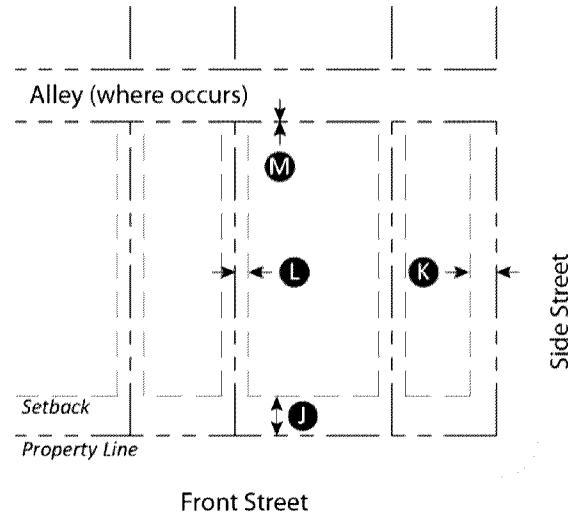
Frontage Coverage	50% Min.
Height	55 ft. Max. (H)



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Interior	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear



Parking

Required Spaces

Residential	1.25 per unit
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On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)	
Front Street	15	J
Side Street	10	K
Side (Interior)	5	L
Rear Yard	-	M

Minimum Lot Size:

5,000 Square Feet

Required Frontage:

Dooryard, Stoop, Forecourt and Lightcourt

Sec. 30-371.f Neighborhood Core

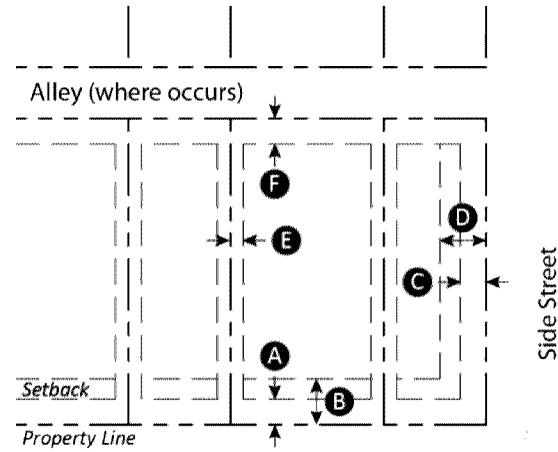
The Neighborhood Core is an area primarily developed with single-family homes. New development should respect and exemplify the character of existing neighborhoods.

Capacity

	Min.	Max.
		5 DU/Ac
Residential Density	3 DU/Ac	16* DU/Ac with 1 ac or greater lot

* Individual property owners may construct a second primary dwelling unit, plus any ADU or JADU that must be allowed under state law and the City's ADU ordinance. Second primary dwelling units shall be subject to all zoning requirements except the Maximum Front Street Setback. This shall apply for single-family lots.

Setbacks

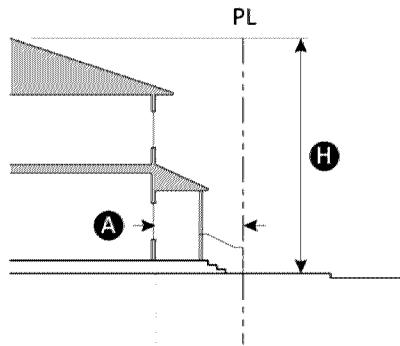


Front Street

	Min. (ft.)	Max. (ft.)	
Front Street	10	18	A B
Side Street	10	18	C D
Side Interior	5	-	E
Rear Yard	10	-	F

Building Form

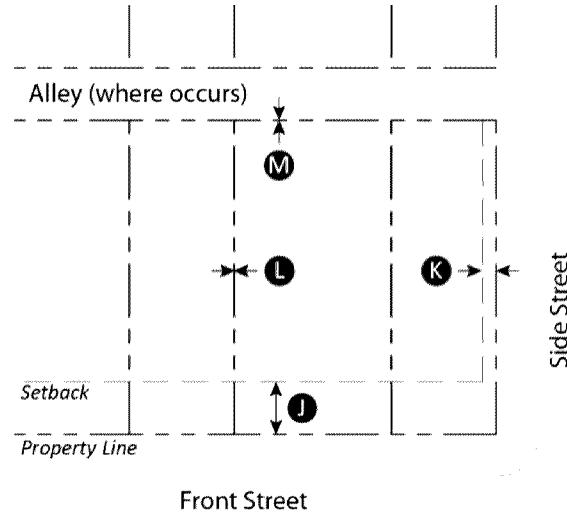
Height	40 ft. Max.	H
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Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	Arcade, Gallery, Awning	Balcony	Bay Window	Eave
Front Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Street	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
Side Interior	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Rear Yard	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
Vertical	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear



Parking

Single-Family	Required Spaces
1 Bedroom	1 Space
2-4 Bedrooms	2 Spaces
5+ Bedrooms	3 Spaces
Multi-Family	1.25 per unit

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	Min. (ft.)
Front Street	20
Side Street	5
Side Interior	-
Rear Yard	-

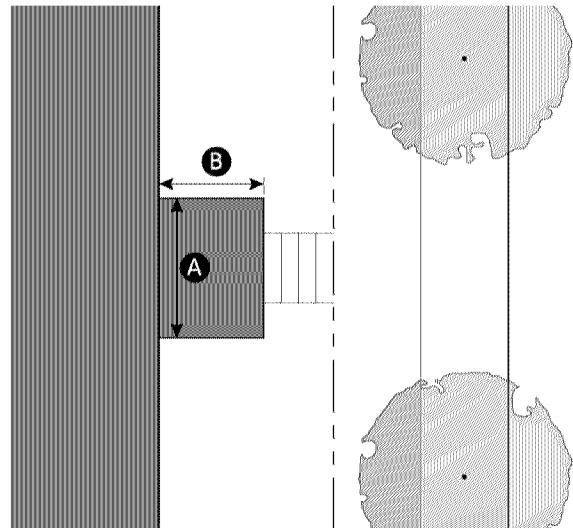
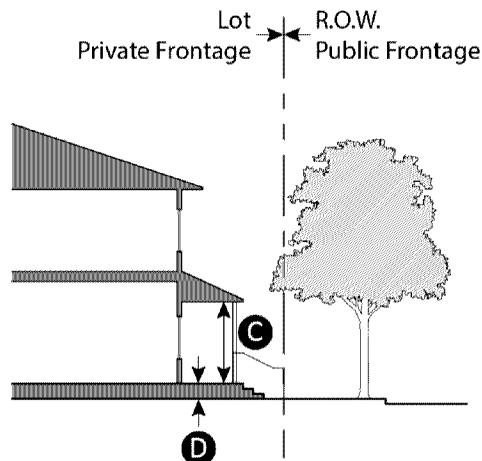
Minimum Lot Size:

5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt and Lightcourt

Sec. 30-381. Porch.



In the Porch Frontage Type, the main facade of the building is set back from the frontage line. The resulting front yard can be defined by a wall or fence to spatially maintain the edge of the street. A projecting porch uses part of the front yard space for a porch that is open on three sides. The engaged porch has two adjacent sides of the porch that are attached to the building while the other two sides are open.

Design Standard

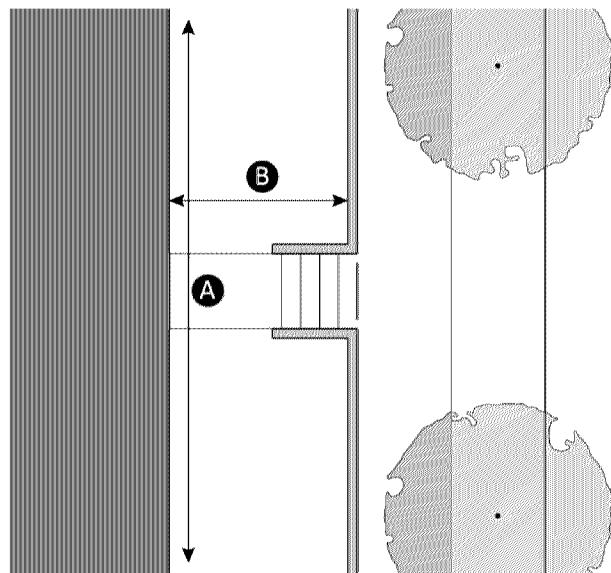
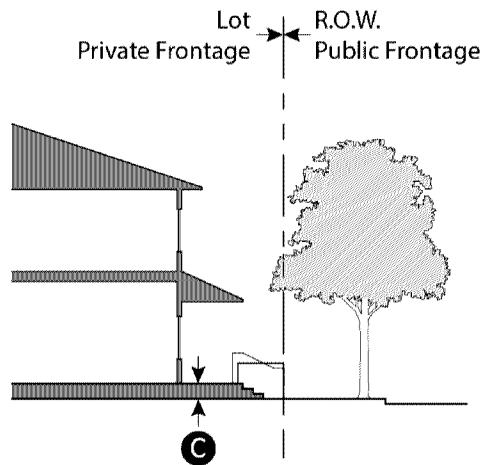
Porches must be open on at least two sides and have a roof.

Size

Width	8 ft. Min.	A
Depth	6 ft. Min.	B
Height	8 ft. Min.	C
Finish level above sidewalk	18 in. Min.	D
Path of travel	3 ft. wide Min.	



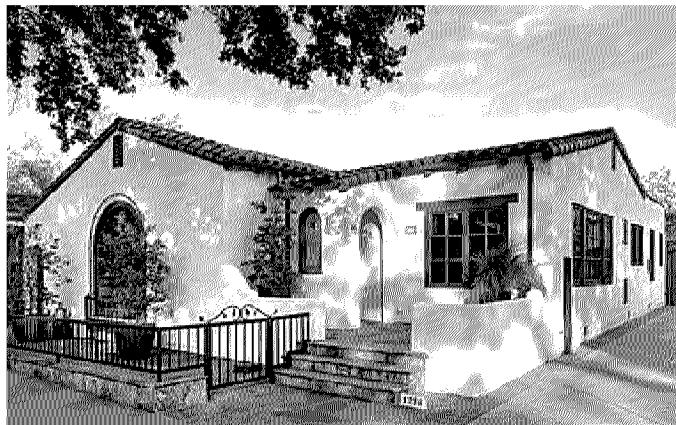
Sec. 30-382. Dooryard.



In the Dooryard Frontage Type, the main facade of the building is set back and the frontage line is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a right-of-way (ROW). The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential uses.

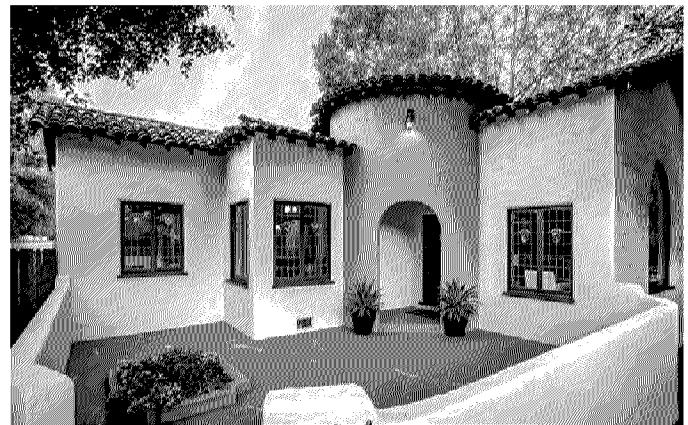
Size

Width	50 ft. Min.	A
Depth	8 ft. Min.	B
Finish level above sidewalk	3 ft. 6 in. Max.	C
Finish level below sidewalk	6 ft.	
Path of travel	3 ft. wide Min.	

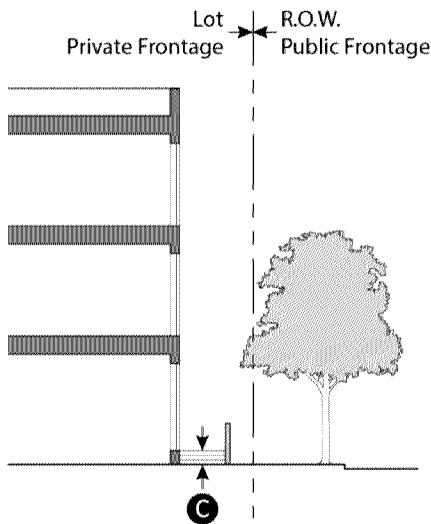


Design Standard

For live/work, retail and service uses, these standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard Frontage Type standards shall prevail. The Dooryard Frontage Type shall not be used for circulation for more than one ground floor entry.



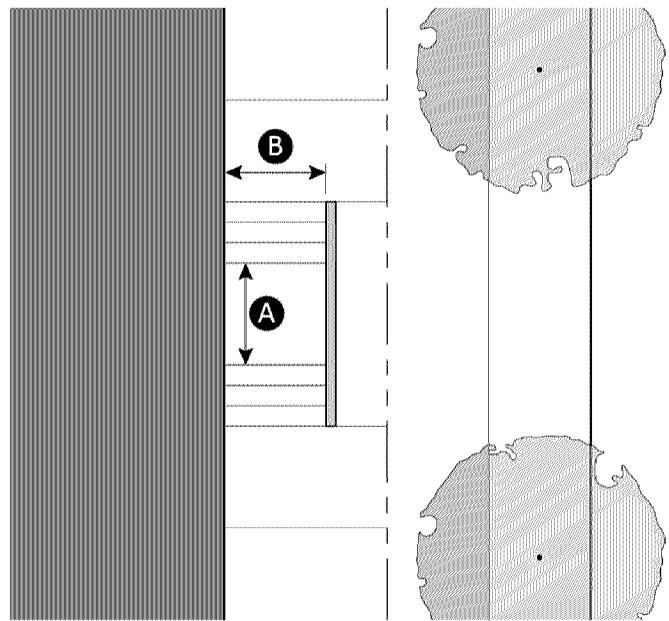
Sec. 30-383. Stoop.



In the Stoop Frontage Type, the main facade of the building is set back and an elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded.

Size

Width	5 ft. Min./ 8 ft. Max.	A
Depth	5 ft. Min./ 8 ft. Max.	B
Finish level above sidewalk	18 in. Min.	C

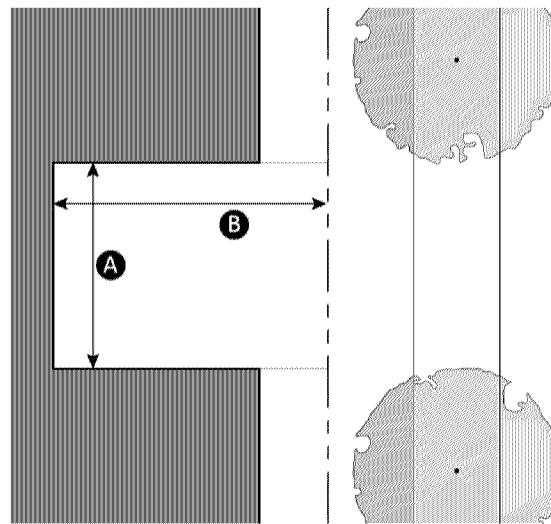
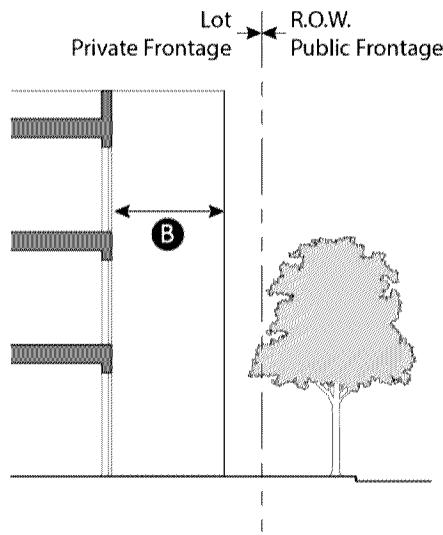


Design Standard

Stairs may be perpendicular or parallel to the building facade. Ramps shall be parallel to facade or along the side of the building. Entry doors are encouraged to be covered or recessed to provide shelter from the elements.



Sec. 30-384. Forecourt.



In the Forecourt Frontage Type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

Size

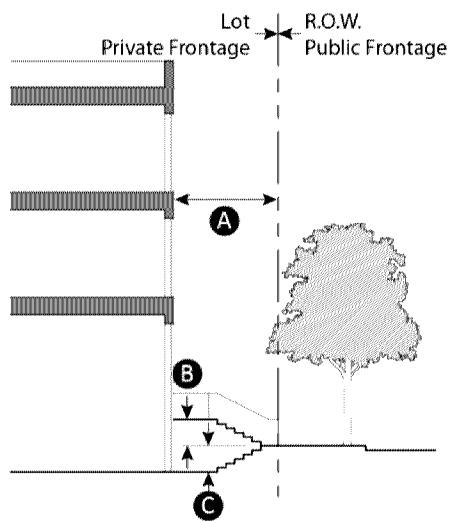
Width	12 ft. Min.	A
Depth	12 ft. Min.	B
Ratio, height to width	2:1 Max.	

Design Standard

The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.



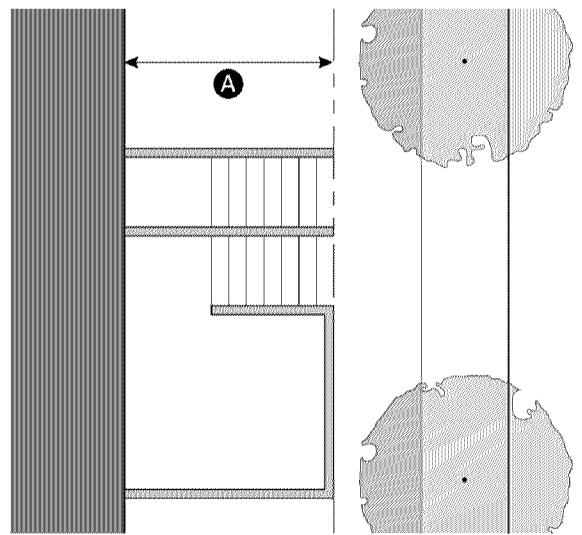
Sec. 30-385. Lightcourt.



In the Lightcourt Frontage Type, the main facade of the building is set back from the frontage line by an elevated terrace or a sunken Lightcourt. This Type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.

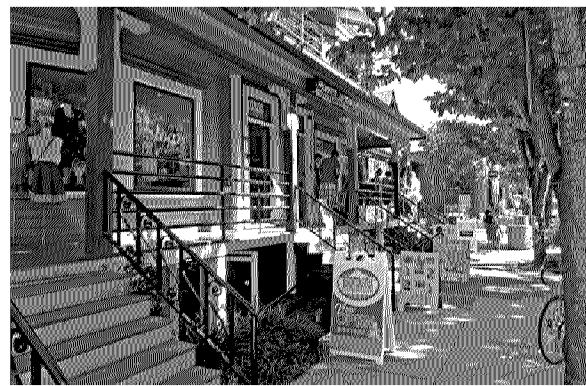
Size

Width	5 ft. Min. A
Finish level above sidewalk	6 ft. Min. B
Finish level below sidewalk	6 ft. Max. C

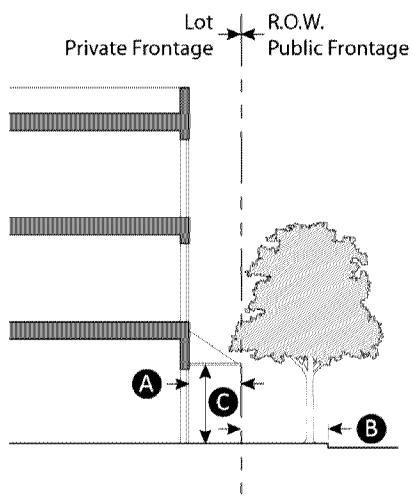


Design Standard

A short fence may be placed along the setback where it is not defined by a building.



Sec. 30-386. Shopfront.



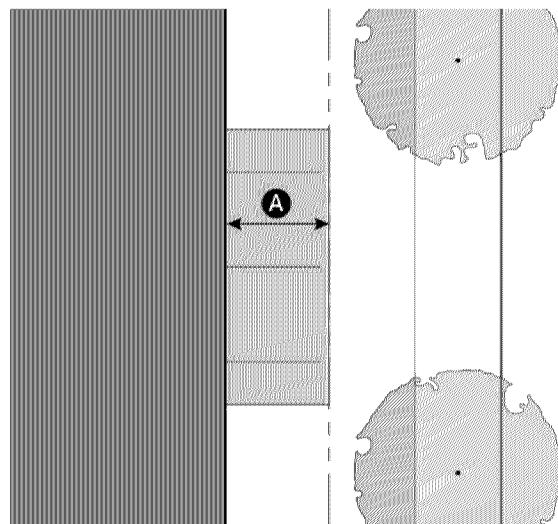
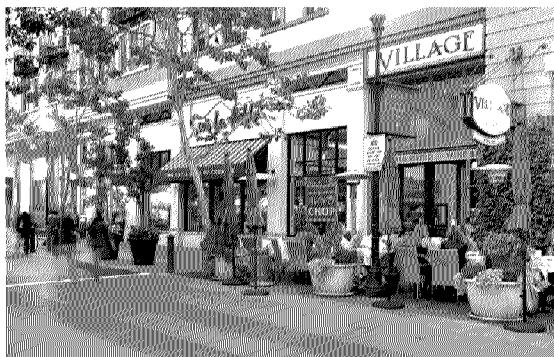
In the Shopfront Frontage Type, the main facade of the building has an at-grade entrance along the public way. This Type is intended for retail and other commercial uses. It has substantial glazing at the sidewalk level and may include an awning that may encroach into the ROW. It may be used in conjunction with other frontage types.

Size

Ground Floor Transparency	80% Min.
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Awning

Depth	4 ft. Min.	A
Setback from curb	2 ft. Min.	B
Height, clear	8 ft. Max.	C

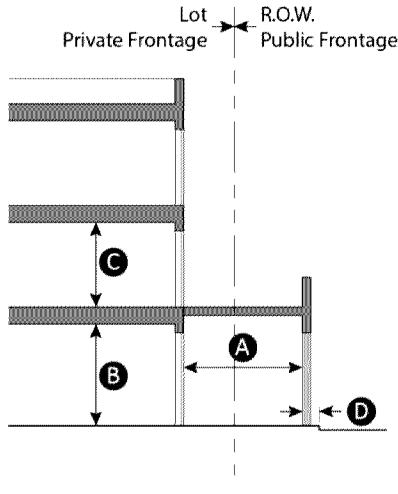


Design Standard

Shopfront glass shall be clear without reflective glass frosting or dark tinting. Shopfront windows may be clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass clerestory may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass. Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged. Operable awnings are encouraged.



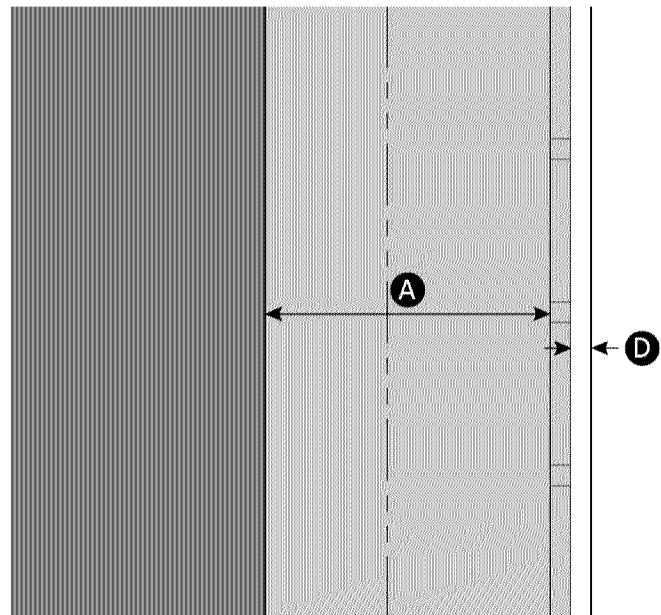
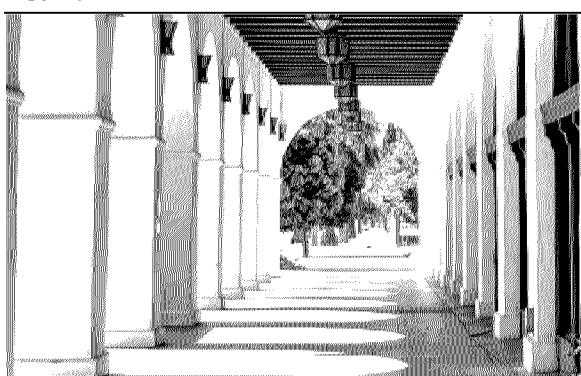
Sec. 30-387. Gallery.



A Gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the street curb. Galleries shelter the sidewalk with a roof or unenclosed, accessible, out-door space making them ideal for retail use. Galleries may be one- or two-stories in height, functioning as covered or uncovered porches at the second floor. Railings on top of the gallery are only required if the gallery roof is accessible as a deck.

Size

Depth	8 ft. Min.	A
Ground Floor	12 ft. Min.	B
Height		C
Upper Floor	10 ft. Min.	
Height	2 stories Max.	
Setback from curb	1 ft. Min./ 2 ft. Max.	D

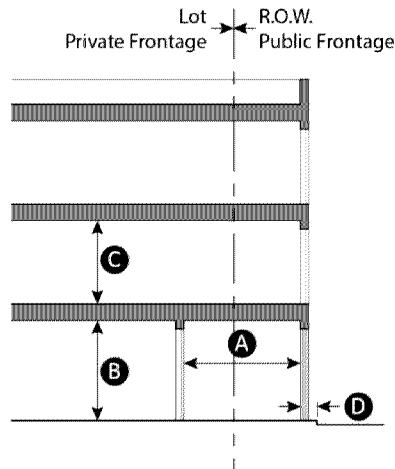


Design Standard

Galleries shall be combined with the Shopfront Frontage Type. Galleries must have consistent depth along a frontage. Ceiling lights are encouraged. Galleries may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached. Columns shall be placed in relation to curbs to allow passage around and to allow for passengers of cars to disembark.



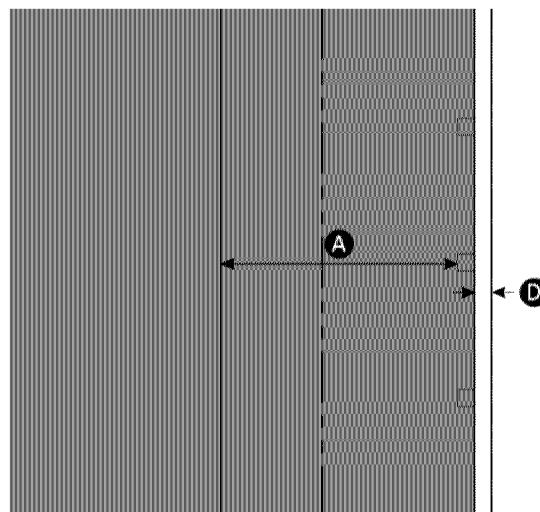
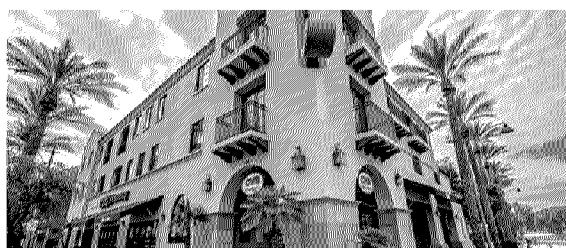
Sec. 30-388. Arcade.



Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right-of-way. Arcades contain ground-floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.

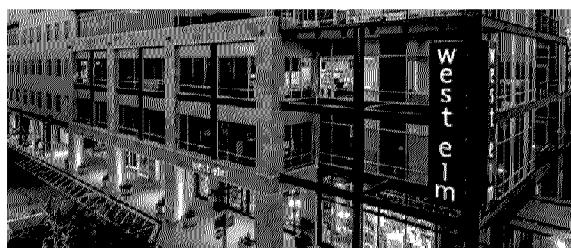
Size

Depth	8 ft. Min.	A
Ground Floor	12 ft. Min.	B
Height		
Upper Floor	10 ft. Min.	C
Height		
Setback from curb	1 ft. Min./ 2 ft. Max.	D



Design Standard

Arcades shall be combined with the Shopfront Frontage Type. Arcades may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark. When utilizing an arcade, front building setbacks may not apply. Front setbacks are still measured from the ROW.



DIVISION 7. GENERAL REGULATIONS

Sec. 30-389. Fences, hedges and walls.

(a) Single-family and multi-family site walls and fencing.

