

Ventana at Duncan Canyon Specific Plan  
Amendments Added

Specific Plan Regulations	Resolution # 2007-34	March 27 <sup>th</sup> 2007
Specific Plan Regulations	Resolution # 21-823	September 14 <sup>th</sup> 2021

3/27/07

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, APPROVING GENERAL PLAN AMENDMENT NO. 06-010, AN AMENDMENT OF THE GENERAL PLAN LAND USE MAP TO CHANGE THE LAND USE DESIGNATION OF: 1) APPROXIMATELY 50 ACRES OF REGIONAL MIXED USE (RMU) LAND TO MULTI-FAMILY RESIDENTIAL (R-MF); AND, 2) APPROXIMATELY 49.4 ACRES OF RMU TO GENERAL COMMERCIAL (C-G); TO REFLECT THE LAND USE DESIGNATIONS IN THE VENTANA AT DUNCAN CANYON SPECIFIC PLAN, AN AMENDMENT OF PAGE 3-4 AND TABLE 3-1 IN THE GENERAL PLAN TO ADD THE VENTANA AT DUNCAN CANYON SPECIFIC PLAN, AND AN AMENDMENT OF THE GENERAL PLAN CIRCULATION ELEMENT TO REALIGN LYITTLE CREEK ROAD WITHIN THE SPECIFIC PLAN BOUNDARY AND EXTEND CITRUS AVENUE ALIGNMENT NORTH OF DUNCAN CANYON ROAD TO THE NORTHEAST BOUNDARY OF THE SPECIFIC PLAN.

**WHEREAS**, all of the notices required by State statute and the City Municipal Code have been given as required;

**WHEREAS**, pursuant to the California Environmental Quality Act (CEQA), a Final Environmental Impact Report has been prepared and circulated for the project and has been submitted for certification with the inclusion of a Statement of Overriding Considerations for Air Quality and Cultural Resources and a Mitigation Monitoring Program;

**WHEREAS**, on March 27, 2007, the City Council conducted the required public hearing and considered all public testimony, documents, plans, maps, drawings, reports, and information presented at the public hearing; and,

**WHEREAS**, on March 27, 2007, the City Council finds that the proposed changes in General Plan Amendment No. 06-010 are consistent with the goals and policies of the General Plan.

**NOW, THEREFORE, BE IT RESOLVED**, determined and ordered by the City Council of the City of Fontana as follows:

**Section 1.** Certification of the Final Environmental Impact Report, including the Statement of Overriding Consideration and associated Mitigation Monitoring Program, and direct staff to prepare and file a Notice of Determination for General Plan Amendment No. 06-010; and

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**City of Fontana**  
**Ventana at Duncan Canyon Specific Plan**

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## 1.0 Introduction

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## 1.0 INTRODUCTION

### 1.1 SUMMARY & BACKGROUND

**The Ventana at Duncan Canyon Specific Plan** is a 105-acre master-planned, mixed-use community that creates a unique sense of place in North Fontana. It follows the vision the City of Fontana has set forth in the General Plan for the Regional Mixed Use land use classification for this area of the City, and the "Corporate Corridor" concept currently being formulated along the I-15 Freeway. The design reflects a Mediterranean theme and focuses on a mixed use, Tuscan village environment. Its design will be visually distinctive and will create a unique "WINDOW" into Fontana from the Interstate 15 Freeway. Ventana at Duncan Canyon combines corporate office, retail commercial, research and development, light manufacturing, high-tech assembly and higher density residential uses that are connected with grade-separated pedestrian access, providing connectivity among uses. A primary focal point of the project is a large, open plaza, surrounded by vertically integrated retail, office and residential uses at the southwest corner of Duncan Canyon Road and the realigned Lytle Creek Road. This plaza will include a "campanile" tower feature that will be visually prominent from all of northern Fontana.

The Ventana at Duncan Canyon Specific Plan project area is bounded by the Interstate 15 Freeway on the north and west, Citrus Avenue on the east and the Southern California Edison power line transmission corridor on the south. The site is primarily undeveloped, except for an existing residence and outbuildings located on the south side of Duncan Canyon Road, just east of the I-15 Freeway.

Ventana at Duncan Canyon consists of the following major components:

- A Corporate Office Corridor adjacent to the Freeway, both north and south of Duncan Canyon Road. This Corporate Corridor includes mid-rise office buildings, a multi-story hotel, quality business restaurants and other complementary commercial uses;
- A focal point "Piazza" surrounded by vertically integrated mixed uses that include retail commercial, office and an option for residential lofts between the Freeway and Lytle Creek Road, on the south side of Duncan Canyon Road;
- A "Campanile" tower feature that will serve as a major monument and landmark visible from the Freeway and the surrounding region;
- An arched pedestrian bridge over Duncan Canyon Road that connects the Corporate Corridor Offices to the Retail Piazza retail areas. This pedestrian linkage provides a unique entry statement into *Ventana*;
- A maximum of 842 medium and higher density dwelling units in three separate residential Villages that provide alternative urban living environments generally not available in this area, with unique housing types, designs and sizes that include for sale single-family detached and attached homes and townhomes in a pedestrian friendly "Village" setting;
- Pedestrian corridors and bridges that connect the residential villages to the Piazza and the Corporate Office Complexes along the I-15 Corridor;

- Construction of the realigned Lytle Creek Road, consistent with the City's Circulation Master Plan.

The development of Ventana at Duncan Canyon as a mixed use master planned community will result in substantial benefits to those working and living in the City of Fontana, including:

- ◆ Implementing the City's vision for a Regional Mixed Use development in this area of Fontana;
- ◆ Creating a unique, "*people place*" Piazza that incorporates vertical mixed uses in a pleasant village setting with quality restaurants, stores, shops, office and residential uses;
- ◆ Providing for a range of residential product types that are integrated within an urban village setting;
- ◆ Creating a focal point within North Fontana that is unique to the region, competitive with other major activity centers in surrounding cities, and located adjacent to a major transportation corridor and freeway interchange;
- ◆ Generating significant new property tax revenue within the North Fontana Redevelopment Project Area, benefiting the Fontana Redevelopment Agency;
- ◆ Contributing to the balance of jobs and housing by providing for a mix of residential, commercial, office, research and development, light manufacturing and high-tech assembly uses within the overall Specific Plan project area;
- ◆ Creating new employment opportunities within the development that includes a substantial amount of corporate office, research and development and light manufacturing uses, as well as retail commercial uses along the I-15 Freeway Corridor;
- ◆ Installing significant public facility and infrastructure improvements, including streets, storm drains, sewers, curb, gutter and sidewalks and other utilities that benefit the project area and the adjacent developing areas;

This Specific Plan recognizes that the development of Ventana at Duncan Canyon will play a vital role in the growth and development of this area of the City. This Plan will solidify and enhance the positive image of quality development created by the other master planned communities recently completed and currently being planned in this area of Fontana through the implementation of the following features:

- Unique design features that include a "Piazza" surrounded by vertically integrated mixed uses that include stores, shops, eating establishments, offices and residential lofts;
- Low and mid-rise Office Complexes adjacent to the I-15 Freeway that meets the intent of the City of Fontana to establish a major "Corporate Jobs Corridor" along the east side of the I-15 Freeway;
- A unified design theme that focuses on Mediterranean architecture with arches, towers and other Tuscan accent features that are compatible with, and complimentary to the design guidelines established for the Ventana at Duncan Canyon Specific Plan and the Fontana General Plan;
- Design guidelines and development standards which create a village atmosphere that incorporates an interior connected pedestrian environment with quality site amenities, design elements, combined with Mediterranean landscape treatments and other amenities;

- A mixed-use development in combination with quality site amenities and features that creates a unique village environment for those that live, work and shop within Ventana.

This document has been prepared in accordance with the provisions of State planning law for specific plans. More detailed information regarding the project's consistency with applicable local and State planning regulations, project overview, development regulations, design standards, and methods and procedures for implementing and administering are contained in the following Sections. This Section goes on to establish the Purpose and Intent of the Specific Plan, the Authority for its preparation, and its consistency with the Fontana General Plan.

## **1.2 PURPOSE & INTENT**

THE Ventana at Duncan Canyon Specific Plan has been prepared pursuant to the provisions of the Fontana Development Code and the California Government Code. State law grants the City the authority to prepare specific plans of development for any area covered by its General Plan. The general purpose is to set forth a systematic method of implementation of Fontana's General Plan. The specific purpose of this Specific Plan is to establish a unique master planned development that captures the City's vision for the "Regional Mixed Use" zoning classification in northern Fontana, and the City's vision for a "Corporate Corridor along the I-15 Freeway. It is specific in nature as compared to a General Plan, and is set forth to address site specific issues such as conceptual development plans, development regulations, permitted uses, design themes, topography and other physical constraints, local street design, building setbacks, pedestrian corridors, and utility infrastructure. Fontana's General Plan does not show the level of detail contained within a specific plan.

The Ventana at Duncan Canyon Specific Plan examines a 105-acre project area, while the General Plan covers the entire 36 square mile City and its 16 square mile Sphere of Influence. The project area is located in rapidly growing northern Fontana, next to the Interstate 15 regional transportation corridor. It is located at a future Freeway off-ramp at Duncan Canyon Road, and is surrounded by numerous master planned communities. This includes the approved and developing Coyote Canyon and Hunter's Ridge Master Planned Communities to the west, the approved and developing Citrus Heights North and South, Ventana, Westgate and Summit Heights Master planned Communities to the South, and the North Fontana and J. W. Mitchell Master Planned Communities to the east. The General Plan designates northern Fontana as a "Growth Area". The project site is also located within the boundaries of the North Fontana Redevelopment Project Area.

The intent of this Specific Plan is to create a unique development project, fostered and encouraged through the adoption of carefully designed development controls and design guidelines that reflect thorough planning and careful coordination with affected property owners, developers and master builders. The most suitable development control mechanism is the specific plan which, when adopted by City Ordinance, serves both a planning and a regulatory function.

The Specific Plan is generally considered to be the most appropriate method of zoning control for large properties containing a variety of land uses. The Specific Plan must anticipate physical and environmental issues, and can be structured to provide the necessary flexibility to respond to changing conditions, which will arise during the lifetime of a comprehensively planned

community. On the other hand, the City of Fontana's General Plan document establishes goals and objectives, which mandate the preparation of individual Specific Plan documents in order to ensure that new developments meet basic standards. These standards include required infrastructure, quality of planning and design, the provisions to create aesthetic quality, cultural identity, and environmental and physical safety.

### **1.3 AUTHORITY FOR, & SCOPE OF THE SPECIFIC PLAN**

Section 30-62 of the Fontana Development Code specifies the purpose, requirements, regulations, and procedures for preparation of a Specific Plan in the City of Fontana.

California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan. It identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

The Ventana at Duncan Canyon Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450. It grants local planning agencies the authority to prepare a specific plan of development for any area covered by a general plan, for the purpose of establishing systematic methods for implementation of the agency's general plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a specific plan, identifies the required contents of a specific plan and mandates consistency with the general plan. According to Section 65451, a specific plan shall include a text and a diagram or diagrams, which specify all of the following in detail:

- (1) The distribution, location and extent of the uses of land, including open space, within the area covered by the plan.
- (2) The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- (3) Standards and criteria by which development will proceed, and standards for the conservation, development and utilization of natural resources, where applicable.
- (4) A program of implementation measures including regulations, programs, and public works projects and financing measures necessary to carry out items (1), (2) and (3) above.

In addition, the California Government Code states that a *"Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan."*

With respect to land use regulation, this document serves as zoning for the property consistent with the City of Fontana General Plan. In this regard, all future development plans, tentative parcel and/or tract maps or other similar entitlements, shall be consistent with regulations set forth in this document and with all applicable City regulations.

In addition to this Specific Plan, an Environmental Impact Report (EIR) is being prepared under the City's authority in compliance with the California Environmental Quality Act (CEQA). The Ventana at Duncan Canyon Program EIR serves as the project-wide environmental document

for the Specific Plan and all subsequent development projects undertaken within the Specific Plan boundaries. The EIR is intended to be an informational document designed to provide the City decision makers and general public with a full understanding of the potential environmental effects of the Specific Plan development proposal.

## 1.4 GENERAL PLAN CONSISTENCY

The relationship between the Ventana at Duncan Canyon Specific Plan and the Fontana General Plan is that the Specific Plan provides a site specific, detailed description of development regulations, standards and guidelines for implementing General Plan goals, policies and actions.

The Specific Plan must be in conformance with, and consistent with the General Plan in order to implement the purpose and intent of the General Plan. The Ventana at Duncan Canyon Specific Plan is a specific action directed by the goals and policies contained within the Fontana General Plan.

General Plan consistency is achieved when the land uses proposed within the Specific Plan are compatible with, and serve to achieve the objectives, policies, general pattern of land uses and programs set forth in the General Plan. The Governor's Office of Planning and Research defines how a Specific Plan should be consistent with the General Plan:

*"An action, program or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment."*

The Ventana at Duncan Canyon Specific Plan has been developed to implement the goals and policies of the City of Fontana General Plan, and its RMU, "Regional Mixed Use" land use designation. It has been refined to reflect the City's vision for a "Corporate Corridor" along the I-15 Freeway. Therefore, this Specific Plan is considered consistent with the goals and policies of the General Plan (Source: Fontana General Plan, adopted October, 2003). A detailed discussion of General Plan conformance pertaining to goals and policies of each General Plan Element is provided in Section 2 of this Specific Plan.

## 1.5 ORGANIZATION OF THE SPECIFIC PLAN

The Ventana at Duncan Canyon Specific Plan is organized into the following chapters:

- **Section 1:** Introduction, includes the Specific Plan's purpose and intent, authority and scope, consistency with the General Plan and the plan's organization.
- **Section 2:** Project Summary and Setting, provides general information about the Project, its' location, site conditions, and it's general relationship to and consistency with the City of Fontana General Plan.
- **Section 3:** Community Development Plan, sets forth a master plan for the development of the property consisting of a land use plan, a circulation plan, and information on necessary public facility infrastructure improvements.

- **Section 4:** Development Standards and Regulations, includes specific plan development criteria for the project. This criterion is applied in the same manner as the Fontana Zoning and Development Code applies to other properties within the City.
- **Section 5:** Design Guidelines, contains design guidelines which will define the character of the community including architecture, landscaping, hardscape, walls, fences, screening and signage.
- **Section 6:** Specific Plan Administration, describes the project phasing and sets forth administrative procedures for implementing the Specific Plan.

## 1.6 SPECIFIC PLAN PREPARATION AND IMPLEMENTATION PROCESSES

The Ventana at Duncan Canyon Specific Plan has been prepared pursuant to the requirements of Section 65451 of the State Public Resources Code, and with Article II, Division 9, Sections 30-61 and 31-62 of the Fontana Zoning and Development Code. The City of Fontana Community Development Department, in cooperation with the applicant and his consultant team, has prepared this Specific Plan. The Specific Plan and Master Development Plan have been reviewed and refined by City staff, the Planning Commission and City Council in multiple public workshop study sessions, Development Advisory Board meetings, Technical Advisory Committee meetings and other coordination meetings during the project preparation and review process.

This Specific Plan is both a regulatory plan and a policy plan. It sets forth specific development regulations, which take precedence over current zoning regulations that the Master Development Plan must adhere to. It also provides design guidelines that establish policies to shape and guide the refinement of the Master Development Plan.

The Specific Plan regulations and policies are implemented through careful City staff Development Advisory Board, Planning Commission and City Council review and approval of tentative tract maps and, ultimately, through compliance with conditions of approval that must be met prior to the issuance of building and/or grading permits.

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## 2.0 Project Overview

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## **2.0 PROJECT LOCATION, SETTING AND OVERVIEW**

### **2.1 REGIONAL & LOCAL SETTING**

**The Ventana at Duncan Canyon Specific Plan** encompasses approximately 105 gross acres in the very northern part of the City of Fontana, on the sloping alluvial plain of the nearby San Gabriel Mountains, in western San Bernardino County. Regionally, this project site is approximately five (5) miles north of Downtown Fontana, ten (10) miles west of Downtown San Bernardino, twenty-two (22) miles north of the City of Riverside, and fifty (50) miles east of the City of Los Angeles. Figure 1, *Regional Location Map*, shows the Ventana at Duncan Canyon Specific Plan location within the southern California region. The site is adjacent to the southeast side of the Interstate 15 Freeway, at the future Duncan Canyon Interchange, giving the project site direct access to the regional freeway transportation system. Regional access is also provided by the nearby 210, 10, 215 and 60 Freeways.

The Ventana at Duncan Canyon Specific Plan project area is bounded by the following freeways, highways, streets and utility corridors:

- Interstate 15 Freeway to the North and West,
- Citrus Avenue to the East,
- Southern California Edison (SCE) Transmission Line Corridor to the South

Figure 2, *Vicinity Map*, shows an aerial photograph of the project area and surrounding streets and land uses. Duncan Canyon Road, running east/west, bisects the Specific Plan project area, and connects to Coyote Canyon Road and Cherry Avenue to the west. The Interstate 15 Freeway will serve as the primary access from the surrounding area after the Freeway on- and off-ramps are constructed. Currently, Citrus Avenue and Lytle Creek Road provide north/south access to the project area. Lytle Creek Road's current alignment is adjacent to the southeast side of the I-15 Freeway, and terminates at Duncan Canyon Road.

### **2.2 SURROUNDING LAND USES**

The Ventana at Duncan Canyon Specific Plan project area is located in a fast growing portion of North Fontana. The General Plan identifies this area of the City as "Growth Areas", and includes all of Northern Fontana. This area is currently experiencing significant amounts of new development. There are over a dozen Master Planned Developments in North Fontana, north of the 210 Freeway, that comprise thousands of new dwelling units and millions of square feet of commercial use that are approved and currently being built out. This area contains significant open space and recreational uses, including a golf course, a soccer complex, sports fields and other community and local park resources. Figure 3 identifies the known Master Planned Developments in Northern Fontana that are developed and built out, in the process of being developed, those in the process of being considered by the City, or those that are known to be in the planning stage.

Adjacent and surrounding land uses around the project area are summarized below, in Table 1. They are shown in the Local Vicinity Map, Figure 2.

**Table 1**  
**SURROUNDING LAND USES**

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NORTH: Interstate 15 Freeway, the Monarch Hills Master Planned Development beyond with the Angeles National Forest beyond.

EAST: North Fontana (Arboretum) Master Planned Community (Specific Plan currently being prepared) with City of Rialto development beyond

SOUTH: SCE Power Line Transmission Corridor, with the Citrus Heights, Westgate, J. W. Mitchell and Summit Heights Master Planned Communities beyond (These Specific Plans are approved and the Master Planned Communities are currently being built out).

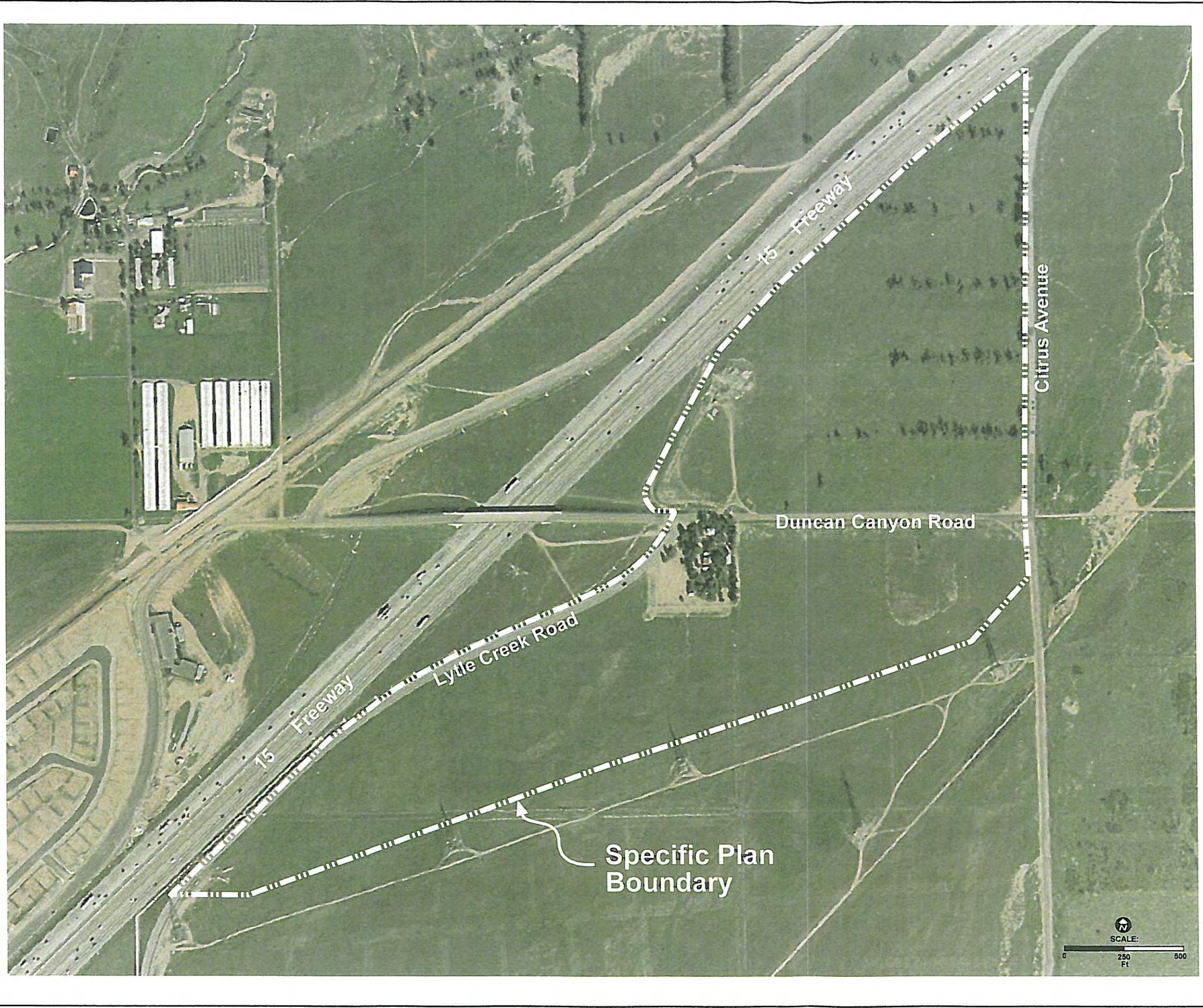
WEST: Interstate 15 Freeway, with the Coyote Canyon and Hunter's Ridge Specific Plans beyond (These Specific Plans are approved and the Master Planned Communities are currently being built out).

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Source: City of Fontana Community Development Department, December 2006



## Figure 1 **REGIONAL LOCATION MAP**



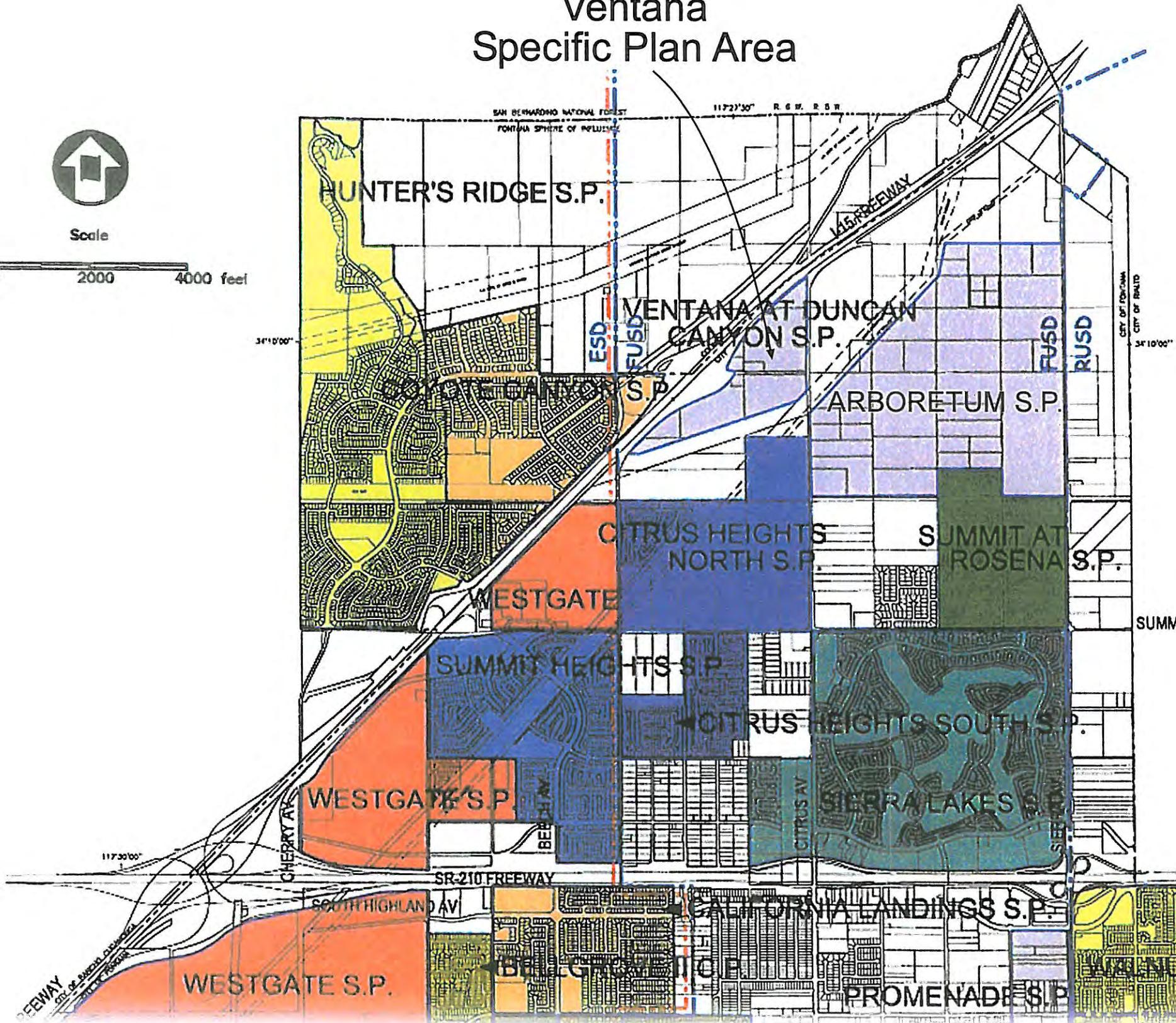
## SPECIFIC PLAN

**Figure 2**  
**Local Vicinity Map**

## Ventana Specific Plan Area



Scale  
0 2000 4000 feet



## SPECIFIC PLAN

### LEGEND

#### APPROVED AND PROPOSED SPECIFIC PLANS AND COMMUNITY PLANS

- BELLGROVE II C.P. (90 AC.)
- CALIFORNIA LANDINGS S.P. (223.2 AC.)
- CENTERSTONE AT THE LANDINGS CP(20AC)
- CITRUS HEIGHTS SOUTH S.P. (109.5 AC.)
- CITRUS HEIGHTS NORTH S.P. (206.9 AC.)
- COYOTE CANYON S.P. (283.3 AC.)
- EMPIRE CENTER S.P. (115.7 AC.)
- FOUNTANA GATEWAY S.P. (776 AC.)
- FOUNTANA STAR C.P. (30.08 AC.)
- HUNTER'S RIDGE S.P. (567.6 AC.)
- MORNINGSIDE C.P. (120 AC.)
- NORTHGATE S.P. (86.6 AC.)
- RANCHO FOUNTANA S.P. (510 AC.)
- SIERRA LAKES S.P. (700 AC.)
- SOUTHPARK S.P. (118 AC.)
- SOUTHRIDGE VILLAGE S.P. (2657 AC.)
- SOUTHWEST INDUSTRIAL PARK S.P. (JURUPA IND. PK) (1241 AC.)
- SOUTHWEST INDUSTRIAL PARK S.P. (SWIP) (622 AC.)
- SUMMIT HEIGHTS S.P. (316 AC.)
- SUMMIT AT ROSENA S.P. (185 AC.)
- SUMMIT AT ROSENA S.P. (185 AC.)
- WALNUT VILLAGE S.P. (342 AC.)
- WEST END S.P. (1478 AC.)
- WESTGATE S.P. (954 AC.)

#### TENTATIVE SPECIFIC PLANS

- ARBORETUM S.P. (487 AC.)
- PROMENADE S.P. (119 AC.)
- VALLEY TRAILS S.P. (291 AC.)
- VENTANA AT DUNCAN CANYON S.P. (99 AC.)

CITY LIMIT  
 SPHERE OF INFLUENCE  
 PARCEL  
 EASEMENT  
 SPECIFIC PLANS (S.P.)/COMMUNITY PLANS (C.P.)  
 CITY ADDRESS BLOCK

36.9 SQ. MI. WITHIN CITY LIMITS  
 15.4 SQ. MI. WITHIN SPHERE OF INFLUENCE  
 52.3 TOTAL SQ. MI.

SOURCE OF DATA: SPECIFIC PLAN DEVELOPMENT REPORTS

ELEVATION: 1295.83 FT.  
 BENCHMARK: CHISELED "X" ON NORTH END OF NORTH EAST  
 CURB RETURN SIERRA AND UPLAND AVENUES

### KEY MAP



AREA OF DETAIL



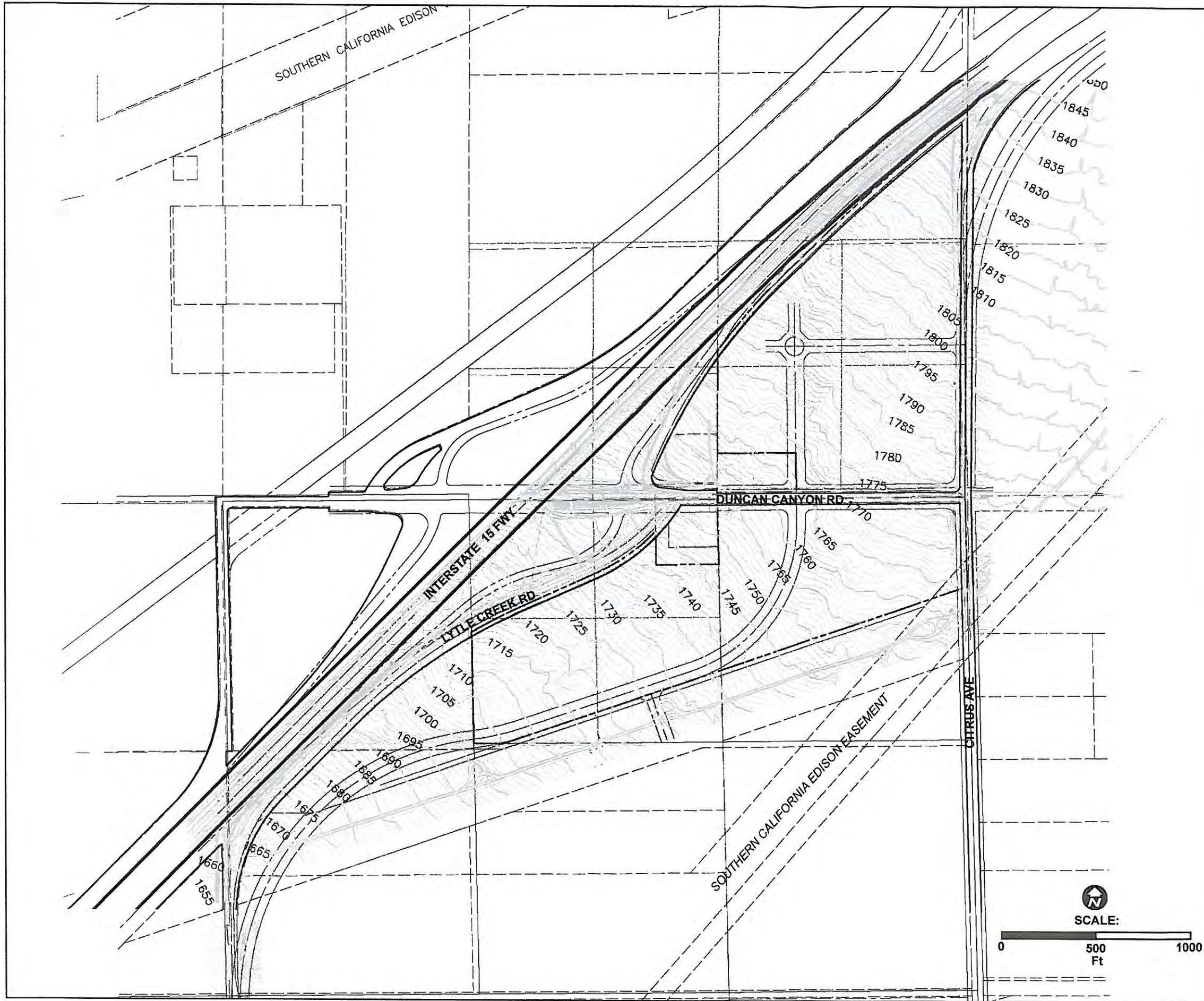
**Figure 3**  
**Surrounding Specific Plans**

## 2.3 EXISTING SITE CONDITIONS

The Ventana at Duncan Canyon Specific Plan project area is located on an alluvial plain formed by Lytle Creek. This drainage system is the primary collector for a significant watershed that includes large portions of the San Gabriel Mountains to the north. Portions of this alluvial fan serve as areas for groundwater recharge. No streams or seasonal creeks cross or impact the 105-acre project area.

The site is devoid of native vegetation. There are no Riparian, Coastal Sage Scrub or Annual Grass Habitats within this area. Portions of the project site are disked regularly for Fire Department Flammable Material Abatement. The primary vegetative resources within the Specific Plan project area are trees. There are five eucalyptus windrows that contain approximately 185 trees located on the triangular parcel north of Duncan Canyon Road, west of Citrus Avenue and east of the I-15 Freeway. These windrows were planted in the 1930s-to-1940s to protect vineyards from strong winds that are often present near the Cajon Pass. There are also a large number of mature trees that exist on the "Farmhouse" property located on the south side of Duncan Canyon Road, just east of Lytle Creek Road and the I-15 Freeway. There are a number of Olive, Pepper, Cottonwood and other trees that exist around the residence, barn and outbuildings.

The site's topography is generally flat to gently sloping in a northeast-to-southwest direction. This area does not have any distinguishing geologic features or formations. There are no rock outcroppings, hills or swales within the project area. Figure 4 is a Topography Map that shows the site and the adjacent area. Elevations range from approximately 1,830 feet above sea level at the northern edge of the project area at the I-15 and Citrus Avenue, down to approximately 1,665 feet at the southern edge along Lytle Creek Road and the I-15 Freeway. This area slopes at approximately two percent (2%) from north to south and has an elevation change of around 165 feet. Three major active faults are located in the surrounding region. This includes the San Andreas, the San Jacinto, and the Cucamonga Fault Zones, all located north of the project area. There are no known active faults that directly impact the Specific Plan project area. There is one existing occupied residence with numerous outbuildings on one property within the Specific Plan project area, located at 15885 Duncan Canyon Road.



**SPECIFIC PLAN**

**Figure 4**  
**Topography Map**

## 2.4 LAND USE DESIGNATIONS AND ZONING

**Fontana General Plan:** The Fontana General Plan Land Use Policy Map designates the entire 105-acre Specific Plan project area as "RMU", Regional Mixed Use. Figure 5 shows the General Plan and Zoning Land Use for the project site and surrounding area. This land use classification generally allows a 0.1 – 1.0 Floor Area Ratio (FAR) for non-residential, and 12 to 24 dwelling units per acre for residential uses. The General Plan preferred mix of uses is summarized as follows:

<u>Use</u>	<u>Preferred Mix</u>
Retail:	10% to 30%
Office:	5% to 15%
Light Industrial/Business Park:	15% to 30%
Residential:	25% to 35%
Public Open Space	4% to 6%

Areas designated Regional Mixed Use (RMU) are intended as centers for employment generated by the commercial and industrial uses. The Specific Plan project area is in one of six areas within the City that can accommodate this type of mixed-use development. Specific development types allowed within the RMU Zone include:

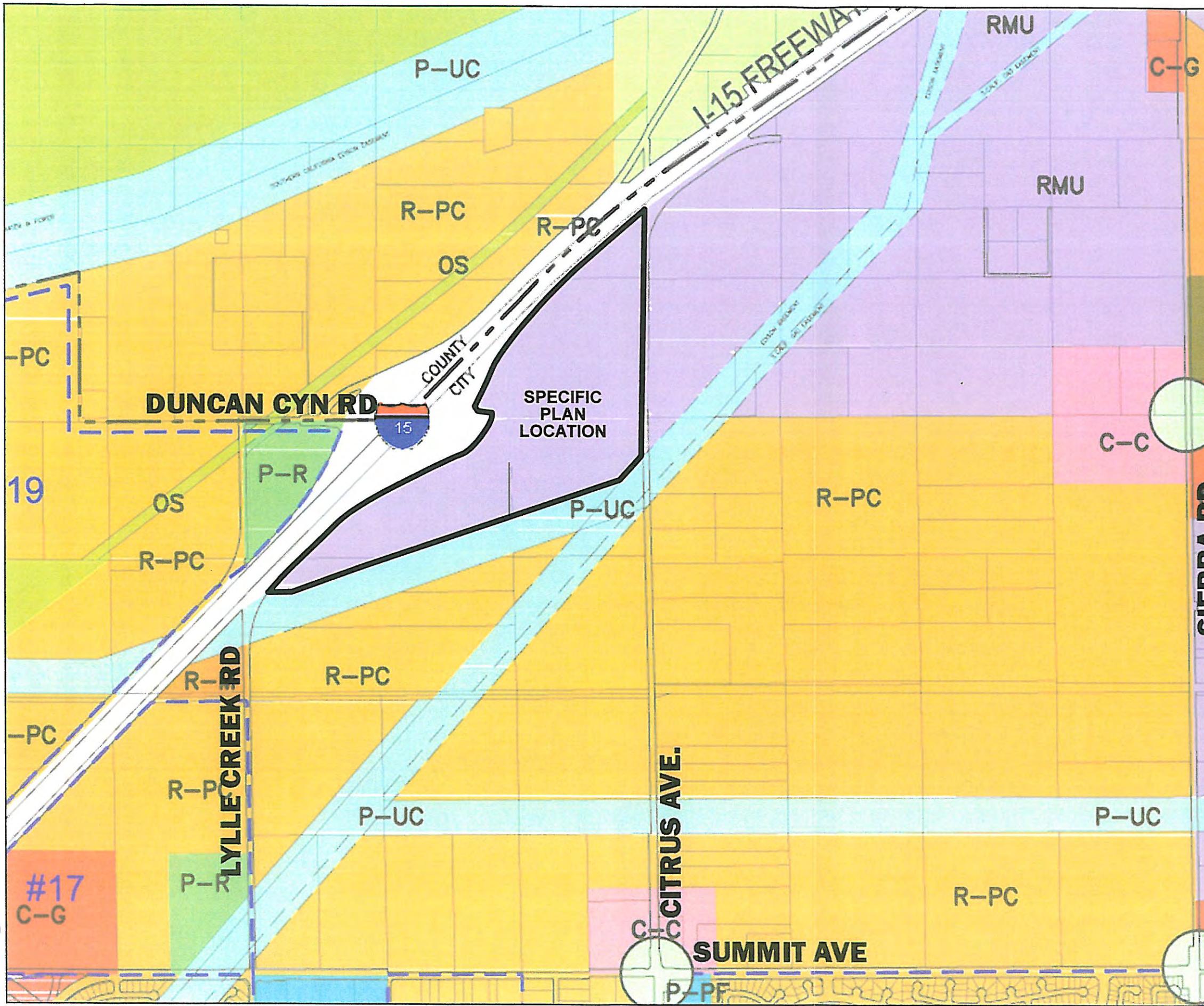
Higher Density Residential  
Research and Development Facilities;  
General Commercial Uses;  
Corporate Business Parks;  
Service Business Offices;  
Light Manufacturing;  
Warehouse Retail;  
Entertainment Centers;  
Hotels and Convention Centers;  
Day Care Centers;  
Public Open Space

Residential development at the higher, multi-family density designation is permitted if residential uses are a part of a Specific Plan. Warehousing and distribution facilities are not permitted in this land use category.

The distribution of project uses in RMU areas may deviate from the preferred mix and range of uses, depending on prevailing market conditions. The mix of uses can be accomplished:

- 1) as a combination of uses within a single structure, such as retail on the ground floor with residential or offices on upper stories;
- 2) as a combination of uses within a single parcel or group of parcels.

The intent is to create vibrant activity centers where the function and design of uses are more integrated than in traditional single-use areas, which are oftentimes more isolated in nature.



## **SPECIFIC PLAN**

## GENERAL PLAN LAND USE LEGEND

#### RESIDENTIAL DESIGNATIONS

- █ R-E Residential Estates (2 du/ac)
- █ R-PC Residential Planned Community (3.0-6.4 du/ac)
- █ R-SF Single Family Residential (2.1-5 du/ac)
- █ R-M Medium Density Residential
  - (5.1-7.6 du/ac for single-family detached product type)
  - (7.7-12 du/ac for single family attached or multiple family product type)
- █ R-MF Multi Family Residential (12.1-24 du/ac)

#### COMMERCIAL DESIGNATIONS

	C-C	Community Commercial (0.1-1.0 FAR)
	C-G	General Commercial (0.1-1.0 FAR)
	RMU	Regional Mixed Use (0.1-1.0 FAR for non-residential, 12-24 du/acre for residential)

#### INDUSTRIAL DESIGNATIONS

L-I Light Industrial (0.1-0.6)  
 I-G General Industrial (0.1-0.6 FAR)

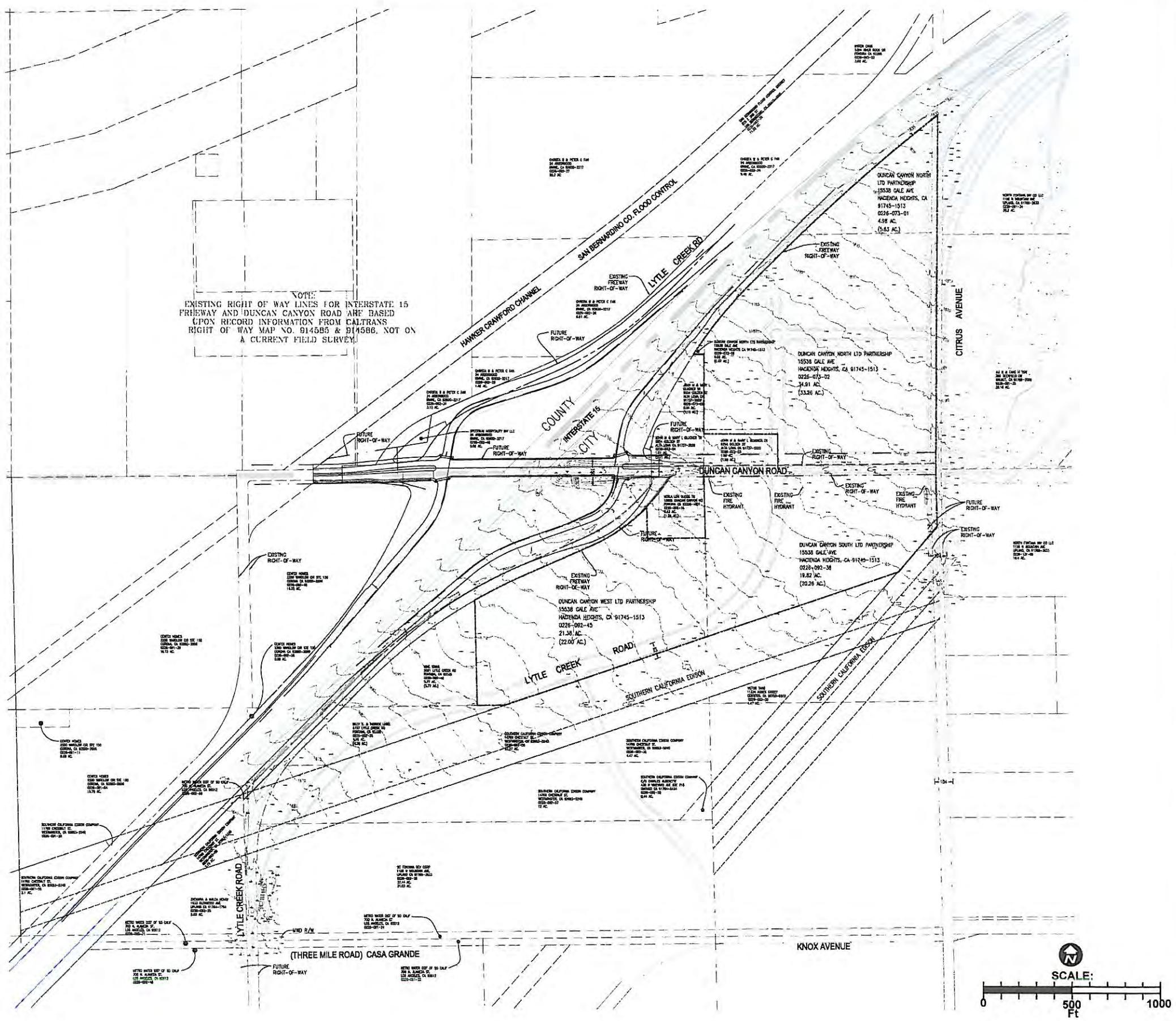
#### **PUBLIC DESIGNATIONS**

P-PF Public Facilities  
P-R Recreational Facilities  
P-UC Public Utility Corridors

#### OPEN SPACE DESIGNATIONS

### OPEN SOURCE DESIGNATIONS

## Figure 5 **GENERAL PLAN LAND USE MAP**



## **SPECIFIC PLAN**

## Figure 6 PROPERTY OWNERSHIP MAP

## 2.7 GOALS & OBJECTIVES OF THE SPECIFIC PLAN & PROJECT CONSISTENCY

The role of this document, as both a regulatory and planning document, is to facilitate the City's General Plan goals and policies as they relate to the North Fontana area and this particular site. The following is a discussion of conformance pertaining to goals of the Fontana General Plan and how The Ventana at Duncan Canyon Specific Plan is consistent with those relevant goals and policies:

### Land Use Element

#### **Goal:**

*Land Use in our community is balanced between residential, commercial, industrial, open space and recreation land uses that are developed to high standards of quality and provide diverse economic, social and cultural opportunities for our citizens and those who wish to invest here.*

#### **Policies:**

*Development shall be consistent with our land use plan and contribute to the maintenance of an economic base that provides high quality jobs for those who choose to both live and work in Fontana.*

*Activity centers identified conceptually on the Land Use Plan shall be the preferred form of development for residentially serving retail, services and entertainment uses, and shall incorporate open spaces for public gathering as well.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan sets forth a balance between residential, retail commercial, corporate office, and mixed uses that will be developed into a high quality, corporate corridor that provides for diverse economic, social and cultural opportunities that are unique to this area of the Inland Empire. It will result in a unique activity center environment that contributes to the maintenance of a viable economic base by offering a wide variety of jobs and a variety of higher density housing types.

#### **Goal:**

*Quality of life in our community is supported by development that avoids negative impacts on residents and businesses and is compatible with, and enhances, our natural and built environment.*

#### **Policies:**

*New development with potentially adverse impacts on existing neighborhoods or residents such as noise, traffic, emissions and storm water runoff, shall be located and designed so that quality of life and safety in existing neighborhoods are preserved.*

**Consistency:** The Ventana at Duncan Canyon Master Development Plan contained within this Specific Plan has been designed to avoid negative impacts on residents and businesses in the vicinity of the project area, and is compatible with the existing and future built environment of this designated growth area. Resulting noise, traffic, air pollution emissions and storm water

runoff from the project area are being considered in the overall design so that the quality of life and safety in existing and proposed neighborhoods near the project area are preserved.