- (1) Low walls or hedges may be used to divide space, create a variety in landscaping and to define site edges.
- (2) Locate fences or walls on the property line (excluding the front property line) to define private open space and common open space areas, protect privacy, and buffer residents from noise sources.
 - a. Use masonry materials for sound reduction purposes.
 - b. Masonry walls shall include a top or cap.
 - c. Wood and chain link fencing is prohibited. However, wood picket fencing shall be allowed in the front yard setback area of the neighborhood district.
- (3) Design fences and walls to be an attractive part of the project, with materials and designs that are compatible with the exterior building materials and demonstrate design integrity with the project as a whole.



- (4) Front yard fencing and walls shall comply with the following requirements as applicable:
 - a. *Single family.* Open fencing and solid walls shall be setback from the sidewalk by at least two feet to allow for landscaping; not grass that must be mowed or trimmed;
 - b. *Multi-family.* Open fencing and solid walls shall meet the standards in Table 30-389.A.
- (5) The overall height of fencing, when present, shall not exceed the standards in Table 30-389.A. below:

Table 30-389.A.—Maximum Height of Fences or Walls

Location of Fence or Wall	Maximum Height
Within front or side street setback	
Solid Wall	3 feet
Open Fencing	4 feet
Not within front or side street setback	6 feet

Interior side and rear property line	6 feet
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(b) *Mixed-use or commercial site walls and fencing.*

(1) Walls and fences shall meet the requirements of Section 30-494(g) and Section 30-500 of the Zoning & Development Code.

(2) *Fence design.* Fences shall be constructed, designed and maintained as follows:

- a. *Permitted materials.* Fencing visible from public view should be open work such as wrought iron and metal (tube) fences with design features. Masonry, stucco and plaster are permitted when deemed more appropriate to the design of the building on the project site.
- b. *Fence maintenance.* Every fence shall be kept in good repair, consistent with the design thereof. The property owner shall be responsible for landscaping and maintaining the area, if any, between the property line and the owner's fence.
- c. *Hazardous and prohibited materials.* Fences shall not incorporate barbed wire and razor wire, spiked tips, chain link of any kind, woven wire mesh ("chicken wire"), welded wire mesh, woven wire ("hog wire") rope, cable, railroad ties or any other similar materials or materials not specifically manufactured for permanent fencing.

Sec. 30-390. Off-street parking and loading standards.

(a) *Off-street parking standards.*

- (1) Off-street parking requirements shall be set forth in Division 5 which outlines the development standards by zoning district.
- (2) Off-street parking dimensions shall be as set forth in Table 30-390.A.—Off-Street Parking Dimensions below. Any type of stall not listed shall refer to Section 30-606 of the Zoning and Development Code.

Table 30-390.A.—Off-Street Parking Dimensions

Type of Stall	Minimum Size (feet)
Standard	9 X 18
Garage/Carport	10 X 20
Parallel	8 X 21
Compact	8 X 16
Tandem	9 X 35
30°	9 X 17
45°	9 X 18
60°	9 X 21

(b) *General performance standards for off-street parking facilities:*

- (1) Parking shall be implemented to provide safe and convenient access to and from public thoroughfares which include movement lanes and public frontages.
- (2) Vehicular access through residential properties for nonresidential uses shall be prohibited. This provision shall not apply to mixed-use developments.

- (3) Off-street parking spaces shall be located with sufficient room for safe and convenient parking without infringing on any public thoroughfare or sidewalk.
- (4) Off-street parking or loading area shall not be used for the sale, repair, or dismantling of any vehicle or equipment, or for storage of materials or supplies.
- (5) Parking or storage of commercial trucks, buses, vans, sign trailers; trailers or semi-trailers; or the like shall not be permitted in any form-based code zoning district.
- (6) Parking facilities on adjoining lots may share access points, driveways and parking subject to a recorded covenant running with the property on which the facilities are located, by process of waiver.
- (7) Parking shall be located behind habitable or occupied space, underground, or on the interior or rear of the building. All off-street parking areas shall be separated at least five feet from buildings in order to make room for sidewalks, landscaping and other plantings between the building and the parking area.
 - a. This separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials and in underground parking areas.

Sec. 30-396a. Downtown Core Design Regulations (Commercial, Apartment, and Mixed-Use Buildings).

This Section provides regulations and standards for new or renovated commercial, apartment, and mixed-use building types.

- (1) *Crime Prevention through Environmental Design (CPTED):* Crime Prevention through Environmental Design (CPTED) concepts shall be incorporated into the project design in order to create a safe built environment.
- (2) *General Façade Composition:* Buildings should generally be "four-sided," meaning that all facades (including sides and rear) shall be considered visible and treated with articulation and materials.
- (3) *Size, Mass, and Scale:* The scale of buildings and accessory structures (including canopies) shall be appropriate to the scale of structures built, or anticipated, in that district. Height of buildings shall be proportionate to the number of stories proposed.
- (4) *Building Materials:*
 - a. Building wall materials shall be combined on each façade only horizontally, unless the building is broken vertically by a change of plane, or a vertical architectural element.
 - b. Building walls shall be finished in one (1) or more of the following materials:
 - i. Wood
 - ii. Fiber cement board siding, smooth finish
 - iii. Reinforced concrete with stucco
 - iv. Brick
 - v. Corrugated metal, which may be approved by the Director of Planning based on the surrounding context and location on the site

- v. Other materials as approved by the Director of Planning, based on visual compatibility with listed approved materials
- c. Doors shall be made of wood, metal, glass, or fiberglass.

(5) *Roof Materials:*

- a. Roof materials shall match or complement the proposed architectural style.
- b. Roof materials that shall not be used include:
 - i. Stamped sheet metal used to simulate Mediterranean or Spanish roof tiles.
 - ii. Corrugated sheet metal.
 - iii. Lightweight asphalt shingles.
 - iv. Wood shakes or shingles.

(6) *Roof Forms:* Where pitched roofs exist, primary roofs shall have a minimum slope of 4:12, while ancillary roof slopes may be no less than 2:12.

(7) *Windows and Doors:*

- a. Proportion and Details
 - i. Windows shall not be flush with exterior wall treatments. Windows shall be provided with an architectural surround at the jambs and header, and a projecting sill.
 - ii. Window openings may be grouped horizontally, but trim between windows shall be at least 3.5 inches wide. This does not apply to storefront windows.
- b. Facade Transparency: Building elevations that face the street shall have at least 40% of the first-floor wall area consist of windows and/or doors and 15% of upper floors.

(8) *Architectural Details:*

- a. Shutters: Shutters shall be sized and placed so as to equal the width that would be required to cover the window opening.
- b. Cornices: If cornices are used, then the cornices are required to delineate the tops of facades. Expression lines are required to delineate the divisions between the first floor and upper floors. Cornices and expression lines shall either be a molding or a jog in the surface plane of the building.

(9) *Exterior Building Color:*

- a. Fluorescent colors shall not be used as primary wall colors or accent colors except when approved by the Director of Planning when the colors are appropriate for the surrounding area and enhance the visual interest of an area.
- b. Colors that relate to or enhance the building's existing district character shall be used. Light colors such as different shades of whites and pastels are appropriate. Extremely bright colors shall not be used as primary wall colors.
- c. Secondary colors shall complement the primary building color. They shall be lighter or darker values than the body color or use more saturated hues of the body color. Secondary colors can be used to give additional emphasis to architectural features such as building bases or wainscots, columns, brackets,

cornices, capitals, and bands; or used as trim on doorframes, storefront elements, windows and window frames, railing shutters, ornament, fences, etc.

(10) *Mechanical Equipment and Screening:*

- a. Rooftop equipment such as mechanical equipment shall be screened on all sides, and the screening shall be integrated into the overall building design.
- b. Mechanical equipment, such as ventilation systems, commercial exhaust fans, rooftop terminations, commercial cooling equipment, heating and air conditioning units, TV antennas, and satellite dishes, shall be hidden or screened from view. Architectural features or vegetation can be used to conceal mechanical equipment. Screen material shall be properly maintained. If vegetation is used for screening, the mature size of the vegetation shall be considered so that equipment air flow will not be compromised.

(11) *Proportions of Bays and Openings:* All building bays, including porches, colonnades and porticos as appropriate, shall be square or vertical in proportion, unless the design merits a horizontally-proportioned opening. Wall opening, except for transoms and storefronts, shall be square or vertical in proportion. The façade of a proposed building shall draw upon the proportion and number of bays in surrounding buildings, as defined by windows, doors, and column spacing, to establish a compatible scale.

(12) *Garages and Accessory Structures:* Attached garages, detached garages, and other accessory structures shall be subordinate in height, footprint, and proportion to the primary structure on the site, and shall be compatible with the principal structure in terms of roof form, materials, and color. Where a garage contains an accessory dwelling unit above, it may exceed the height of the primary structure.

(13) *Utility and Service Equipment Areas:*

- a. Locate ancillary facilities within buildings, not along the street facing facade, to the maximum extent feasible. Where ancillary facilities such as trash receptacles and utility meters absolutely cannot be incorporated into a building, locate them at the rear of the site in freestanding, completely enclosed structures designed to be compatible with the architecture of the rest of the development.
- b. Loading docks, service areas, and trash disposal facilities shall be hidden or screened from view of streets, parks, squares, or significant pedestrian spaces. Service, utility and mechanical functions, including retail loading shall be located in alleys whenever present. When alleys are not present, service functions shall be placed behind buildings. Building design shall accommodate equipment with niches or insets.
- c. Trash and storage enclosures shall be architecturally integrated into the project design. Landscaping shall be provided adjacent to enclosures for screening and deterring graffiti.
- d. Build covered trash enclosures with durable materials such as stone, concrete block, steel, and heavy timber.
- e. The location of trash enclosures shall be easily accessible for trash collection and shall not impede general site circulation patterns during loading operations.
- f. Trash service plan shall be provided, which shall be subject to the approval of the Director of Planning.

- g. Locate electrical panels to minimize their visibility from the street, in locations such as side yard walls, and/or behind landscaped areas. Integrate them into the design of residential buildings to the maximum extent feasible.
- h. Utility service connections shall be underground or screened, which shall be subject to the approval of the Director of Planning.

(14) *Outdoor Display of Merchandise:*

- a. Definition of "Merchandise": For purposes of this section, merchandise is defined as any item that is for sale on the premises or is representative of an item that is for sale on the premises, regardless of whether that particular item is available for purchase.
- b. Arrangement: Merchandise shall be arranged and spaced so as not to clutter the front of the property, as determined by the Director of Planning or designee.
- c. Location:
 - i. Merchandise shall not be placed on the public sidewalk or within the right-of-way without the approval of the Director of Planning or designee. If merchandise is displayed on any privately owned sidewalk, a minimum of four (4) feet of the sidewalk as measured from the curb must remain open and unobstructed to facilitate safe pedestrian circulation.
 - ii. Areas designated for vehicular parking may not be used as outdoor display areas except as authorized in the Zoning and Development Code such as Temporary Use Permits.
 - iii. Merchandise shall not be displayed on public street furniture or landscaping.
- d. Designation in Plans: Plans for new developments or reuse of an existing space shall clearly designate any areas for outdoor display of outdoor merchandise. Outdoor display of merchandise shall only occur in areas designated for such display on the approved plan.

(15) *Trellises, Marquees, and Architectural Canopies:* Materials, colors, and form shall be derived from the building architecture

(16) *Balconies:* Balconies are encouraged at upper stories to create visual interest, support an architectural style or context, and to provide outdoor spaces for upper story tenants. In addition to upper story balconies, recessed alcoves are recommended to increase the depth and usability of the balcony space and add visual interest to the façade composition.

(17) *Awnings and Shade Devices:*

- a. Durable materials that complement other building materials shall be used, including canvas, high quality fabric, and metal.
- b. Vinyl and plastic shall not be used.
- c. Colors shall complement the building style, materials, and colors.
- d. Awning mounting heights shall be consistent along the façade, unless varying mounting heights supports the architectural style.

(18) *Security Doors:*

- a. Roll-up security doors shall be decorative, which shall be approved by the Director of Planning and recessed behind the building façade wall surface.

- b. Horizontal sliding security grills shall be decorative, which shall be approved by the Director of Planning and shall be architecturally concealed when in fully opened position.

(19) *Site Landscaping:*

- a. Landscaping shall be incorporated in order to create an active visual outlook for residential units, create usable open space, and provide privacy for adjacent residential units.
- b. Site landscaping treatments shall be designed to be attractive, with consistent design integrity throughout the project.
- c. Parking lots, driveways, and other automobile circulation areas shall be landscaped in order to improve the visual appearance of circulation and parking areas.
- d. Trees, landscape islands, shrubs, and groundcover shall be incorporated throughout parking areas.

Sec. 30-396b. Downtown Core Design Regulations (Residential Buildings).

This Section provides regulations and standards for new or renovated residential buildings that have individual entries from the public ROW or common open space. These regulations encourage buildings that strengthen the quality and character of Fontana's neighborhoods and surrounding areas while providing opportunities for individuality and creativity.

(1) *Building Materials and Colors:*

- a. Generally acceptable materials shall include stucco, wood siding, native rock and stone, split face, concrete and brick.
- b. Generally prohibited materials shall include aluminum or plastic siding, corrugated fiberglass, and metal.
- c. Generally acceptable colors shall include muted natural colors, earth tones, pastel colors, natural stains and accent colors to contrast eaves, trims, moldings and doors.
- d. Generally prohibited colors shall include bright, fluorescent, or assertive colors as primary or accent wall colors.

(2) *Crime Prevention Through Environmental Design (CPTED):* Incorporate Crime Prevention Through Environmental Design (CPTED) concepts into the project design in order to create a safe built environment.

(3) *Garages and Accessory Structures:* Attached garages, detached garages, and other accessory structures shall be subordinate in height, footprint, and proportion to the primary structure on the site, and shall be compatible with the principal structure in terms of roof form, materials, and color. Where a garage contains an accessory dwelling unit above, it may exceed the height of the primary structure.

(4) *Design Criteria:*

- a. A variety of enhanced architectural features and materials shall be provided on every front elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or similar features.

- b. All garage doors shall be decorative, sectional, and roll-up.
- c. Trim with a stucco covering may be painted in a contrasting color. The contrasting color shall be color-compatible with the color of the body of the structure.
- d. Decorative trim consistent with the architectural design shall surround vents and windows to enhance the architecture of the structure.
- e. Architectural treatment shall be provided on each chimneystack.
- f. Wall-mounted, decorative lighting fixtures shall be provided at the front porch areas as well as on each side of the garage door. The style of the decorative lighting fixtures shall complement the architectural style.
- g. All front doors shall provide a window or other decorative treatment, including but not limited to, raised panels, metal work, etc.
- h. Upgraded hardscape shall be used within the concrete walkway(s) leading to the front door of the house in order to complement the home's exterior architectural elements. Examples of upgraded hardscape includes, but is not limited to, decorative patterned scoring, exposed aggregate finishes, stamped concrete, etc.

(5) *Screening of Exterior Equipment:*

- a. All mechanical equipment, ground-mounted equipment, utilities, storage, shall be screened from adjoining properties and public streets by a visual barrier such as a wall, fence, or landscape material. Where landscaping only is used for screening, it shall be planted with five-gallon (minimum size) shrubs spaced to provide a dense screen.
- b. Roof-mounted mechanical equipment shall be hidden from view by building parapets of equal height. If building parapets do not provide adequate screening when observed from adjacent buildings, mechanical equipment shall be screened by designing the parapet so that it appears as an integrated part of the roof and overall architectural design.
- c. No exterior components of plumbing, processing, heating, cooling, and ventilating systems shall be mounted on any building wall unless they are an integrated architectural design feature.

(6) *Central Air Conditioning or Cooling System:*

- a. All new residential structures shall be equipped with a central air conditioning or cooling system.
- b. For the purposes of this section, a "central air conditioning or cooling system" shall be defined as all that equipment, including associated refrigeration, intended or installed for the purpose of cooling air by mechanical means and discharging such air into a residential structure used for living purposes. A central air conditioning or cooling system shall not include portable cooling units, absorption units or evaporative coolers.

(7) *Water Heaters:* Each dwelling unit shall have a separate hot water heater or may be provided with a centralized circulation water heating system sufficient to serve all dwelling units on the property.

(8) *Laundry Facilities:* All multiple-residential units shall be provided washer and dryer hookups and laundry space within the unit or garage. The laundry area shall not infringe upon garage parking area. In the case of apartments, common laundry facilities may be included in addition to the individual unit hookups.

(9) *Storage Facilities:* A separate area having a minimum of 125 cubic feet of private and secure storage space shall be provided for each unit.

- a. Said storage area may be located within the garage, provided it does not interfere with garage use for automobile parking.
- b. Normal closet and cupboard space within the dwelling unit shall not count toward meeting this requirement.
- c. No storage shall be in a carport.

DIVISION 9. PRIVATE OPEN SPACE TYPES

Sec. 30-398. Private open space types.

Private open spaces shall be designed as one of the private open space types defined in this section.

- (1) *Private yard.*
 - a. Definition: A side yard or rear yard (excluding required setback areas) which is accessed by secondary unit entrance(s).
 - b. The primary access to a private yard shall be from the dwelling(s) served.
 - c. The minimum area for a private yard shall be sixty (60) square feet.
 - d. The minimum dimensions for a private yard in any single direction shall be six (6) feet.
 - e. Landscaping shall consist primarily of planted areas including water-efficient plantings of lawns, trees, plants in pots, etc. and may be combined with a porch.
 - f. Private yard spaces may include edge walls or fences, provided that their inclusion does not violate building orientation.
- (2) *Porch.*
 - a. Definition: A patio, terrace, or other platform extending from or adjacent to a building at the ground floor which is accessed by secondary unit entrances(s).
 - b. The primary access to a porch shall be from the dwelling(s) served.
 - c. The minimum area for a porch shall be forty-six (48) square feet.
 - d. The minimum dimensions of a porch in any single direction shall be six (6) feet.
- (3) *Rooftop deck or garden.*
 - a. Definition: A private or privately shared deck or yard on the roof of a building.
 - b. The minimum dimensions for a rooftop deck or garden in any single direction shall be six (6) feet.
 - c. Gardens and green roofs are encouraged to help minimize heat sinks and to pretreat water from storms prior to it entering the storm drain system.
 - d. The minimum area for a rooftop deck or garden shall be sixty (60) square feet.

(4) *Balcony.*

- a. Definition: An outdoor space extending from a private upper floor of a building, which is accessed directly from a secondary unit entrance.
- b. Access to a balcony shall be limited to the dwelling served.
- c. The minimum area for a rooftop deck or garden shall be forty-eight (48) square feet.
- d. The minimum dimensions for a balcony in any single direction shall be six (6) feet.

DIVISION 10. COMMON AND PUBLIC OPEN SPACE STANDARDS¹

Sec. 30-399. Purpose.

The purpose of this section is to provide common open spaces and a catalog of pre-approved public open space types that are appropriate to use within walkable urban environments.

Sec. 30-400. Applicability.

- (a) This section describes the guidelines for the development of common and public open spaces throughout the Form-Based Code areas.
- (b) The standards in this section shall apply to all proposed development within the Form-Based Code districts and shall be considered in combination with the standards for the applicable district.
- (c) Additional public open spaces can be integrated into this section as they are approved by the City of Fontana.
- (d) The Downtown Core shall be required to comply with 30-404.a.

Sec. 30-404.a Downtown Core Open Space Requirements.

Common Open Space Required

Amenities Required

Developers shall provide on-site recreational facilities as a minimum requirement for all multi-family projects.

- (1) Development with less than 35 units shall provide a minimum of 10 percent of the project lot area as common open space (Private Open Space that exceeds the minimum may be counted towards the Common Open Space requirement) and shall provide one of the following recreational facilities, or equivalent, as approved by the Director of Planning:
 - a. Indoor gym/fitness facility (minimum 500 square feet).

- b. Tot-lot with multiple play equipment.
- c. Spa and pool (min 25 yard by 15 yards).
- d. Barbecue facility equipped with built-in grill, picnic benches, etc (min of three areas).

(2) Development consisting of 35 units to 79 units shall provide three of the recreational facilities listed below, or equivalent, as approved by the Director of Planning:

- a. Indoor gym/fitness facility (minimum 500 square feet).
- b. Tot-lot with multiple play equipment.
- c. Spa and pool (min 25 yard by 15 yards).
- d. Barbecue facility equipped with built-in grill, picnic benches, etc (min of three areas).
- e. A minimum of ten percent (10%) of the project lot area as Common Open Space. Private Open Space that exceeds the minimum may be counted towards the Common Open Space requirement.

(3) Development consisting of 80 units to 200 units shall provide all amenities listed above, or equivalent, as approved by the Director of Planning.

(4) Development consisting of 201 units to 400 units shall provide all amenities listed above and a minimum of one of the following additional recreational facilities, or equivalent, as approved by the Planning Commission:

- a. Large open lawn area, minimum dimensions shall be 100 feet by 50 feet (e.g. Rooftop garden).
- b. Multiple tot-lots with multiple play equipment. The tot-lots shall be conveniently located throughout the site. The number of tot-lots and their location shall be subject to Planning Commission review and approval.
- c. Lap pool and spa (e.g. Rooftop, min 25 yard by 25 yards).
- d. Community multi-purpose room equipped with kitchen, defined areas for games, exercises, etc.
- e. Barbecue facilities equipped with multiple grills, picnic benches and shade structures. The barbecue facilities shall be conveniently located throughout the site. The number of barbecue facilities and their location shall be subject to Planning Commission review and approval.
- f. Court facilities (e.g. tennis, volleyball, basketball, etc.).
- g. Other recreational facilities not listed above may be considered subject to the Planning Commission review and approval.
- h. Related recreational activities may be grouped together and located at any one area of the common open space. All recreational areas or facilities required by this section shall be maintained by private homeowner's associations, property owners, or private assessment districts.

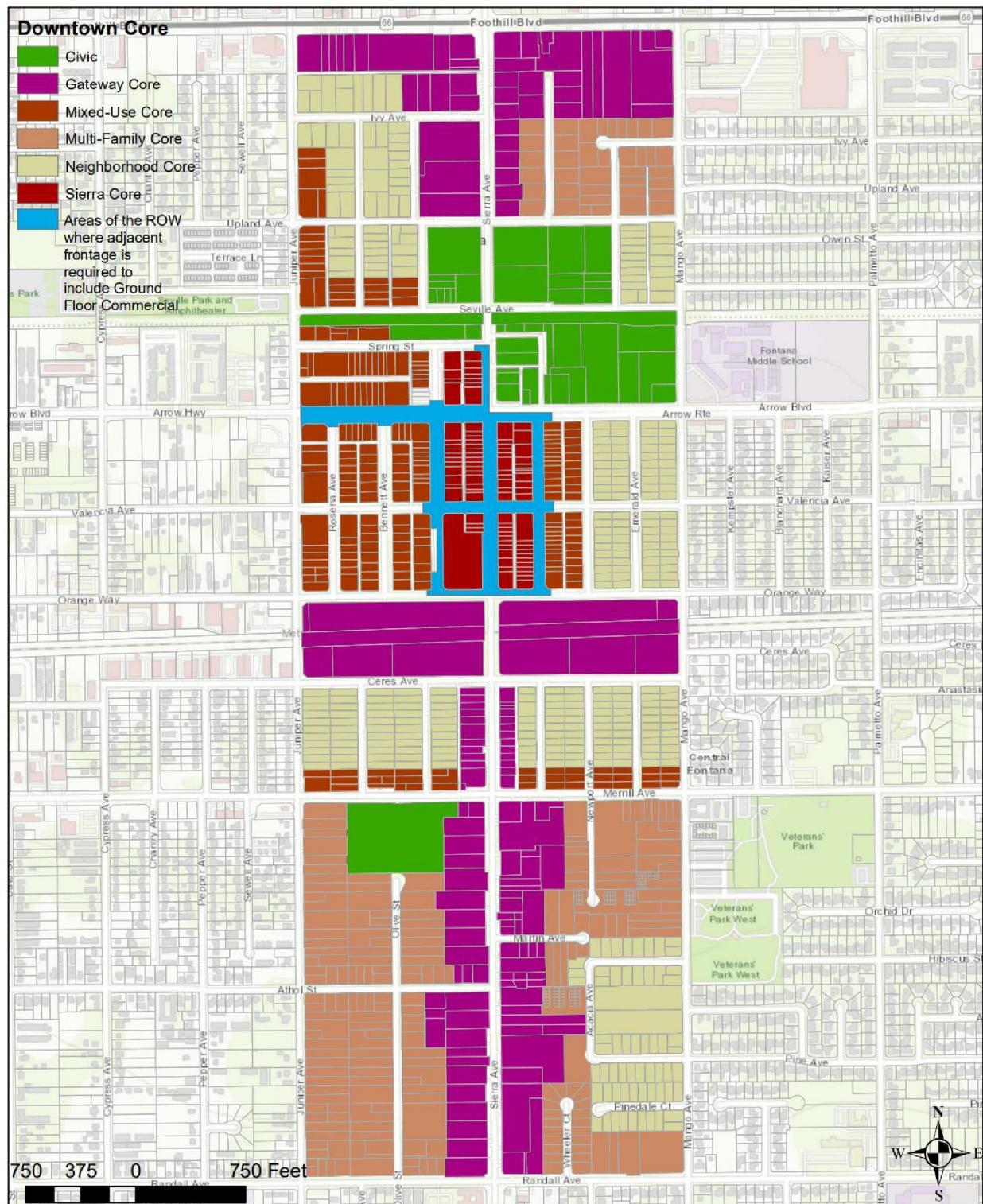
(4) Related recreational activities may be grouped together and located at any one area of the common open space. All recreational areas or facilities required by this section shall be maintained by private homeowner's associations, property owners, or private assessment districts.

- (5) Circulation, pedestrian, and vehicular parking. Pedestrian circulation. Each multiple-family residential development shall be designed with adequate walkways to provide convenience to the needs of the residents, guests, and the service providers of public agencies. Pedestrian access to the unifying elements of any development shall be separate from, and free of, conflict with vehicular access ways. All developments consisting of six units or more shall provide directories placed in a convenient location at the development entry.

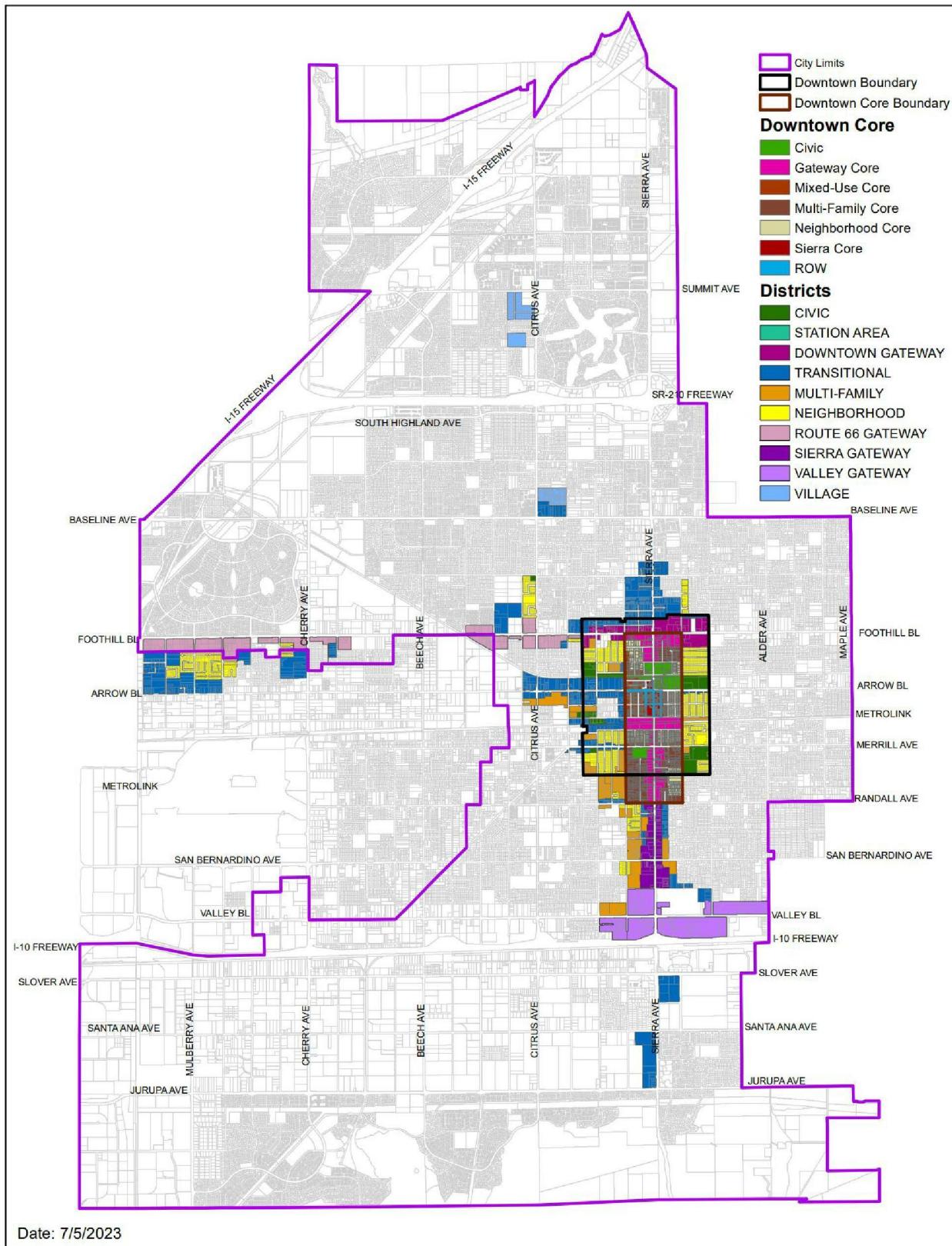
General Requirements

- (1) Common Open Spaces shall include amenities such as seating, lighting, and landscaping.
- (2) Public open spaces shall be built within the development area by developers as development occurs.
- (3) At the discretion of the Director of Planning, required open space may be constructed off-site and/or as part of a larger public open space that will be provided by the City or other private developments.

Sec. 30-405. Downtown Core map.



Sec. 30-406. Form-Based Code sub-district map.



ARTICLE III FORM-BASED CODE

DIVISION 1. ADMINISTRATION

DIVISION 3. PERMITTED LAND USES

Sec. 30-359. Uses permitted.

This section of the Form-Based Code establishes the permitted land uses in each district and the corresponding permit requirements. A parcel or building subject to the Form-Based Code shall be occupied with only the land uses allowed by Table 30-300.A—Land Uses. Definitions of allowed land uses are provided in Section 30-632 List of definitions.

- (1) Section 30-405—Overall Form-Based Code district map illustrates the overall land use plan for the Form-Based Code areas.
- (2) If a land use is not defined in this section, the Director of Community Development may determine that the use is not permitted, or determine the appropriate definition and determine the proposed use to be permitted provided the Director of Community Development approves a Director's determination and makes the following findings in writing:
 - a. The land use will not impair the orderly implementation of the City of Fontana General Plan.
 - b. The land use is consistent with the purpose of the applicable zoning district.
 - c. The characteristics and activities associated with the proposed land use are similar to one or more of the listed land uses in Table 30-359.A—Land Uses and will not produce greater impacts than the land uses listed for the zoning district.
 - d. The land use will be compatible with the other land uses allowed in the zoning district.
 - e. The land use is not listed as allowed in another zoning district.
- (3) A "P" indicates a use is permitted by right subject to design review by the Planning Commission or administrative site plan review by the Director of Community Development.
- (4) An "M" indicates the use requires the granting of a minor use permit (MUP).
- (5) A "C" indicates the use requires the granting of a conditional use permit (CUP).

- (6) A "—" means the use is not permitted in that zoning district. Any use that is not listed is not permitted.
- (7) Uses marked with an asterisk "*" indicate that the use is not permitted on the ground floor except on Sierra Avenue.
- (8) Uses marked with an S superscript "^S" indicate that the use is subject to special use regulations in (reference specific use regulations) Section 30-360.
- (9) Uses marked with a DT superscript "^{DT}" indicate that the requirement pertains to parcels within the downtown boundary.

Table 30-359.A.—Land Uses

	Re tail	Civ ic	Stati on Area	Downto wn Gatewa y	Neighbor hood	Mult i- Fam ily	Transiti onal	Sierra Gatew ay	Route 66 Gatew ay	Valley Gatew ay	Villa ge
Administrative/Professional											
Architectural, design, and engineering services	P*	P	P	P	—	—	P	P	P	P	P
Attorney/legal services	P*	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)	P	—	P	P	—	—	P	P	P	P	P
Banks/financial institutions, credit unions and remote ATMs (with drive-thru)	—	—	—	M	—	—	M	P	P	P	P
Brokerage firms and financial institutions	P*	—	P	P	—	—	P	P	P	P	M
Exhibit halls and galleries with 15% or less retail sales area	P	—	P	P	—	—	P	P	P	P	P
General administrative offices	P*	—	P	P	—	—	P	P	P	P	P
Government offices	P*	P	P	P	—	—	P	P	P	P	P
Insurance and accounting offices	P*	—	P	P	—	—	P	P	P	P	P
Massage/acupressure as primary use	—	—	—	M	—	—	M ^{DT} C	C	C	C	M
Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business	M	—	M	M	—	—	M	M	M	M	M
Real estate, escrow & property management offices	P*	—	P	P	—	—	P	P	P	P	P
Recording/film studios	M*	—	M	M	—	—	M	M	M	M	P
Animal Services											
Feed, tackle supplies for large animals	—	—	—	—	—	—	—	—	—	—	—
Pet boarding and kennels	—	—	M	M	—	—	M	M	M	M	—

Pet grooming	—	—	P	P	—	—	P	P	P	P	P
Veterinarian clinic and hospitals (with incidental boarding)	—	—	—	—	—	—	—	P	P	P	P
Pet sales and supplies (without outdoor storage)	—	—	—	P	—	—	P	P	P	P	P
Alcoholic Beverage Sales											
Alcoholic sales for off-site consumption, with or without tasting room	M	M	M	M	—	—	M	C	C	C	M
On-site sales in connection w/restaurant	M	M	M	M	—	—	M	C	C	C	M
Restaurant and café with entertainment and/or dancing	M	—	M	M	—	—	—	—	—	—	—
Manufacturing, including winery or micro-brewery with tasting room and no restaurant	M	M	M	M	—	—	M	C	C	C	M
Micro-breweries in connection with restaurant (Brew Pub)	M	M	M	M	—	—	M	C	C	C	M
Micro-breweries without tasting room	—	—	—	—	—	—	—	—	—	C	—
Educational/Instructional/Day Care Uses											
Adult day care	—	—	—	M	—	—	M	C	C	C	M
Children tutorial classes	—	—	—	M	—	—	M	M	M	M	M
Colleges—public and private	—	M	M	M	—	—	M	C	C	C	C
Schools—elementary, middle, secondary, high, private	E	M	M	M	M ^{DT} C	M ^{DT} C	M	C	C	C	C
Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA	—	P	M	M	—	—	P	M	M	M	M
Studio—Art, Dance, Martial Arts, Music (School) with less than 1,500 sq. ft. GFA	—	P	P	P	—	—	M	M	M	M	M
Licensed nurseries, pre-schools and day care facilities for children	—	—	M	M	—	—	M	M	M	M	M

Adult vocational classes, trade schools, computer training	—	—	—	M	—	—	M ^{DT} C	M	C	C	C
Traffic and automobile driving schools	—	—	—	—	—	—	— ^{DT} C	C	C	C	C
Food/Restaurants/Eating Establishments											
Bakery—primarily retail sales	P	P	P	P	—	—	P	P	P	P	P
Banquet Hall as ancillary use to primary permitted use	M*	M	M	M	—	—	—	C	C	C	C
Catering services as primary use—may include on-site dining facilities	—	—	—	—	—	—	M ^{DT} P	P	P	P	—
Ice cream, juice, tea and candy shops	P	P	P	P	—	—	P	P	P	P	P
Restaurant/coffee shop with drive thru	—	—	—	—	—	—	—	M S	M	M	—
Restaurant/coffee shop without drive thru facilities or alcohol sales	P	P	P	P	—	—	P	P	P	P	P
Outdoor dining in public right-of-way	P ^S	P ^S	P ^S	P ^S	—	—	P ^{S-DT}	—	—	—	—
General Merchandise/Retail Trade											
Antiques retail sales (excludes pawn shop)	P*	—	P	P	—	—	P	P	P	P	P
Consumer electronics, computer and phone equipment retail sales	P	—	P	P	—	—	P	P	P	P	P
Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)	P*	—	P	P	—	—	P	P	P	P	P
Art supplies, framing	P*	—	P	P	—	—	P	P	P	P	P
Beauty supplies	P*	—	P	P	—	—	P	P	P	P	P
Books and magazines	P	—	P	P	—	—	P	P	P	P	P
Camera and photographic supplies	P*	—	P	P	—	—	P	P	P	P	P

Clothing/shoe stores	P*	—	P	P	—	—	P	P	P	P	P
Cigar/cigarette/smoke shops/electronic cigarettes as a primary use	—	—	—	—	—	—	—	C	C	C	—
Consignment clothing sales	P*	—	P	P	—	—	P	P	P	P	P
Farmer's Market	M ^S	M ^S	M ^S	M ^S	—	—	—	—	—	—	—
Convenience stores	—	—	—	—	—	—	—	P	P	P	P
Floor covering (carpet, tile, and similar)	—	—	—	—	—	—	—	P	P	P	—
Florists	P	—	P	P	—	—	P	P	P	P	P
Food/drug store (less than 5,000 square feet GFA)	P	—	P	P	—	—	P	P	P	P	P
Food/drug store (greater than 5,000 square feet GFA)	—	—	—	—	—	—	—	M	M	M	—
Fabric stores (less than 5,000 square feet GFA)	P*	—	P	P	—	—	P	P	P	P	P
Firearms, ammunition, related products, assembly—retail sales	—	—	—	C	—	—	—	—	—	—	—
Furniture, office and home furnishings	P*	—	—	P	—	—	P	P	P	P	P
Garden supply with outdoor display of plants	—	—	—	—	—	—	P	P	—	—	—
General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores	P*	—	P	P	—	—	P	P	P	P	P
Hardware/home improvement stores	P*	—	P	P	—	—	P	P	P	P	P
Health, herbal, botanical stores	P*	—	P	P	—	—	P	P	P	P	P
Hobby, toy and game	P*	—	—	P	—	—	P	P	P	P	P
Hookah lounge/smoking room	—	—	—	—	—	—	C	C	C	C	C
Indoor swap meets/concession malls	—	—	—	—	—	—	—	—	—	—	—
Interior decorating, linen, and bath stores	P*	—	P	P	—	—	P	P	P	P	P

Jewelry sales and repair (excludes pawn shop)	P*	—	P	P	—	—	P	P	P	P	P	P
Leather goods and equipment	P*	—	P	P	—	—	P	P	P	P	P	P
Musical instruments	P*	—	P	P	—	—	P	P	P	P	P	P
Office supplies/stationery/cards	P*	—	P	P	—	—	P	P	P	P	P	P
Pharmacies (without drive-thru)	P*	—	P	P	—	—	P	P	P	P	P	P
Pharmacies (with drive-thru)	—	—	—	—	—	—	—	P	P	P	P	—
Sporting goods and equipment (no gun sales)	P*	—	P	P	—	—	P	P	P	P	P	P
Thrift stores/second-hand store	—	—	—	—	—	—	—	M	M	M	M	—
Lodging Places												
Bed and Breakfast	—	—	—	—	M ^S	—	M ^{S-DT}	—	—	—	—	—
Hotels and motels	M	M	M	M	—	—	M	M	M	M	M	—
Medical/Health Services												
Acute care/walk-in medical services (urgent care)	—	—	—	M	—	—	—	P	P	C	C	—
Ambulance services	—	—	—	—	—	—	—	—	—	—	—	—
Hospitals	—	—	—	—	—	—	—	—	—	—	—	—
Medical/dental/counseling/psycho logy/hearing aids/acupuncture/homeopathy/p hysical therapy/sports therapy	P*	—	P	P	—	—	P	P	P	P	P	P
Optometry sales	P*	—	P	P	—	—	P	P	P	P	P	P
Motor Vehicle Services												
Auto body and painting (primary use)	—	—	—	—	—	—	—	—	—	—	—	—
Auto broker offices	—	—	—	—	—	—	—	P	P	P	P	—
Auto car washes	—	—	—	—	—	—	—	M	M	M	M	—
Auto and motorcycle sales—new and used	—	—	—	—	—	—	—	M ^S	M ^S	M ^S	M ^S	—
Auto rental agencies with parking for vehicle rentals	—	—	—	—	—	—	—	M	M	M	M	—
Auto/motorcycle repair—general, including quick lube, smog check, transmission service	—	—	—	—	—	—	—	C ^S	C ^S	C ^S	C ^S	—

Auto upholstery	—	—	—	—	—	—	—	—	—	—	—	—
Auto car alarm and stereo installation (within an enclosed building only)	—	—	—	—	—	—	—	C	C	C	C	—
Commercial parking facilities and garages	P	P	P	P	—	—	P ^{DT} —	—	—	—	—	—
Gas/service station	—	—	—	—	—	—	—	C	C	C	C	—
Gas station with mini mart, car wash and/or restaurant	—	—	—	—	—	—	—	C	C	C	C	—
Truck, trailer and equipment rentals	—	—	—	—	—	—	—	—	—	—	—	—
Personal Services												
Barber, hair/nail/skincare/tanning salon and day spa	P*	—	P	P	—	—	P	P	P	P	P	P
Body art (tattooing, body piercing, and/or permanent cosmetics)	—	—	—	P	—	—	P	P	P	P	P	P
Check cashing/deferred deposit or payday advance uses with or without ancillary services	—	—	—	—	—	—	—	—	—	—	—	—
Cemeteries, crematory, mortuary and mausoleums	—	—	—	—	—	—	—	—	—	—	—	—
Dry cleaners/laundry—non-commercial	P*	—	—	P	—	—	P	P	P	P	P	P
Fortunetelling	—	—	P	P	—	—	—	P	—	P	—	—
Funeral parlors	—	—	—	—	—	—	—	—	—	—	—	—
Locksmith/key shops	P*	—	P	P	—	—	P	P	P	P	P	—
Pawnshops/cash for gold and diamonds (as primary use)	—	—	—	—	—	—	—	—	—	—	—	—
Photocopying and photo developing (retail)	P*	—	P	P	—	—	P	P	P	P	P	P
Photography studios	P*	—	P	P	—	—	P	P	P	P	P	P
Postal services/mail box rentals	—	—	—	P	—	—	P	P	P	P	P	P
Shoe repair	P*	—	P	P	—	—	P	P	P	P	P	P
Tailor and alterations	P*	—	P	P	—	—	P	P	P	P	P	P

P=Permitted; M=Minor Use
Permit; C=Conditional Use
Permit; "—"=Not Permitted;
"*=Not permitted on the ground
floor, except on Sierra Avenue; "^S
"=Special use regulations; "^{DT}
"=Pertaining to parcels within the
Downtown boundary

Table 30-359.B.—Land Uses

	Civic Core	Sierra Core	Gateway Core	Mixed-Use Core	Multi-Family Core	Neighborhood Core
<u>Administrative/Professional</u>						
<u>Architectural, design, and engineering services</u>	P	P	P	P	--	--
<u>Attorney/legal services</u>	P	P	P	P	--	--
<u>Banks/financial institutions, credit unions and remote ATMs (stand-alone facilities—without drive-thru)</u>	P	P	P	P	--	--
<u>Banks/financial institutions, credit unions and remote ATMs (with drive-thru)</u>	--	--	M	M	--	--
<u>Brokerage firms and financial institutions</u>	P	P	P	P	--	--
<u>Exhibit halls and galleries with 15% or less retail sales area</u>	P	P	P	P	--	--
<u>General administrative offices</u>	P	P	P	P	--	--
<u>Government offices</u>	P	P	P	P	--	--
<u>Insurance and accounting offices</u>	P	P	P	P	--	--
<u>Massage/acupressure as primary use</u>	--	--	--	C	--	--
<u>Massage as ancillary use to primary permitted use—less than 40% of gross floor area of business</u>	M	M	M	M	--	--
<u>Real estate, escrow & property management offices</u>	P	P	P	P	--	--
<u>Recording/film studios</u>	M	M	M	M	--	--
<u>Animal Services</u>						
<u>Feed, tackle supplies for large animals</u>	--	--	--	--	--	--
<u>Pet boarding and kennels</u>	--	--	--	C	--	--
<u>Pet grooming</u>	--	--	--	P	--	--
<u>Veterinarian clinic and hospitals (with incidental boarding)</u>	--	--	--	C	--	--
<u>Pet sales and supplies (without outdoor storage)</u>	--	--	P	P	--	--
<u>Alcoholic Beverage Sales</u>						
<u>Alcoholic sales exclusively for off-site consumption</u>	--	--	M	M	--	--
<u>On-site sales in connection w/restaurant</u>	M	M	M	M	--	--
<u>Restaurant and café with entertainment and/or dancing</u>	M	M	M	--	--	--
<u>Manufacturing, including winery or micro-brewery with tasting room and no restaurant</u>	M	M	M	M	--	--
<u>Micro-breweries in connection with restaurant (Brew Pub)</u>	M	M	M	M	--	--
<u>Micro-breweries without tasting room</u>	M	M	M	M	--	--
<u>Educational/Instructional/Day Care Uses</u>						
<u>Adult day care</u>	--	--	--	M	--	--

<u>Children tutorial classes</u>	--	--	--	<u>M</u>	--	--
<u>Colleges—public and private</u>	<u>M</u>	--	<u>M</u>	<u>M</u>	--	--
<u>Schools—elementary, middle, secondary, high, private</u>	--	--	--	<u>M</u>	<u>M</u>	<u>M</u>
<u>Studio—Art, Dance, Martial Arts, Music (School) with greater than 1,500 sq. ft. GFA</u>	--	--	P	P	--	--
<u>Studio—Art, Dance, Martial Arts, Music (School) with less than 1,500 sq. ft. GFA</u>	--	--	P	<u>M</u>	--	--
<u>Licensed nurseries, pre-schools and day care facilities for children</u>	--	--	--	<u>M</u>	--	--
<u>Adult vocational classes, trade schools, computer training</u>	<u>M</u>	--	<u>M</u>	<u>M</u>	--	--
<u>Traffic and automobile driving schools</u>	--	--	--	--	--	--
<u>Food/Restaurants/Eating Establishments</u>						
<u>Bakery—primarily retail sales</u>	P	P	P	P	--	--
<u>Banquet Hall as ancillary use to primary permitted use</u>	<u>M</u>	--	<u>M</u>	--	--	--
<u>Catering services as primary use—may include on-site dining facilities</u>	<u>M</u>	<u>M</u>	<u>M</u>	<u>M</u>	--	--
<u>Ice cream, juice, tea and candy shops</u>	P	P	P	P	--	--
<u>Restaurant/coffee shop with drive thru</u>	--	--	--	--	--	--
<u>Restaurant/coffee shop without drive thru facilities or alcohol sales</u>	P	P	P	P	--	--
<u>Outdoor dining in public right-of-way</u>	ps	ps	ps	ps	--	--
<u>General Merchandise/Retail Trade</u>						
<u>Antiques retail sales (excludes pawn shop)</u>	<u>M</u>	<u>M</u>	<u>M</u>	<u>M</u>	--	--
<u>Consumer electronics, computer and phone equipment retail sales</u>	P	P	P	P	--	--
<u>Art gallery with retail sales (If retail sales area is less than 15%, see exhibit hall and gallery under Administrative/Professional)</u>	P	P	P	P	--	--
<u>Art supplies, framing</u>	P	P	P	P	--	--
<u>Beauty supplies</u>	P	P	P	P	--	--
<u>Books and magazines</u>	P	P	P	P	--	--
<u>Camera and photographic supplies</u>	P	P	P	P	--	--

<u>Clothing/shoe stores</u>	P	P	P	P	--	--
<u>Cigarette/smoke shops/electronic cigarettes as a primary use</u>	--	--	--	--	--	--
<u>Cigar sales only</u>	P	P	P	P	--	--
<u>Cigar lounge/hookah lounge/smoking room</u>	C	C	C	C	--	--
<u>Consignment clothing sales</u>	C	C	C	C	--	--
<u>Farmer's Market</u>	M ^S	M ^S	M ^S	--	--	--
<u>Convenience stores</u>	--	--	C	C	--	--
<u>Floor covering (carpet, tile, and similar)</u>	--	--	P	P	--	--
<u>Florists</u>	P	P	P	P	--	--
<u>Food/drug store</u>	--	--	P	P	--	--
<u>Fabric stores</u>	--	--	P	P	--	--
<u>Firearms, ammunition, related products, assembly—retail sales</u>	--	--	--	--	--	--
<u>Furniture, office and home furnishings</u>	--	--	P	P	--	--
<u>Garden supply with outdoor display of plants</u>	--	--	P	P	--	--
<u>General merchandise, specialty, gift, craft items, candles, house wares, and variety (non-discount) stores</u>	P	P	P	P	--	--
<u>Hardware/home improvement stores</u>	--	--	P	P	--	--
<u>Health, herbal, botanical stores</u>	P	P	P	P	--	--
<u>Hobby, toy and game</u>	P	P	P	P	--	--
<u>Indoor swap meets/concession malls</u>	--	--	--	--	--	--
<u>Interior decorating, linen, and bath stores</u>	--	--	P	P	--	--
<u>Jewelry sales and repair (excludes pawn shop)</u>	P	P	P	P	--	--
<u>Leather goods and equipment</u>	P	P	P	P	--	--
<u>Musical instruments</u>	P	P	P	P	--	--
<u>Office supplies/stationery/cards</u>	P	P	P	P	--	--
<u>Sporting goods and equipment (no gun sales)</u>	M	M	M	M	--	--
<u>Thrift stores/second-hand store</u>	--	--	--	P	--	--
<u>Lodging Places</u>						
<u>Bed and Breakfast</u>	M	M	M	M ^S	--	M ^S
<u>Hotels</u>	M	M	M	M	--	--
<u>Motels</u>	--	--	--	--	--	--
<u>Medical/Health Services</u>						
<u>Acute care/walk-in medical services (urgent care)</u>	--	--	--	P	--	--
<u>Ambulance services</u>	--	--	--	--	--	--
<u>Hospitals</u>	--	--	--	--	--	--

<u>Medical/dental/counseling/psychology/hearing aids/acupuncture/homeopathy/physical therapy/sports therapy</u>	M	--	M	P	--	--
<u>Optometry sales</u>	P	P	P	P	--	--
<u>Motor Vehicle Services</u>						
<u>Auto body and painting (primary use)</u>	--	--	--	--	--	--
<u>Auto broker offices</u>	--	--	--	--	--	--
<u>Auto car washes</u>	--	--	--	--	--	--
<u>Auto and motorcycle sales—new and used</u>	--	--	--	--	--	--
<u>Auto rental agencies with parking for vehicle rentals</u>	--	--	--	--	--	--
<u>Auto/motorcycle repair—general, including quick lube, smog check, transmission service</u>	--	--	--	--	--	--
<u>Auto upholstery</u>	--	--	--	--	--	--
<u>Auto car alarm and stereo installation (within an enclosed building only)</u>	--	--	--	--	--	--
<u>Commercial parking facilities and garages</u>	P	P	P	P	--	--
<u>Gas/service station</u>	--	--	C	C	--	--
<u>Gas station with mini mart, car wash and/or restaurant</u>	--	--	C	C	--	--
<u>Truck, trailer and equipment rentals</u>	--	--	--	--	--	--
<u>Personal Services</u>						
<u>Barber, hair/nail/skincare/tanning salon and day spa</u>	M	M	M	P	--	--
<u>Body art (tattooing, body piercing, and/or permanent cosmetics)</u>	C	C	C	P	--	--
<u>Check cashing/deferred deposit or payday advance uses with or without ancillary services</u>	--	--	--	--	--	--
<u>Cemeteries, crematory, mortuary and mausoleums</u>	--	--	--	--	--	--
<u>Dry cleaners/laundry—non-commercial</u>	--	--	--	P	--	--
<u>Fortunetelling</u>	--	--	--	M	--	--
<u>Funeral parlors</u>	--	--	--	--	--	--
<u>Locksmith/key shops</u>	--	--	--	P	--	--
<u>Pawnshops/cash for gold and diamonds (as primary use)</u>	--	--	--	--	--	--
<u>Photography studios</u>	--	--	--	P	--	--
<u>Postal services/mail box rentals</u>	--	--	--	P	--	--

<u>Shoe repair</u>	--	--	--	P	--	--
<u>Tailor and alterations</u>	--	--	--	P	--	--
<u>Public Facilities/Utilities</u>						
<u>Public park</u>	P	P	P	P	P	P
<u>Public maintenance yard and other non-office uses</u>	P	--	M	M	--	--
<u>Public utility structures</u>	M	M	M	M	M	M
<u>Recreation/Entertainment</u>						
<u>Billiards and pool halls</u>	M	M	M	--	--	--
<u>Escape rooms</u>	P	P	P	P	--	--
<u>Game and video arcades</u>	M	M	M	M	--	--
<u>Golf course and driving ranges</u>	--	--	--	--	--	--
<u>Health and fitness clubs</u>	--	--	M	M	--	--
<u>Indoor—amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)</u>	M	M	M	M	--	--
<u>Outdoor amusement/recreation/sports fields and courts/skating/batting cages/roller hockey facilities (not within a public park)</u>	--	--	M	M	--	--
<u>Public assembly/auditoriums/meeting halls/religious facilities</u>	C ^s	C ^s	M ^s	M ^s	C ^s	C ^s
<u>Theatres (live stage and movie) and concert halls</u>	M	M	M	M	--	--
<u>Repair Services</u>						
<u>Antique restoration</u>	--	--	--	--	--	--
<u>Equipment and appliance repair</u>	--	--	--	--	--	--
<u>Furniture refinishing</u>	--	--	--	--	--	--
<u>Furniture upholstery</u>	--	--	--	--	--	--
<u>Residential Uses</u>						
<u>Accessory structures</u>	P	P	P	P	P	P
<u>Assisted living facilities</u>	—	—	M	M	C	C
<u>Parolee home</u>	--	--	--	--	--	--
<u>Residential care facility (6 or fewer persons)</u>	--	--	--	--	--	--
<u>Residential care facility (7 or more persons)</u>	--	--	--	--	--	P
<u>Multiple-family development</u>	--	--	--	--	P	P ^s
<u>Residential within mixed-use development having a commercial component (may include senior, affordable, market rate, etc.)</u>	P	P	P	P	--	--
<u>Senior housing</u>	M	M	M	M	M	M

<u>Live/work (as a part of a mixed-use development or stand-alone)</u>	<u>P</u> <u>S</u>	<u>P</u> <u>S</u>	<u>P</u> <u>S</u>	<u>P</u> <u>S</u>	--	--
<u>Detached, single family dwellings</u>	--	--	--	P	--	P
<u>Student housing/dormitory/group quarters</u>	--	--	M	M	M	--
<u>Small family childcare (1 to 6 children)</u>	--	--	P	P	P	P
<u>Large family childcare (7 to 14 children)</u>	--	--	--	--	M	P
<u>Service/Non-Profit Organizations</u>						
<u>Civic buildings/uses</u>	P	P	P	P	P	P
<u>Offices for philanthropic, charitable, civic and service organizations</u>	P	P	P	P	--	--
<u>Temporary political campaign offices and headquarters</u>	P	P	P	P	--	--
<u>Miscellaneous</u>						
<u>Industrial uses</u>	--	--	--	--	--	--
<u>Adult-oriented uses</u>	--	--	--	--	--	--
P=Permitted; M=Minor Use Permit; C=Conditional Use Permit; "--=Not Permitted; "S"=Special use regulations						

DIVISION 4. DEVELOPMENT STANDARDS BY ZONING DISTRICT

Sec. 30-361. Retail district.

The retail district is the commercial core of Fontana and functions as the city center. Uses include a mixture of commercial, retail, entertainment, office and residential.

Building placement shall be close to the streets and integrated within the pedestrian realm. Architectural features should provide shade and variation in building design.