**Goal:**

*Our community is developing in a unified, orderly, logical, environmentally sound manner, which ensures that the City is unified and accessible to all residents, and results in economically sound commercial areas, vibrant neighborhoods, and jobs rich centers.*

**Policies:**

*Areas adjacent to freeway and major arterial corridors shall be given special land use and development standards guidance.*

*Land uses within freeway and arterial corridors shall be arranged around focal points of varied sizes and configurations to convey a sense of distinctiveness.*

*Improvements shall be made to transportation corridors that promote physical connectivity and reflect consistently high aesthetic values.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan represents a unified, orderly, logical and environmentally sound development within a designated growth area. It has been designed to be accessible to all residents and will result in economically sound commercial center that is unique to the region. The site is adjacent to the Interstate 15 Freeway, and is bisected by Duncan Canyon Road in an east-west direction, and the realigned Lytle Creek Road in a north-south direction. The site is also bounded on the east by Citrus Avenue, a major arterial corridor. The Specific Plan sets forth special guidance for land use and development standards, and proposes special monumentation, focal points and design standards that convey a sense of quality, distinctiveness and high aesthetic values.

**Circulation Element**

**Goal:**

*A balanced transportation system for Fontana is provided that meets the mobility needs of current and future residents and ensures the safe and efficient movements of vehicles, people and goods throughout the City.*

**Policies:**

*Limit direct access from adjacent private properties to arterials to maintain an efficient and desirable quality of traffic flow.*

*Locate new development and their access points in such a way that traffic is not encouraged to utilize local residential streets and alleys for access to the development and its parking.*

*Require street dedications from adjacent properties when the land is necessary for additional transportation capacity and enhanced mobility for the welfare of the community.*

*Require new streets to comply with adopted geometric standards for major, primary and secondary arterials at intersections.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan project area is strategically located adjacent to the Interstate 15 Freeway at the future Duncan Canyon Road interchange in Northern Fontana. Development standards and design guidelines limit direct access from Duncan Canyon Road from adjacent private properties to achieve desired traffic flows. Additional right-of-way dedications are being required for improvements to the streets adjacent to the project area, including Duncan Canyon Road, Citrus Avenue, and a realigned Lytle Creek Road. All new streets will comply with standards set forth in the Alignment Study for this Specific Plan and the Circulation Element of the Fontana General Plan

Community Design Element

**Goal:**

*Our City has a unified overall community image and appearance with distinct districts and neighborhoods.*

**Policies:**

*Major entry points or gateways into the City, especially along arterial corridors, shall be marked with City identification and with enhanced landscaping and streetscape to highlight Fontana's identity.*

*Development in north Fontana should be designed to incorporate elements consistent with a Mediterranean design theme.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan establishes a continuing overall community image of quality development in this area of Fontana. The development standards and design guidelines envision a Mediterranean/Tuscan theme with enhanced streetscapes, landscaping and City identification. Significant design elements include a unique "Piazza", a "campanile" tower monument, and grade separated pedestrian access over Duncan Canyon Road and Lytle Creek Road. There are protected pedestrian walkways with enhanced landscape and hardscape treatments and other amenities throughout the Specific Plan project area.

**Goal:**

*The major arterial thoroughfares of the City contribute to the overall image and diverse character of the community.*

**Policies:**

*Major arterial highways shall be improved according to customized design guidance within and adjacent to public rights-of-way.*

*Adopt design guidelines for the review of projects along the I-10, 1-15 and I-210 corridors.*

**Consistency:** Duncan Canyon Road is the major east-west arterial that ultimately will connect the I-15 Freeway with Sierra Avenue. Citrus Avenue is the major north/south arterial thoroughfare through the central part of the City of Fontana that connects the 15, 210 and 10 Freeways. Entry treatments, landscape and hardscape treatments and other right-of-way improvement features that contribute to the quality image of the new developments are

established by this Specific Plan. Specific quality treatments and enhancements are proposed for this gateway area along Duncan Canyon Road and within the "Piazza" Commercial Center.

**Goal:**

*Existing and new development reflects extensive use of high-quality, contemporary design, incorporation unifying, community-wide design elements.*

**Policies:**

*Citywide landscape standards shall continue to be applied in new and revitalized development throughout the City.*

*View fencing and distinctively articulated masonry walls are preferred to long stretches of block walls adjoining residential areas.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan requires the extensive use of high-quality components that incorporate the desired design theme in this area of the City. Landscape and hardscape elements will also reflect the desired Mediterranean/Tuscan design theme. Walls and other types of screening guidelines are included as a part of the overall village design theme.

**Goal:**

*Activity centers, including shopping centers, contain a high level of pedestrian amenities, distinct and varied architectural details, and careful integration into surrounding residential areas.*

**Policies:**

*Architectural interest and variety shall be maintained through varied rooflines and detailed façade treatments.*

*The size and design of signs shall be related to the scale of the building or development and its relation to the street.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan's main design objective is to create a walkable, people oriented place and activity center with quality shops, restaurants, corporate offices and residences within a unique village atmosphere. Pedestrian corridors will have a high level of amenities, combined with distinctive Mediterranean/Tuscan architectural details that include tower features, arches and façade treatments. Signage will be scaled and designed to complement building scale and the project's relation to the I-15 Freeway, Duncan Canyon Road, Lytle Creek Road and other adjacent streets.

Economic Development Element

**Goal:**

*A sustainable balance of residential, commercial and industrial uses supports our City's economy.*

**Policies:**

*The City's pattern of development should balance revenue-consuming uses with revenue-generating uses.*

*Land uses should be sought that can adapt to emerging market and fiscal conditions throughout the plan time horizon.*

*The City should achieve a mix of land uses that capitalizes on transportation corridors, stimulates employment, offers a variety of housing types/lifestyle choices and can respond to market opportunities.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan sets forth a balance of commercial, corporate office, residential and mixed uses consistent with the General Plan's RMU land use classification that supports the City's economic vitality. Revenue generating uses make up the largest portion of the Specific Plan project area. Ventana at Duncan Canyon will capitalize on the I-15 Freeway and Duncan Canyon Road transportation corridors and stimulate employment opportunities in this area of Fontana. The residential villages will offer a variety of unique higher density housing types and lifestyle choices that are responding to new emerging housing needs in Fontana.

**Goal:**

*Expanded commercial development at key locations throughout the City serves the needs of the community and captures earlier revenue losses to surrounding areas.*

**Policies:**

*A full range of retail uses that support the local and specialty consumer, without creating adverse impacts on other nearby uses, should be supported.*

*The Boulevard Overlay District and Activity Center Overlay Districts should stimulate commercial development at key locations in the City as a means of stimulate successful commercial centers instead of marginal commercial strips.*

**Consistency:** The Ventana at Duncan Canyon Specific Plan area is located at a key gateway area into Northern Fontana from Interstate 15. The proposed mixed-use master planned development is intended to meet the rapidly growing residential population needs in this area and to retain revenues currently being lost to surrounding communities by providing corporate office uses and a unique neighborhood serving commercial center. The plan envisions a full range of retail uses that support both local and specialty consumers that will have a positive effect on other nearby uses. The Ventana at Duncan Canyon Master Development Plan is intended to stimulate a successful, comprehensive plan for a major corporate office and retail commercial development rather than piecemeal, strip commercial uses.

**Goal:**

*The City's Redevelopment Project Areas are fiscally sound and contribute significantly to the community's economic vitality, public safety, and the creation of its infrastructure.*

**Policies:**

*The City shall continue to promote new development, intensification and revitalization of properties within designated Redevelopment Project Areas.*

*Capital improvement strategies shall be used to reinforce the desirability of development and redevelopment within Redevelopment Project Areas.*

**Consistency:** The project area is located within the North Fontana Redevelopment project area and will contribute significantly to the community's economic vitality. The Ventana at Duncan Canyon Specific Plan sets forth a sound and viable development project that will result in expanded job opportunities and improved infrastructure for this fast growing area of the City. The City and potential master developers are coordinating the implementation of infrastructure and utilities for required roadway, water, sewer, storm drain, electricity and natural gas improvements to serve the project site.

### **Ventana at Duncan Canyon Specific Plan Goals and Objectives**

The Ventana at Duncan Canyon Specific Plan has established the following planning goals and objectives to meet the goals objectives, policies and actions set forth in the Fontana General Plan:

#### **Enhance the Northern Fontana Visual Environment**

- Develop a quality community with unique features and amenities for project frontages adjacent to the I-15 Freeway and Duncan Canyon Road that will enhance this areas visual identity and help establish the City's vision for a "Corporate Corridor".
- Improve Duncan Canyon Road, Citrus Avenue and Lytle Creek Road public rights-of-ways with parkways and other community identity amenities to enhance these corridors into Northern Fontana.
- Provide high quality architecture and landscaping throughout the community and along the I-15 Freeway, Duncan Canyon Road and Lytle Creek Road.
- Develop unique amenities that include tower features, archways and other visual features at the major gateways and visual corridors into Ventana.

#### **Create a Jobs/Housing Balance**

- Create a balanced community consisting of commercial, corporate office, residential and mixed uses.
- Create a variety of employment opportunities by developing a mix of land uses that include neighborhood commercial, corporate office, business park, and live/work units.

### **Facilitate Revenue Generating Uses**

- Provide for increased sales tax revenues through the development of facilities related to the planned retail commercial uses, including shops, restaurants, offices and other mixed uses.
- Generate additional tax increment revenues within the North Fontana Redevelopment Area by encouraging new development within the under-utilized Specific Plan project area.
- Enhance land values through the installation of major public improvements, amenities, and infrastructure. This will significantly increase assessed values, creating greater tax revenue to the City.

### **Facilitate a "Walkable" Village Environment**

- Provide for strong pedestrian linkages between all residential villages, the corporate office complex and the "Piazza" neighborhood commercial center.
- Provide a grade separated pedestrian crossing between the northern hotel, restaurants and shops to "Piazza" neighborhood center and corporate offices over Duncan Canyon Road that also serves as a strong visual statement as you enter from the I-15 Freeway.
- Provide a grade separated pedestrian crossing over Lytle Creek Road that facilitate safe access to the "Piazza" commercial center from the project's residential villages.
- Provide access to the City's planned regional trail system located with the Southern California Edison power transmission line corridor located adjacent to the south side of the Specific Plan project area, with connection to the new City of Fontana Park and Aquatic Center located approximately one-half mile south of Ventana.

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### 3.0 Elements of the Specific Plan

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## 3.0 ELEMENTS OF THE SPECIFIC PLAN

### 3.1 COMPREHENSIVE DEVELOPMENT PLAN

**Project Summary:** *The Ventana at Duncan Canyon Specific Plan* sets forth a range of land uses consistent with the Regional Mixed Use land use designation that focuses on creating a vibrant, village oriented mixed-use development, which is consistent with the "RMU" classification, and implements the goals, policies and objectives of the Fontana General Plan. The project area has the potential to create approximately 500,000 square feet of commercial uses and hundreds of dwelling units. The Ventana at Duncan Canyon Specific Plan encourages, and allows for a wide range of neighborhood serving retail commercial uses, corporate office uses, research and development, light manufacturing and high-tech assembly along the I-15 Freeway Corridor. Restaurants, shops, and other complementary uses will help to create an activity center at this future freeway interchange. The Plan also includes residential villages that contain a range of higher density product types, ranging from approximately 12 to 22 units per acre. Vertical mixed uses that combine commercial, office and residential are also encouraged. These uses are integrated with unique project focal points that include a pedestrian oriented "Piazza", a "Campanile" tower feature/monument and pedestrian linkages that create a "walkable" community.

**Design Objectives:** The Ventana at Duncan Canyon Specific Plan provides for a long-range comprehensive planning and design strategy that cannot be accomplished by designing the site on a piecemeal, parcel-by-parcel approach. To achieve a comprehensive design strategy, a number of key issues, opportunities, and constraints were considered during the preparation of the Specific Plan's Conceptual Development Master Plan. This included consideration of the Fontana General Plan and the City's Zoning and Development Code. It also includes careful consideration of other regulatory policies, as well as engineering feasibility, traffic and circulation requirements, environmental constraints, market acceptance, economic viability, surrounding land uses, development timing/phasing and local community goals and objectives. The following additional objectives for the Specific Plan are based upon extensive research and analysis aimed at establishing a unique, functional, economically viable development plan:

- ◆ Establish a viable, comprehensive development plan that implements the applicable goals, policies and actions set forth in the Fontana General Plan;
- ◆ Set forth development regulations and design guidelines that result in a distinctive design and mix of uses that invites activity and creates a unique sense of place in Fontana;
- ◆ Create a "Corporate Office Corridor" adjacent to the I-15 Freeway that serves as a significant employment center;
- ◆ Create a people-oriented "Piazza" in Fontana that complements and enhances the quality development occurring throughout the City;
- ◆ Make available a range of ownership housing for diverse ages and income levels that includes medium and higher density housing types in protected village settings.
- ◆ Provide employment opportunities for Fontana residents;

- ◆ Create convenient pedestrian linkages between the residential villages and the commercial and corporate office activity areas;
- ◆ Implement infrastructure improvements necessary to facilitate project implementation in a timely manner.

## 3.2 LAND USE PLAN

*The Ventana at Duncan Canyon Land Use Plan* contains a balanced mix of retail commercial, office and residential uses. The Land Use Plan focuses on creating a vibrant, "people oriented place" that combines a wide range of uses that include small shops, restaurants, corporate offices and other retail commercial uses, combined with four residential villages that offer a variety of detached and attached dwelling units. The community's design theme focuses on a Tuscan village with a central "Piazza" that reflects a strong Mediterranean design influence. The focal point of Ventana at Duncan Canyon is the mixed-use "Piazza" that provides for restaurants and shops on the ground floor, with offices above, and the potential for residential uses. A "campanile" tower feature will serve as a visual landmark from the surrounding area. A large fountain is planned to be located in the center of the Piazza that will help mask noise from the nearby freeway. The open Piazza area measures approximately 30,000 square feet and can be used for outdoor farmers markets, art fairs, concerts and other events. A large open area adjacent to the Piazza can also be used for community and neighborhood events.

The Land Use Plan has been designed to achieve a strong employment base, and to provide the opportunity for people to live close to where they work in a pedestrian friendly village environment.

Figure 7 provides an illustrative site plan of The Ventana at Duncan Canyon Specific Plan. Figure 8 shows the ten (10) Planning Areas that make up the Specific Plan. Table 2 provides a breakdown of each Planning Area, including gross acres, net acres, gross square feet of land area, potential square feet of commercial development, maximum number of dwelling units and net density.

The Ventana at Duncan Canyon Master Planned Community will provide a distinctive community image through the application of integrated design guidelines, development standards, a comprehensive landscaping plan and monumentation. These elements serve to unify the overall land use plan, reinforcing the community concept and incorporating significant design elements to reflect a quality development. Land uses set forth within the Specific Plan are generally summarized as follows:

### Commercial Land Uses:

Commercial land uses are proposed for the central portion of the project, adjacent to the Interstate 15 Freeway. Planning areas designated for commercial, corporate office and business park uses occupy approximately 46 gross acres, or forty-four percent (44%) of the project area. Conceptual plans for Planning Areas 1, 2, 3, 4, 8, 9 and 10 allow for up to approximately 745,500 square feet of commercial use.

Residential Land Uses:

Residential land uses are concentrated in the eastern portion of the Specific Plan, and occupy approximately 41.5 gross acres, or thirty-nine percent (39%) of the project area. Densities can range from approximately 10 up to 24 dwelling units per acre. Residential product types can include for-sale detached and attached residences, townhomes, clustered courtyard flats and condominiums, and higher density product types. Planning Area 2 is a "Mixed Use" area that allows the opportunity for residential uses within the "Piazza" area. The Specific Plan provides for the development of a maximum of 842 new dwelling units in Planning Areas 2, 5, 6 and 7.

Mixed Land Uses

Planning Area 2 includes integrated mixed-uses. It includes the potential for vertically mixed uses in the "Piazza" area with restaurants, shops, offices and residential uses. It also provides for other neighborhood serving commercial uses that includes a market and other convenience retail uses. This Planning Area occupies approximately 11.4 acres and could accommodate up to approximately 94,000 square feet of commercial/office use and up to 45 residential units.

Open Space and Recreation

In lieu of providing public parks on site, Ventana will contribute in-lieu fees to the City for development of parkland. Ventana provides individual private recreation uses for each of the four residential villages. Each village shall have a private recreational amenity package that typically includes a pool, spa, tot lot, restroom, outdoor shower, barbecues and benches set in either a garden or turf area setting, and open space. Other amenities are also included. Recreational amenities are located within convenient walking distances from homes in each planning area, and to the Town Center and Piazza commercial areas of Ventana.

In addition to the private recreation areas in each residential village, the "Piazza" in Planning Area 2 contains approximately 30,000 square feet of open area as a community amenity (0.7 acres).

Dedicated Public Rights-of-way

The project includes the realignment and extension of Lytle Creek Road, the full width improvement of Duncan Canyon Road and the half-width improvement of Citrus Avenue within the Specific Plan project area. Local streets within the residential villages will be private and maintained by local homeowners association or similar entity. Dedicated public rights-of-way occupy approximately 17.7 acres, or fourteen percent. Overall, the project's primary circulation system occupies approximately 19.3 acres, or seventeen percent (17%) of the Specific Plan project area.

**PLANNING AREAS**

Ten (10) distinct development areas, designated as "Planning Areas" have been established in order to implement the goals and objectives of The Ventana at Duncan Canyon Specific Plan. These planning areas were formed and designed on the basis of logical clustering of

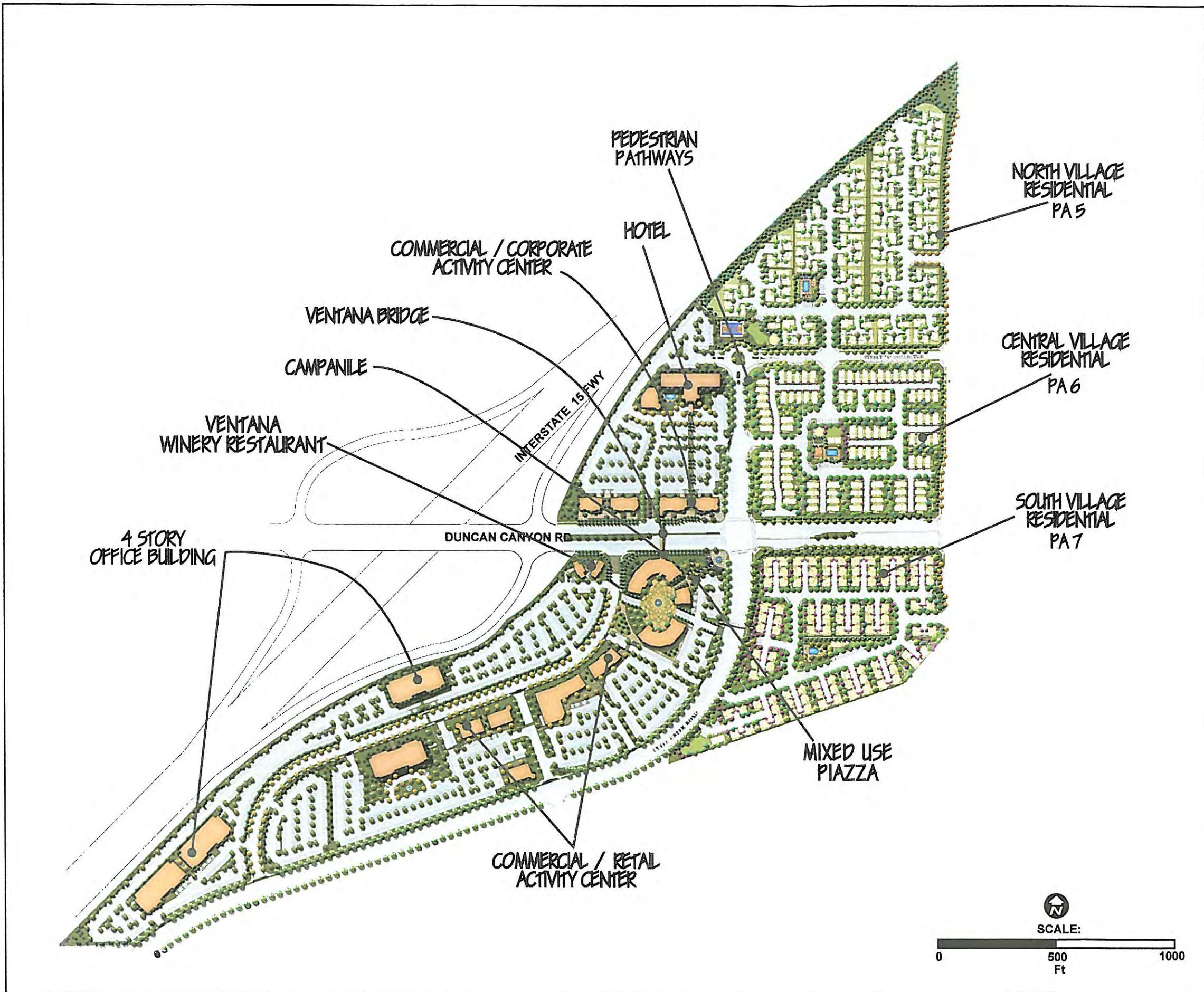
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Section 3.0  
**ELEMENTS OF THE SPECIFIC PLAN**

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development and the existing surrounding circulation system that serves the project area, and upon existing property ownerships. Each planning area will have unique characteristics, but is integrated into a cohesive master plan of commercial and corporate office activity centers and residential villages. Together, the planning areas form a broader master planned community interconnected by vehicle and pedestrian linkages that integrate the various uses.

Development standards for each planning area are set forth in Section 4 of this Specific Plan. Development in each planning area will closely conform to the development standards presented in the following section. Actual residential lot configurations, site planning of the commercial development and selection of specific commercial uses are being determined at the tentative tract map stage. This determines the actual number of dwelling units allocated to a particular residential planning area, and the actual square footage of commercial development may differ slightly from the numbers specified in the Specific Plan. Up to fifteen percent (15%) of the allowed dwelling units in a particular residential planning area may be transferred to another residential planning area, provided that the maximum unit count for the Specific Plan does not exceed 842 dwelling units. Up to fifteen percent (15%) of the commercial square footage of any commercial or mixed use planning area may be transferred to another commercial or mixed use planning area, provided that the maximum square footage allowed within the Specific Plan does not exceed 574,500 square feet. The development standards and design guidelines contained in Sections 4 and 5 of this Specific Plan, respectively, will ensure uniformity of the use and design with the overall intent of the Ventana at Duncan Canyon Master Development Plan.



PLANNING AREA	PLANNING AREA LAND USE	PLANNING AREA DESCRIPTION	GROSS ACRES	NET ACRES	MAXIMUM FAR <sup>1</sup> OR NET DENSITY <sup>2</sup>	PROJECTED COMMERCIAL SQUARE FEET	MAXIMUM DWELLING UNITS
1	“C” Commercial	Mid-rise Hotel, Retail & Restaurant	6.45	5.75	1:1	116,000	0
2	“MU” Mixed Use	Central Mixed Use Retail/Office/ Residential	14.46	11.37	1:1	104,000	45
3	“C” Commercial	Central Corporate Office/R & D/ Light Manufacturing	5.05	5.05	1:1	100,000	0
4	“C” Commercial	Central Corporate Office/R & D/Retail	9.85	7.45	1:1	114,000	0
5	“MDR” Medium or “MHDR” Medium High Density Residential	“North” Residential Village	18.69	16.76	20 du/ac	-	335
6	“MDR” Medium Density Residential	“Central” Residential Village	15.41	11.70	22 du/ac	-	257
7	“MDR” Medium Density Residential	“South” Residential Village	15.83	12.95	16 du/ac	-	205
8	“C” Commercial	Retail/Restaurants (Blucker)	4.84	3.64	1:1	32,500	0
9	“MU” Mixed Use	Central Mixed Use Retail/ Restaurant (Quoss)	2.81	2.61	1:1	8,000	0
10	“C” Commercial	South Corporate Office/R & D/Light Manufacturing (Ilang/Ismail)	11.40	9.86	1:1	100,000	0
<b>TOTALS</b>			104.79	87.11	19 du/ac	574,500	842

<sup>1</sup> FAR: Floor Area Ratio – The total gross building area divided by the total site area.  
<sup>2</sup> Density: The number of dwelling units per net acre of land.