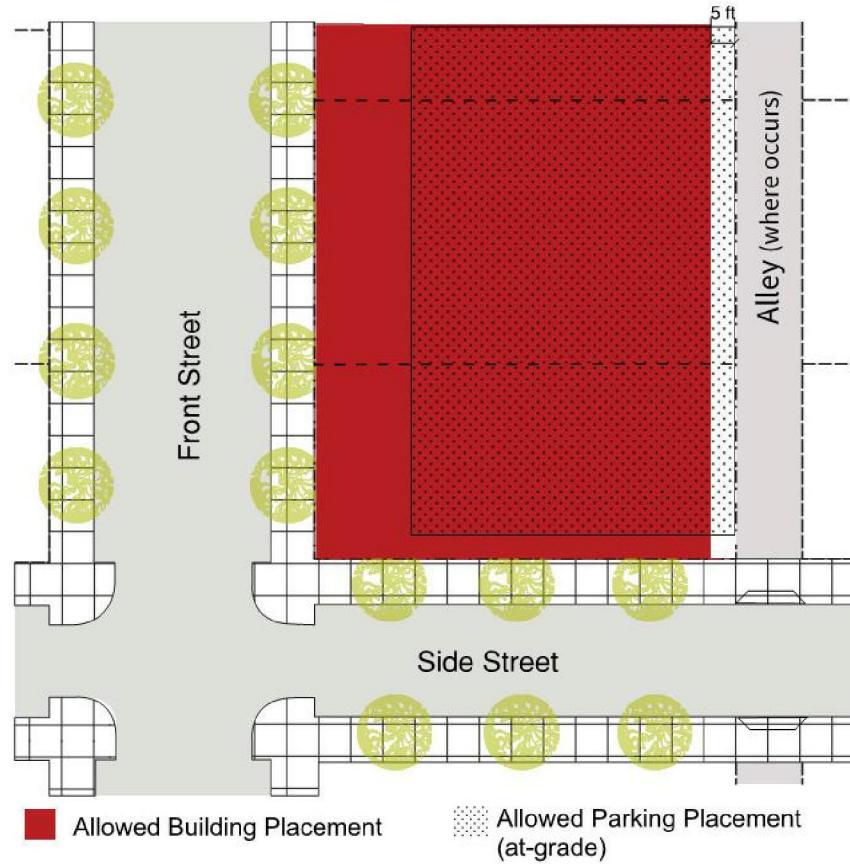
<u>Mixed-Use Residential</u>		<u>Minimum</u>	<u>Maximum</u>
		12 units/acre	39 units/acre
<u>Commercial Floor Area Ratio (without a residential component)</u>		—	2.0
<u>Setback</u>		<u>Building setback from PL</u>	
		<u>Front</u>	<u>Side/Rear</u>
		Min. (ft.)	Max. (ft.)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	-
iv.	Rear	-	5

~~W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.~~

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			

Min. Height	12 ft.	Minimum Height	10 ft.
Buildings fronting on Sierra Avenue between Arrow Blvd and Orange Way shall not exceed 35 feet in height			

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedroom	1.5 space per unit		
Non-Residential Uses	No parking required			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./0 ft.			



~~Public and private spaces should be integrated to act as one. Awnings or canopies extending over sidewalks and significant glazing should be included in all new construction or renovation.~~

Permitted Frontage Types

- Forecourt
- Shopfront
- Arcade
- Gallery

~~Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:~~

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3621. Civic district.

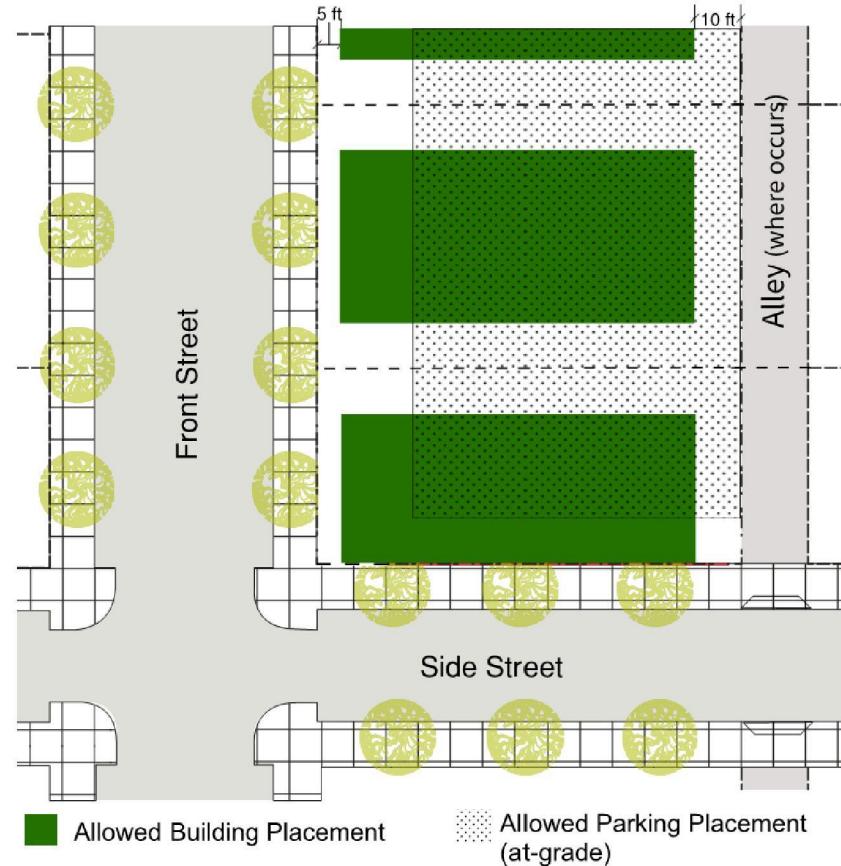
The civic district consists primarily of civic and institutional uses and active and passive recreation areas.

Setback		Building setback from PL		
		Front		Side/Rear
		Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	5	25	-
ii.	Side Street	0	15	-
iii.	Side (Interior)	-	-	10
iv.	Rear yard	-	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/18	25/75	4/55	-
Liner	1/18	75/75	4/55	-
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking	
Non-Residential Uses	65% of cumulative parking requirements per FMC
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:	
Setback	
Front Street	Min. 20 ft
Side Street	Min. 5 ft
Side interior	0 ft
Rear property/rear alley	0 ft./min ft



Frontage Types

- Forecourt
- Arcade
- Gallery

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	

Balcony	4 ft. max		min. 5 ft. from PL	
Bay window	4 ft. max on upper floors only			
Eave	min. 2 ft. clear of curb	min. 3 ft. from PL	min. 3 ft. from PL	

Sec. 30-3632. Station area district.

The station area district includes the Metrolink station and Omnitrans bus terminal as the primary anchors. This area provides a transition between the retail district, the south Sierra gateway district and Chaffey College.

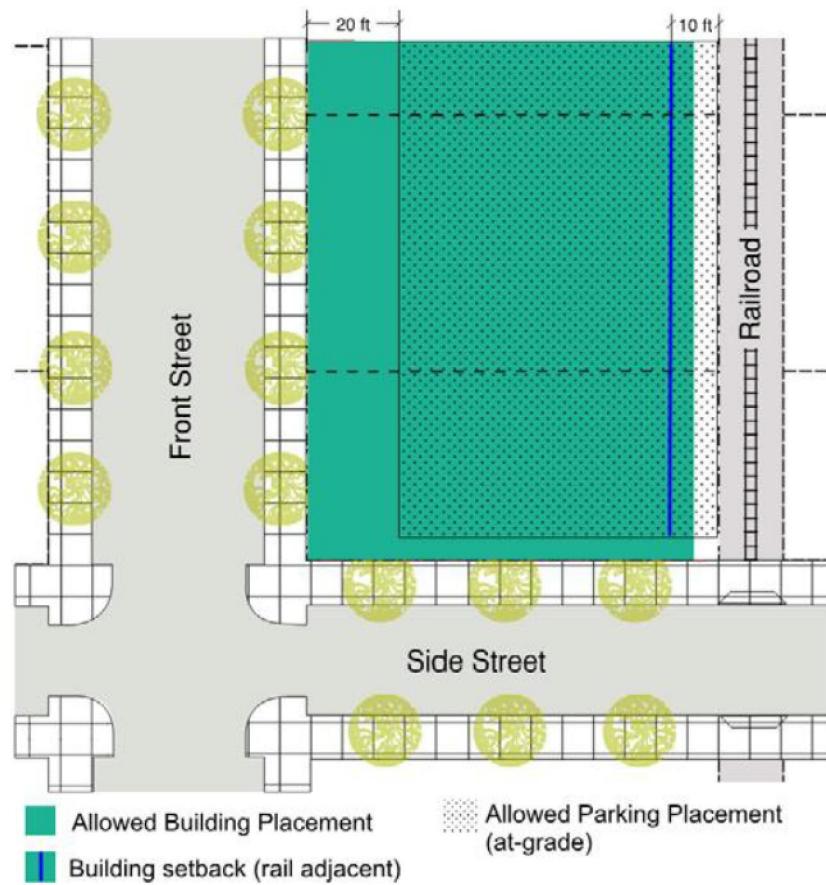
Residential or Mixed-Use Density		Minimum		Maximum
		15 units/acre		39 units/acre
Commercial Floor Area Ratio (without a residential component)		—		2.0
Setback		Building setback from PL		
i.	Front Street		Front	Side/Rear
			Min. (ft.)	Max. (ft)
i.	Front Street	0	10	-
ii.	Side Street	0	10	-
iii.	Side (Interior)	-	-	0
iv.	Rear yard	-	-	5
	rail-adjacent	-	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	1/18	100/100	4/55	150/150
Flex	2/30	25/100	4/55	400/150
Hybrid	2/30	150/160	4/55	400/150
Liner	2/30	100/100	4/55	200/150
Live/Work	2/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking		
Residential Uses	Studio or 1 bedroom	1 space per unit
	2+ bedroom	1.5 spaces per unit
Non-Residential Uses	No Parking Required	

Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:	
Setback	
Front Street	Min. 20 ft
Side Street	Min. 5 ft
Side interior	0 ft
Rear property/rear alley	0 ft./min ft



Frontage Types

- Forecourt
- Shopfront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		

Arcade, gallery, awning	min. 2 ft. clear of curb	min. 5 ft. from PL	N/A	min. 8 ft. clear
Balcony	4 ft. max		min. 5 ft. from PL	
Bay window	4 ft. max on upper floors only			
Eave	min. 2 ft. clear of curb	min. 3 ft. from PL	min. 3 ft. from PL	

Sec. 30-3643. Downtown gateway district.

The downtown gateway district is primarily intended for commercial retail and personal service uses. New development should incorporate pedestrian elements to help serve as a transition to surrounding land uses.

Residential or Mixed-Use Density		Minimum	Maximum	
		15 units/acre	39 units/acre	
Commercial Floor Area Ratio (without a residential component)		—	2.0	
Setback		Building setback from PL		
		Front	Side/Rear	
		Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	5	35	-
ii.	Side Street	5	20	-
iii.	Side (Interior)	-	-	0
iv.	Rear yard	-	-	15

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Court	2/24	100/100	5/70	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

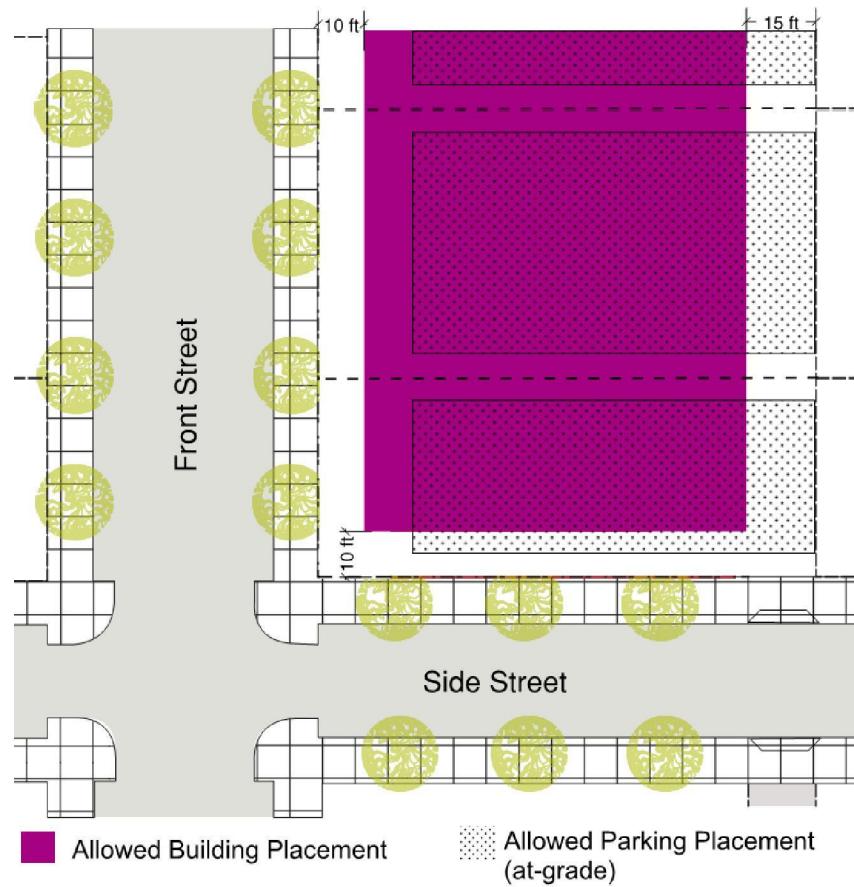
W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking			
Residential Uses	Studio or 1 bedroom	1 space per unit	
	2+ bedroom	1.5 spaces per unit	
Non-Residential Uses	No parking required		

Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:

Setback

Front Street	Min. 20 ft
Side Street	Min. 5 ft
Side interior	5 ft
Rear property/rear alley	0 ft./min ft



Frontage Types

- Forecourt
- Lightcourt
- Shopfront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment	
	Horizontal	Vertical

	Front	St. Side	Rear	Side	min. 8 ft. clear	
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3654. Neighborhood district.

The neighborhood district is an area primarily developed with single-family detached homes. New development should preserve and exemplify the character of existing neighborhoods.

Single-Family Density		Minimum		Maximum
		3 units/acre		5 units/acre
Setback		Building setback from PL		
		Front		Side/Rear
i.	Front Street	Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	10	25	-
ii.	Side Street	10	20	-
iii.	Side (Interior)	-	-	5
iv.	Rear yard	-	-	10

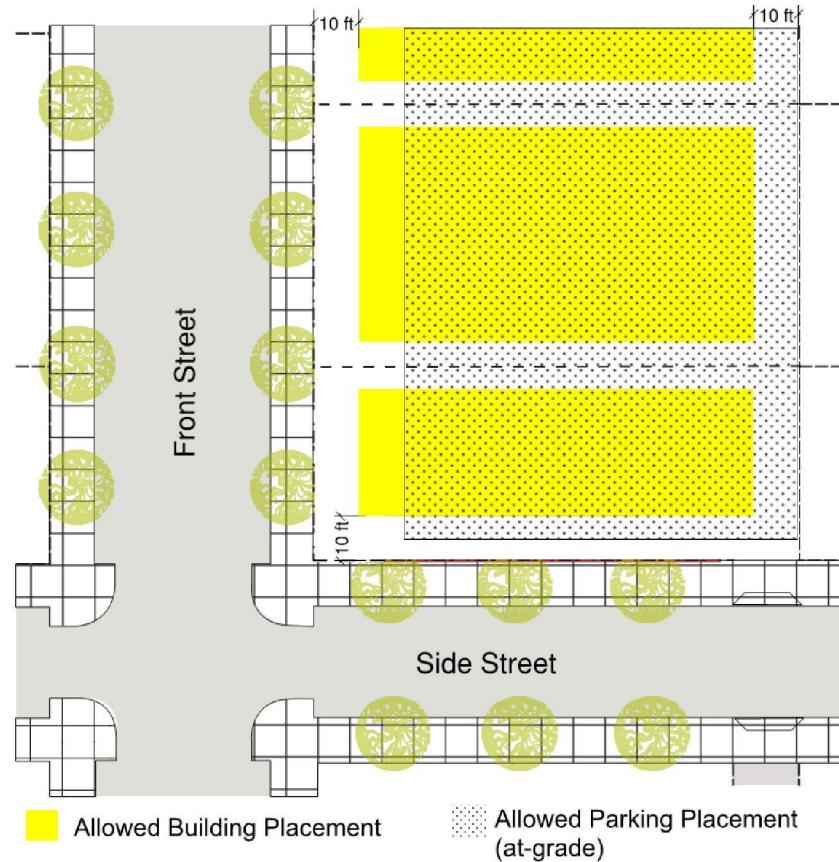
Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Single Family	1/15	50/75	3/40	75/100
Flex (non-residential only)	1/24	—	3/40	—

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Living area or a front porch shall be forward of the garage if provided.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space		
	2 to 4 bedrooms	2 spaces		
	5+ bedrooms	3 spaces		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			

Side interior	0 ft
Rear property/rear alley	0 ft./min ft



Frontage Types

- Porch
- Stoop
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3665. Multi-family district.

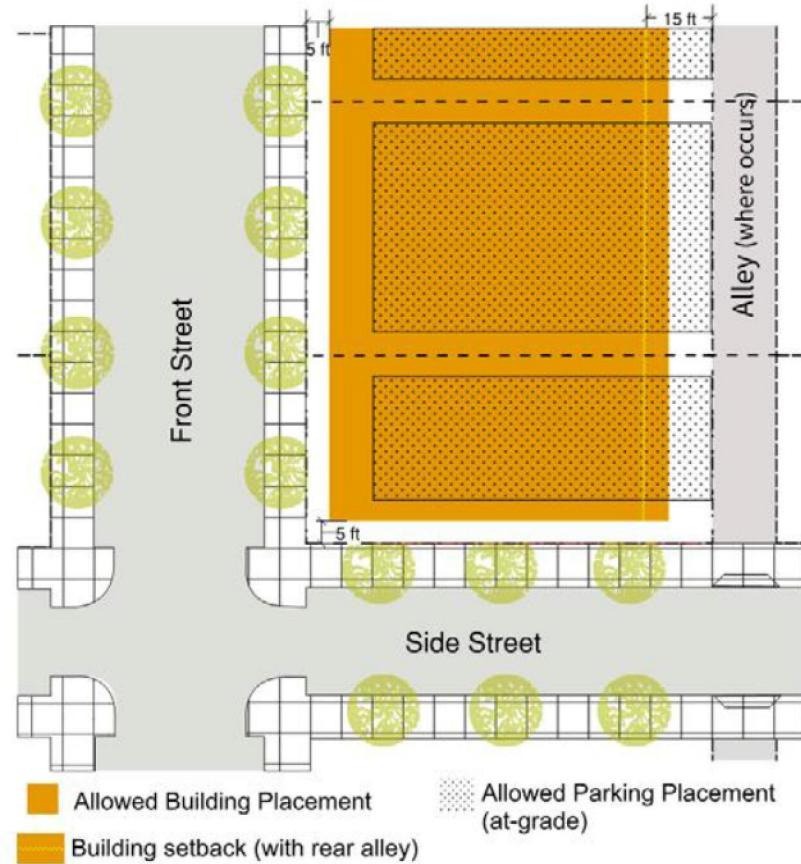
The multi-family district provides higher densities focused along the fringe of the more urban development. New development should incorporate increased density with architectural design and materials that exemplify one of the designated architectural styles.

Multi-Family Density		Minimum	Maximum
12 units/acre		39 units/acre	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	5	20
ii.	Side Street	5	10
iii.	Side (Interior)	-	0
iv.	Rear yard	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	1/18	100/100	4/55	200/200
Liner	1/24	100/100	4/55	200/200
Rowhouse	2/24	125/125	3/40	125/150
Rosewalk & Bungalow Court	1/18	100/100	2/40	200/200
Duplex, Multiplex	1/18	50/100	3/40	75/150
Flex	1/24	—	3/40	—
Frontage Coverage		50% minimum		
Story Height				
Ground Floor		Upper Stories		
Min. Height	12 ft.	Minimum Height		10 ft.

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 15 ft			
Side Street	Min. 10 ft			
Side interior	5 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Dooryard
- Stoop
- Forecourt
- Lightcourt

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3676. Transitional district.

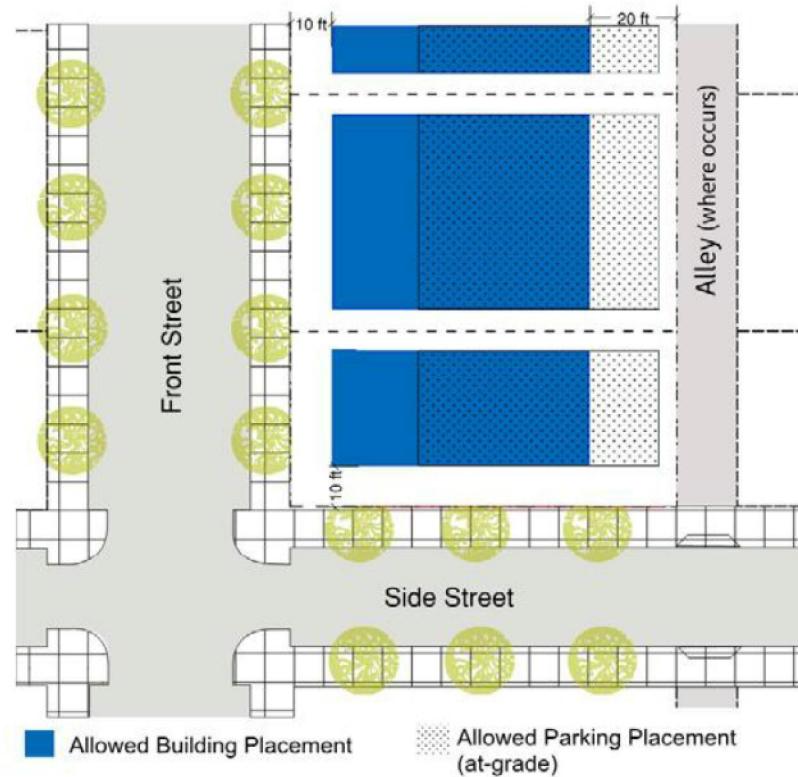
The transitional district is adjacent to more intense commercial uses providing a transition to more sensitive uses, such as residential. This district includes a mixture of commercial office, retail, personal services, and residential.

Multi-Family or Mixed-Use Density		Minimum	Maximum
12 units/acre		39 units/acre	
Detached Single-Family Density		3 units/acre	
Commercial Floor Area Ratio		—	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	10	30
ii.	Side Street	10	15
iii.	Side (Interior)	-	5
iv.	Rear yard	-	20

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Court	2/30	100/100	3/40	150/150
Live/Work	1/18	75/80	3/40	150/150
Rowhouse	1/18	125/125	3/40	125/150
Rosewalk & Bungalow Court	1/18	75/100	3/40	150/150
Duplex, Multiplex	1/18	50/100	3/40	75/100
Single Family	1/18	50/100	3/40	—
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC (no parking required in downtown)			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 30 ft			
Side Street	Min. 10 ft			
Side interior	5 ft			
Rear property/rear alley	Min 5 ft			



Frontage Types

- Forecourt
- Stoop
- Porch
- Shopfront
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3687. Sierra gateway district.

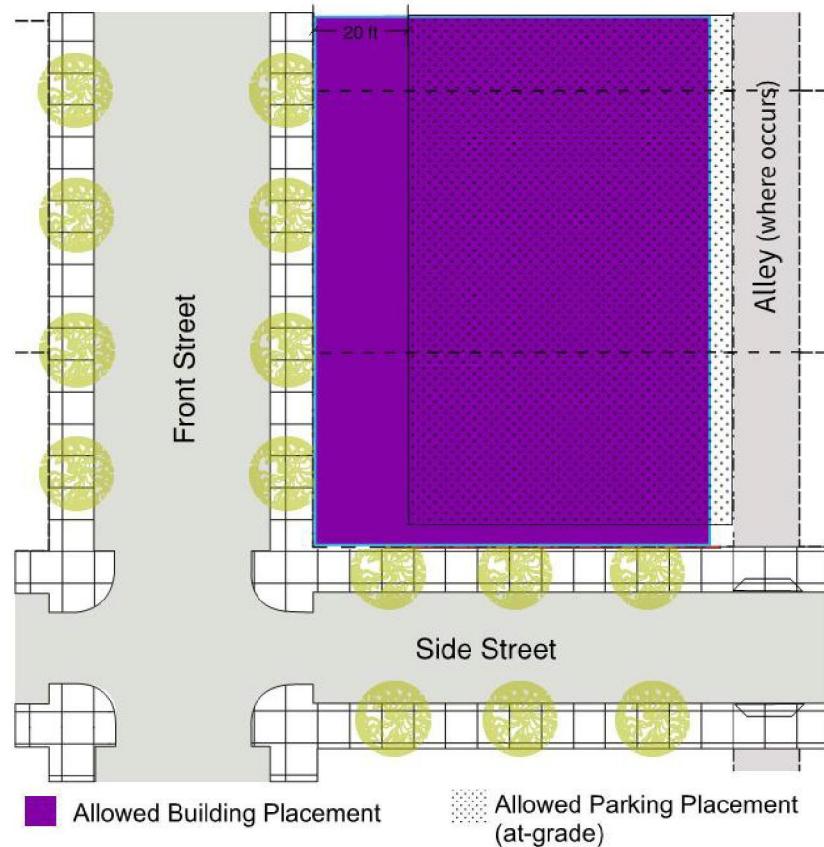
The Sierra gateway district is intended to encourage pedestrian-oriented development and land uses. Uses are to include a mix of medium- to high-density residential, retail and services, office, entertainment, education, and open space.

Residential or Mixed-Use Density		Minimum	Maximum
18 units/acre		39 units/acre	
Commercial Floor Area Ratio (without residential component)		—	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	-
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/30	25/100	4/60	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
	When the development project is 5 acres or more in size and does not include any residential uses, frontage coverage can be reduced to 25% at the discretion of the Planning Commission if it can be determined that the reduced frontage benefits public safety.			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3698. Route 66 gateway district.

The Route 66 gateway district is primarily intended for commercial retail and personal service uses with incorporated automobile uses that have traditionally been located along the corridor.

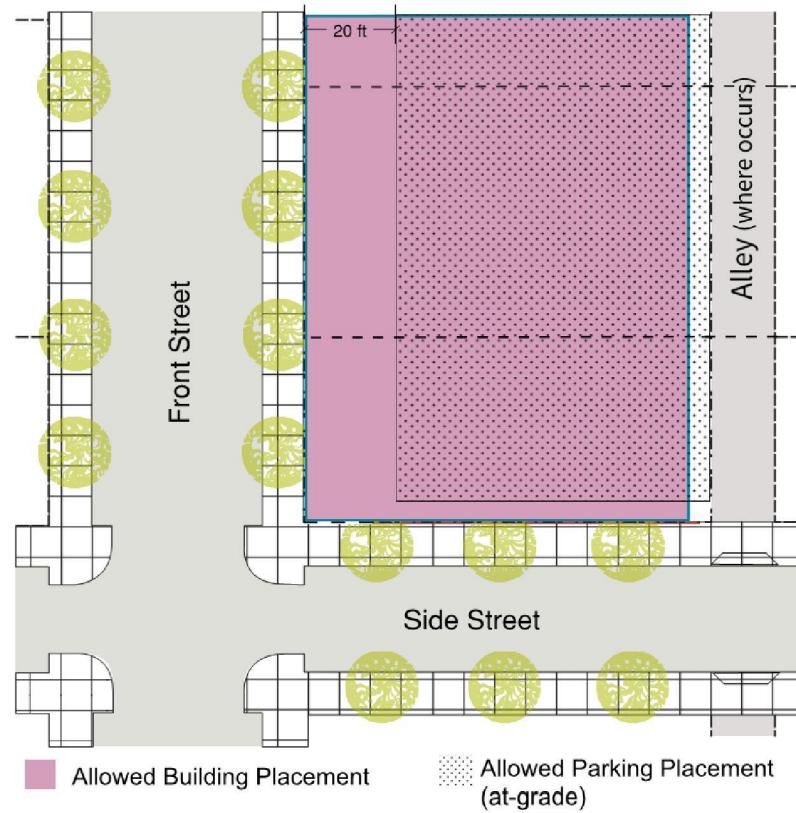
Residential or Mixed-Use Density		Minimum	Maximum
		18 units/acre	39 units/acre
Commercial Floor Area Ratio (without a residential component)		—	2.0
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	0
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	1/30	25/100	4/60	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Hotels may be allowed to a maximum of seven stories and 90 feet in height.

Required Parking				
Residential Uses	Studio or 1 bedroom	1 space per unit		
	2+ bedrooms	1.5 spaces per unit		
Non-Residential Uses	65% of cumulative parking requirements per FMC			
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:				
Setback				
Front Street	Min. 20 ft			
Side Street	Min. 5 ft			
Side interior	0 ft			
Rear property/rear alley	0 ft./min ft			



Frontage Types

- Forecourt
- Lightcourt
- Storefront
- Arcade
- Gallery
- Stoop

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max			min. 5 ft. from PL		
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-37069. Valley gateway district.

The Valley gateway district is intended to encourage pedestrian and transit-oriented development. Land uses should include a mixture of housing types, retail and services, general and medical office, entertainment and education.

Residential or Mixed-Use Density		Minimum	Maximum
20 units/acre		39 units/acre	
Commercial Floor Area Ratio (without residential component)		—	
Setback		Building setback from PL	
		Front	Side/Rear
		Min. (ft.)	Max. (ft.)
i.	Front Street	0	10
ii.	Side Street	0	10
iii.	Side (Interior)	-	-
iv.	Rear yard	-	5

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	3/40	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Hotels may be allowed to a maximum number of seven stories and 90 feet in height.

Required Parking								
Residential Uses	Studio or 1 bedroom	1 space per unit						
	2+ bedrooms	1.5 spaces per unit						
Non-Residential Uses	65% of cumulative parking requirements per FMC							
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:								
Setback								
Front Street	Min. 20 ft							
Side Street	Min. 5 ft							
Side interior	0 ft							
Rear property/rear alley	0 ft./min ft							



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical min. 8 ft. clear	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A		
Balcony	4 ft. max				min. 5 ft. from PL	
Bay window	4 ft. max on upper floors only					
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-3710. Village district.