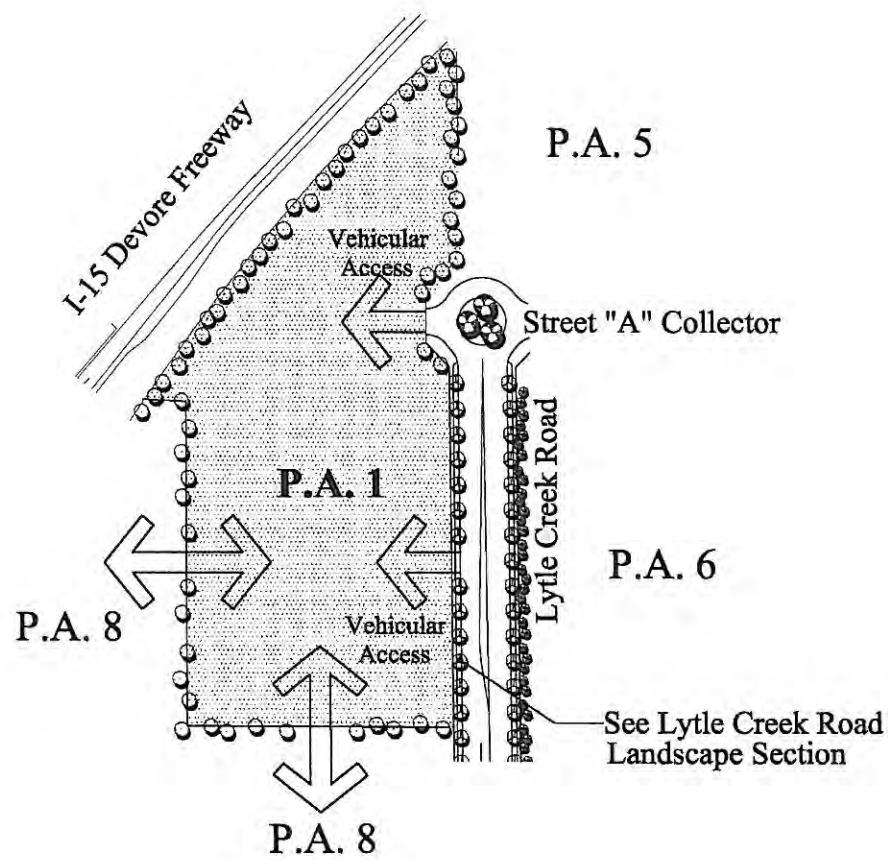


## SPECIFIC PLAN

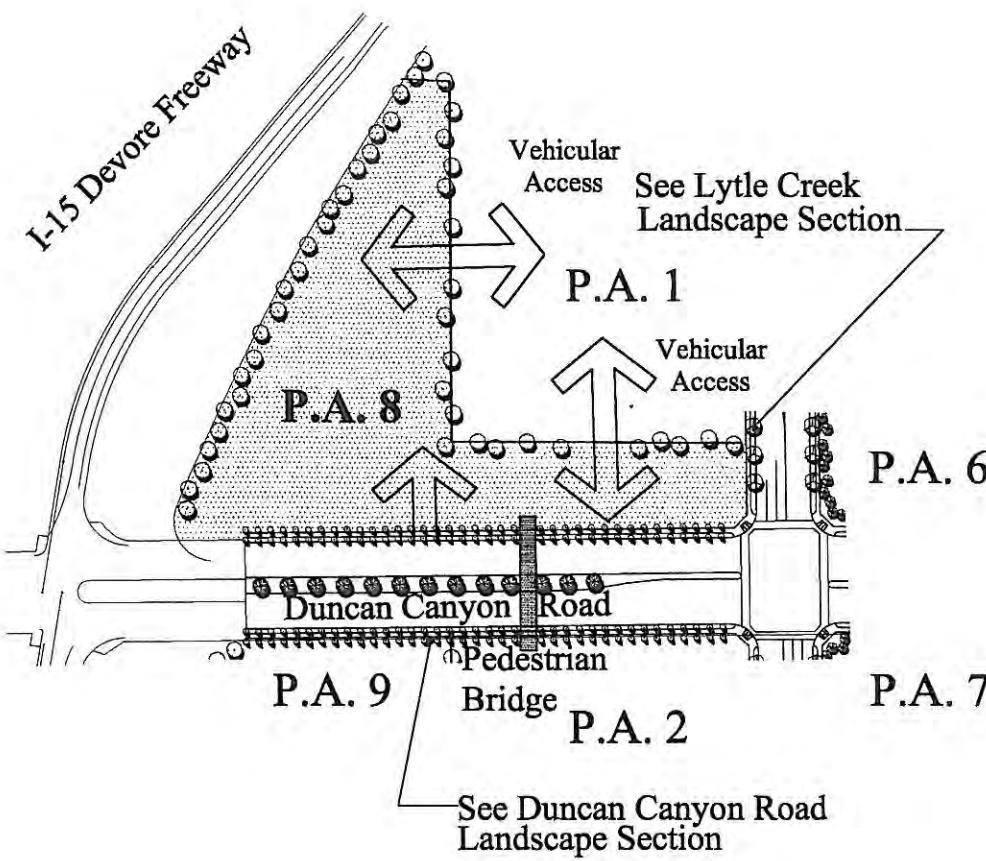
- C = Commercial
- MU = Mixed Use
- MDR = Medium Density Residential
- MHDR = Medium High Density Residential

**FIGURE 8**  
**PLANNING AREA SUMMARY**

### PLANNING AREA 1



### PLANNING AREA 8

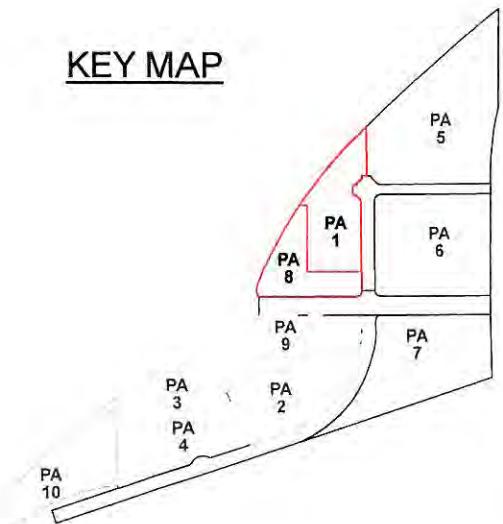


### **PLANNING AREAS 1 & 8 NORTH CORPORATE COMPLEX**



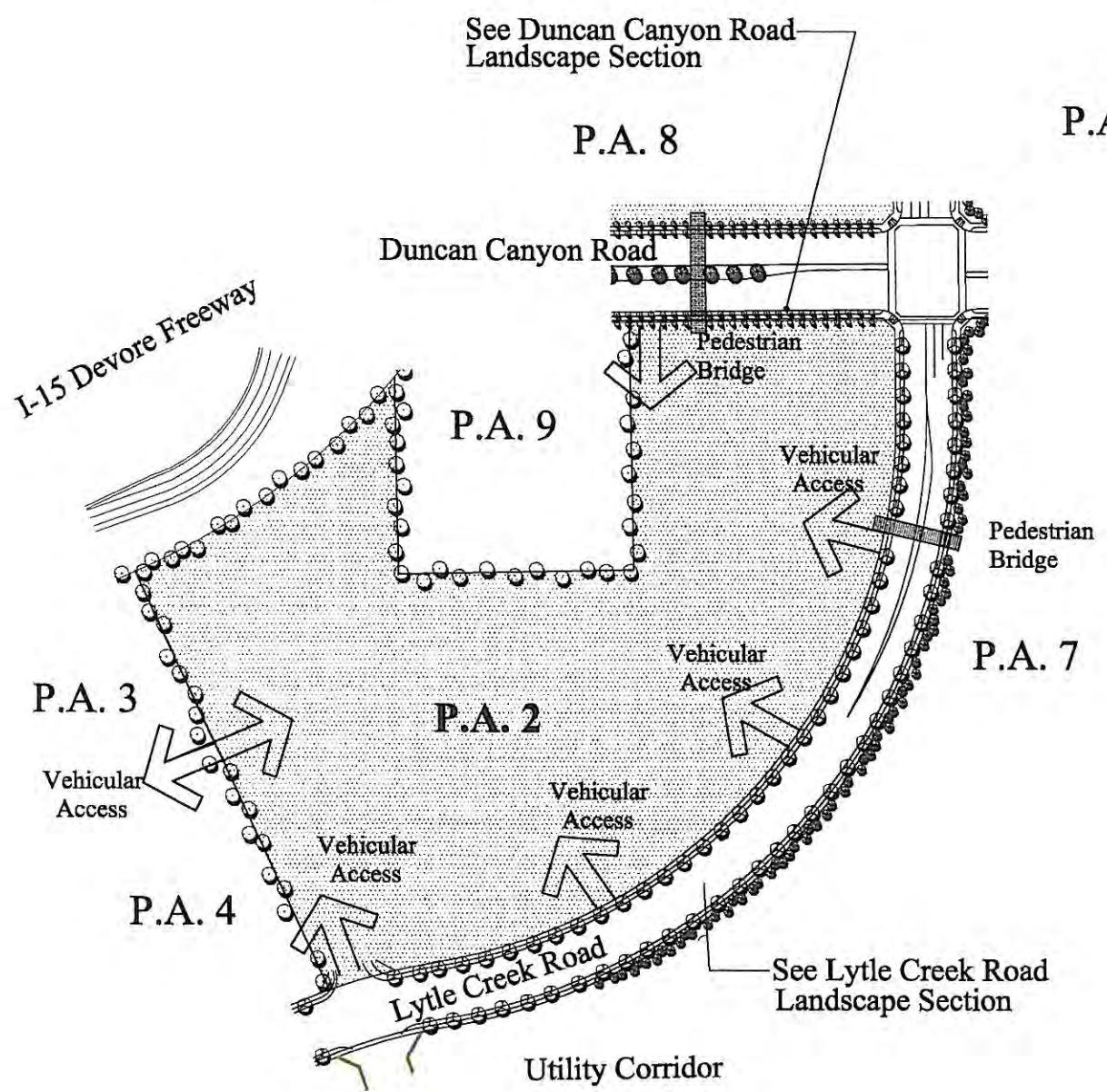
### **SPECIFIC PLAN**

#### KEY MAP



**Figure 9  
PLANNING AREAS  
1&8**

## PLANNING AREA 2

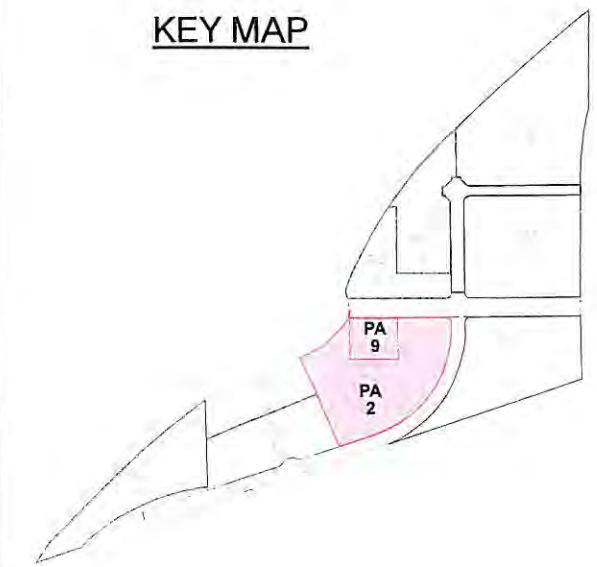


## PLANNING AREAS 2 & 9 PIAZZA & NEIGHBORHOOD COMMERCIAL CENTER



## SPECIFIC PLAN

### KEY MAP



## PLANNING AREA 9

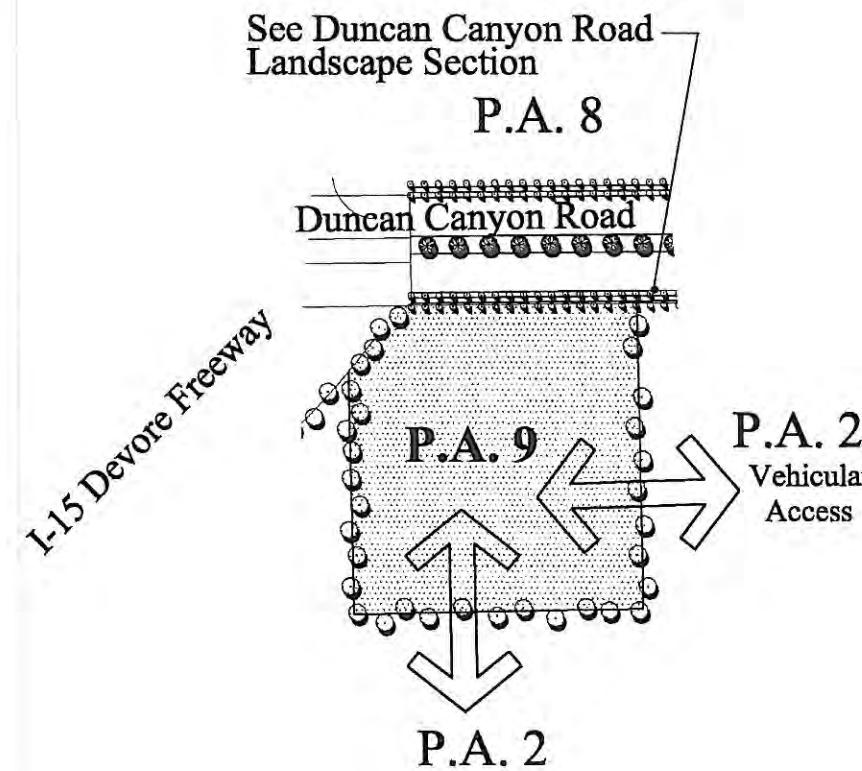


Figure 10  
PLANNING AREAS  
2&9

**Planning Areas 3, & 4:** These two Planning Areas are located adjacent to the I-15 Freeway on the west, and the realigned Lytle Creek Road on the south. Planning Areas 3 and 4 have excellent visibility from the I-15 Freeway. They have approximately 12.5 net acres and would allow for a maximum of 214,000 square feet of Corporate Office, Research and Development, Light Manufacturing and retail commercial uses. These Planning Areas can accommodate large, multi-story office buildings or smaller two-story buildings. Other compatible commercial uses and hotels would also be allowed in these planning areas. Restaurant and other types of retail uses would be allowed on the ground floor of the corporate office buildings in Planning Areas 3 and 4.

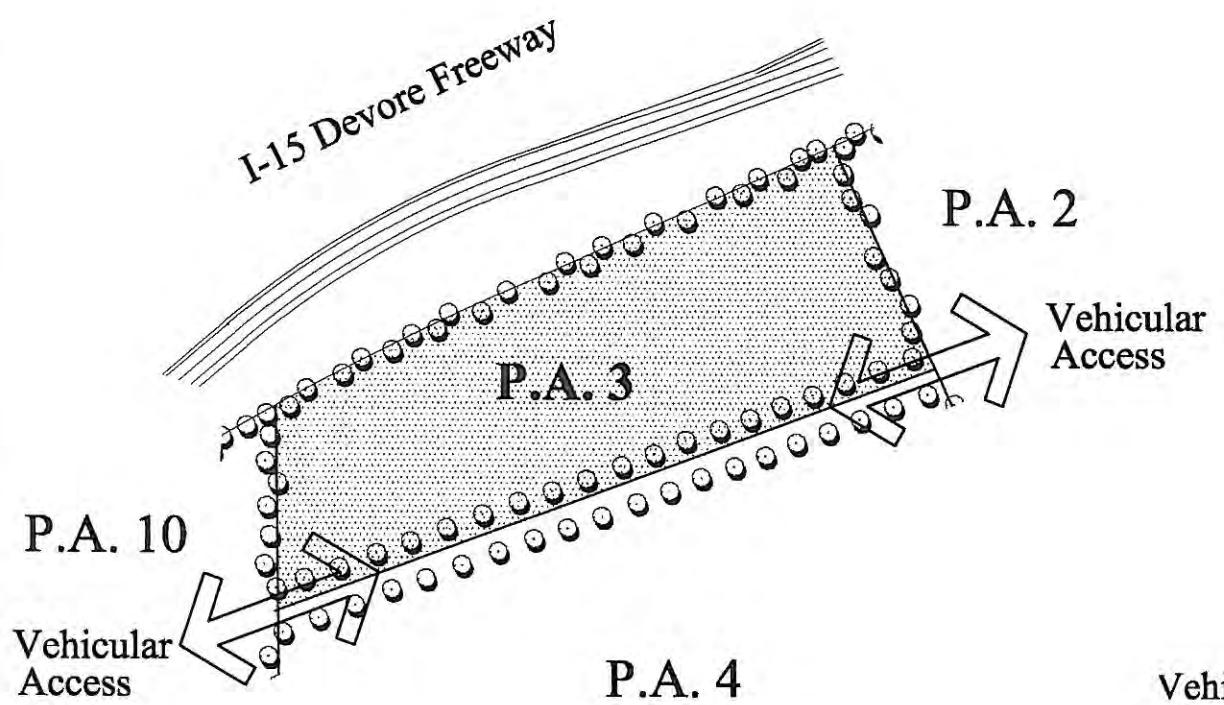
Figure 11 provides general planning criteria for Planning Areas 3 and 4, including vehicular access, walls and landscaper features. Figure 25 provides the conceptual design criteria for the commercial development of these two "Corporate Corridor" Planning Areas, and Planning Area 10 to the south.

**Planning Area 10:** Planning Area 10 is the southernmost "Corporate Corridor" Planning Area located southwest of Planning Areas 3 and 4, and northwest of the realigned Lytle Creek Road. This Planning Area is located immediately adjacent to the I-15 Freeway and also has excellent visibility from both northbound and southbound Freeway traffic. This Planning Area has approximately 9.9 net acres and can accommodate up to 100,000 square feet of Corporate Office, Research and Development, Light Manufacturing uses. No outdoor storage and/or servicing are allowed related to Light Manufacturing and High-tech Assembly uses in this Planning Area. Truck loading bays, other than those required by Code are not allowed. Interior storage areas within light manufacturing and high-tech assembly uses are limited to ten percent (10%) of the building area.

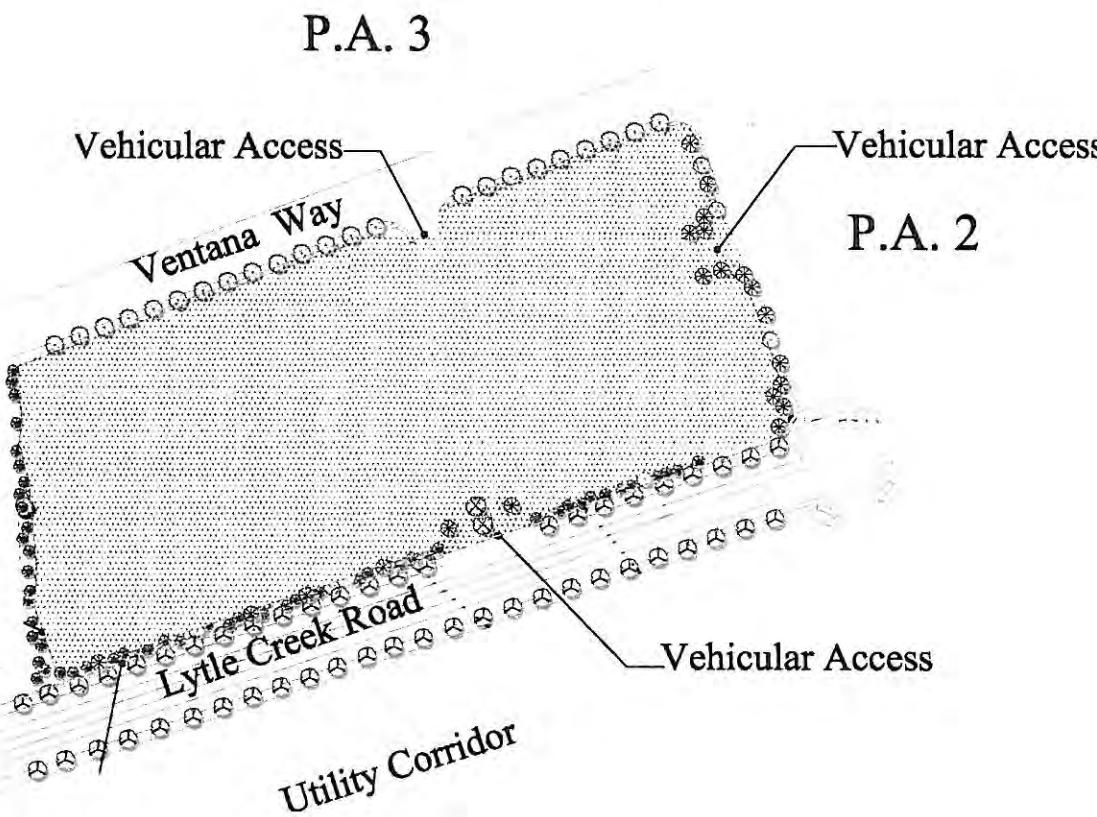
Restaurant and other types of retail uses would be allowed on the ground floor of the corporate office buildings in Planning Area 10. Planning Area 10 is under separate ownership, and is located in the southwestern corner of the Specific Plan project area.

Figure 12 provides general planning criteria for this planning area, including vehicular access, walls and landscape features. Figure 25 provides architectural design standard for this "Corporate Corridor" Planning Area, and for Planning Areas 3, and 4, to the north.

### PLANNING AREA 3



### PLANNING AREA 4

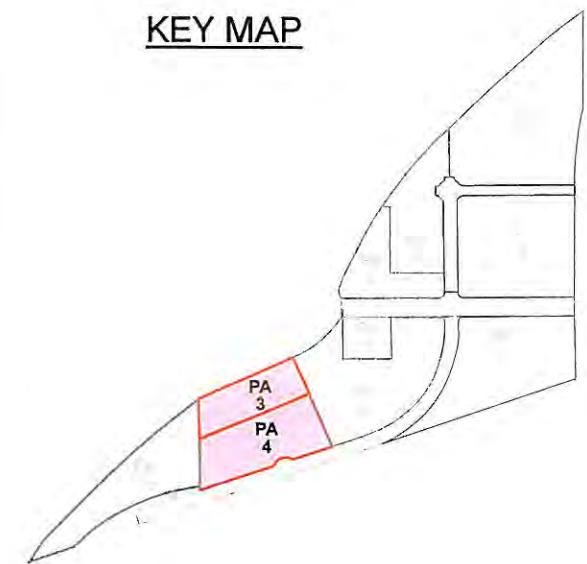


### **PLANNING AREAS 3 & 4 CENTRAL CORPORATE COMPLEX**

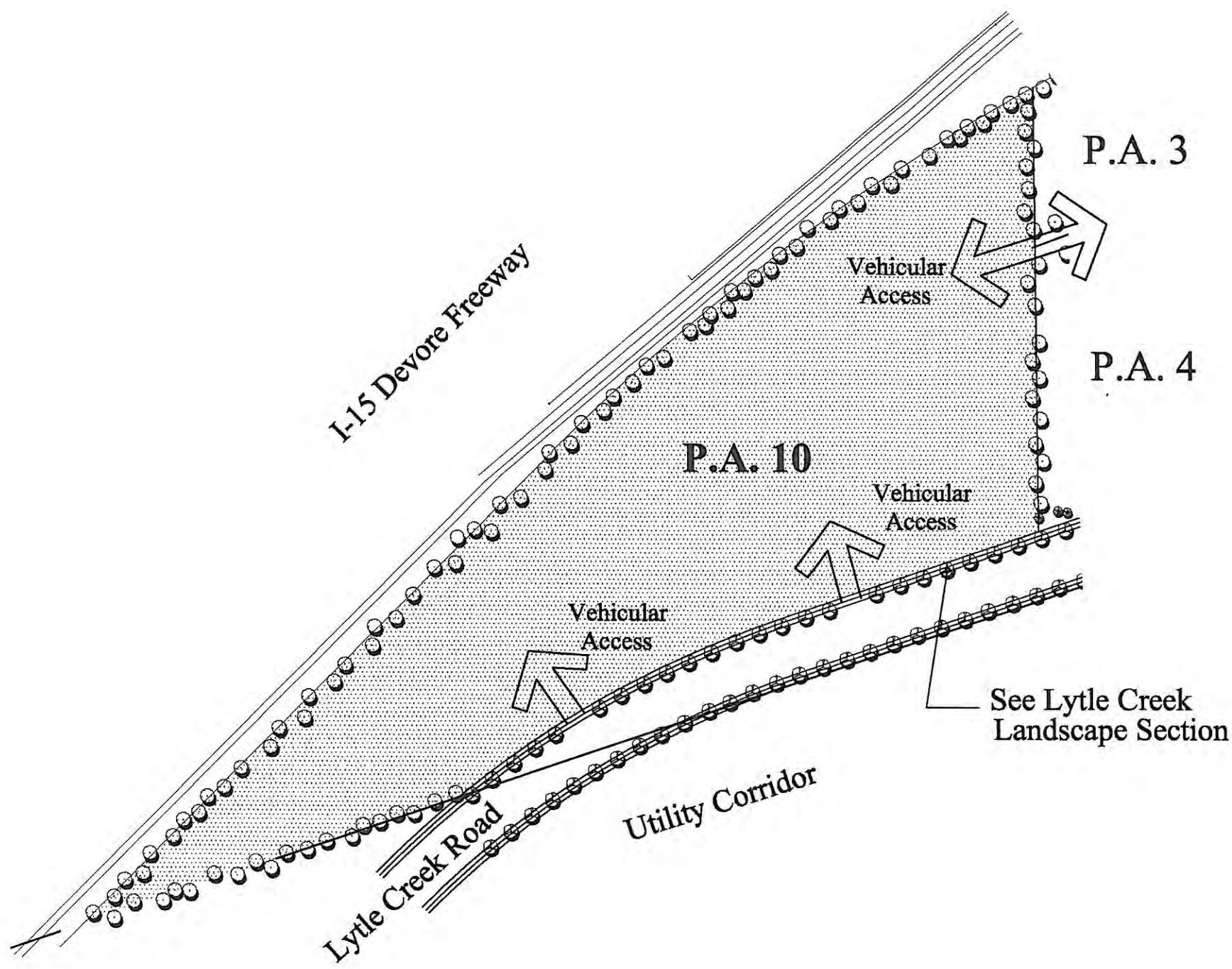


### **SPECIFIC PLAN**

#### KEY MAP



**Figure 11  
PLANNING AREAS  
3&4**

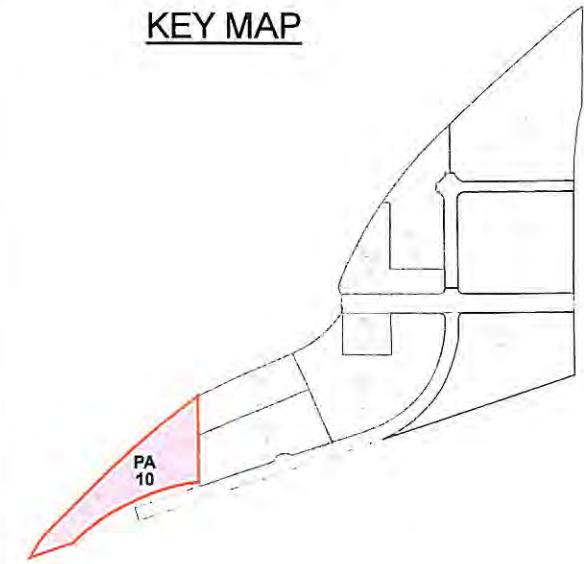


**PLANNING AREAS 10  
SOUTH CORPORATE COMPLEX**



**SPECIFIC PLAN**

KEY MAP



**Figure 12  
PLANNING AREA  
10**

***Planning Area 5:*** Planning Area 5 is the "North" Residential Village, located west of Citrus Avenue and north of the Lytle Creek Road extension. This area has 16.8 net acres and can accommodate a maximum of 335 dwelling units. The envisioned housing type could be either single-family detached clusters four- to six-plex townhomes with attached garages, or higher density residential product types with a maximum net density of approximately 20 units per acre. All units would be for sale and would consist of two, three and four bedroom homes. The streets would be private and maintained through a Homeowners Association or similar entity.

This area has approximately 0.90 acres of private recreation area, including a swimming pool, spa, bathroom/shower facility, full size basketball court, two tot lots, two barbecue facilities and an open play area (refer to Figure 28a and Table 6a). This area provides for linkages to adjacent planning areas, and encourages pedestrian access to the residential village to the south, and to the corporate office complex located to the southwest.

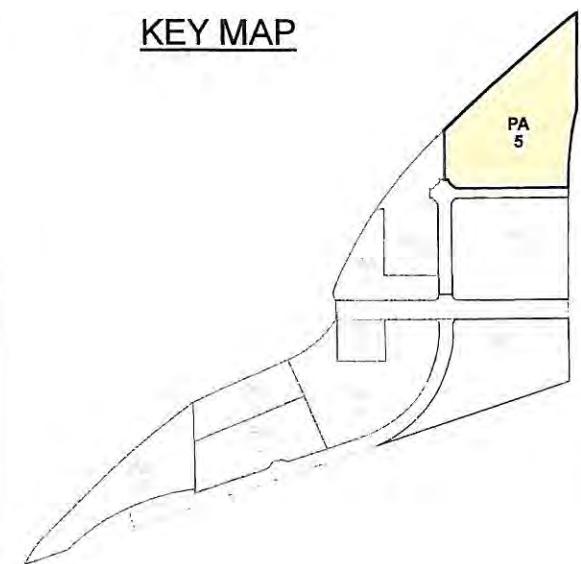
Figure 13 provides general planning criteria for this planning area, including vehicular access, walls and landscape features. Figure 27a through 27h provides architectural design standards for the three residential villages.

***Planning Area 6:*** Planning Area 6 is the "Central" Residential Village, located west of Citrus Avenue, north of Duncan Canyon Road and east of the Lytle Creek Road extension. This area has approximately 11.7 net acres and can accommodate up to 257 dwelling units. The envisioned housing type could be two-story, single-family homes, or higher density residential product types with a maximum net density of up to 22 units per acre. All units would be for sale and may consist of two to four bedroom homes. The streets would be private and maintained through a Community Facilities District or a Homeowners Association.

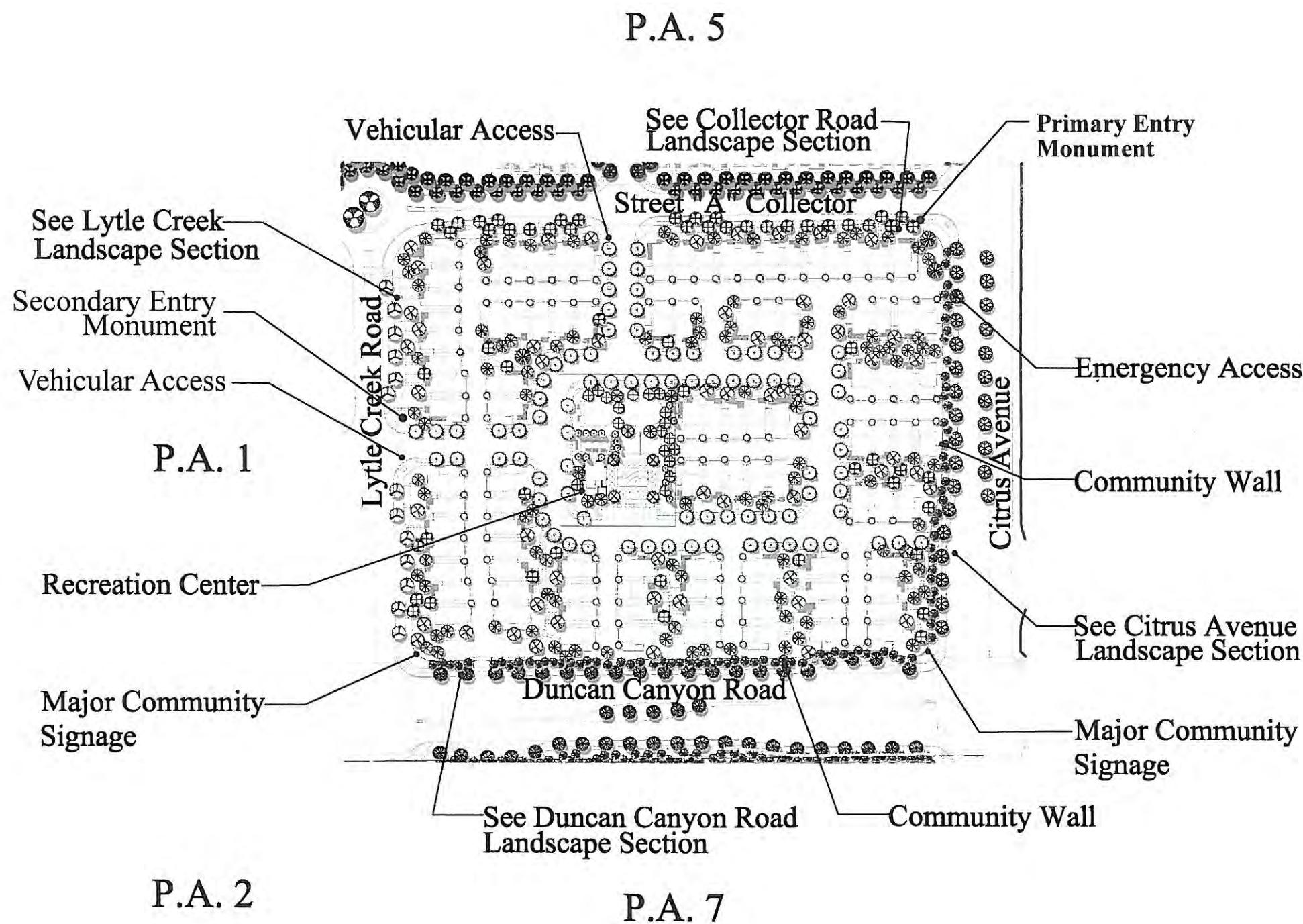
This area has approximately 0.65 acres of recreation area. Planning Area 6 includes a meeting room, kitchen, bathrooms and showers that are available for use by all residents in Ventana. Other amenities available to residents of this Planning Area include a pool, spa, sand volleyball court, a tot lot and a barbecue (refer to Figure 28a and Table 6b). The open space area within Planning Area 6 provides for strong linkages to adjacent planning areas, and encourages pedestrian access to the residential villages to the north and south, and to the corporate office complex located to the west.

Figure 14 provides general planning criteria for Planning Area 6, including the location of vehicular access, walls and landscape features. Figure 27a through 27h provides architectural design standard for the three residential villages.

## SPECIFIC PLAN



**Figure 13  
PLANNING AREA  
5**



## SPECIFIC PLAN

### KEY MAP



Figure 14  
PLANNING AREA  
6

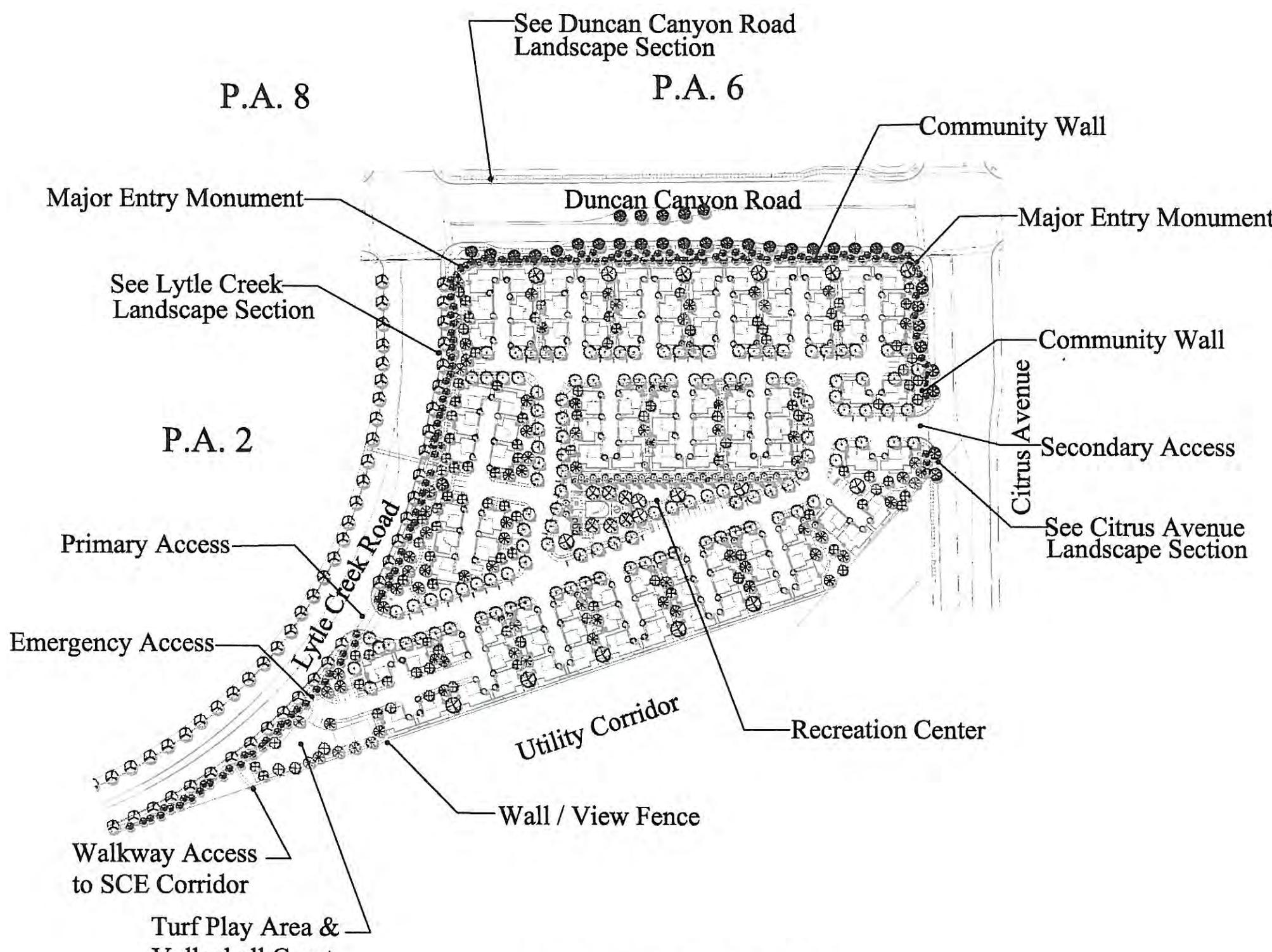
**Planning Area 7:** Planning Area 7 is the "South" Residential Village. It is located west of Citrus Avenue, south of Duncan Canyon Road and east of the realigned Lytle Creek Road extension. This area has approximately 12.9 net acres and can accommodate up to 205 dwelling units. The envisioned housing type could be "Green Court Cluster" homes, or a higher density residential product types with a maximum net density of up to 16 units per acre. All units would be for sale and would consist of two, three and four bedroom homes. The streets and common areas would be private and maintained through a homeowners association or similar entity.

This area has approximately 0.90 acres of private recreation area, and, like the previous residential planning areas, contains a swimming pool, spa, play equipment, a sand volleyball court and barbecue area (refer to Figure 28a and Table 6c). The private recreation area within Planning Area 7 provides for direct linkages to adjacent planning areas, and encourages pedestrian access to the residential villages to the north and west, and to the "Piazza" area located to the west.

A pedestrian bridge over Lytle Creek Road would connect the "South" Residential Village to the Piazza commercial center (Planning Area 2). Residences in this Planning Area would also have direct access to planned regional trails to be located with the Southern California Edison power transmission corridor adjacent to the south side of Planning Area 7.

Figure 15 provides general planning criteria for this planning area, including the location of vehicular access, walls and landscaper features. Figure 27a through 27h provides design standard for the three residential villages.

**SPECIFIC PLAN**



**PLANNING AREA 7**  
**"SOUTH" RESIDENTIAL VILLAGE**

**Figure 15**  
**PLANNING AREA**  
**7**

### 3.3 CIRCULATION PLAN

#### VEHICLE CIRCULATION

The Ventana at Duncan Canyon Specific Plan proposes circulation improvements consistent with the City's Circulation Master Plan, and reflects refinements developed by City Engineers and Planning staff and recently approved by the Fontana City Council. Figure 16, "Circulation Plan", shows the proposed freeway on and off-ramps, public street layout and alignments within the Specific Plan project area. Descriptions of the freeway interchange improvements being pursued by the City of Fontana and Caltrans, and the public right-of-way circulation improvements that will be implemented as a part of the Specific Plan are summarized below.

Interstate 15 Freeway: The Ventana at Duncan Canyon Specific Plan project area is located adjacent to the southeast side of the existing Interstate 15 Freeway. This major interstate transportation corridor connects San Diego with Las Vegas, and destinations farther east. It has a High Occupancy Vehicle lane and four travel lanes in each direction. It provides excellent regional access to other nearby interstate freeways, including the 210, 215, 10 and 60 Freeways. The planned future interchange at the I-15 Freeway and Duncan Canyon Road will provide direct regional access to the Specific Plan project area, and to the surrounding existing, developing and proposed master planned developments in this area in North Fontana. The on and off-ramps proposed for the future I-15 Freeway/Duncan Canyon Road Interchange are currently in the design stage and planned for construction in the 2009/2010 timeframe. This interchange is a key infrastructure improvement necessary for the successful completion of the Ventana Master Planned Community, and to the numerous other master planned developments in this area of the City.

Duncan Canyon Road: Duncan Canyon Road, between the 15 Freeway and Citrus Avenue is designated as a "Major Highway" in the City's Circulation Master Plan. It will have a minimum mid-block right-of-way width of 134 feet west of Lytle Creek Road. This includes a 26-foot median, three travel lanes in each direction and 12-foot wide parkways that contain six-foot sidewalks on each side of the street. Duncan Canyon Road, east of Lytle Creek Road will have a mid-block right-of-way width of 132 feet. Figure 17b provides mid-block section views of proposed Duncan Canyon Road improvements. The Duncan Canyon Road right-of way will be expanded on the north side of its current alignment because of the planned overpass improvements over the 15 Freeway. Public transportation bus turnouts are being provided along Duncan Canyon Road as requested by Omnitrans. All bus stops and future shelter designs shall comply with American Disabilities Act Accessibility Guidelines (ADAAG) to ensure that the shelters comply with the latest ADA standards. Currently within the project area, Duncan Canyon Road is an older, minimally improved two-lane roadway that terminates at Citrus Avenue.



## SPECIFIC PLAN

- MAJOR HIGHWAY
- PRIMARY HIGHWAY
- SECONDARY HIGHWAY
- COLLECTOR Street-A & Knox Ave.

**Figure 16**  
**CIRCULATION PLAN**

Citrus Avenue: Citrus Avenue, south of the 15 Freeway down to the SCE Transmission Line Corridor is designated as a "Primary Highway" in the City's Circulation Master Plan. It will have a minimum mid-block right-of-way width of 104 feet. This includes a 14-foot median, two travel lanes in each direction and 12-foot parkways that contain six-foot sidewalks on each side of the street. Figure 17b provides a mid-block section view of the Citrus Avenue half-width improvement adjacent to the eastern edge of the Specific Plan project area. The ultimate alignment of Citrus Avenue northeast of the Specific Plan project area is proposed to align with Riverside Avenue at Sierra Avenue and be a primary access route in North Fontana. Public transportation bus turnouts are being provided along Citrus Avenue as requested by Omnitrans. All bus stops and future shelter designs shall comply with American Disabilities Act Accessibility Guidelines (ADAAG) to ensure that the shelters comply with the latest ADA standards. Currently, Citrus Avenue is an older, minimally improved two-lane roadway that terminates just northeast of the Specific Plan project area at an existing water storage facility.

Lytle Creek Road: Currently, Lytle Creek Road is an older, minimally improved two lane roadway adjacent to the east side of the I-15 Freeway between Duncan Canyon Road and the SCE Transmission Line Corridor to the south. It terminates at Duncan Canyon Road. Lytle Creek Road is proposed to be realigned at Caltrans' request to relocate its intersection with Duncan Canyon Road a minimum acceptable distance from the planned I-15 Freeway on- and off-ramps. The realignment results in an approximately 900-foot separation from the I-15 northbound on- and off-ramps.

Lytle Creek Road within the Specific Plan project area south of Duncan Canyon Road is currently designated as a "Secondary Highway" in the City's Circulation Master Plan. The project's proposed realignment is consistent with the City's recently adopted North Fontana Circulation Master Plan. The realigned Lytle Creek Road, between Duncan Canyon Road south of the SCE Transmission Line Corridor is proposed as a "Secondary Highway", with a mid-block right-of-way width of 92 feet. This includes two travel lanes in each direction and a 12-foot parkway on each side of the street, with six-foot sidewalks. Figure 17a provides a section view of this southern portion of the Lytle Creek Road improvements.

Lytle Creek Road, north of Duncan Canyon Road is also proposed as a "Modified Collector", which connects with future Street "A". Street "A" runs east/west and connects with Citrus Avenue, approximately 660 feet north of Duncan Canyon Road. This section of Lytle Creek Road terminates into a traffic circle. Parking will be permitted on the east side of this street. Figure 17a provides a section view of this northern portion of the Lytle Creek Road improvements, and the FHWA design standards for the traffic circle.

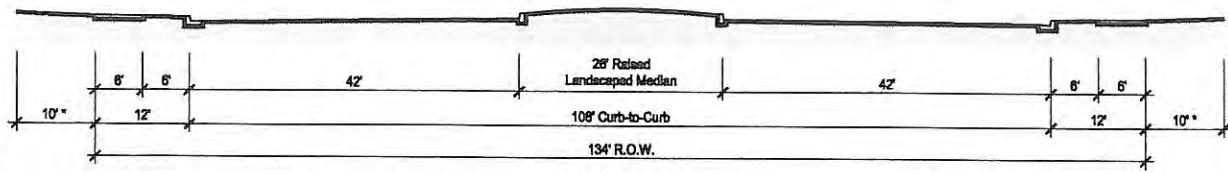
Ventana Way: Ventana Way is a local private street that takes access from the realigned Lytle Creek Road, south of Duncan Canyon Road. It provides access to Planning Areas 2, 3, 4 and 9. This street provides one travel lane in each direction with parking permitted on the south side of the street.

Street "A": Street "A" is a local collector that runs east/west between Lytle Creek Road over to Citrus Avenue, north of Duncan Canyon Road. This local collector will have one travel lane in each direction and 12-foot parkways within a 68-foot right-of-way. Parking will be permitted on the south side of this street. Figure 17a provides a section view of Street "A".