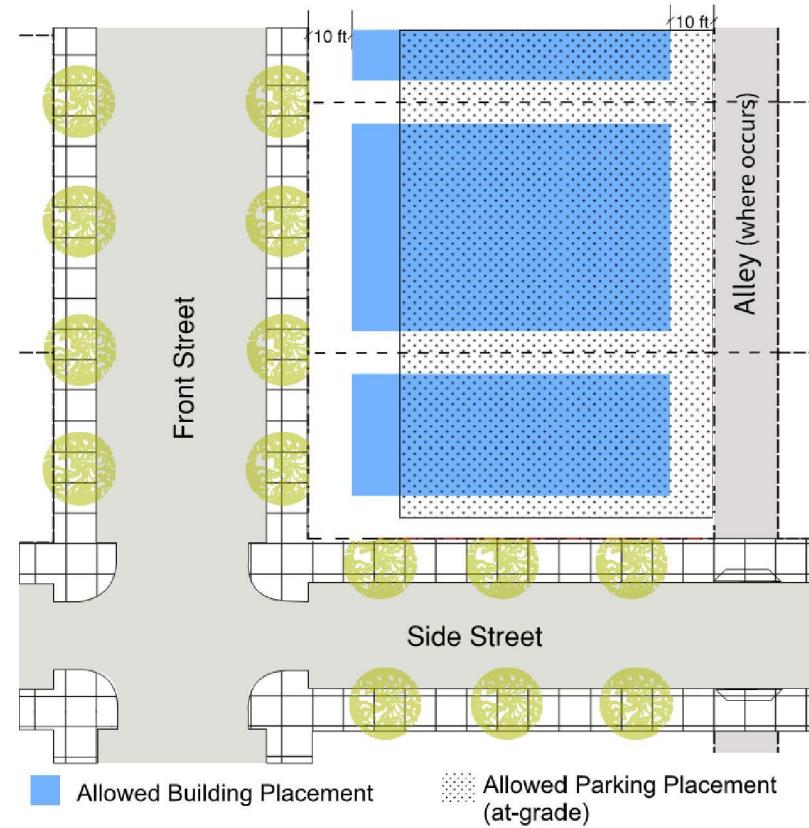
The Village district is intended to provide an alternative to conventional subdivision development with a mixture of housing types, neighborhood-service retail, and open space.

Residential or Mixed-Use		Minimum		Maximum
		2.1 units/acre		24 units/acre
Commercial Floor Area Ratio (without residential component)		—		1.0
Setback		Building setback from PL		
		Front	Side/Rear	
		Min. (ft.)	Max. (ft)	Min. (ft.)
i.	Front Street	10	25	-
ii.	Side Street	10	20	-
iii.	Side (Interior)	-	-	5
iv.	Rear yard	-	-	10

Allowed Building Types	Min		Max	
	Stories/ft.	Lot W/D	Stories/ft.	Lot W/D
Flex	2/30	25/100	5/70	400/150
Hybrid	2/30	150/160	5/70	400/150
Liner	1/24	100/100	5/70	200/150
Live/Work	1/24	75/80	3/40	150/150
Rowhouse	2/24	125/125	3/40	-
Court	2/24	100/100	5/70	150/150
Single Family	1/15	50/75	3/40	75/100
Duplex, Multiplex	1/18	50/100	3/40	75/150
Rosewalk or Bungalow Ct.	1/18	75/100	3/40	150/150
Frontage Coverage	50% minimum			
Story Height				
Ground Floor	Upper Stories			
Min. Height	12 ft.	Minimum Height	10 ft.	

W = Building lot width along primary frontage; D = Building lot depth perpendicular to primary frontage.

Required Parking								
Residential Uses	Studio or 1 bedroom	1 space per unit						
	2+ bedrooms	1.5 spaces per unit						
Non-Residential Uses	65% of cumulative parking requirements per FMC							
Parking Placement: On-site above-ground parking and access shall be located in compliance with the following requirements:								
Setback								
Front Street	Min. 20 ft							
Side Street	Min. 5 ft							
Side interior	0 ft							
Rear property/rear alley	0 ft./min ft							



Frontage Types

- Forecourt
- Storefront
- Arcade
- Gallery
- Stoop
- Porch
- Dooryard

Encroachments: Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements:

Description	Encroachment				Vertical	
	Horizontal					
	Front	St. Side	Rear	Side		
Arcade, gallery, awning	min. 2 ft. clear of curb		min. 5 ft. from PL	N/A	min. 8 ft. clear	
Balcony	4 ft. max					
Bay window	4 ft. max on upper floors only			min. 5 ft. from PL		
Eave	min. 2 ft. clear of curb		min. 3 ft. from PL	min. 3 ft. from PL		

Sec. 30-371. Downtown Core.

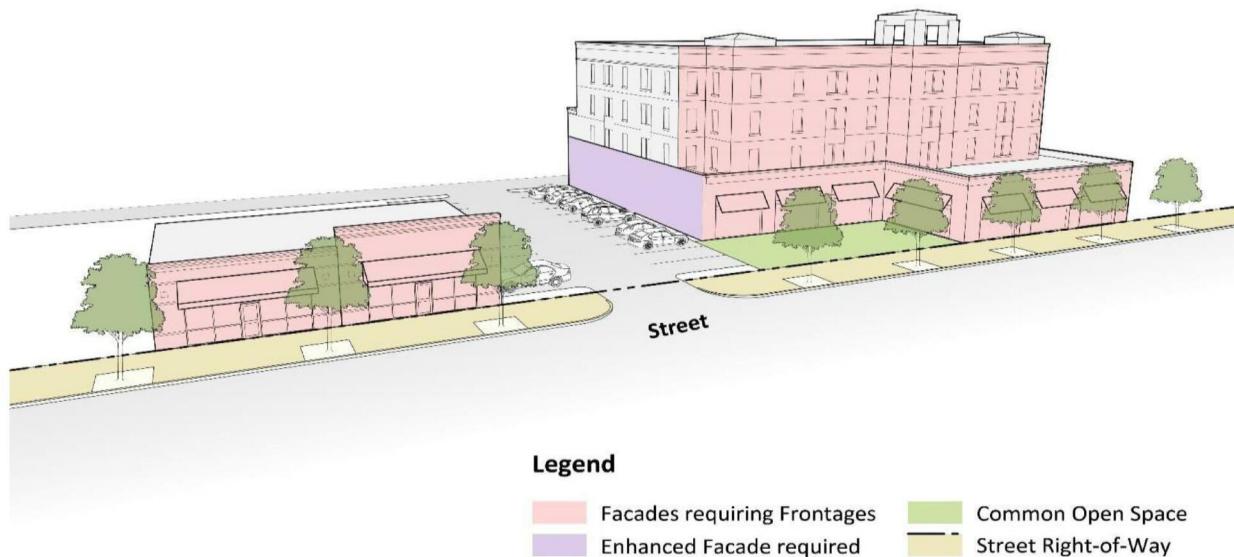
The Downtown Core is required to meet the standards of the Form Based Code, including the following:

- (a) District Core development requirements (30-371)
- (b) Fences, hedges and walls. (Section 30-389)
- (c) Parking
 - 1. Off-street parking and loading standards (Section 30-390)
 - 2. Off-street parking reductions (Section 30-391)
 - 3. Loading (Section 30-392)
 - 4. Bicycle parking (Section 30-393)
- (d) Architectural style (Section 30-394)
- (e) Downtown Core Design Regulations (Commercial, Apartment, and Mixed-Use Buildings) (Section 30-396.a)
- (f) Downtown Core Design Regulations (Residential Buildings) (Section 30-396.b)
- (g) Private open space types (Section 30-398)
- (h) Downtown Core Private Open Space Requirements (Section 30-404.a)

Downtown Core Frontages

Frontages shall be provided at all locations where a building meets the street right-of-way and common open space. A frontage type must be selected from Division 6.

Building facades that are visible from the public right-of-way but do not require a building frontage shall be screened with planting, or enhanced in a manner that reflects the architectural style or is in accordance with Article XII - Sign Regulations.



	Civic Core	Sierra Core	Gateway	Mixed-Use	Multi-Family	Neighborhood
	Core	Core	Core	Core	Core	Core
Porch	X			X		x
Dooryard	X			X	X	X
Stoop	X		X	X	X	X
Forecourt	X	X	X	X	X	X
Lightcourt	X		X		X	X
Shopfront	X	X	X	X		
Gallery	X	X	X	X		
Arcade	X	X	X	x		

Sec. 30-371.a Civic Core

The Civic Core consists primarily of civic and institutional uses as well as active and passive recreation areas.

Minimum Lot Size:

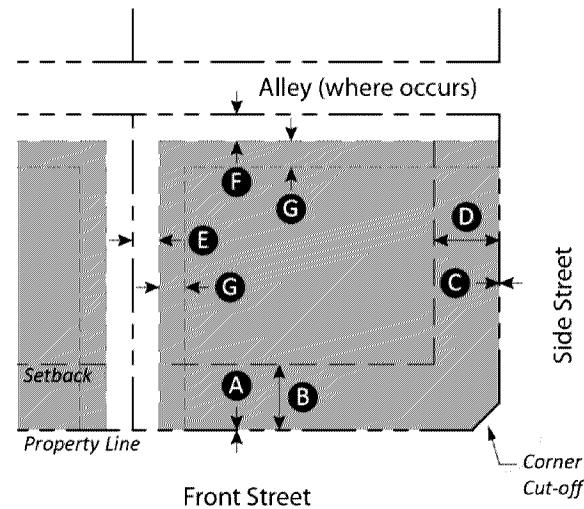
5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt, Lightcourt, Shopfront, Gallery and Arcade

Capacity

	<u>Min.</u>	<u>Max.</u>
FAR	<u>-</u>	<u>2.0</u>



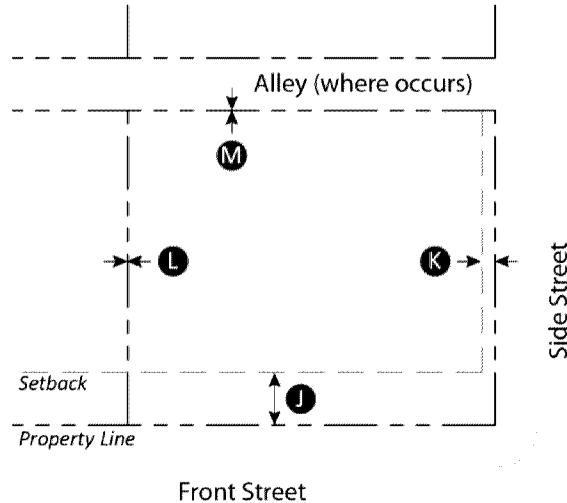
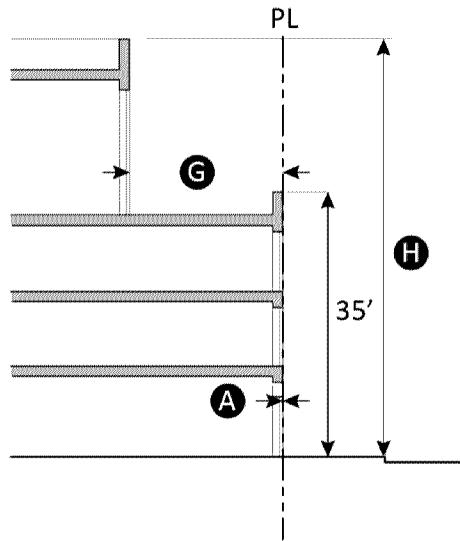
Setbacks

	<u>Min.</u>	<u>Max.</u>
Front Street	<u>0</u>	<u>A</u> <u>25'</u> <u>B</u>
Side Street	<u>0</u>	<u>C</u> <u>25'</u> <u>D</u>
Side (Interior)	<u>10'</u>	<u>E</u> <u>-</u>
Rear Yard	<u>10'</u>	<u>F</u> <u>-</u>
Stepback*	<u>10'</u>	<u>G</u> <u>-</u>

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

Height	<u>70 ft. Max.</u>	<u>H</u>
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Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade, Gallery,</u>	<u>Bay</u>		
	<u>Awning</u>	<u>Balcony</u>	<u>Window</u>	<u>Eave</u>
<u>Front Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side (Interior)</u>	=	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Rear Yard</u>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Vertical</u>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Parking

Non-Residential Uses 65% of cumulative parking requirements per Zoning Code

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	<u>Min. (ft.)</u>
<u>Front Street</u>	20 on Sierra Ave 5 on Arrow Blvd
<u>Side Street</u>	5
<u>Side (Interior)</u>	=
<u>Rear Yard</u>	=

Sec. 30-371.b Sierra Core

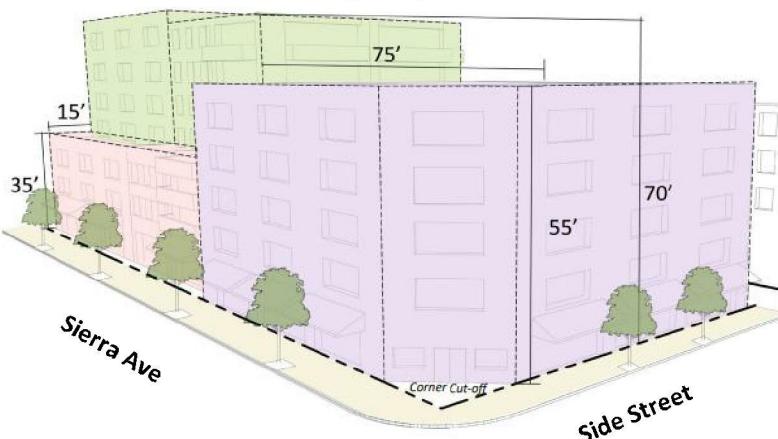
The Sierra Core is the commercial core of Fontana and functions as the city center. Uses include a mixture of commercial, retail, entertainment, office, and residential.

Building placement shall be close to the streets and integrated within the pedestrian realm. Architectural features should provide shade and variation in building design.

Capacity

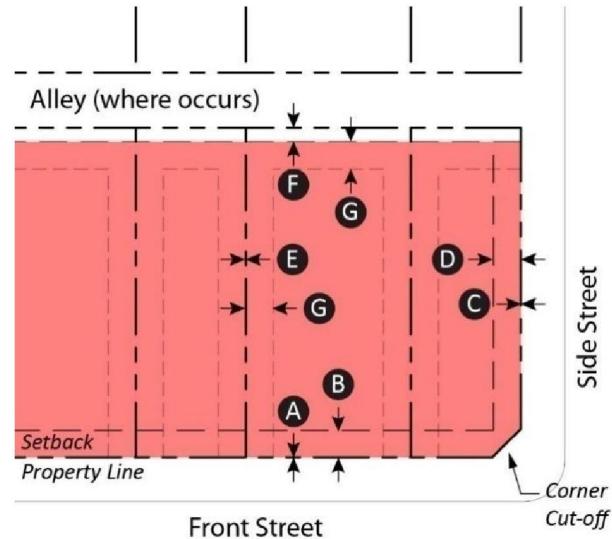
	<u>Min.</u>	<u>Max.</u>
<u>Residential or Mixed-Use Density</u>	24 DU/Ac	70 DU/Ac
<u>Commercial FAR (Retail and Restaurants)</u>	Refer to Sec. 30-405 for frontages that require ground floor commercial	2.0

Sierra Core Building Height Standards



Legend

- Sierra Stepback
- Mid Block Height
- Intersection Height
- Street Right-of-Way



Setbacks

	<u>Min. (ft.)</u>	<u>Max. (ft.)</u>
<u>Front Street</u>	0	A
<u>Side Street</u>	0	C
<u>Side (Interior)</u>	0	E
<u>Rear Yard</u>	5	F
<u>Stepback*</u>	10	G

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

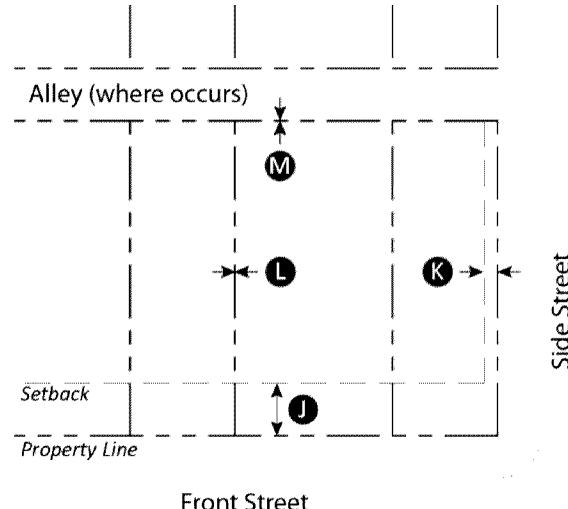
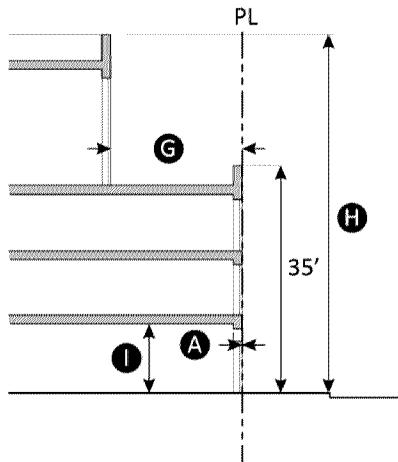
Building Height

<u>Frontage Coverage</u>	80% Min.
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35' Max
55' Max. within 75' of Side Street Property Line
70' Max. with Min. Stepback 75' from Side Street and 15' from Sierra Ave Property Line
H

Height**

<u>Ground Floor Commercial Height**</u>	12 ft. Min	I
Public and private spaces should be integrated to act as one. Awnings or canopies extending over sidewalks and significant glazing should be included in all new construction or renovation.		



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade,</u> <u>Gallery,</u> <u>Awning</u>	<u>Balcony</u>	<u>Bay Window</u>	<u>Eave</u>
<u>Front Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Interior</u>	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Rear Yard</u>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Vertical</u>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Parking

<u>Residential</u>	<u>Required Spaces</u>
<u>Non-Residential Uses Under 6,000 Square Feet</u>	<u>1.25 per unit</u>
<u>Non-Residential Uses Over 6,000 Square Feet</u>	<u>No Parking Required</u>
<u>Non-Residential Requirements in the Zoning Code (30-685.A.)</u>	<u>50% of the Requirements in the Zoning Code (30-685.A.)</u>

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	<u>Min. (ft.)</u>
<u>Front Street</u>	<u>20</u>
<u>Side Street</u>	<u>5</u>
<u>Side Interior</u>	<u>=</u>
<u>Rear Yard</u>	<u>=</u>

Minimum Lot Size:

5,000 Square Feet

Required Frontage:

Forecourt, Shopfront, Gallery and Arcade

Sec. 30-371.c Gateway Core

The Gateway Core is primarily intended for commercial retail and personal service uses as well as residential development. New development should incorporate pedestrian elements to help serve as a transition to surrounding land uses.

Capacity

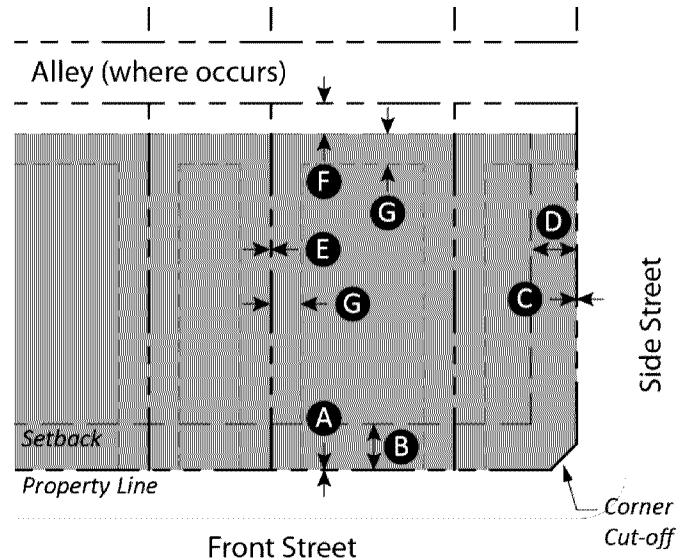
	<u>Min.</u>	<u>Max.</u>
		39 DU/Ac
		50 DU/Ac* with the inclusion of ground floor commercial along the front street
<u>Residential or Mixed-Use Density</u>	<u>24 DU/Ac</u>	
<u>Commercial FAR (Retail and Restaurants)</u>	<u>=</u>	<u>2.0</u>
* If a development application includes the State Density Bonus under Section 65915 et seq. AND ground floor commercial, an additional 50% of the State Density Bonus that is achieved may be added in excess of the units allowed by the State Density Bonus.		

For Example

A project on a 2 acre parcel may construct 78 residential units. If the project includes ground floor commercial, 100 residential units may be constructed.

Density Bonus:

If the same project also applies for the State Density Bonus and receives 20 additional residential units, Fontana will allow an additional 10 units (50% of the State Density Bonus achieved) for a total of a maximum of 130 units.



Setbacks

	<u>Min. (ft.)</u>	<u>Max. (ft.)</u>
<u>Front Street</u>	0	<u>A</u> 15 <u>B</u>
<u>Side Street</u>	0	<u>C</u> 15 <u>D</u>
<u>Side Interior</u>	0	<u>E</u> =
<u>Rear Yard</u>	0	<u>F</u> = 5 if adjacent to a street 15 if adjacent to a street
<u>Stepback**</u>	10	<u>G</u> =

** Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

<u>Frontage Coverage</u>	50% Min.
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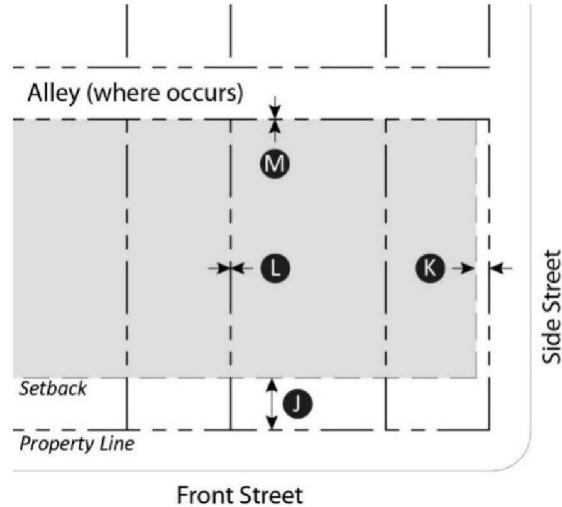
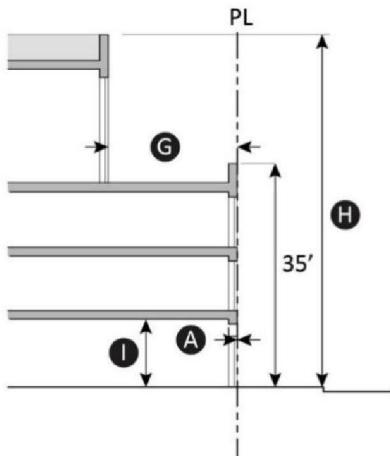
35' Max
55' Max. within 75' of Side Street
Property Line
70' Max. with Min. Stepback 75' from Cross Street and 15' from Sierra Ave
Property Line <u>H</u>

Ground Floor Commercial

12 ft. Min

Height

*** Refer to Sierra Core Building Height Standards Figure



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade,</u> <u>Gallery,</u> <u>Awning</u>	<u>Balcony</u>	<u>Bay</u> <u>Window</u>	<u>Eave</u>
<u>Front Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Interior</u>	-	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Rear Yard</u>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Vertical</u>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Gateway Core Building Height Standards



Legend

- Sierra Stepback
- Mid Block Height
- Intersection Height
- Street Right-of-Way

Parking

	<u>Required Spaces</u>
<u>Residential</u>	<u>1.25 per unit</u>
<u>Non-Residential</u>	<u>No Parking Required</u>
<u>Uses Under 6,000 Square Feet</u>	<u>50% of the Requirements in the Zoning Code (30-685.A)</u>
<u>Non-Residential</u> <u>Uses Over 6,000 Square Feet</u>	<u>On-site above-ground parking and access shall be located in compliance with the following setback requirements:</u>
	<u>Min. (ft.)</u>
<u>Front Street</u>	<u>20</u> J
<u>Side Street</u>	<u>5</u> K
<u>Side (Interior)</u>	<u>-</u> L
<u>Rear Yard</u>	<u>-</u> M

Minimum Lot Size:

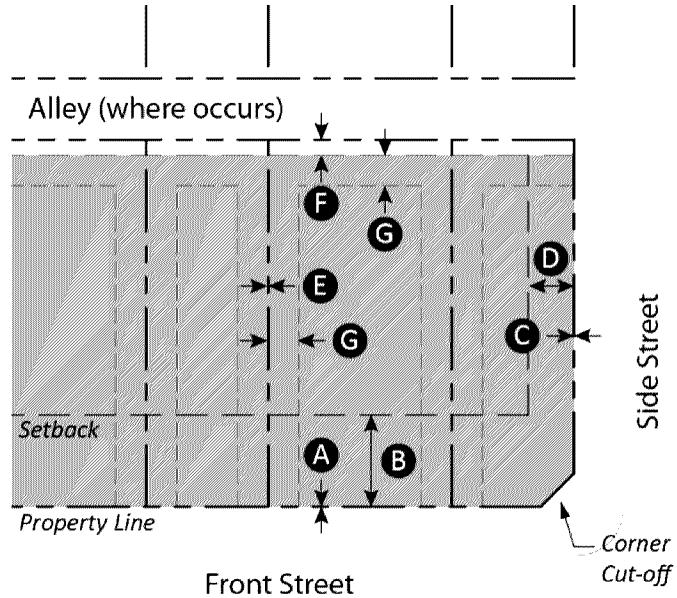
5,000 Square Feet

Required Frontage:

Stoop, Forecourt, Lightcourt, Shopfront, Gallery and Arcade

Sec. 30-371.d Mixed-Use Core

The Mixed-Use Core provides a transition between more intense commercial uses and residential uses. This district includes a mixture of commercial, office, retail, personal services, and residential.



Capacity

	<u>Min.</u>	<u>Max.</u>
Residential or Mixed-Use Density	<u>12 DU/Ac</u>	<u>39 DU/Ac</u> <u>50 DU/Ac*</u> with the inclusion of ground floor commercial along the front street
Commercial FAR (Retail and Restaurants)	<u>Refer to Sec. 30-405 for frontages that require ground floor commercial</u>	<u>2.0</u>

* If a development application includes the State Density Bonus under Section 65915 et seq. AND ground floor commercial, an additional 50% of the State Density Bonus that is achieved may be added in excess of the units allowed by the State Density Bonus.

For Example

A project on a 2 acre parcel may construct 78 residential units. If the project includes ground floor commercial, 100 residential units may be constructed.

Density Bonus:

If the same project also applies for the State Density Bonus and receives 20 additional residential units, Fontana will allow an additional 10 units (50% of the State Density Bonus achieved) for a total of 130 units.