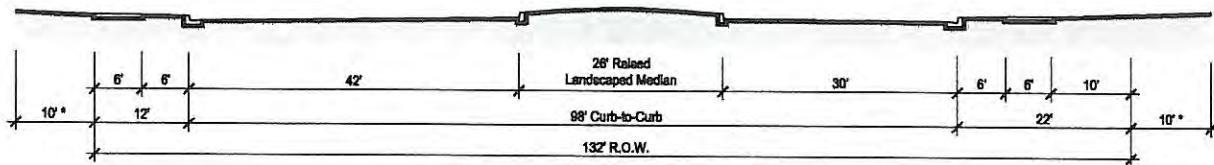
**Residential Village Circulation:** Local roadways within the three residential villages in the Specific Plan project area are proposed to be private streets and alleys. Figure 17i provides planned private street and alley sections. These local streets and alleys have widths varying from 26 to 36 feet wide, and provide access to each dwelling unit's enclosed garage and guest parking areas. Parallel parking that counts toward meeting the required parking is permitted on one side of the 36-foot wide private street.

Figure 17c is the project's Roadway Sections Key Map of public streets throughout the Specific Plan project area. Figures 17d through 17h show public roadway sections near intersections, at public bus turn-outs, at mid-block and at other key locations.

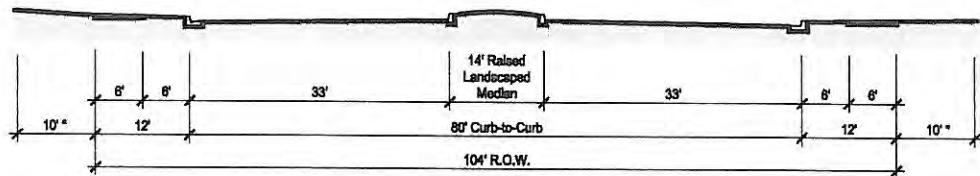
City of Fontana "line-of-sight" requirements shall be met at all intersections within and adjacent to the Specific Plan project area. All walls, fences, monumentation and landscaping shall meet minimum setbacks and clearances as required by the City Traffic Engineering Department. Prior to approval of any Tentative Tract Map, the applicant shall demonstrate to the City Traffic Engineering Department that all intersection improvements and corner treatments within the project area meet City requirements for "line-of-sight" clearances.



MAJOR HIGHWAY  
Duncan Canyon Road  
(mid-block west of Lytle Creek Rd.)



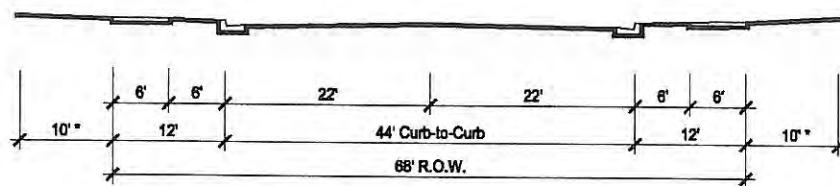
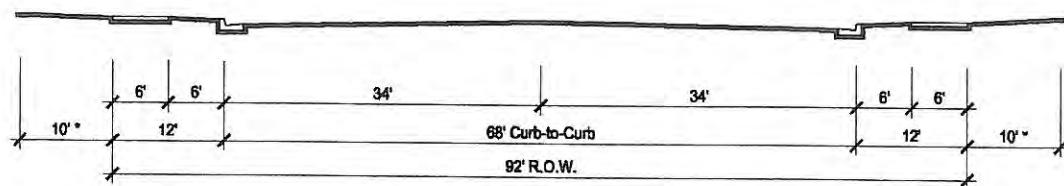
MAJOR HIGHWAY - MODIFIED  
Duncan Canyon Road  
(mid-block east of Lytle Creek Rd.)



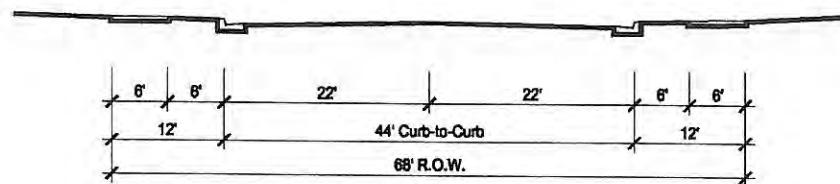
PRIMARY HIGHWAY  
Citrus Avenue  
(mid-block westerly 1/2 section required)

Note: Refer to Figures 17c - 17h for more detailed sections along each roadway.

\* Note: 10' setback areas when adjacent to residential uses  
shall be located in a lettered lot.



COLLECTOR  
Lytle Creek Road  
(mid-block south of Street "A")



COLLECTOR - MODIFIED  
Street "A"  
(mid-block)

Note: Refer to Figures 17c - 17h for more detailed sections along each roadway.

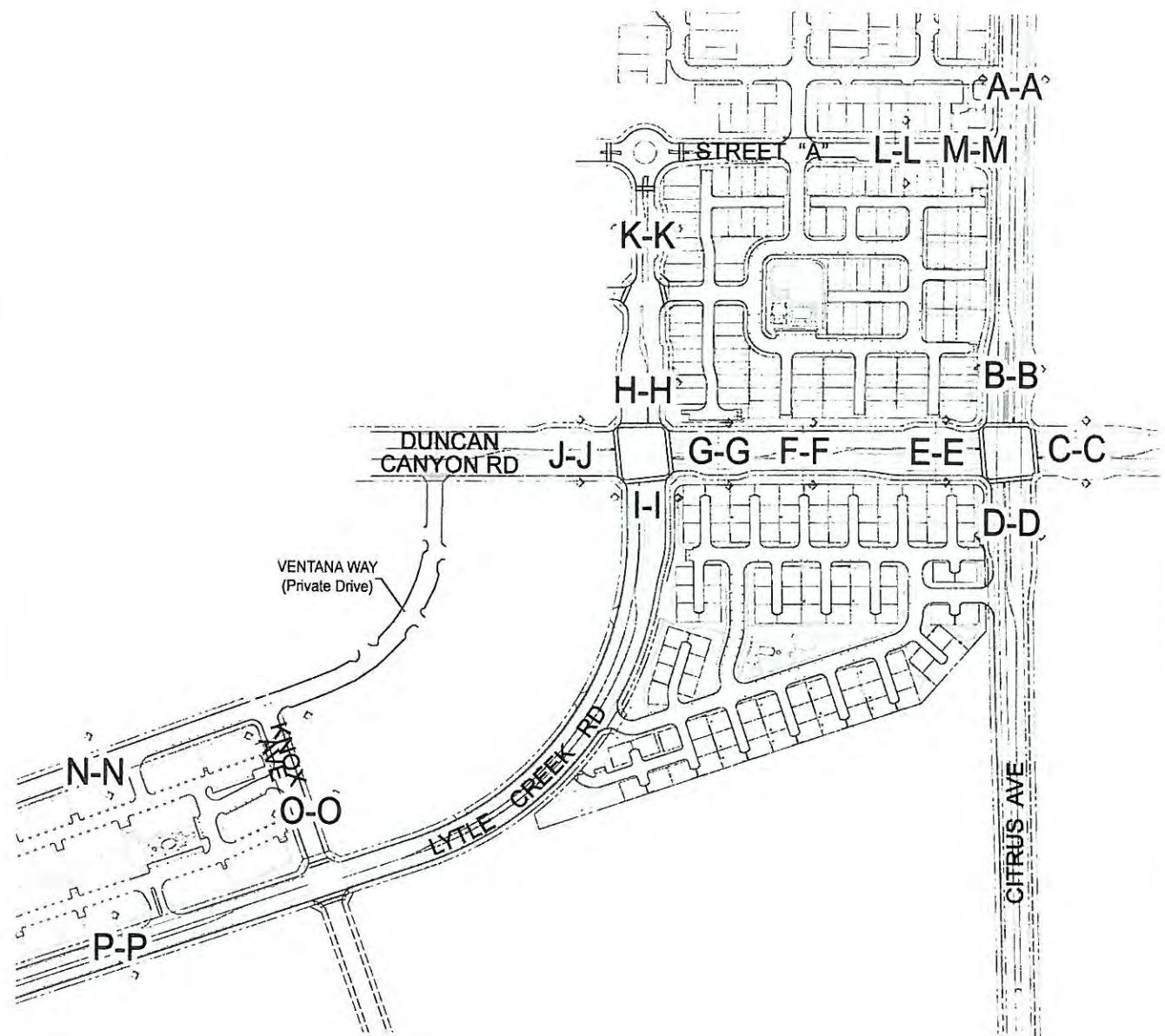
\* Note: 10' setback areas when adjacent to residential uses shall be located in a lettered lot.

\*\* Note: Parallel parking is permitted subject to final site plan review by the City of Fontana.

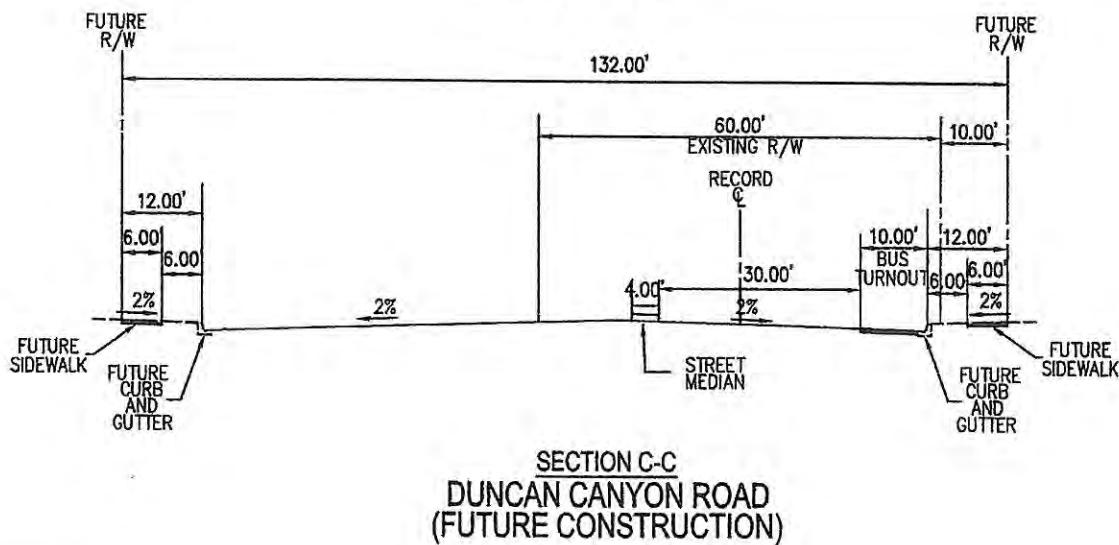
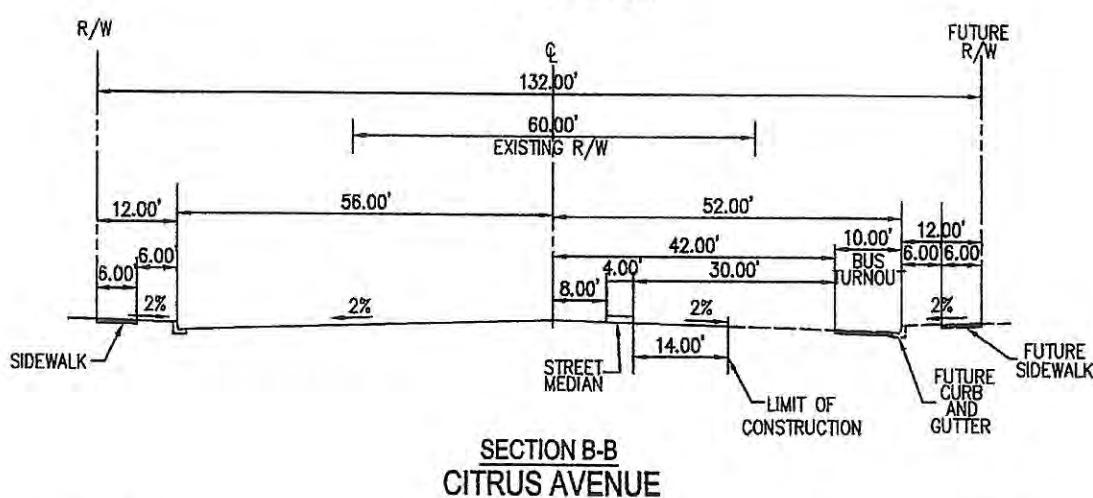
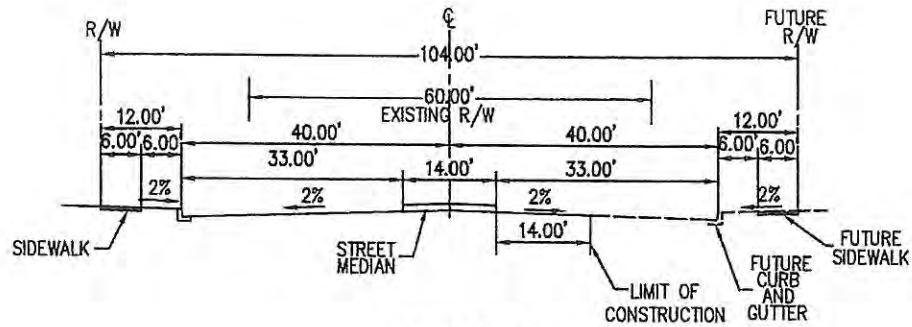


**SPECIFIC PLAN**

**Figure 17b**  
**ROADWAY SECTIONS**

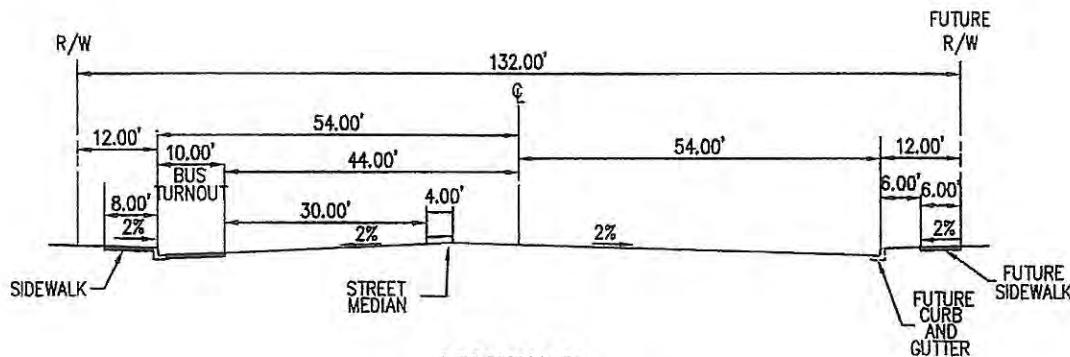


**ROADWAY SECTIONS  
KEY MAP**

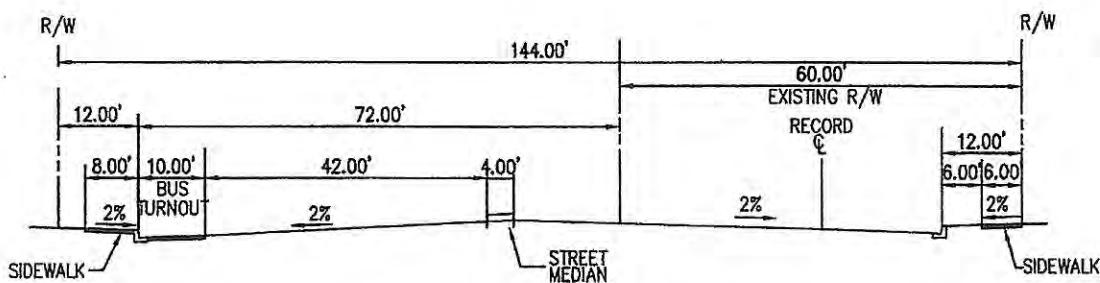


SPECIFIC PLAN

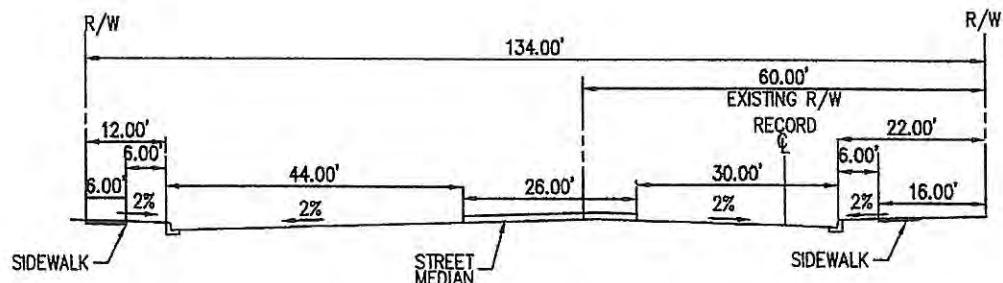
Figure 17d  
ROADWAY SECTIONS



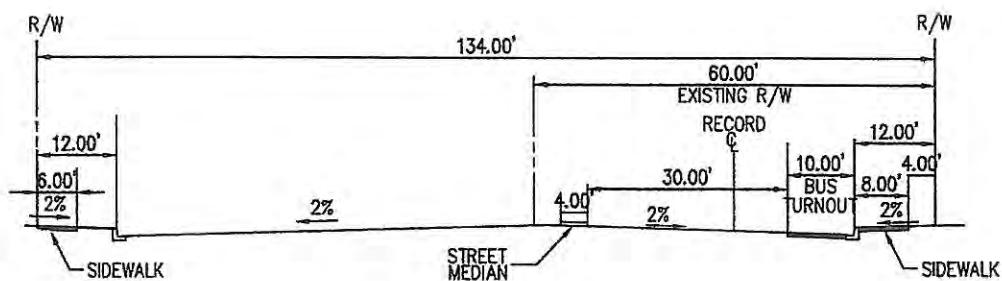
SECTION D-D  
CITRUS AVENUE



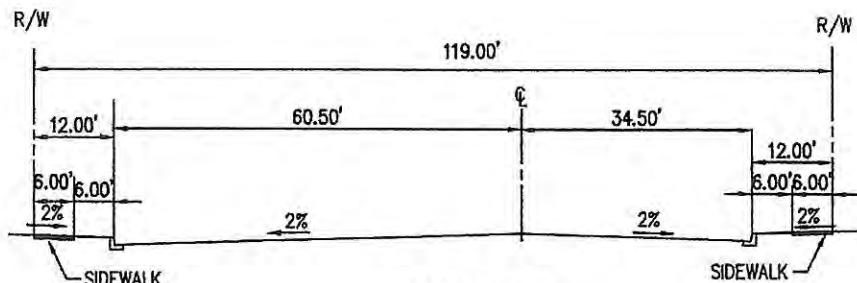
SECTION E-E  
DUNCAN CANYON ROAD



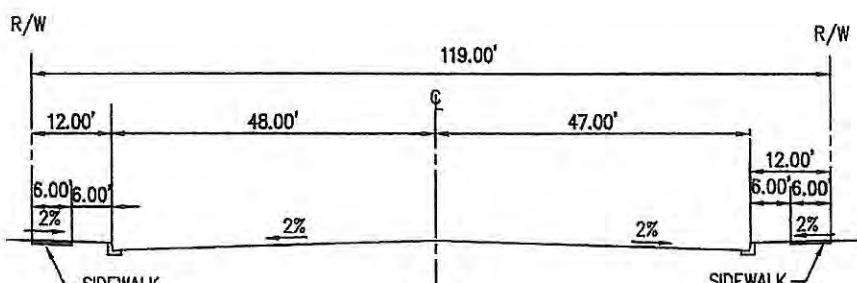
SECTION F-F  
DUNCAN CANYON ROAD



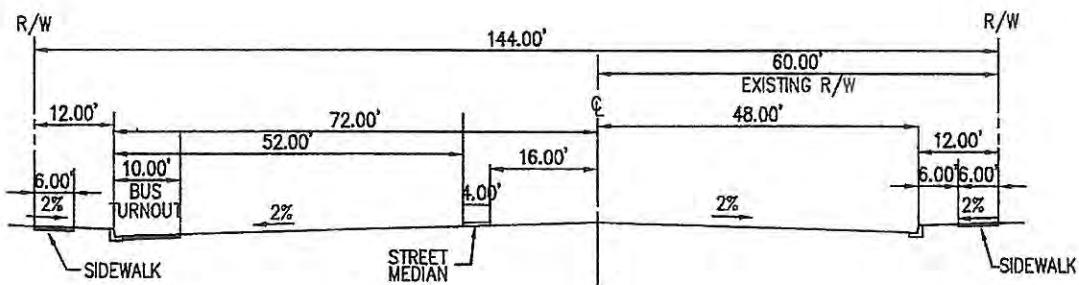
SECTION G-G  
DUNCAN CANYON ROAD



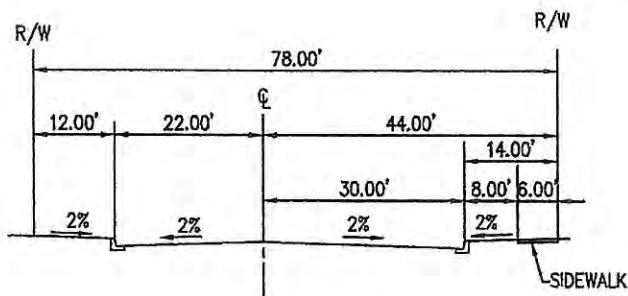
SECTION H-H  
LYTLE CREEK ROAD



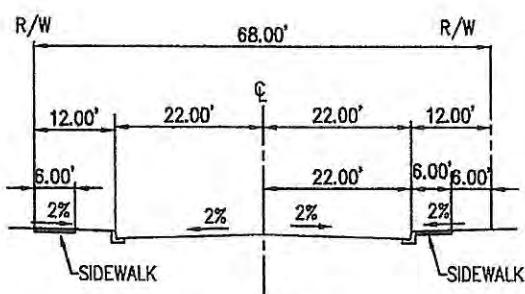
SECTION I-I  
LYTLE CREEK ROAD



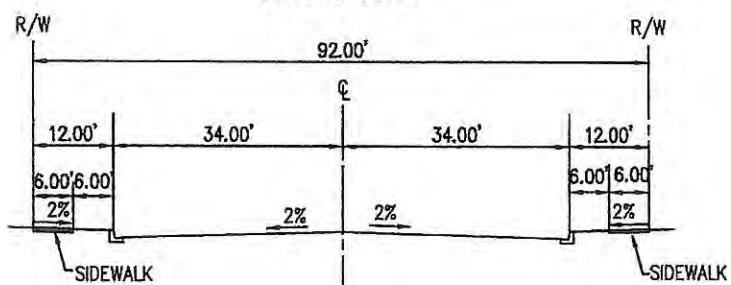
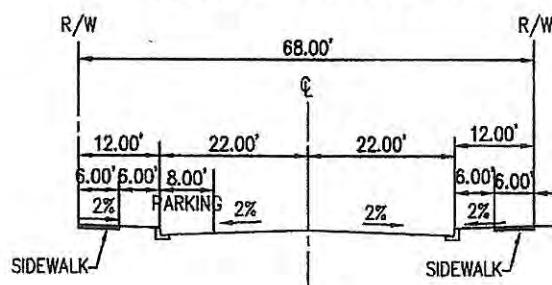
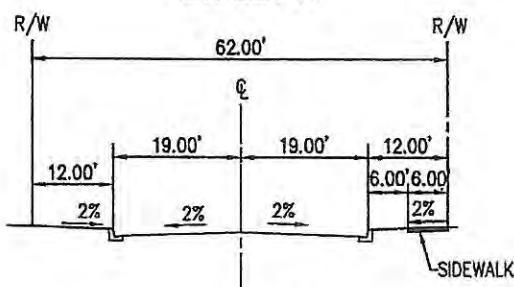
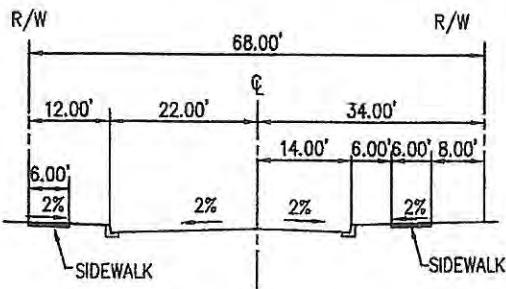
SECTION J-J  
DUNCAN CANYON ROAD



SECTION K-K  
LYTLE CREEK ROAD



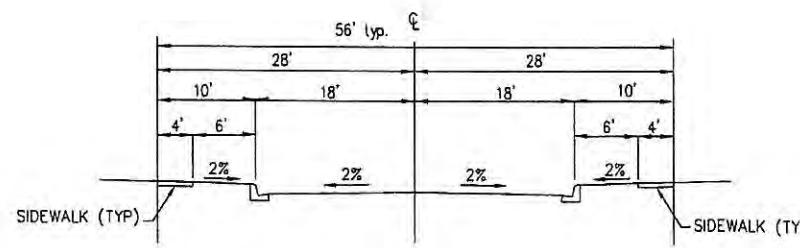
SECTION L-L  
STREET 'A'



SPECIFIC PLAN

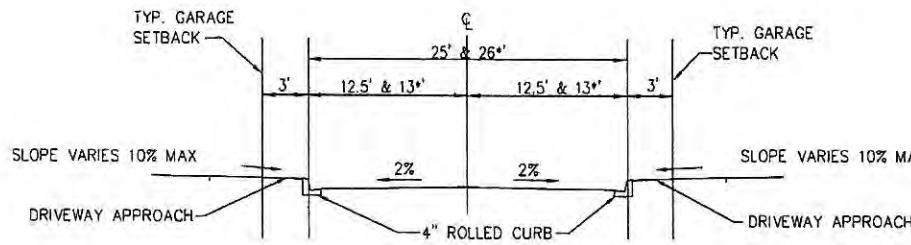
Figure 17h  
ROADWAY SECTIONS

## SPECIFIC PLAN



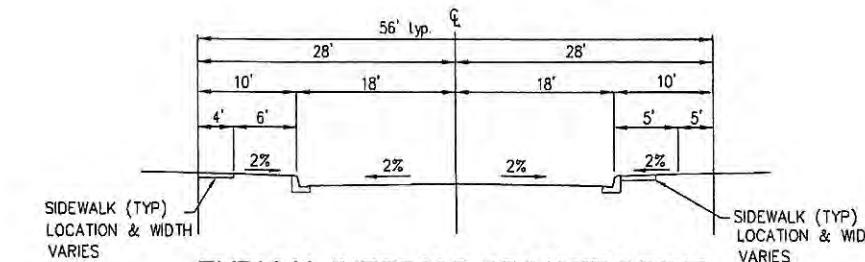
**TYPICAL INTERIOR PRIVATE DRIVE SECTION**

PLANNING AREA 5



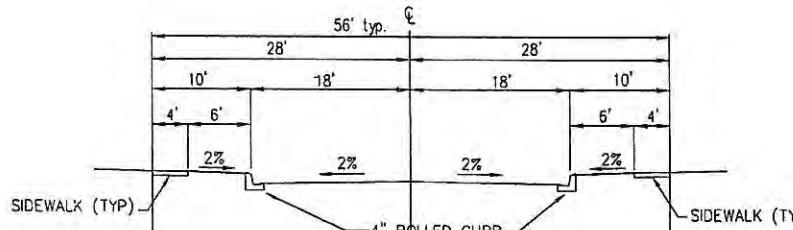
**TYPICAL INTERIOR ALLEY SECTION**

PLANNING AREA 6



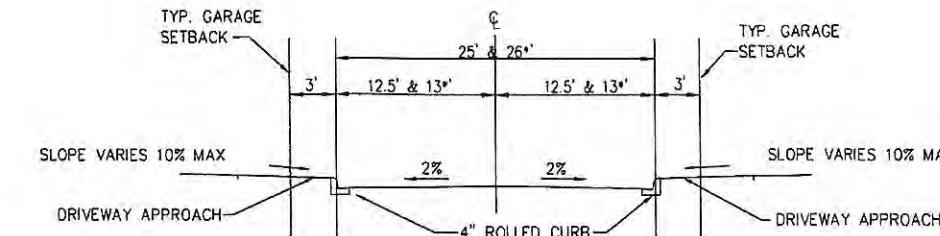
**TYPICAL INTERIOR PRIVATE DRIVE**

PLANNING AREA 7



**TYPICAL INTERIOR PRIVATE DRIVE**

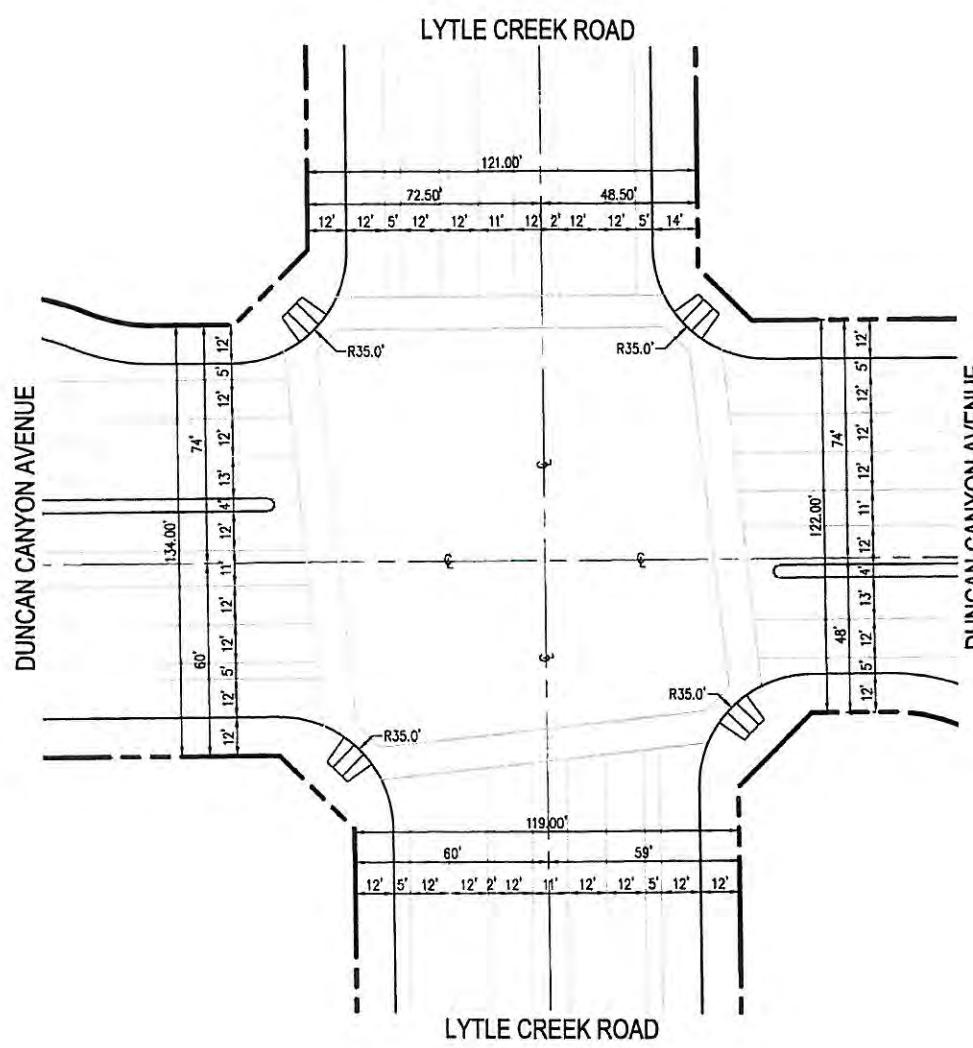
PLANNING AREA 6



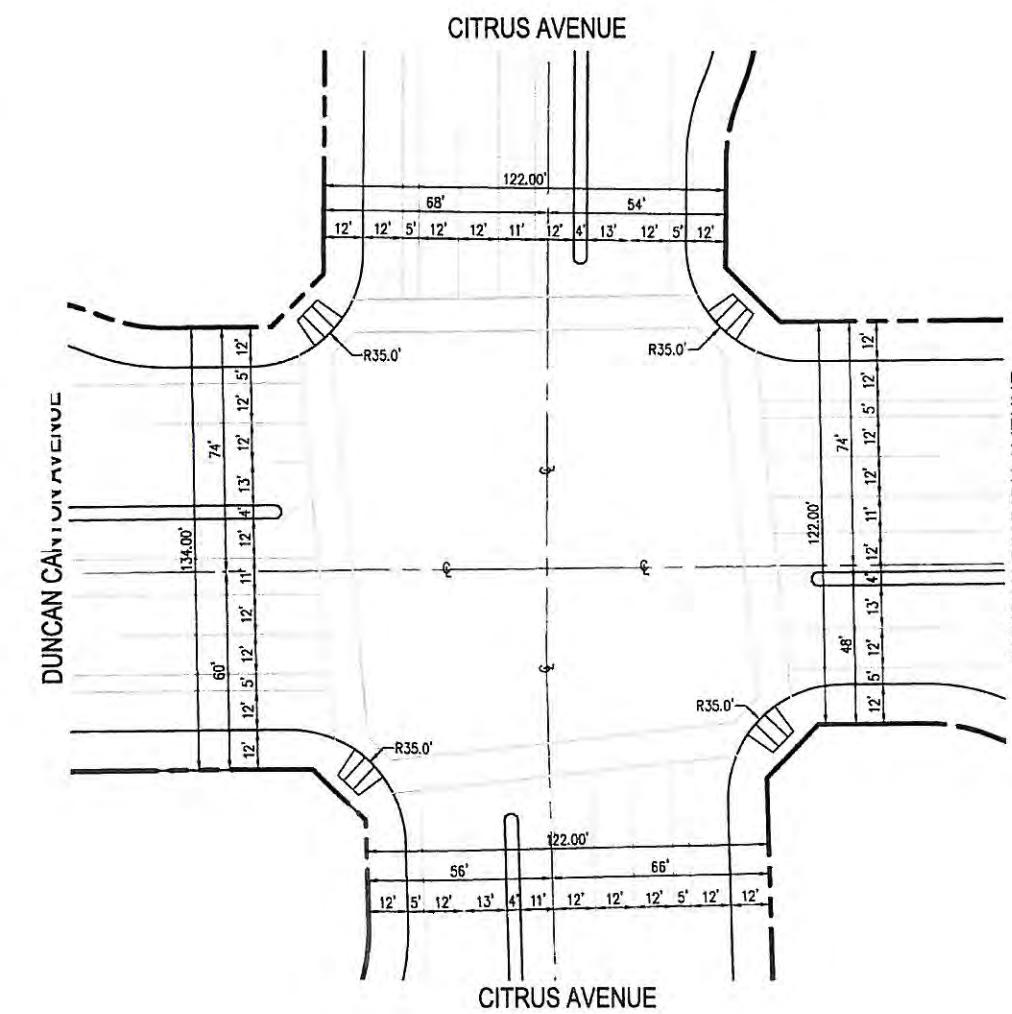
**TYPICAL INTERIOR ALLEY SECTION**

PLANNING AREA 7

DUNCAN CANYON AVENUE and LYCLE CREEK ROAD  
INTERSECTION



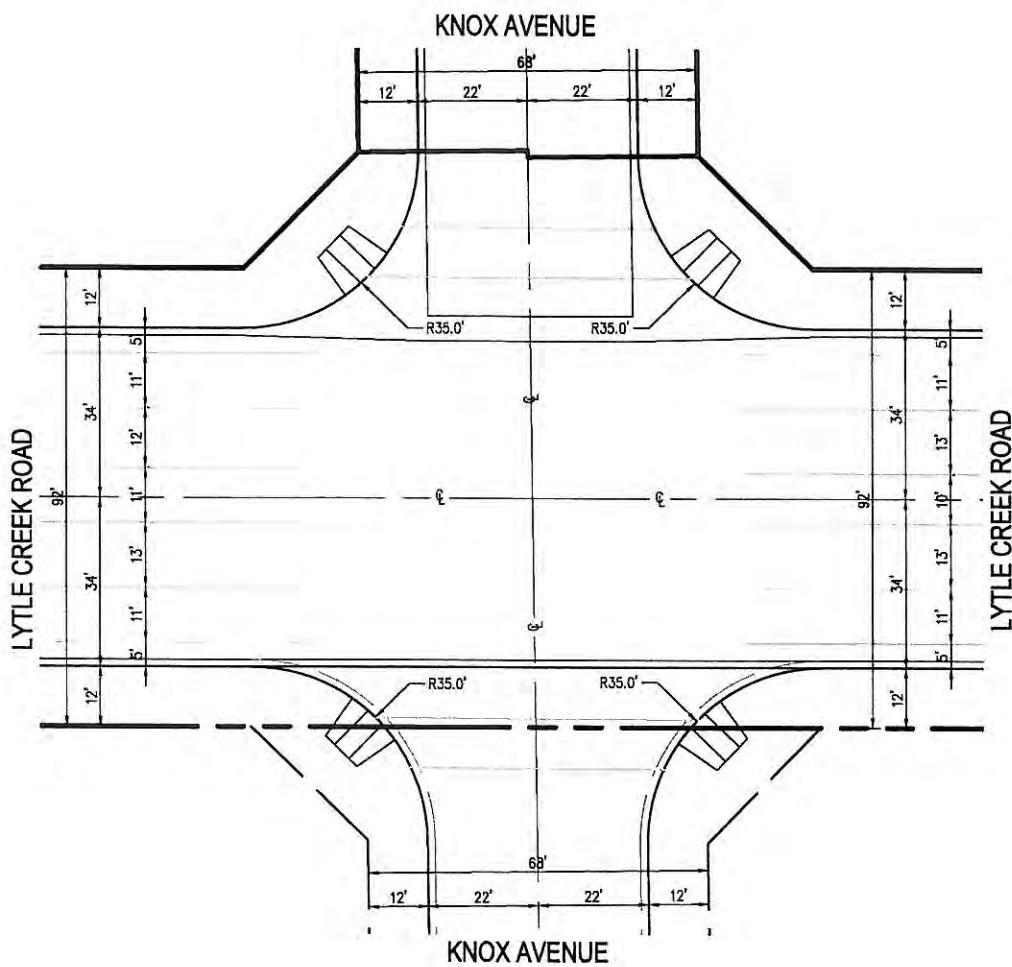
DUNCAN CANYON AVENUE and CITRUS AVENUE  
INTERSECTION



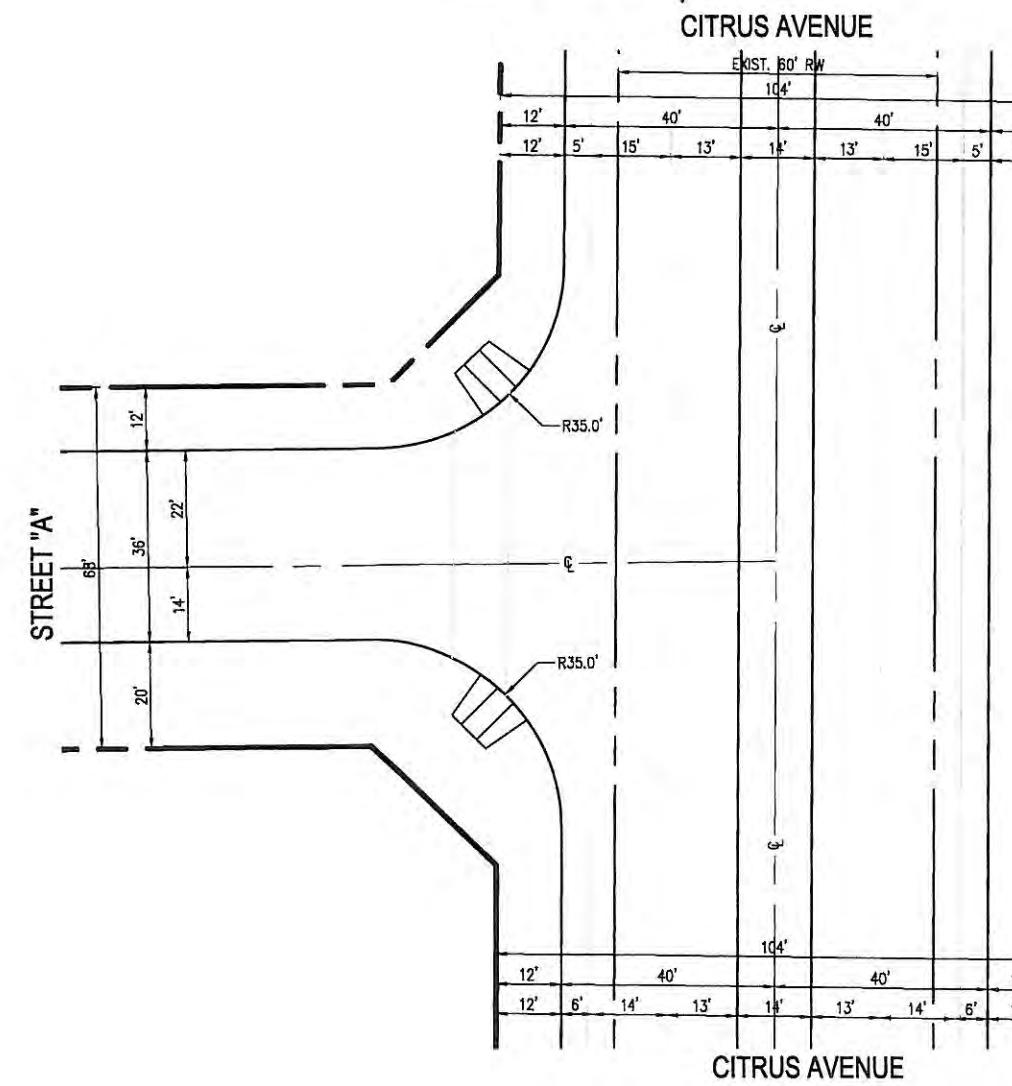
**SPECIFIC PLAN**

**Figure 17j**  
**STREET STANDARDS**  
**INTERSECTIONS**

KNOX AVENUE and LYCLE CREEK ROAD  
INTERSECTION



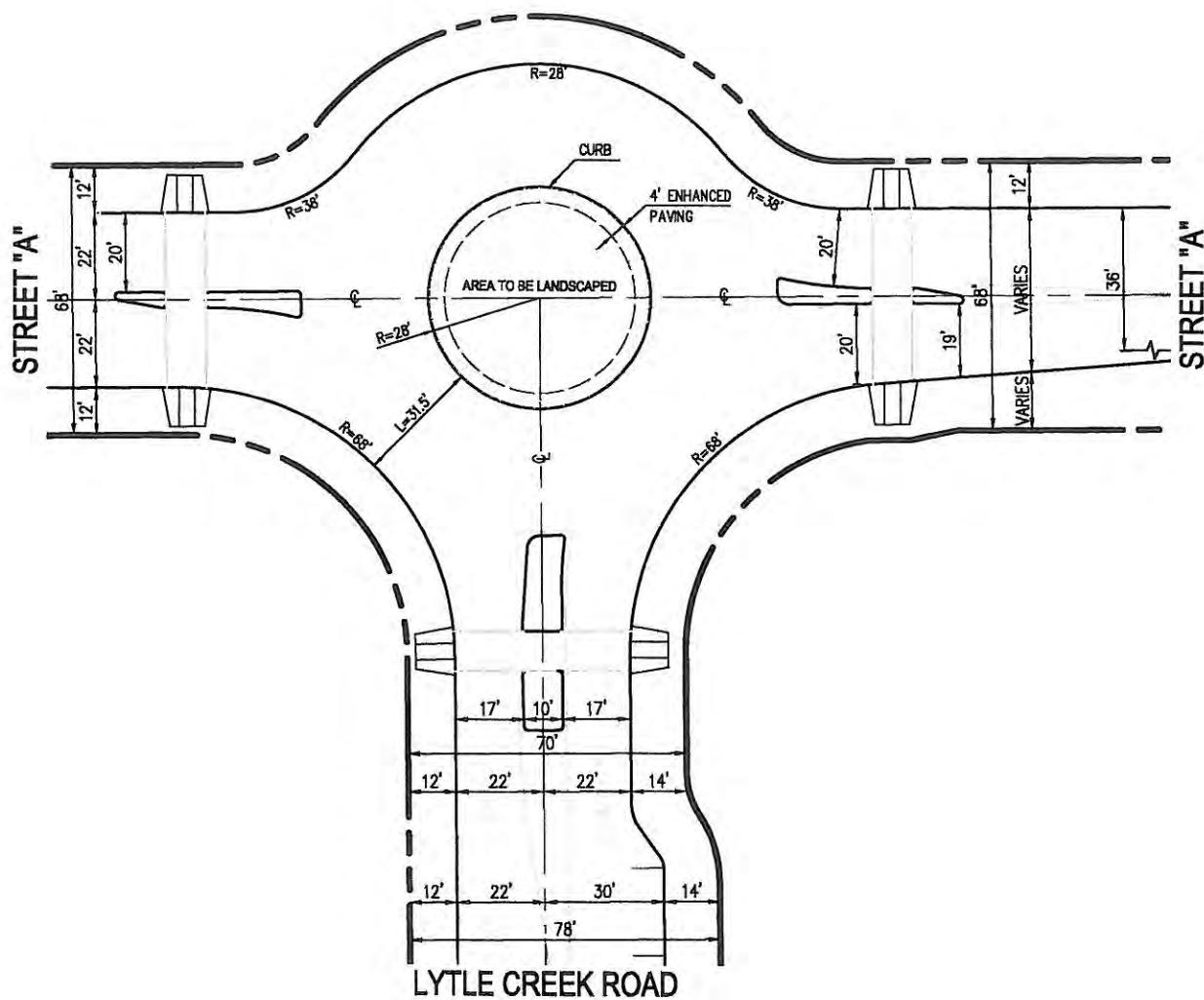
STREET "A" and CITRUS AVENUE  
INTERSECTION