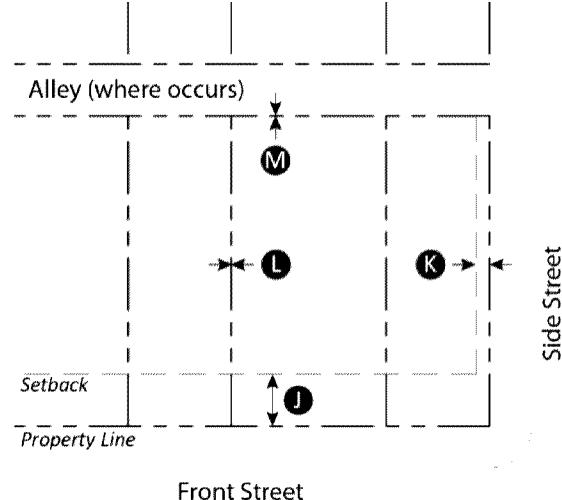
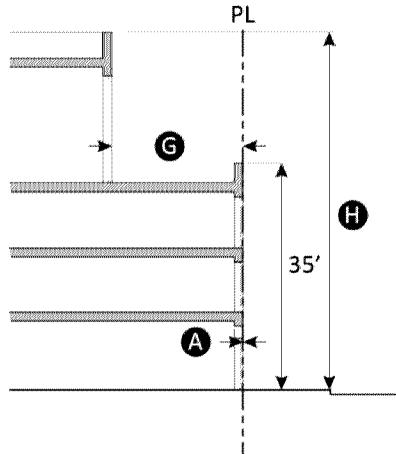
Setbacks

	<u>Min. (ft.)</u>	<u>Max. (ft.)</u>
Front Street	<u>0</u>	<u>A</u>
Side Street	<u>0</u>	<u>C</u>
Side Interior	<u>0</u>	<u>E</u>
Rear Yard	<u>5</u>	<u>F</u>
Stepback**	<u>10</u>	<u>G</u>

** Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

Frontage	<u>50% Min.</u>
Coverage	
Height	<u>55 ft. Max.</u>
Ground Floor	
Commercial	<u>12 ft. Min</u>
Height	



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade, Gallery, Awning</u>	<u>Balcony</u>	<u>Bay Window</u>	<u>Eave</u>
<u>Front Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Street</u>	Min. 2 ft. clear of curb	6 ft. Max.	4 ft. Max. on upper floors only	Min. 2 ft. clear of curb
<u>Side Interior</u>	=	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Rear Yard</u>	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 5 ft. from PL	Min. 3 ft. from PL
<u>Vertical</u>	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear	Min. 8 ft. clear

Parking

Required Spaces

<u>Residential</u>	1.25 per unit
<u>Non-Residential Uses</u>	50% of the Requirements in the Zoning Code (30-685.A)

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	<u>Min. (ft.)</u>
<u>Front Street</u>	20
<u>Side Street</u>	5
<u>Side Interior</u>	=
<u>Rear Yard</u>	=

Minimum Lot Size:

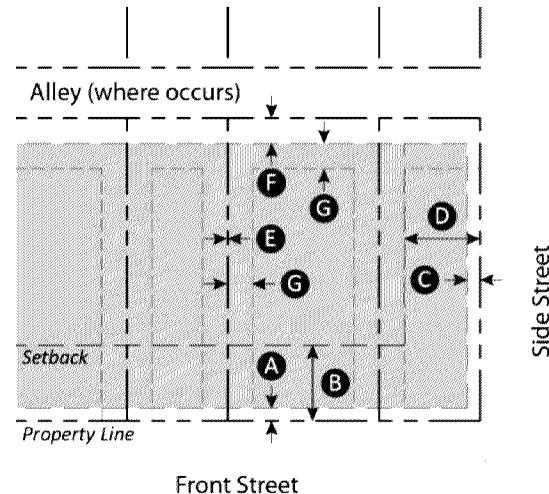
5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt, Shopfront, Gallery and Arcade

Sec. 30-371.e Multi-Family Core

The Multi-Family Core provides higher residential intensities adjacent to commercial areas. New development should incorporate increased density with architectural design and materials that exemplify one of the designated architectural styles.



Capacity

	<u>Min.</u>	<u>Max.</u>
Residential Density	12 DU/Ac	39 DU/Ac 50 DU/Ac with 1 ac or greater lots

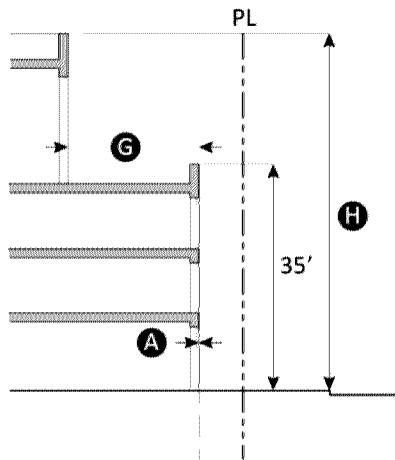
Setbacks

	<u>Min. (ft.)</u>	<u>Max. (ft.)</u>
Front Street	5 A	30 B
Side Street	5 C	30 D
Side Interior	0 E	=
Rear Yard	10 F	=
Stepback*	10 G	=

* Applies to Rear and Side (Interior) at 35' high, when adjacent to the Neighborhood Core.

Building Form

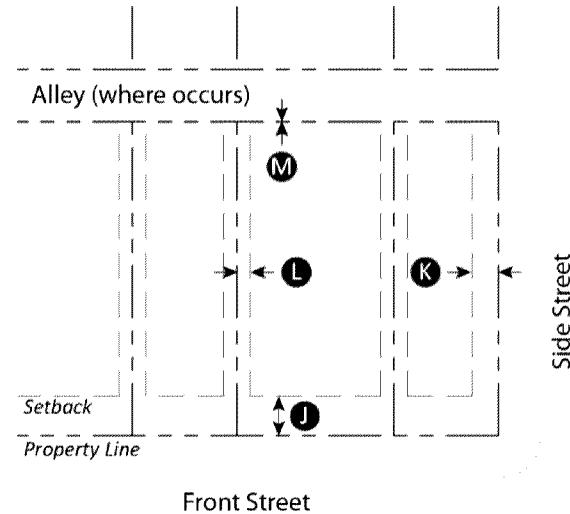
Frontage Coverage	<u>50% Min.</u>
Height	<u>55 ft. Max.</u> H



Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade, Gallery, Awning</u>	<u>Balcony</u>	<u>Bay Window</u>	<u>Eave</u>
<u>Front Street</u>	<u>Min. 2 ft. clear of curb</u>	<u>6 ft. Max.</u>	<u>4 ft. Max. on upper floors only</u>	<u>Min. 2 ft. clear of curb</u>
<u>Side Street</u>	<u>Min. 2 ft. clear of curb</u>	<u>6 ft. Max.</u>	<u>4 ft. Max. on upper floors only</u>	<u>Min. 2 ft. clear of curb</u>
<u>Side Interior</u>	-	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 3 ft. from PL</u>
<u>Rear Yard</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 3 ft. from PL</u>
<u>Vertical</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>



Parking

Required Spaces

<u>Residential</u>	<u>1.25 per unit</u>
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On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	<u>Min. (ft.)</u>
<u>Front Street</u>	<u>15</u>
<u>Side Street</u>	<u>10</u>
<u>Side (Interior)</u>	<u>5</u>
<u>Rear Yard</u>	<u>-</u>

Minimum Lot Size:

5,000 Square Feet

Required Frontage:

Dooryard, Stoop, Forecourt and Lightcourt

Sec. 30-371.f Neighborhood

Core

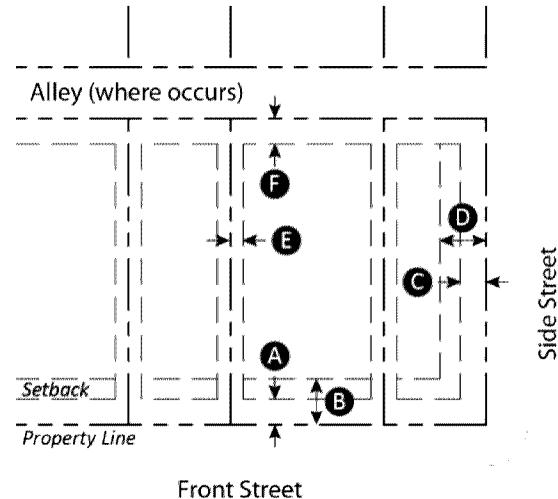
The Neighborhood Core is an area primarily developed with single-family homes. New development should respect and exemplify the character of existing neighborhoods.

Capacity

	<u>Min.</u>	<u>Max.</u>
		5 DU/Ac
Residential Density	3 DU/Ac	16* DU/Ac with 1 ac or greater lot

* Individual property owners may construct a second primary dwelling unit, plus any ADU or JADU that must be allowed under state law and the City's ADU ordinance. Second primary dwelling units shall be subject to all zoning requirements except the Maximum Front Street Setback. This shall apply for single-family lots.

Setbacks



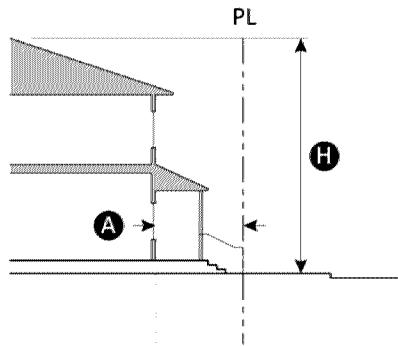
Front Street

Side Street

	<u>Min. (ft.)</u>	<u>Max. (ft.)</u>	
Front Street	10	18	B
Side Street	10	18	D
Side Interior	5	—	E
Rear Yard	10	—	F

Building Form

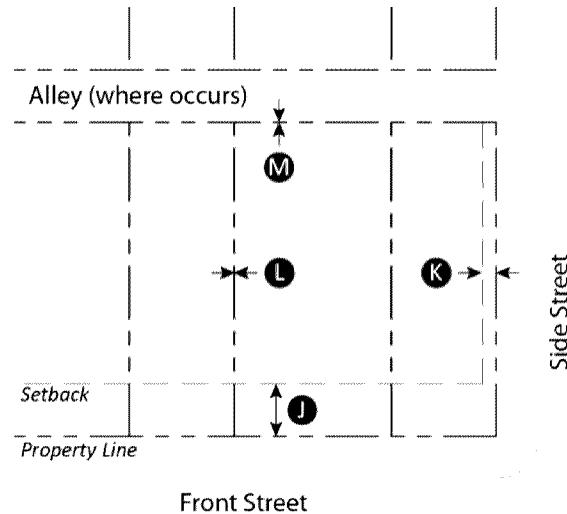
<u>Height</u>	40 ft. Max.	H
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Encroachments

Buildings, architectural features, and signs may encroach into the required setbacks and right-of-way subject to the following requirements and City Engineer approval:

	<u>Arcade, Gallery, Awning</u>	<u>Balcony</u>	<u>Bay Window</u>	<u>Eave</u>
<u>Front Street</u>	<u>Min. 2 ft. clear of curb</u>	<u>6 ft. Max.</u>	<u>4 ft. Max. on upper floors only</u>	<u>Min. 2 ft. clear of curb</u>
<u>Side Street</u>	<u>Min. 2 ft. clear of curb</u>	<u>6 ft. Max.</u>	<u>4 ft. Max. on upper floors only</u>	<u>Min. 2 ft. clear of curb</u>
<u>Side Interior</u>	-	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 3 ft. from PL</u>
<u>Rear Yard</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 5 ft. from PL</u>	<u>Min. 3 ft. from PL</u>
<u>Vertical</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>	<u>Min. 8 ft. clear</u>



Parking

<u>Single-Family</u>	<u>Required Spaces</u>
<u>1 Bedroom</u>	<u>1 Space</u>
<u>2-4 Bedrooms</u>	<u>2 Spaces</u>
<u>5+ Bedrooms</u>	<u>3 Spaces</u>
<u>Multi-Family</u>	<u>1.25 per unit</u>

On-site above-ground parking and access shall be located in compliance with the following setback requirements:

	<u>Min. (ft.)</u>
Front Street	20
Side Street	5
Side Interior	-
Rear Yard	-

Minimum Lot Size:

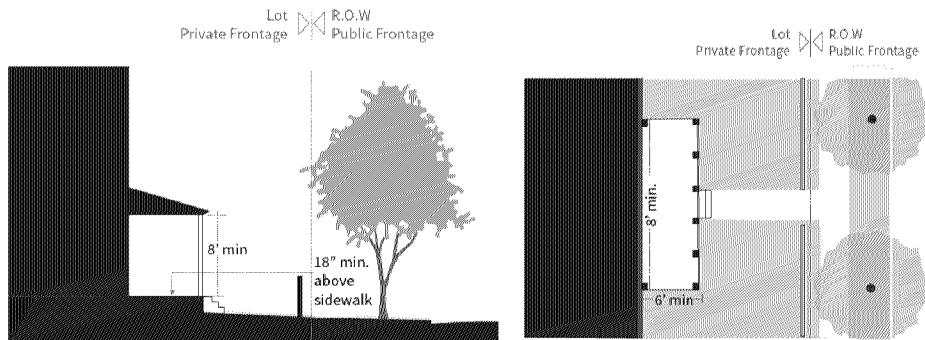
5,000 Square Feet

Required Frontage:

Porch, Dooryard, Stoop, Forecourt and Lightcourt

Sec. 30-381. Porch.

~~Description: In the porch frontage type, the main façade of the building has a small-to-medium setback from the frontage line. The resulting front yard is typically small and can be defined by a wall or fence to spatially maintain the edge of the street. The engaged porch has two adjacent sides of the porch that are attached to the building while the other two sides are open.~~



Size

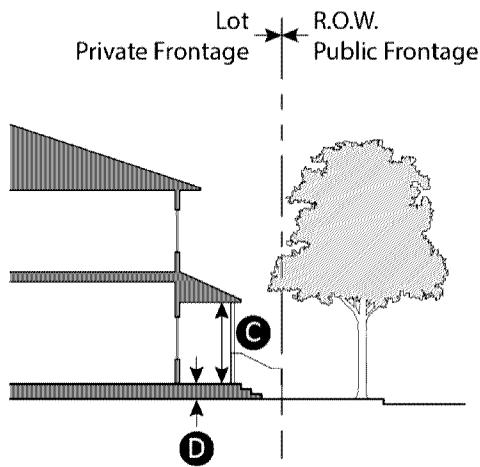
Width	8 ft. min.
Depth	6 ft. min.
Height	8 ft. min.
Finish level above sidewalk	18 in. min.
Path of travel	3 ft. wide min.

Design Standard

- ✓ Porches must be open on three sides and have a roof.



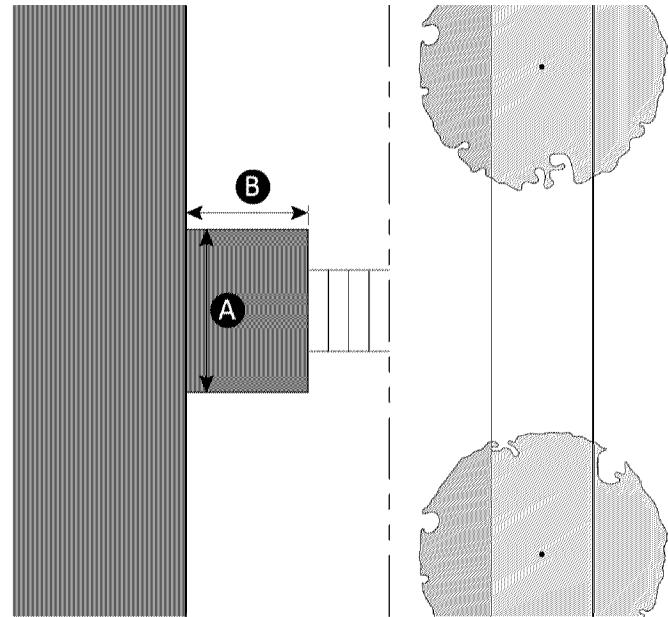
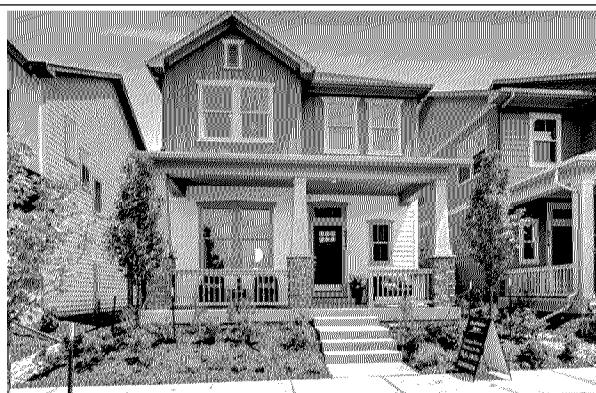
General Note: Photos on this page are illustrative, not regulatory.



In the Porch Frontage Type, the main facade of the building is set back from the frontage line. The resulting front yard can be defined by a wall or fence to spatially maintain the edge of the street. A projecting porch uses part of the front yard space for a porch that is open on three sides. The engaged porch has two adjacent sides of the porch that are attached to the building while the other two sides are open.

Size

<u>Width</u>	8 ft. Min.	A
<u>Depth</u>	6 ft. Min.	B
<u>Height</u>	8 ft. Min.	C
<u>Finish level above sidewalk</u>	18 in. Min.	D
<u>Path of travel</u>	3 ft. wide Min.	



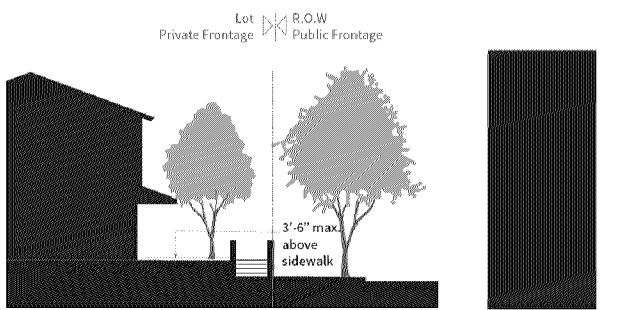
Design Standard

Porches must be open on at least two sides and have a roof.



Sec. 30-382. Dooryard.

~~Description: In the dooryard frontage type, the main facade of the building is set back a small distance and the frontage line is defined by a low wall or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a R.O.W. The dooryard may be raised, sunken, or at grade and is intended for ground floor residential.~~



Size

Width	8 ft. min.
Length	50 ft. min.
Finish level above sidewalk	3 ft. 6 in. max.
Finish level below sidewalk	6 ft. max.

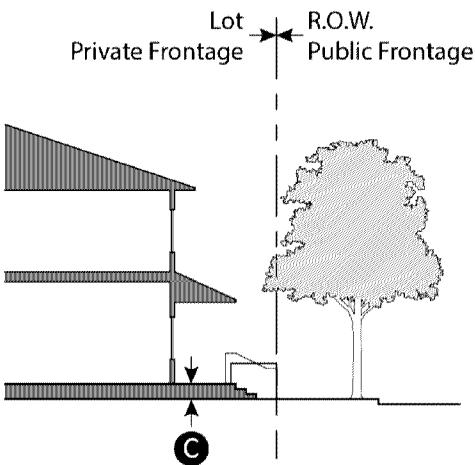
~~Path of travel~~ 4 ft. wide min.

Design Standard

~~✓ For live/work, retail and service uses, these standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard Frontage Type standards shall prevail. Shall not be used for circulation for more than one ground floor entry.~~



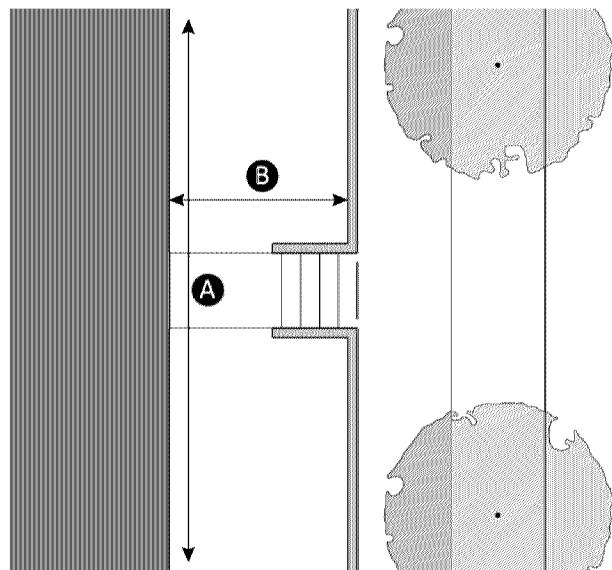
General Note: Photos on this page are illustrative, not regulatory.



In the Dooryard Frontage Type, the main facade of the building is set back and the frontage line is defined by a low wall, fence, or hedge, creating a small dooryard. The dooryard shall not provide public circulation along a right-of-way (ROW). The dooryard may be raised, sunken, or at grade and is intended for ground-floor residential uses.

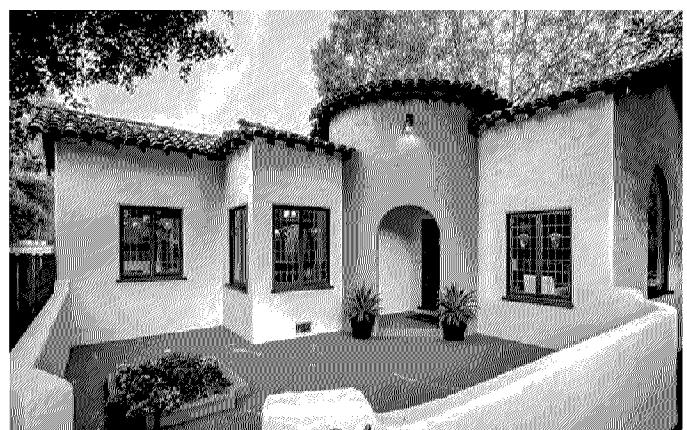
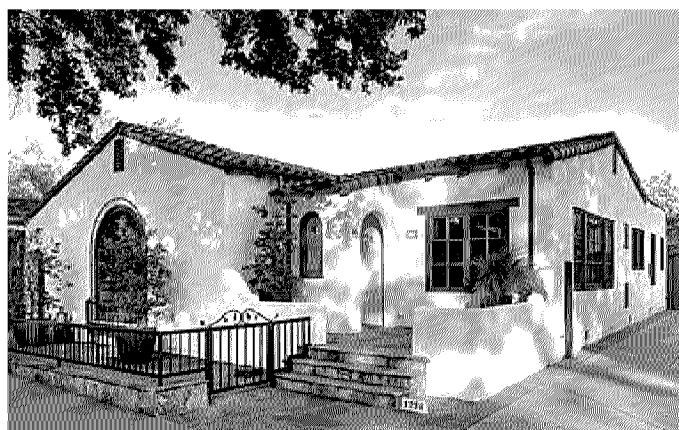
Size

<u>Width</u>	50 ft. Min.	A
<u>Depth</u>	8 ft. Min.	B
<u>Finish level above sidewalk</u>	3 ft. 6 in. Max.	C
<u>Finish level below sidewalk</u>	6 ft.	
<u>Path of travel</u>	3 ft. wide Min.	



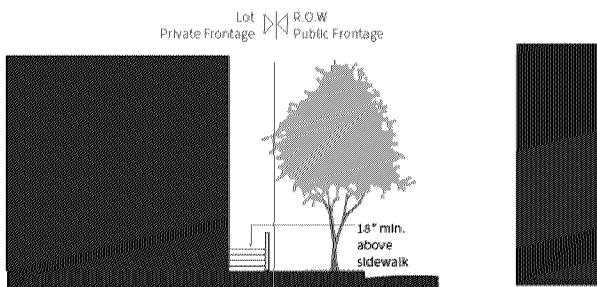
Design Standard

For live/work, retail and service uses, these standards are to be used in conjunction with those for the Shopfront Frontage Type. In case of conflict between them, the Dooryard Frontage Type standards shall prevail. The Dooryard Frontage Type shall not be used for circulation for more than one ground floor entry.



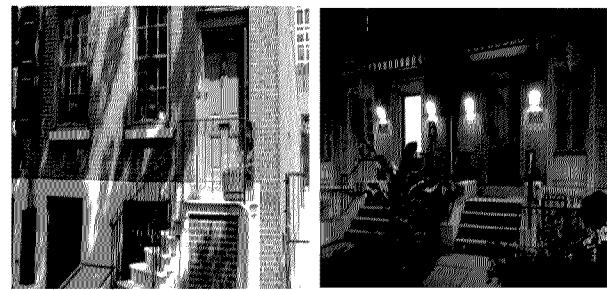
Sec. 30-383. Stoop.

~~Description: In the stoop frontage type, the main facade of the building is near the frontage line and the elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded. This type is appropriate for residential uses with small setbacks.~~



Design Standard

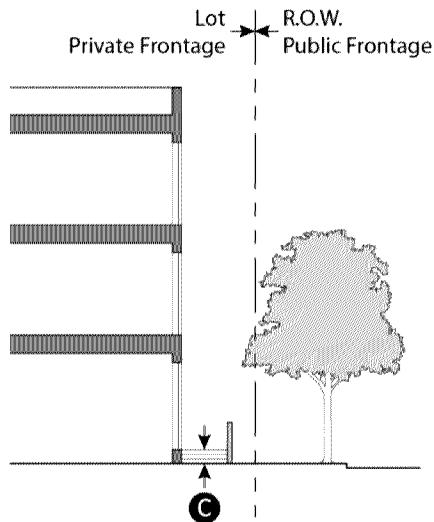
- ✓ Stairs may be perpendicular or parallel to the building facade.
- ✓ Ramps shall be parallel to facade or along the side of the building.
- ✓ The entry doors are encouraged to be covered or recessed to provide shelter from the elements.



Size

Width	5 ft. min./8 ft. max.
Depth	5 ft. min./8 ft. max.
Finish level above sidewalk	18 in. min.

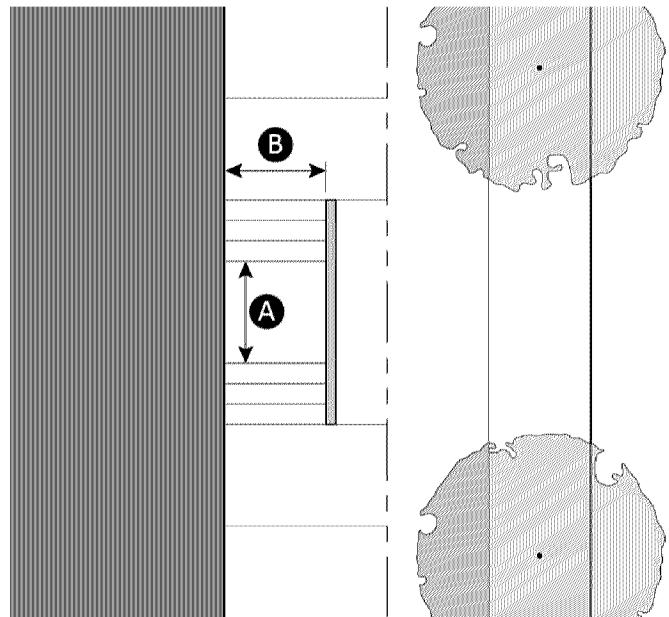
General Note: Photos on this page are illustrative, not regulatory.



In the Stoop Frontage Type, the main facade of the building is set back and an elevated stoop engages the sidewalk. The stoop shall be elevated above the sidewalk to ensure privacy within the building. Stairs or ramps from the stoop may lead directly to the sidewalk or may be side-loaded.

Size

Width	5 ft. Min./ 8 ft. Max.	A
Depth	5 ft. Min./ 8 ft. Max.	B
Finish level above sidewalk	18 in. Min.	C



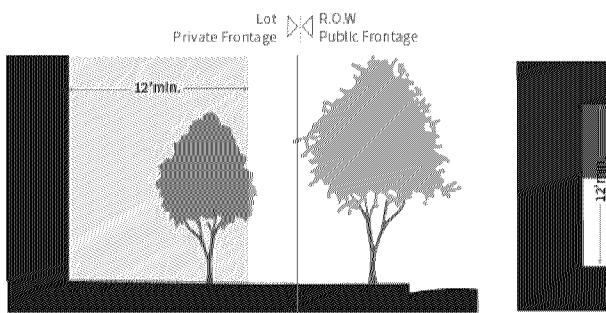
Design Standard

Stairs may be perpendicular or parallel to the building facade. Ramps shall be parallel to facade or along the side of the building. Entry doors are encouraged to be covered or recessed to provide shelter from the elements.



Sec. 30-384. Forecourt.

Description: In the forecourt frontage type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

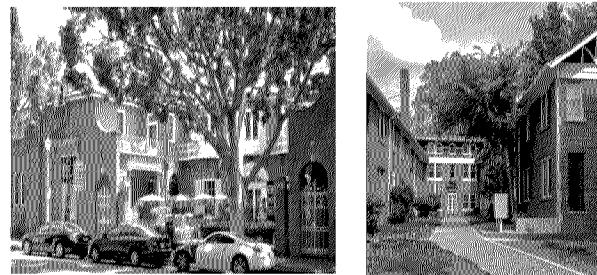


Size

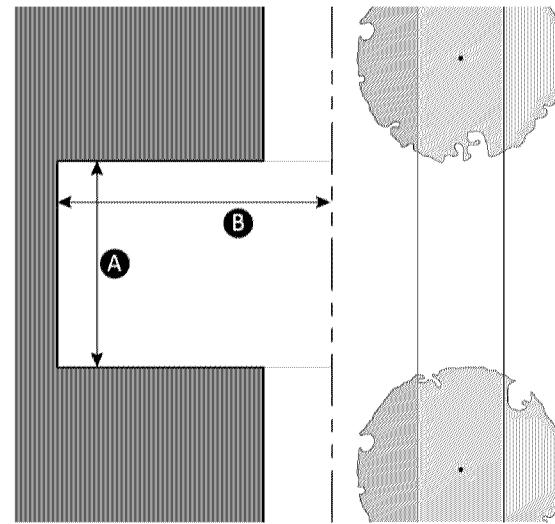
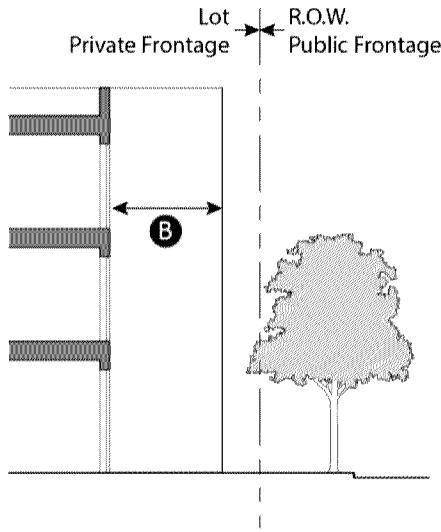
Width	12 ft. min.
Depth	12 ft. min.
Ratio, height to width	2:1 max.

Design Standard

- ✓ The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.



General Note: Photos on this page are illustrative, not regulatory.



In the Forecourt Frontage Type, the main facade of the building is at or near the frontage line and a small percentage is set back, creating a small court space. The space could be used as an entry court or shared garden space for apartment buildings, or as an additional shopping or restaurant seating area within retail and service areas.

Design Standard

The proportions and orientation of these spaces should be carefully considered for solar orientation and user comfort.

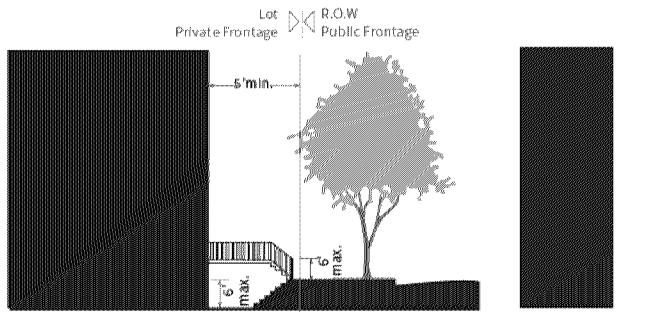
Size

<u>Width</u>	<u>12 ft. Min.</u>	<u>A</u>
<u>Depth</u>	<u>12 ft. Min.</u>	<u>B</u>
<u>Ratio, height to width</u>	<u>2:1 Max.</u>	



Sec. 30-385. Lightcourt.

Description: In the lightcourt frontage type, the main facade of the building is set back from the frontage line by an elevated terrace or a sunken lightcourt. This type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.



Size

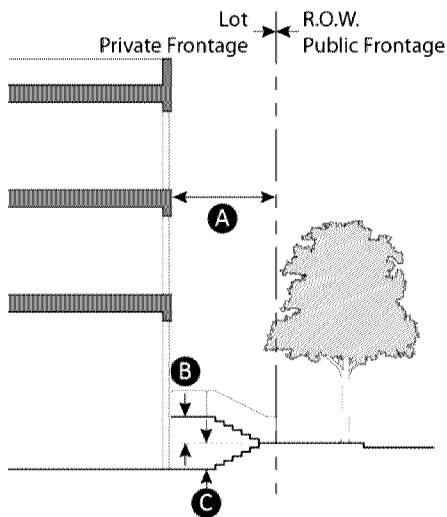
Width	5 ft. min.
Height, landing above sidewalk	6 ft. min.
Height, landing below sidewalk	6 ft. max.

Design Standard

- ✓ A short fence may be placed along the setback where it is not defined by a building.



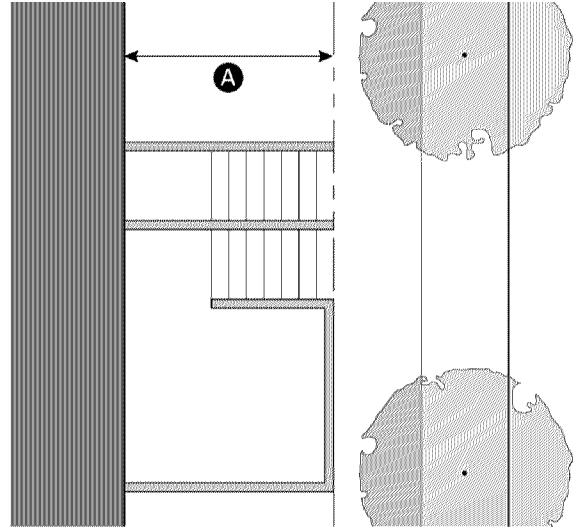
General Note: Photos on this page are illustrative, not regulatory.



In the Lightcourt Frontage Type, the main facade of the building is set back from the frontage line by an elevated terrace or a sunken Lightcourt. This Type buffers residential, retail or service uses from urban sidewalks and removes the private yard from public encroachment.

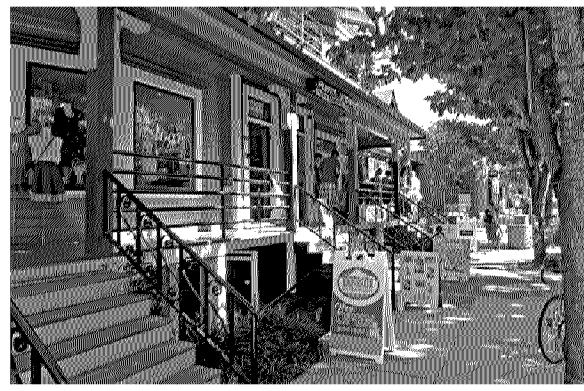
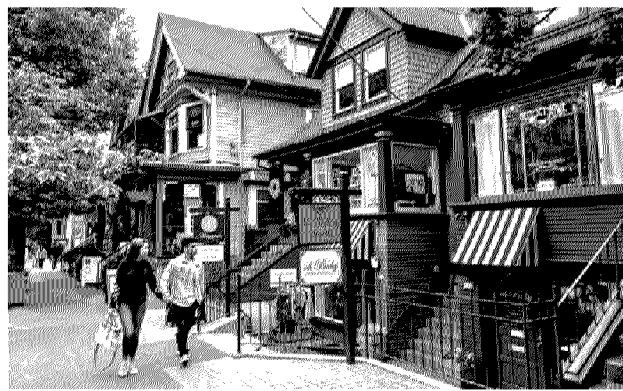
Size

Width	<u>5 ft. Min.</u> A
Finish level above sidewalk	<u>6 ft. Min.</u> B
Finish level below sidewalk	<u>6 ft. Max.</u> C



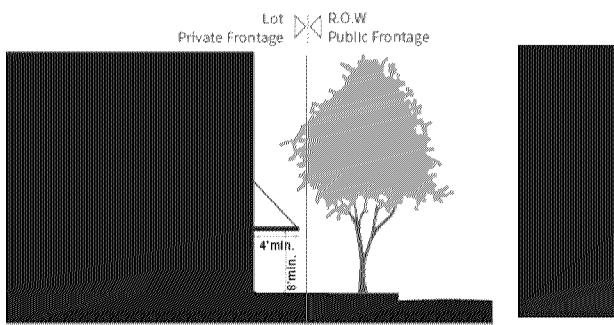
Design Standard

A short fence may be placed along the setback where it is not defined by a building.



Sec. 30-386. Shopfront.

~~Description: In the storefront frontage type, the main facade of the building is at or near the frontage line with an at-grade entrance along the public way. This type is intended for retail and other commercial uses. It has substantial glazing at the sidewalk level and may include an awning that may overlap the sidewalk. It may be used in conjunction with other frontage types.~~



Size

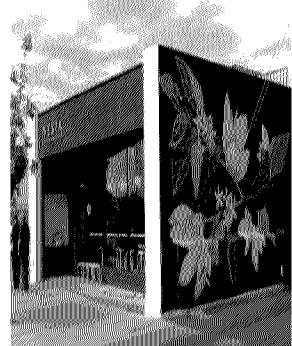
Ground floor transparency	75% max.
Shopfront recessed from property line	10 ft. min.

Awning

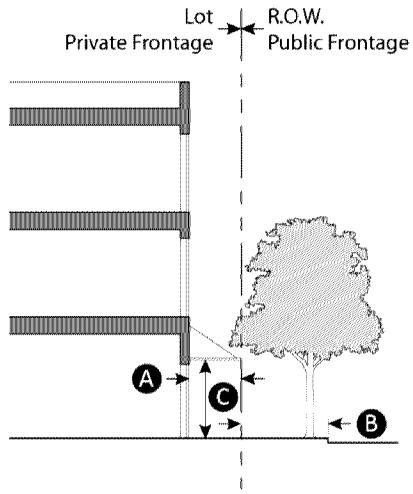
Depth	4 ft. max.
Setback from curb	2 ft. min.
Height, clear	8 ft. max.

Design Standard

- ✓ ~~Shopfront glass shall be clear without reflective glass frosting or dark tinting.~~
- ✓ ~~Shopfront windows may be clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass clerestory may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass.~~
- ✓ ~~Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged.~~
- ✓ ~~Operable awnings are encouraged.~~



General Note: Photos on this page are illustrative, not regulatory.



In the Shopfront Frontage Type, the main facade of the building has an at-grade entrance along the public way. This Type is intended for retail and other commercial uses. It has substantial glazing at the sidewalk level and may include an awning that may encroach into the ROW. It may be used in conjunction with other frontage types.

Size

Ground Floor Transparency 80% Min.

Awning

Depth 4 ft. Min.

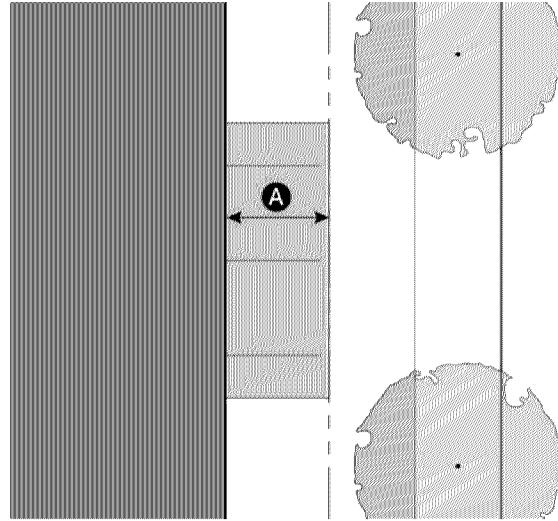
A

Setback from curb 2 ft. Min.

B

Height, clear 8 ft. Max.

C



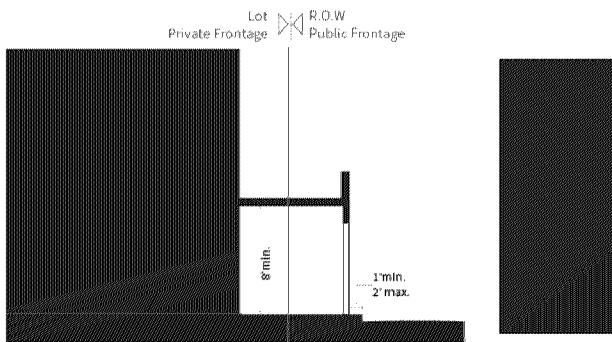
Design Standard

Shopfront glass shall be clear without reflective glass frosting or dark tinting. Shopfront windows may be clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass clerestory may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass. Shopfronts with accordion-style doors/windows or other operable windows that allow the space to open to the street are encouraged. Operable awnings are encouraged.



Sec. 30-387. Gallery.

~~Description: A gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the street curb. Galleries shelter the sidewalk with a roof or unenclosed, accessible, out door space making them ideal for retail use. Galleries may be one or two stories in height, functioning as covered or uncovered porches at the second floor. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.~~

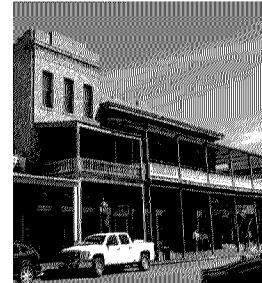
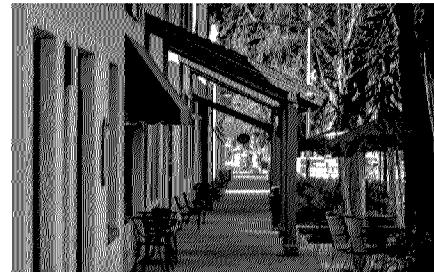


Size

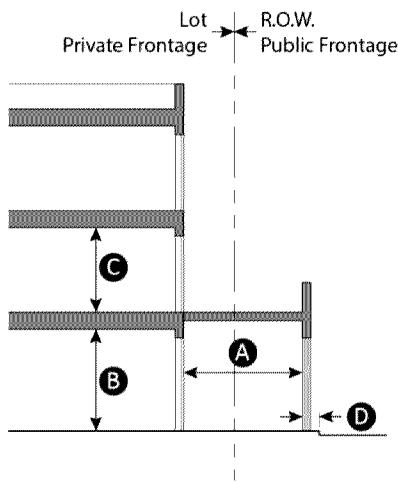
Depth	8 ft. min.
Ground floor height	12 ft. min.
Upper floor height	10 ft. min.
Height	2 stories max.
Setback from curb	1 ft. min./2 ft. max.

Design Standard

- ✓ Galleries shall be combined with the storefront frontage type.
- ✓ Galleries must have consistent depth along a frontage.
- ✓ Ceiling light is encouraged.
- ✓ Galleries may be entirely on private property or may encroach over the sidewalk in the public right of way, subject to an encroachment permit prior to issuance of a building permit.
- ✓ Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- ✓ Columns shall be placed in relation to curbs to allow passage around and to allow for passengers of cars to disembark.



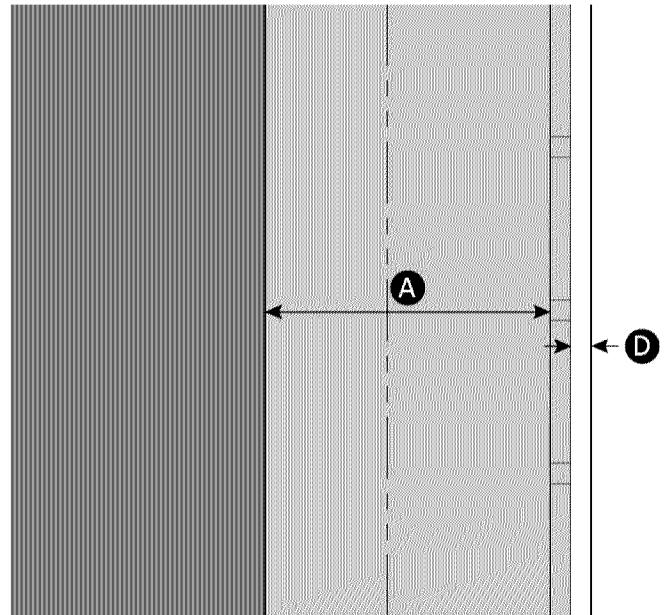
General Note: Photos on this page are illustrative, not regulatory.



A Gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the street curb. Galleries shelter the sidewalk with a roof or unenclosed, accessible, out-door space making them ideal for retail use. Galleries may be one- or two-stories in height, functioning as covered or uncovered porches at the second floor. Railings on top of the gallery are only required if the gallery roof is accessible as a deck.

Size

<u>Depth</u>	8 ft. Min.	A
<u>Ground Floor</u>	12 ft. Min.	B
<u>Height</u>		C
<u>Upper Floor</u>	10 ft. Min.	
<u>Height</u>	2 stories Max.	
<u>Setback from curb</u>	1 ft. Min./ 2 ft. Max.	D



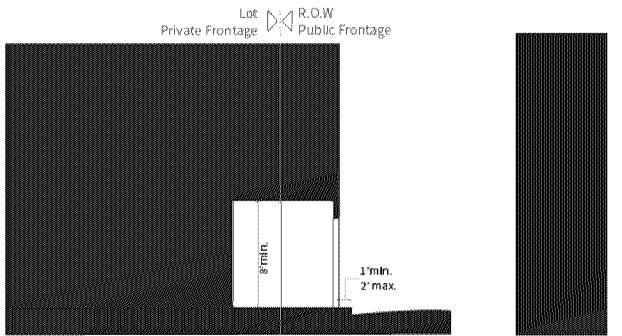
Design Standard

Galleries shall be combined with the Shopfront Frontage Type. Galleries must have consistent depth along a frontage. Ceiling lights are encouraged. Galleries may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached. Columns shall be placed in relation to curbs to allow passage around and to allow for passengers of cars to disembark.



Sec. 30-388. Arcade.

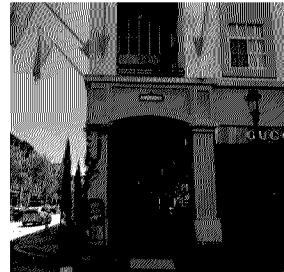
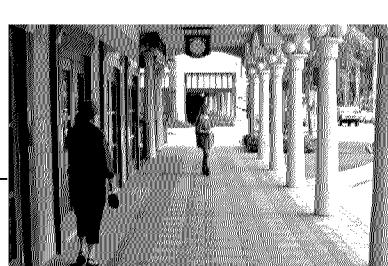
~~Description: Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right of way. Arcades contain ground floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.~~



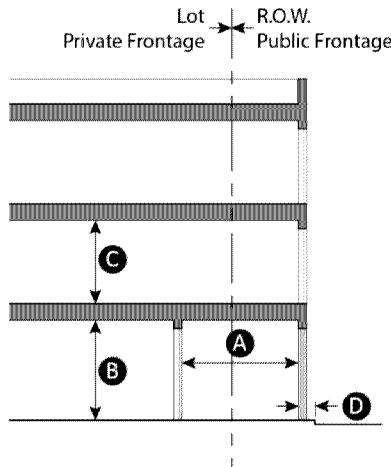
Size

Depth	8 ft. min.
Ground floor height	12 ft. min.
Upper floor height	10 ft. min.
Setback from curb	1 ft. min./2 ft. max.

- ✓ Arcades shall be combined with the shopfront frontage type.
- ✓ Arcades may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit.
- ✓ Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- ✓ Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark.
- ✓ When utilizing an arcade, front building setbacks may not apply.



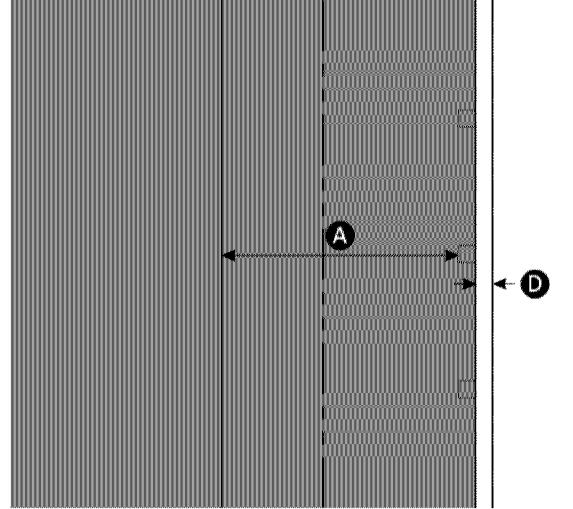
General Note: Photos on this page are illustrative, not regulatory.



Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right-of-way. Arcades contain ground-floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.

Size

<u>Depth</u>	8 ft. Min.	A
<u>Ground Floor</u>	12 ft. Min.	B
<u>Height</u>		
<u>Upper Floor</u>	10 ft. Min.	C
<u>Height</u>		
<u>Setback from curb</u>	1 ft. Min./ 2 ft. Max.	D



Design Standard

Arcades shall be combined with the Shopfront Frontage Type. Arcades may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark. When utilizing an arcade, front building setbacks may not apply. Front setbacks are still measured from the ROW.



DIVISION 7. GENERAL REGULATIONS

Sec. 30-389. Fences, hedges and walls.

(a) Single-family and multi-family site walls and fencing.

- (1) Low walls or hedges may be used to divide space, create a variety in landscaping and to define site edges.
- (2) Locate fences or walls on the property line (excluding the front property line) to define private open space and common open space areas, protect privacy, and buffer residents from noise sources.
 - a. Use masonry materials for sound reduction purposes.
 - b. Masonry walls shall include a top or cap.
 - c. Wood and chain link fencing is prohibited. However, wood picket fencing shall be allowed in the front yard setback area of the neighborhood district.
- (3) Design fences and walls to be an attractive part of the project, with materials and designs that are compatible with the exterior building materials and demonstrate design integrity with the project as a whole.



- (4) Front yard fencing and walls shall comply with the following requirements as applicable:
 - a. *Single family.* Open fencing and solid walls shall be setback from the sidewalk by at least two feet to allow for landscaping; not grass that must be mowed or trimmed;
 - b. *Multi-family.* Open fencing and solid walls shall meet the standards in Table 30-389.A.
- (5) The overall height of fencing, when present, shall not exceed the standards in Table 30-389.A. below:

Table 30-389.A.—Maximum Height of Fences or Walls

Location of Fence or Wall	Maximum Height
Within front or side street setback	
Solid Wall	3 feet
Open Fencing	4 feet

Not within front or side street setback	6 feet
Interior side and rear property line	6 feet

(b) *Mixed-use or commercial site walls and fencing.*

(1) Walls and fences shall meet the requirements of Section 30-494(g) and Section 30-500 of the Zoning & Development Code.

(±2) Fence design. Fences shall be constructed, designed and maintained as follows:

- a. *Permitted materials.* Fencing visible from public view should be open work such as wrought iron and metal (tube) fences with design features. Masonry, stucco and plaster are permitted when deemed more appropriate to the design of the building on the project site.
- b. *Fence maintenance.* Every fence shall be kept in good repair, consistent with the design thereof. The property owner shall be responsible for landscaping and maintaining the area, if any, between the property line and the owner's fence.
- c. *Hazardous and prohibited materials.* Fences shall not incorporate barbed wire and razor wire, spiked tips, chain link of any kind, woven wire mesh ("chicken wire"), welded wire mesh, woven wire ("hog wire") rope, cable, railroad ties or any other similar materials or materials not specifically manufactured for permanent fencing.

Sec. 30-390. Off-street parking and loading standards.

(a) *Off-street parking standards.*

- (1) Off-street parking requirements shall be set forth in Division 5 which outlines the development standards by zoning district.
- (2) Off-street parking dimensions shall be as set forth in Table 30-390.A.—Off-Street Parking Dimensions below. Any type of stall not listed shall refer to Section 30-606 of the Zoning and Development Code.

Table 30-390.A.—Off-Street Parking Dimensions

Type of Stall	Minimum Size (feet)
Standard	9 X 18
Garage/Carport	10 X 20
Parallel	8 X 21
Compact	8 X 16
Tandem	9 X 35
30°	9 X 187
45°	9 X 18
60°	9 X 1821

(b) *General performance standards for off-street parking facilities:*

- (1) Parking shall be implemented to provide safe and convenient access to and from public thoroughfares which include movement lanes and public frontages.

- (2) Vehicular access through residential properties for nonresidential uses shall be prohibited. This provision shall not apply to mixed-use developments.
- (3) Off-street parking spaces shall be located with sufficient room for safe and convenient parking without infringing on any public thoroughfare or sidewalk.
- (4) Off-street parking or loading area shall not be used for the sale, repair, or dismantling of any vehicle or equipment, or for storage of materials or supplies.
- (5) Parking or storage of commercial trucks, buses, vans, sign trailers; trailers or semi-trailers; or the like shall not be permitted in any form-based code zoning district.
- (6) Parking facilities on adjoining lots may share access points, driveways and parking subject to a recorded covenant running with the property on which the facilities are located, by process of waiver.
- (7) Parking shall be located behind habitable or occupied space, underground, or on the interior or rear of the building. All off-street parking areas shall be separated at least five feet from buildings in order to make room for sidewalks, landscaping and other plantings between the building and the parking area.
 - a. This separation may be eliminated to the rear of buildings in areas designed for unloading and loading of materials and in underground parking areas.

Sec. 30-396a. Downtown Core Design Regulations (Commercial, Apartment, and Mixed-Use Buildings).

This Section provides regulations and standards for new or renovated commercial, apartment, and mixed-use building types.

- (1) Crime Prevention through Environmental Design (CPTED): Crime Prevention through Environmental Design (CPTED) concepts shall be incorporated into the project design in order to create a safe built environment.
- (2) General Façade Composition: Buildings should generally be "four-sided," meaning that all facades (including sides and rear) shall be considered visible and treated with articulation and materials.
- (3) Size, Mass, and Scale: The scale of buildings and accessory structures (including canopies) shall be appropriate to the scale of structures built, or anticipated, in that district. Height of buildings shall be proportionate to the number of stories proposed.
- (4) Building Materials:
 - a. Building wall materials shall be combined on each façade only horizontally, unless the building is broken vertically by a change of plane, or a vertical architectural element.
 - b. Building walls shall be finished in one (1) or more of the following materials:
 - i. Wood
 - ii. Fiber cement board siding, smooth finish
 - iii. Reinforced concrete with stucco
 - iv. Brick

- v. Corrugated metal, which may be approved by the Director of Planning based on the surrounding context and location on the site
- v. Other materials as approved by the Director of Planning, based on visual compatibility with listed approved materials
- c. Doors shall be made of wood, metal, glass, or fiberglass.

(5) Roof Materials:

- a. Roof materials shall match or complement the proposed architectural style.
- b. Roof materials that shall not be used include:
 - i. Stamped sheet metal used to simulate Mediterranean or Spanish roof tiles.
 - ii. Corrugated sheet metal.
 - iii. Lightweight asphalt shingles.
 - iv. Wood shakes or shingles.

(6) Roof Forms: Where pitched roofs exist, primary roofs shall have a minimum slope of 4:12, while ancillary roof slopes may be no less than 2:12.

(7) Windows and Doors:

- a. Proportion and Details
 - i. Windows shall not be flush with exterior wall treatments. Windows shall be provided with an architectural surround at the jambs and header, and a projecting sill.
 - ii. Window openings may be grouped horizontally, but trim between windows shall be at least 3.5 inches wide. This does not apply to storefront windows.
- b. Facade Transparency: Building elevations that face the street shall have at least 40% of the first-floor wall area consist of windows and/or doors and 15% of upper floors.

(8) Architectural Details:

- a. Shutters: Shutters shall be sized and placed so as to equal the width that would be required to cover the window opening.
- b. Cornices: If cornices are used, then the cornices are required to delineate the tops of facades. Expression lines are required to delineate the divisions between the first floor and upper floors. Cornices and expression lines shall either be a molding or a jog in the surface plane of the building.

(9) Exterior Building Color:

- a. Fluorescent colors shall not be used as primary wall colors or accent colors except when approved by the Director of Planning when the colors are appropriate for the surrounding area and enhance the visual interest of an area.
- b. Colors that relate to or enhance the building's existing district character shall be used. Light colors such as different shades of whites and pastels are appropriate. Extremely bright colors shall not be used as primary wall colors.
- c. Secondary colors shall complement the primary building color. They shall be lighter or darker values than the body color or use more saturated hues of the

body color. Secondary colors can be used to give additional emphasis to architectural features such as building bases or wainscots, columns, brackets, cornices, capitals, and bands; or used as trim on doorframes, storefront elements, windows and window frames, railing shutters, ornament, fences, etc.

(10) Mechanical Equipment and Screening:

- a. Rooftop equipment such as mechanical equipment shall be screened on all sides, and the screening shall be integrated into the overall building design.
- b. Mechanical equipment, such as ventilation systems, commercial exhaust fans, rooftop terminations, commercial cooling equipment, heating and air conditioning units, TV antennas, and satellite dishes, shall be hidden or screened from view. Architectural features or vegetation can be used to conceal mechanical equipment. Screen material shall be properly maintained. If vegetation is used for screening, the mature size of the vegetation shall be considered so that equipment air flow will not be compromised.

(11) Proportions of Bays and Openings: All building bays, including porches, colonnades and porticos as appropriate, shall be square or vertical in proportion, unless the design merits a horizontally-proportioned opening. Wall opening, except for transoms and storefronts, shall be square or vertical in proportion. The façade of a proposed building shall draw upon the proportion and number of bays in surrounding buildings, as defined by windows, doors, and column spacing, to establish a compatible scale.

(12) Garages and Accessory Structures: Attached garages, detached garages, and other accessory structures shall be subordinate in height, footprint, and proportion to the primary structure on the site, and shall be compatible with the principal structure in terms of roof form, materials, and color. Where a garage contains an accessory dwelling unit above, it may exceed the height of the primary structure.

(13) Utility and Service Equipment Areas:

- a. Locate ancillary facilities within buildings, not along the street facing facade, to the maximum extent feasible. Where ancillary facilities such as trash receptacles and utility meters absolutely cannot be incorporated into a building, locate them at the rear of the site in freestanding, completely enclosed structures designed to be compatible with the architecture of the rest of the development.
- b. Loading docks, service areas, and trash disposal facilities shall be hidden or screened from view of streets, parks, squares, or significant pedestrian spaces. Service, utility and mechanical functions, including retail loading shall be located in alleys whenever present. When alleys are not present, service functions shall be placed behind buildings. Building design shall accommodate equipment with niches or insets.
- c. Trash and storage enclosures shall be architecturally integrated into the project design. Landscaping shall be provided adjacent to enclosures for screening and deterring graffiti.
- d. Build covered trash enclosures with durable materials such as stone, concrete block, steel, and heavy timber.
- e. The location of trash enclosures shall be easily accessible for trash collection and shall not impede general site circulation patterns during loading operations.
- f. Trash service plan shall be provided, which shall be subject to the approval of the Director of Planning.

- g. Locate electrical panels to minimize their visibility from the street, in locations such as side yard walls, and/or behind landscaped areas. Integrate them into the design of residential buildings to the maximum extent feasible.
- h. Utility service connections shall be underground or screened, which shall be subject to the approval of the Director of Planning.

(14) Outdoor Display of Merchandise:

- a. Definition of "Merchandise": For purposes of this section, merchandise is defined as any item that is for sale on the premises or is representative of an item that is for sale on the premises, regardless of whether that particular item is available for purchase.
- b. Arrangement: Merchandise shall be arranged and spaced so as not to clutter the front of the property, as determined by the Director of Planning or designee.
- c. Location:
 - i. Merchandise shall not be placed on the public sidewalk or within the right-of-way without the approval of the Director of Planning or designee. If merchandise is displayed on any privately owned sidewalk, a minimum of four (4) feet of the sidewalk as measured from the curb must remain open and unobstructed to facilitate safe pedestrian circulation.
 - ii. Areas designated for vehicular parking may not be used as outdoor display areas except as authorized in the Zoning and Development Code such as Temporary Use Permits.
 - iii. Merchandise shall not be displayed on public street furniture or landscaping.
- d. Designation in Plans: Plans for new developments or reuse of an existing space shall clearly designate any areas for outdoor display of outdoor merchandise. Outdoor display of merchandise shall only occur in areas designated for such display on the approved plan.

(15) Trellises, Marquees, and Architectural Canopies: Materials, colors, and form shall be derived from the building architecture

(16) Balconies: Balconies are encouraged at upper stories to create visual interest, support an architectural style or context, and to provide outdoor spaces for upper story tenants. In addition to upper story balconies, recessed alcoves are recommended to increase the depth and usability of the balcony space and add visual interest to the façade composition.

(17) Awnings and Shade Devices:

- a. Durable materials that complement other building materials shall be used, including canvas, high quality fabric, and metal.
- b. Vinyl and plastic shall not be used.
- c. Colors shall complement the building style, materials, and colors.
- d. Awning mounting heights shall be consistent along the façade, unless varying mounting heights supports the architectural style.

(18) Security Doors:

- a. Roll-up security doors shall be decorative, which shall be approved by the Director of Planning and recessed behind the building façade wall surface.

- b. Horizontal sliding security grills shall be decorative, which shall be approved by the Director of Planning and shall be architecturally concealed when in fully opened position.

(19) Site Landscaping:

- a. Landscaping shall be incorporated in order to create an active visual outlook for residential units, create usable open space, and provide privacy for adjacent residential units.
- b. Site landscaping treatments shall be designed to be attractive, with consistent design integrity throughout the project.
- c. Parking lots, driveways, and other automobile circulation areas shall be landscaped in order to improve the visual appearance of circulation and parking areas.
- d. Trees, landscape islands, shrubs, and groundcover shall be incorporated throughout parking areas.

Sec. 30-396b. Downtown Core Design Regulations (Residential Buildings).

This Section provides regulations and standards for new or renovated residential buildings that have individual entries from the public ROW or common open space. These regulations encourage buildings that strengthen the quality and character of Fontana's neighborhoods and surrounding areas while providing opportunities for individuality and creativity.

(1) Building Materials and Colors:

- a. Generally acceptable materials shall include stucco, wood siding, native rock and stone, split face, concrete and brick.
- b. Generally prohibited materials shall include aluminum or plastic siding, corrugated fiberglass, and metal.
- c. Generally acceptable colors shall include muted natural colors, earth tones, pastel colors, natural stains and accent colors to contrast eaves, trims, moldings and doors.
- d. Generally prohibited colors shall include bright, fluorescent, or assertive colors as primary or accent wall colors.

(2) Crime Prevention Through Environmental Design (CPTED): Incorporate Crime Prevention Through Environmental Design (CPTED) concepts into the project design in order to create a safe built environment.

(3) Garages and Accessory Structures: Attached garages, detached garages, and other accessory structures shall be subordinate in height, footprint, and proportion to the primary structure on the site, and shall be compatible with the principal structure in terms of roof form, materials, and color. Where a garage contains an accessory dwelling unit above, it may exceed the height of the primary structure.

(4) Design Criteria:

- a. A variety of enhanced architectural features and materials shall be provided on every front elevation. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, rock, brick, wood siding, etc., or similar features.

- b. All garage doors shall be decorative, sectional, and roll-up.
- c. Trim with a stucco covering may be painted in a contrasting color. The contrasting color shall be color-compatible with the color of the body of the structure.
- d. Decorative trim consistent with the architectural design shall surround vents and windows to enhance the architecture of the structure.
- e. Architectural treatment shall be provided on each chimneystack.
- f. Wall-mounted, decorative lighting fixtures shall be provided at the front porch areas as well as on each side of the garage door. The style of the decorative lighting fixtures shall complement the architectural style.
- g. All front doors shall provide a window or other decorative treatment, including but not limited to, raised panels, metal work, etc.
- h. Upgraded hardscape shall be used within the concrete walkway(s) leading to the front door of the house in order to complement the home's exterior architectural elements. Examples of upgraded hardscape includes, but is not limited to, decorative patterned scoring, exposed aggregate finishes, stamped concrete, etc.

(5) Screening of Exterior Equipment:

- a. All mechanical equipment, ground-mounted equipment, utilities, storage, shall be screened from adjoining properties and public streets by a visual barrier such as a wall, fence, or landscape material. Where landscaping only is used for screening, it shall be planted with five-gallon (minimum size) shrubs spaced to provide a dense screen.
- b. Roof-mounted mechanical equipment shall be hidden from view by building parapets of equal height. If building parapets do not provide adequate screening when observed from adjacent buildings, mechanical equipment shall be screened by designing the parapet so that it appears as an integrated part of the roof and overall architectural design.
- c. No exterior components of plumbing, processing, heating, cooling, and ventilating systems shall be mounted on any building wall unless they are an integrated architectural design feature.

(6) Central Air Conditioning or Cooling System:

- a. All new residential structures shall be equipped with a central air conditioning or cooling system.
- b. For the purposes of this section, a "central air conditioning or cooling system" shall be defined as all that equipment, including associated refrigeration, intended or installed for the purpose of cooling air by mechanical means and discharging such air into a residential structure used for living purposes. A central air conditioning or cooling system shall not include portable cooling units, absorption units or evaporative coolers.

(7) Water Heaters: Each dwelling unit shall have a separate hot water heater or may be provided with a centralized circulation water heating system sufficient to serve all dwelling units on the property.

(8) Laundry Facilities: All multiple-residential units shall be provided washer and dryer hookups and laundry space within the unit or garage. The laundry area shall not infringe upon garage parking area. In the case of apartments, common laundry facilities may be included in addition to the individual unit hookups.

(9) Storage Facilities: A separate area having a minimum of 125 cubic feet of private and secure storage space shall be provided for each unit.

- a. Said storage area may be located within the garage, provided it does not interfere with garage use for automobile parking.
- b. Normal closet and cupboard space within the dwelling unit shall not count toward meeting this requirement.
- c. No storage shall be in a carport.

DIVISION 9. PRIVATE OPEN SPACE TYPES

Sec. 30-398. Private open space types.

Private open spaces shall be designed as one of the private open space types defined in this section.

- (1) *Private yard.*
 - a. Definition: A side yard or rear yard (excluding required setback areas) which is accessed by secondary unit entrance(s).
 - b. The primary access to a private yard shall be from the dwelling(s) served.
 - c. The minimum area for a private yard shall be sixty (60) square feet.
 - ed. The minimum dimensions for a private yard in any single direction shall be sixeight (68) feet.
 - de. Landscaping shall consist primarily of planted areas including water-efficient plantings of lawns, trees, plants in pots, etc. and may be combined with a porch.
 - ef. Private yard spaces may include edge walls or fences, provided that their inclusion does not violate building orientation.
- (2) *Porch.*
 - a. Definition: A patio, terrace, or other platform extending from or adjacent to a building at the ground floor which is accessed by secondary unit entrances(s).
 - b. The primary access to a porch shall be from the dwelling(s) served.
 - c. The minimum area for a porch shall be forty-six (48) square feet.
 - ed. The minimum dimensions of a porch in any single direction shall be sixeight (6) feet.
- (3) *Rooftop deck or garden.*
 - a. Definition: A private or privately shared deck or yard on the roof of a building.
 - b. The minimum dimensions for a rooftop deck or garden in any single direction shall be six (6)eight feet.
 - c. Gardens and green roofs are encouraged to help minimize heat sinks and to pretreat water from storms prior to it entering the storm drain system.
 - d. The minimum area for a rooftop deck or garden shall be sixty (60) square feet.

(4) *Balcony.*

- a. Definition: An outdoor space extending from a private upper floor of a building, which is accessed directly from a secondary unit entrance.
- b. Access to a balcony shall be limited to the dwelling served.
- c. The minimum area for a rooftop deck or garden shall be forty-eight (48) square feet.
- ed. The minimum dimensions for a balcony in any single direction shall be six (6) eight feet.

DIVISION 10. COMMON AND PUBLIC OPEN SPACE STANDARDS¹

Sec. 30-399. Purpose.

The purpose of this section is to provide common open spaces and a catalog of pre-approved public open space types that are appropriate to use within walkable urban environments.

Sec. 30-400. Applicability.

- (a) This section describes the guidelines for the development of common and public open spaces throughout the Form-Based Code areas.
- (b) The standards in this section shall apply to all proposed development within the Form-Based Code districts and shall be considered in combination with the standards for the applicable district.
- (c) Additional public open spaces can be integrated into this section as they are approved by the City of Fontana.
- (d) The Downtown Core shall be required to comply with 30-404.a.

Sec. 30-404.a Downtown Core Open Space Requirements.

Common Open Space Required

Amenities Required

Developers shall provide on-site recreational facilities as a minimum requirement for all multi-family projects.

- (1) Development with less than 35 units shall provide a minimum of 10 percent of the project lot area as common open space (Private Open Space that exceeds the minimum may be counted towards the Common Open Space requirement) and shall provide one of the following recreational facilities, or equivalent, as approved by the Director of Planning:
 - a. Indoor gym/fitness facility (minimum 500 square feet).

- b. Tot-lot with multiple play equipment.
- c. Spa and pool (min 25 yard by 15 yards).
- d. Barbecue facility equipped with built-in grill, picnic benches, etc (min of three areas).

(2) Development consisting of 35 units to 79 units shall provide three of the recreational facilities listed below, or equivalent, as approved by the Director of Planning:

- a. Indoor gym/fitness facility (minimum 500 square feet).
- b. Tot-lot with multiple play equipment.
- c. Spa and pool (min 25 yard by 15 yards).
- d. Barbecue facility equipped with built-in grill, picnic benches, etc (min of three areas).
- e. A minimum of ten percent (10%) of the project lot area as Common Open Space. Private Open Space that exceeds the minimum may be counted towards the Common Open Space requirement.

(3) Development consisting of 80 units to 200 units shall provide all amenities listed above, or equivalent, as approved by the Director of Planning.

(4) Development consisting of 201 units to 400 units shall provide all amenities listed above and a minimum of one of the following additional recreational facilities, or equivalent, as approved by the Planning Commission:

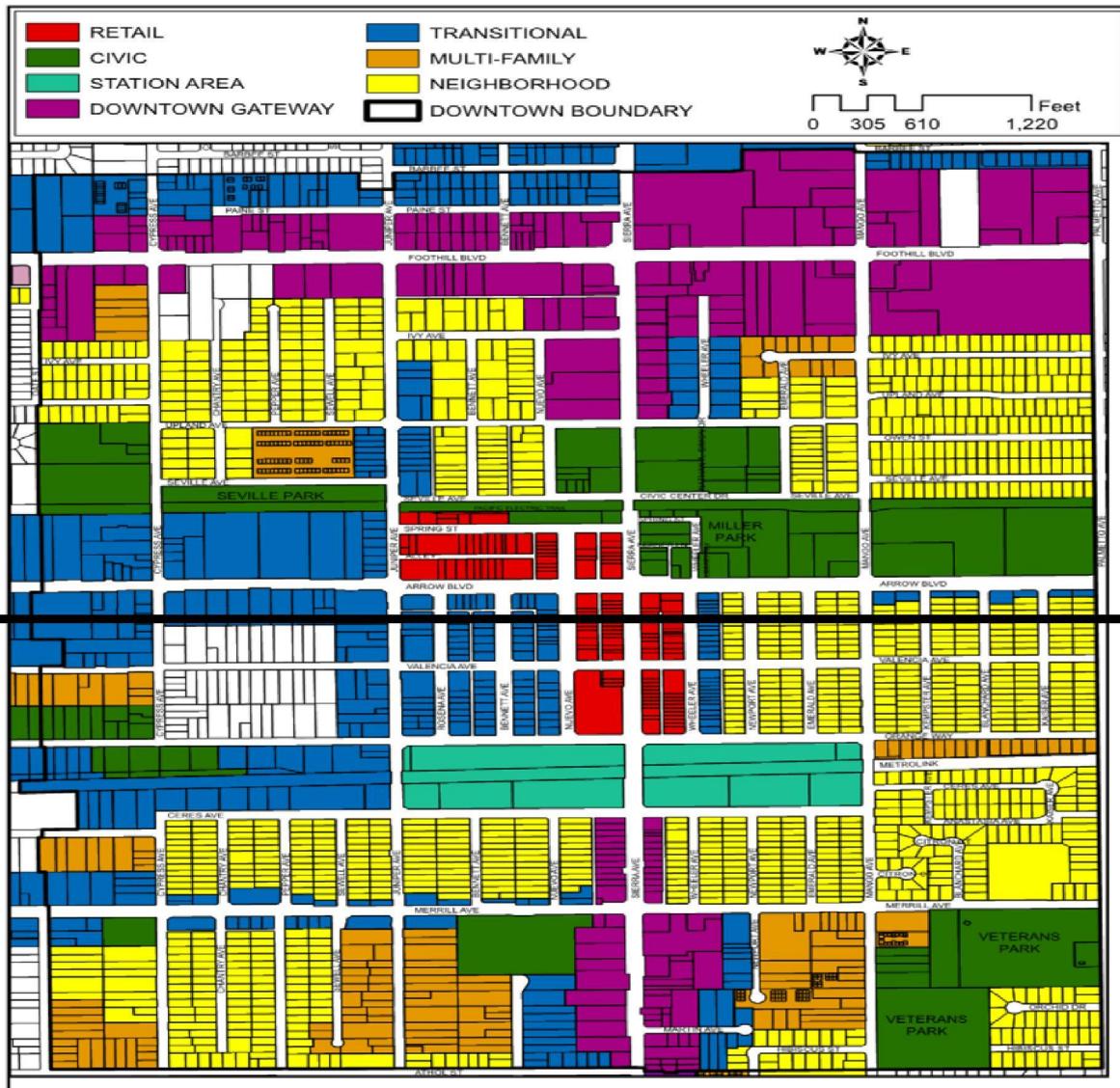
- a. Large open lawn area, minimum dimensions shall be 100 feet by 50 feet (e.g. Rooftop garden).
- b. Multiple tot-lots with multiple play equipment. The tot-lots shall be conveniently located throughout the site. The number of tot-lots and their location shall be subject to Planning Commission review and approval.
- c. Lap pool and spa (e.g. Rooftop, min 25 yard by 25 yards).
- d. Community multi-purpose room equipped with kitchen, defined areas for games, exercises, etc.
- e. Barbecue facilities equipped with multiple grills, picnic benches and shade structures. The barbecue facilities shall be conveniently located throughout the site. The number of barbecue facilities and their location shall be subject to Planning Commission review and approval.
- f. Court facilities (e.g. tennis, volleyball, basketball, etc.).
- g. Other recreational facilities not listed above may be considered subject to the Planning Commission review and approval.
- h. Related recreational activities may be grouped together and located at any one area of the common open space. All recreational areas or facilities required by this section shall be maintained by private homeowner's associations, property owners, or private assessment districts.

(4) Related recreational activities may be grouped together and located at any one area of the common open space. All recreational areas or facilities required by this section shall be maintained by private homeowner's associations, property owners, or private assessment districts.

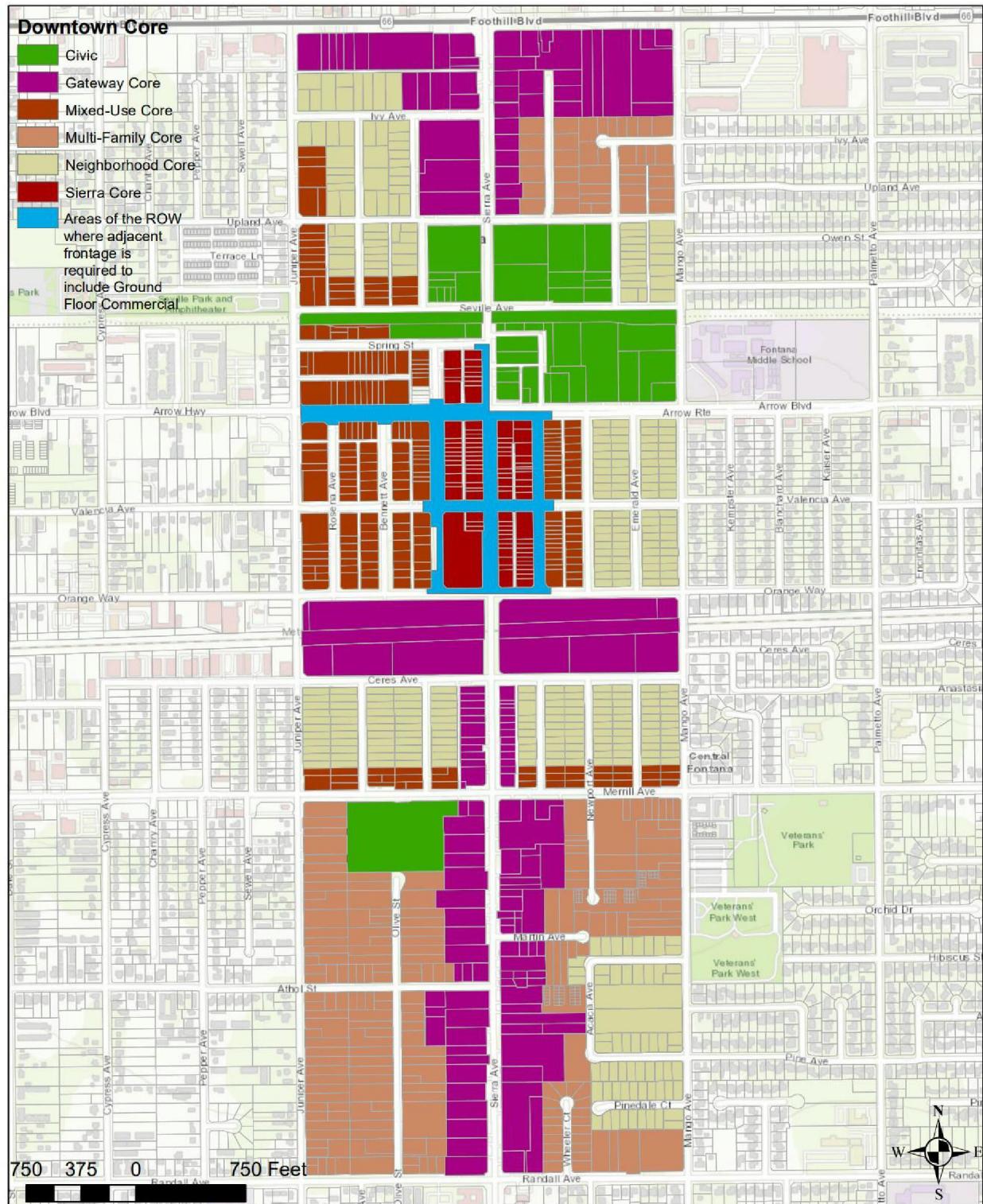
(5) Circulation, pedestrian, and vehicular parking. Pedestrian circulation. Each multiple-family residential development shall be designed with adequate walkways to provide convenience to the needs of the residents, guests, and the service providers of public agencies. Pedestrian access to the unifying elements of any development shall be separate from, and free of, conflict with vehicular access ways. All developments consisting of six units or more shall provide directories placed in a convenient location at the development entry.

General Requirements

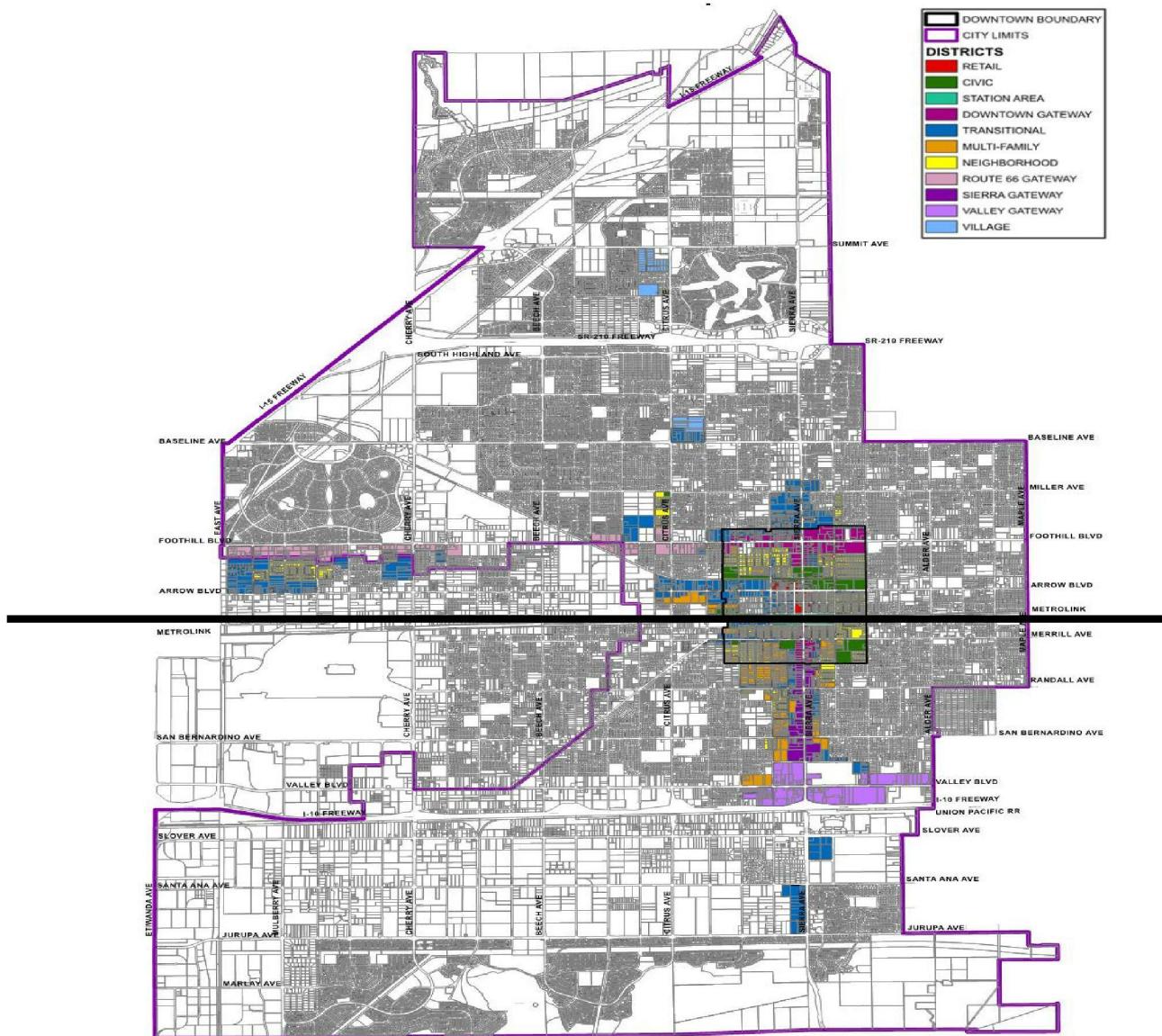
- (1) Common Open Spaces shall include amenities such as seating, lighting, and landscaping.
- (2) Public open spaces shall be built within the development area by developers as development occurs.
- (3) At the discretion of the Director of Planning, required open space may be constructed off-site and/or as part of a larger public open space that will be provided by the City or other private developments.

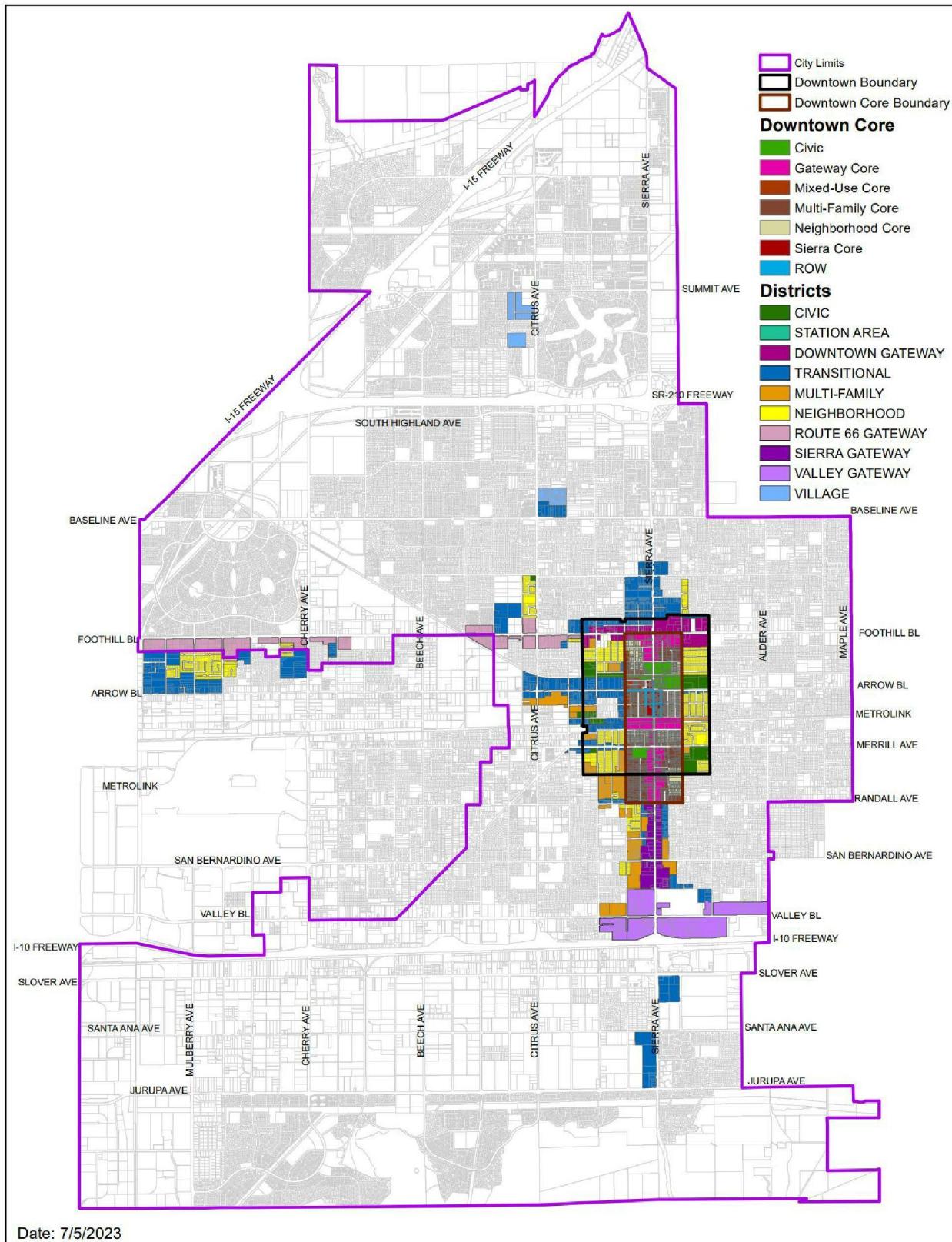
Sec. 30-405. Downtown CoreForm-Based Code sub-district map.

Downtown Core



Sec. 30-406. Form-Based Code sub-district map.





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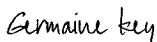
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gkey@fontana.org

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Operating Systems:	Windows2000? or WindowsXP?
Browsers (for SENDERs):	Internet Explorer 6.0? or above
Browsers (for SIGNERS):	Internet Explorer 6.0?, Mozilla FireFox 1.0, NetScape 7.2 (or above)
Email:	Access to a valid email account
Screen Resolution:	800 x 600 minimum
Enabled Security Settings:	<ul style="list-style-type: none">•Allow per session cookies•Users accessing the internet behind a Proxy Server must enable HTTP 1.1 settings via proxy connection

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