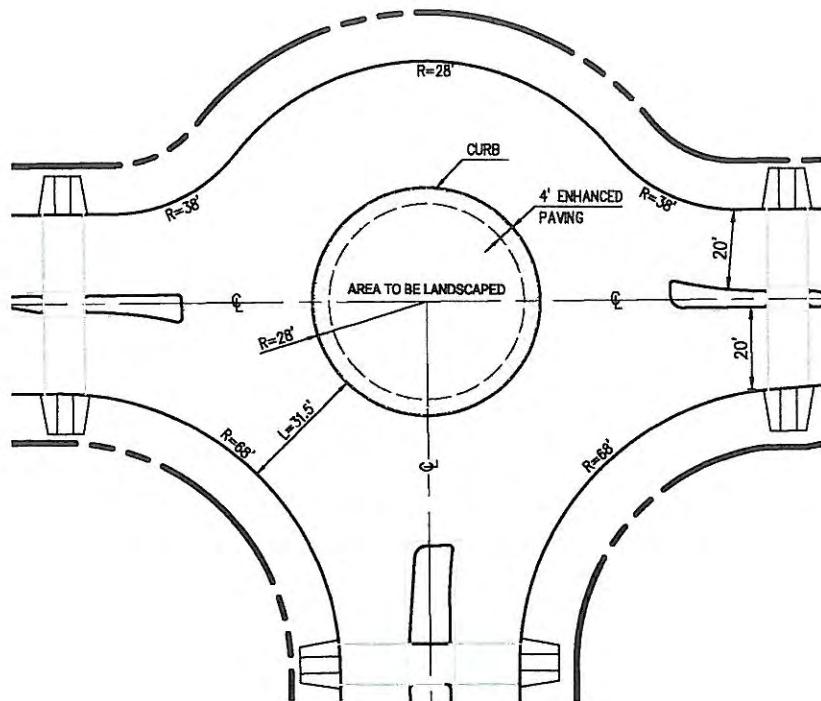


**SPECIFIC PLAN**

**Figure 17k**  
**STREET STANDARDS**  
**INTERSECTIONS**

## STREET "A" and LYTLE CREEK ROAD INTERSECTION





A 4' wide enhanced paving edge shall be included in the round-a-bout

#### RECREATION AND PEDESTRIAN CONNECTIVITY

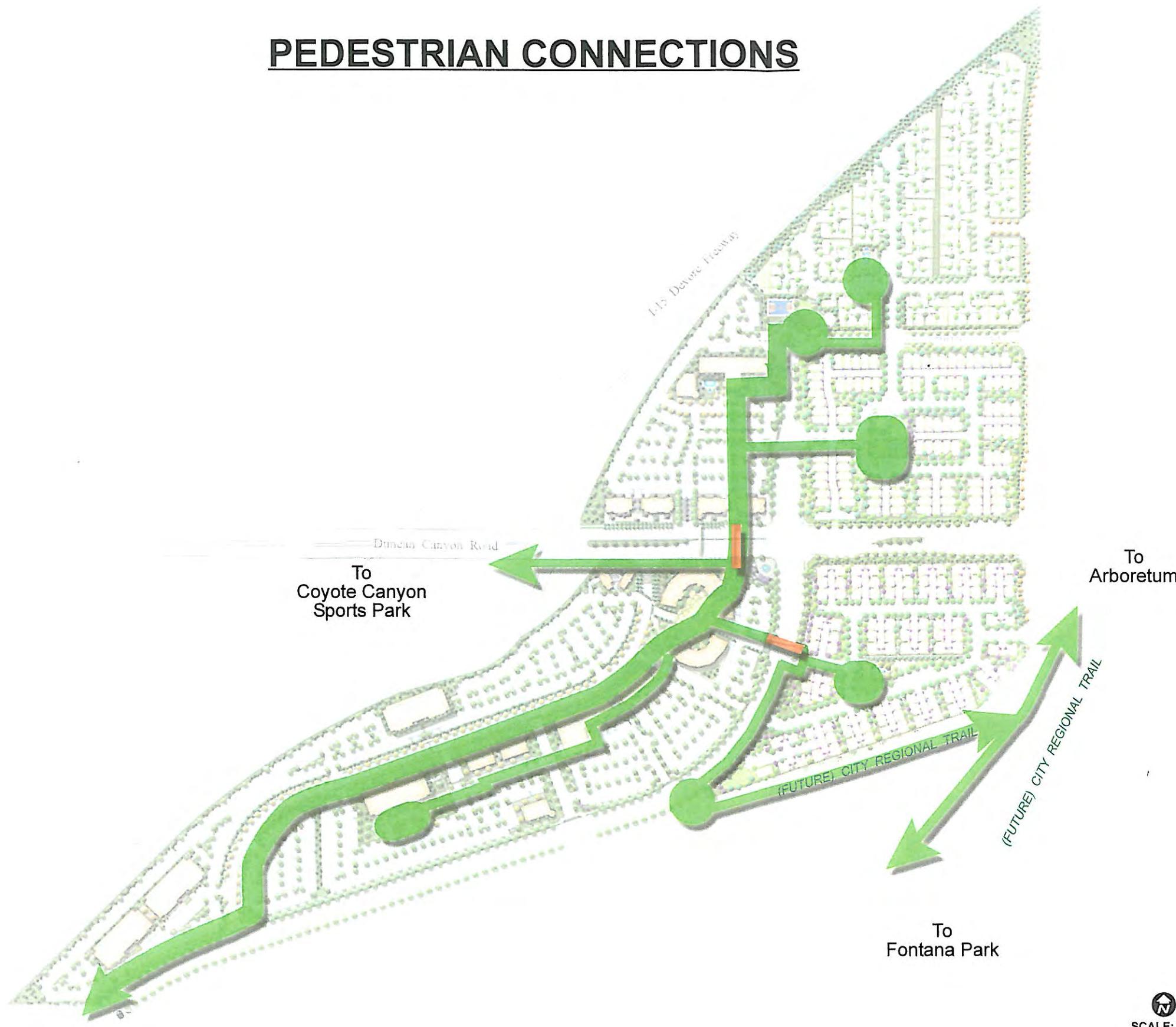
One of the primary goals and objectives of the Ventana at Duncan Canyon Specific Plan is to create a safe, walkable community that connects the residential neighborhoods to each other, and with the Commercial "Piazza", and the Corporate Office Complex. Residents within Ventana will have the opportunity to walk to neighborhood restaurants, shops, specialty markets, and even to work along safe and pleasant pedestrian corridors. Figure 18a identifies the "Pedestrian Connectivity Plan" for the Specific Plan.

Grade separated pedestrian bridges link the community together, which will encourage residents out of their vehicles for casual walks. One Pedestrian bridge is proposed over Duncan Canyon Road that connects the Corporate Office Complex to the "Piazza", and will serve as a major entry statement as you enter Ventana from the I-15 Freeway. Figure 18b provides photos of similar views of tree-lined pedestrian pathways that will occur in Ventana's residential neighborhoods. A pedestrian bridge over Lytle Creek Road south of Duncan Canyon Road connects Planning Area 7 ("South" Residential Village) to the commercial "Piazza" area (Planning Area 2). The Design Guidelines Section of this Specific Plan provides conceptual renderings of grade separated pedestrian bridges.

The project also provides pedestrian and bicycle connectivity to the City's planned regional trails located within the utility corridor adjacent to the south side of the Specific Plan planning area. Class II bike lanes are provided along Duncan Canyon Road, Citrus Avenue and the realigned Lytle Creek Road within the Specific Plan project area. A Class II bike lane is also proposed by the City of Fontana for the new Duncan Canyon Road bridge over the I-15 Freeway, that will provide access to the new Sports Park just west of the Freeway interchange.

Well-landscaped pedestrian corridors connect all residential villages to their private recreation facilities and open space areas, and provide for the opportunity to walk or run for exercise. These corridors help integrate the community socially by encouraging people to be out of their cars, and creating an environment for healthy activity.

## PEDESTRIAN CONNECTIONS



## SPECIFIC PLAN

- Primary Pedestrian System
- Neighborhood Park & Pedestrian Connection
- Pedestrian Bridge

**Figure 18a**  
**PEDESTRIAN**  
**CONNECTIONS**



## SPECIFIC PLAN

The pedestrian connectivity within Ventana is based on the goal of providing safe and attractive walkways to allow easy access from homes to businesses and shopping.

The adjacent photos show several pedestrian walk experiences from the north residential area (Planning Area 5) to the piazza and live/work townhomes.

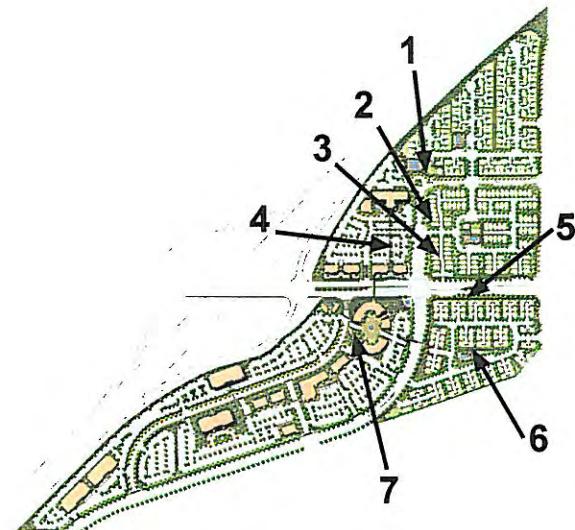


Photo Key Map



1: Beginning at the north along a walkway of the recreation area, the pedestrian walk is an enhanced landscaped park-like setting.



2: When walking along Planning Area 6 along Lytle Creek Rd. Tuscan, Italianate and Monterey-style homes with porches and balconies facing the street will provide a small town character.



3: With garages out of sight, located within alleyways behind the homes, the highly enhanced landscape within the front yards will create an inviting experience.



4: A colonnade of Italian cypress trees will line the walkway through the hotel / office / retail site in Planning Areas 1 & 8 directly connecting to the pedestrian bridge at Duncan Canyon Rd.



5: Evergreen elms, broadspreading street trees planted in parkways will provide a canopy of shade along the walks.



6: Walking from Planning Area 7 recreation site, another colonnade of Italian cypress trees will accent the walkways and lead the pedestrian to the second pedestrian bridge on Lytle Creek Rd.



7: Within the piazza / shopping district, complementing the shops and restaurants, will be casual outdoor seating to socialize and enjoy outdoor dining within a European-style environment.



8: The walk from the piazza will lead to the live/work townhomes which will have generously landscaped common areas. (Not Shown)



9: Within the townhome site interior a walkway will connect to the homes facing an interior greenbelt. (Not Shown)

### 3.4 PUBLIC FACILITIES

**Water Distribution:** The Metropolitan Water District (MWD) has a major water feeder line just south of Specific Plan project area. The West Valley Water District (WVWD) and the Fontana Water Company provide water service to the northern area of Fontana. The West Valley Water District operates facilities that serve uses located generally east of Sierra Avenue and north of Summit Avenue, in the northernmost part of the City.

Domestic water service to Ventana at Duncan Canyon will be provided by the West Valley Water District (WVWD), and will serve the commercial, corporate office, residential and open space areas of the project. WVWD has water rights that allow them to draw water for supply to their service areas from stream flows in Lytle Creek, and from a number of wells located within the Chino Groundwater Basin. The WVWDs' water infrastructure consists of reservoirs, storage tanks, booster pumps, and a network of larger transmission main lines and smaller distribution lines to deliver domestic water throughout their service areas. WVWD currently does not offer reclaimed water service to the project area.

The WVWD's latest Urban Water Management Plan (UWMP) considers all properties within the District's service boundary, and includes water demand projections for the next 20 years. It also assesses water availability during normal year, single dry year and multiple dry year periods. The Ventana planned development is not specifically addressed in the District's UWMP; however water supply demands on land that is currently vacant are projected based upon the City of Fontana's current zoning classifications. State law and the California Water Code require local planning agencies to consider the availability of water when considering the approval of new developments. The City of Fontana, in cooperation with the Water District and the Applicant have verified 20-year water demand requirements through a detailed Water Supply Assessment prepared by the District. This Assessment documents that there is adequate water availability to serve the long-term needs of the proposed project. Additional information on the project's Water Supply Assessment is contained in the EIR on the Ventana at Duncan Canyon Specific Plan.

The primary connection points available for domestic water service to The Ventana at Duncan Canyon Specific Plan project area are shown in Figure 19, the Water Infrastructure Plan. This shows water service is available along Duncan Canyon Road. The proposed water system will include 12-inch distribution lines within the project's public roadways that will be owned and maintained by the WVWD, and will provide for the domestic water needs for all commercial, residential and other water needs. This water system will also supply sufficient fire flows to fire hydrants to be placed within the project area in accordance with San Bernardino County Fire Department and Fontana Fire Department standards.

**Sewer Service:** The City of Fontana is responsible for the collection of wastewater within its corporate limits. The City contracts with the Inland Empire Utilities Agency (IEUA), which was formerly the Chino Basin Municipal Water District. The Ventana project area will be annexed into the service area of the IEUA prior to the recordation of the first Final Tract Map for development.

The proposed onsite sewer consists of an extension of the existing sewer main facilities and is shown in Figure 20, the Sewer Infrastructure Plan. The Ventana at Duncan Canyon Specific Plan project area will be served by 8-inch to 12-inch gravity sewer main lines within the public roads. The sewage collect within each planning area will flow into 8-inch lines within the projects' streets and parking lots and connect to the sewer mains. The sewer main will be extended southwesterly to connect to the proposed 12-inch sewer trunk line in Lytle Creek Road. Sewage disposal facilities will be installed in accordance with the specifications and requirements of the State Department of Health Services, San Bernardino County Health Department, and City of Fontana standards.

The City of Fontana's Master Sewer Plan was first prepared in 1992 and updated in September of 2000. The City's sewer model was divided into 231 sewer planning sub-areas. The General Plan was used to designate the land usage and the subsequent projected sewage flows from each planning area.

The Master Sewer Plan defines the proposed and existing lines as:

<u>Interceptor Sewers</u>	Large regional sewers owned by Inland Empire Utility Agency (IEUA).
<u>Trunk Sewers</u>	Backbone sewers owned by the City of Fontana, typically 21-inches diameter and larger.
<u>Collector Sewers</u>	Sewers of intermediate size owned by the City of Fontana (typically 10-inch through 18-inch diameter) and any 8-inch sewers on section lines or their equivalent alignments.
<u>Local Sewers</u>	8-inch sewers within local streets, which feed collector sewers. This includes all sewers that serve fewer than 500 equivalent dwelling units and some sewers where an 8-inch line can serve more than 500 EDU. Local sewers are typically 100% developer and or property owner funded.

"Master Plan" sewers consist of interceptor, trunk and collector sewers as defined above. Local sewers are financed and constructed by the developers or property owners that directly benefit from the sewer construction.

Trunk and collector sewers are the responsibility of the City of Fontana. Financing and construction of the interceptor sewer lines is the responsibility of the Inland Empire Utility Agency (IEUA).

Flow generation factors for each projected land use are used in preparing the sewage flow rate model. According to the Sewer Master Plan, the City flow generation factors contain a built in margin of safety. The report cautions that in the areas where the sewers are shown as potentially flowing above capacity, the report recommends that flow monitoring via field flow tests occur prior to the design of replacement sewers.

To develop the flow rate model, the City uses a residential flow rate of 279 gallons per equivalent dwelling unit. The flow rate of 279 average gallons per day was determined by flow measurements taken in 1991 by the City of Fontana. The existing zoning for the Ventana

project area is "RM – Regional Mixed Use." The flow generation rate for RMU, per City criteria, is 1,500 gallons per day average (GPD).

The Specific Plan land use tabulation (Table 2) was used in conjunction with the City's sewage flow generation factors to develop the projected peak sewage flow for all potential development that could occur within the Ventana at Duncan Canyon Specific Plan. The flow rates used were 1,500 GPD per net acre for Office Professional and Regional Commercial and a flow rate of 279 GPD for each Residence tabulated.

All sewers within the City are designed to handle peak flows and a "peaking formula" is applied to all average flows as determined by using City criteria.

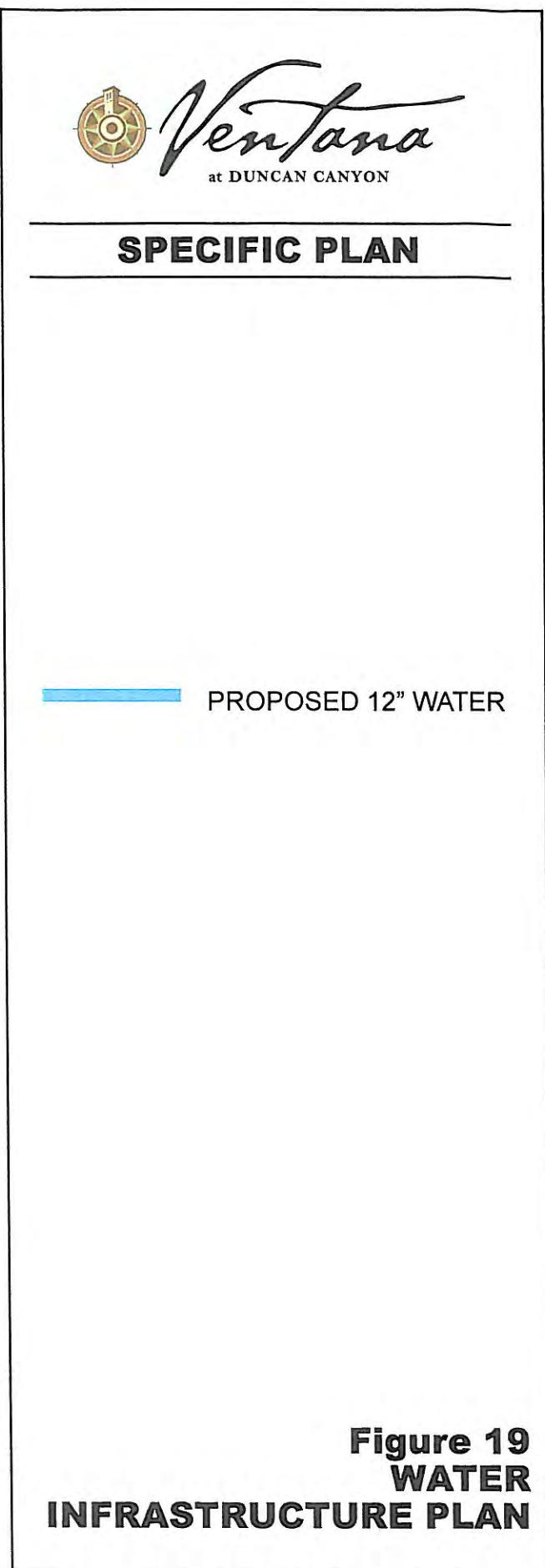
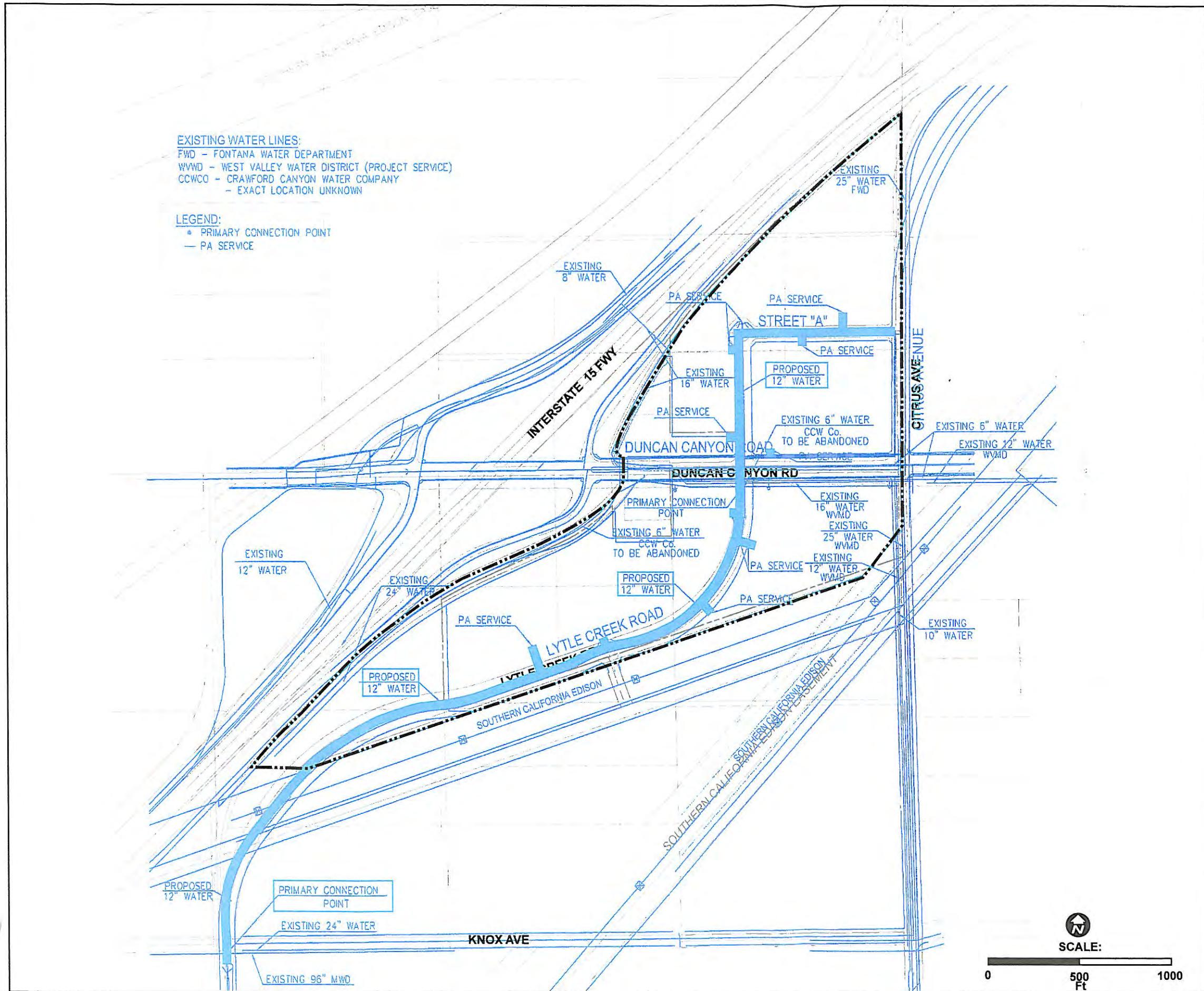
$Q_{peak} = 2.5 Q_{avg}^{0.91}$  (raised to the 0.91 power). Where  $Q_{peak}$  is equal to the peak flow expressed in million gallons per day. Using the City of Fontana flow rates and peaking factor formula yields a projected peak flow at build out from the Ventana Specific Plan area of 9.99 mgd.

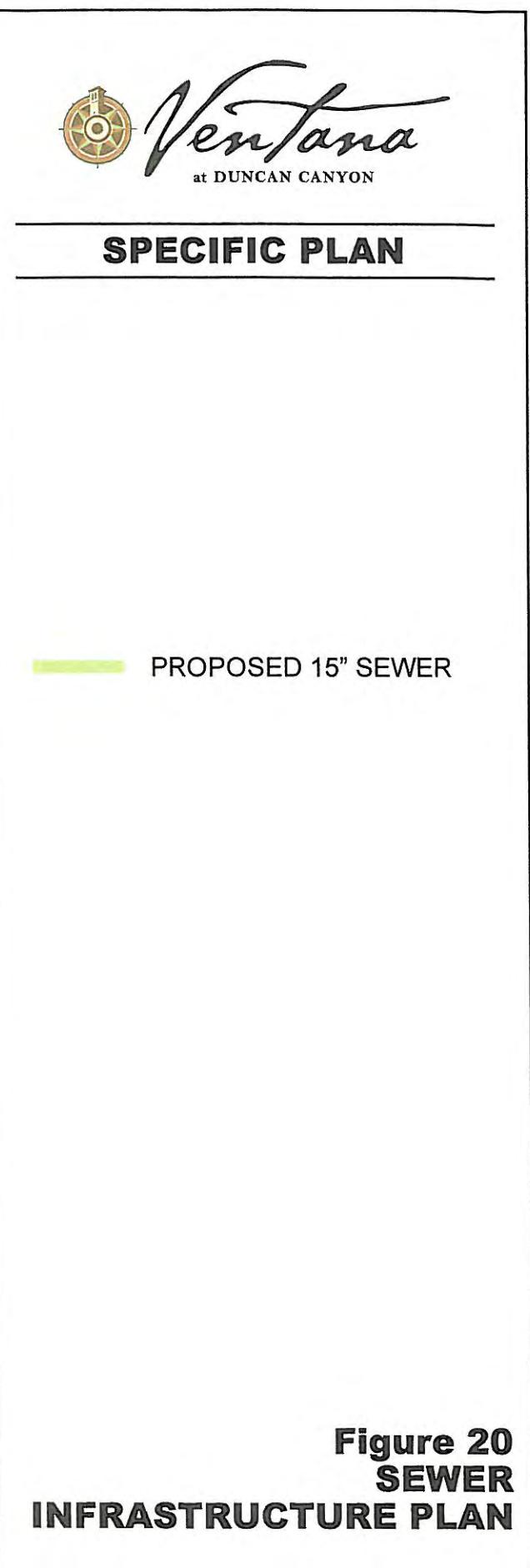
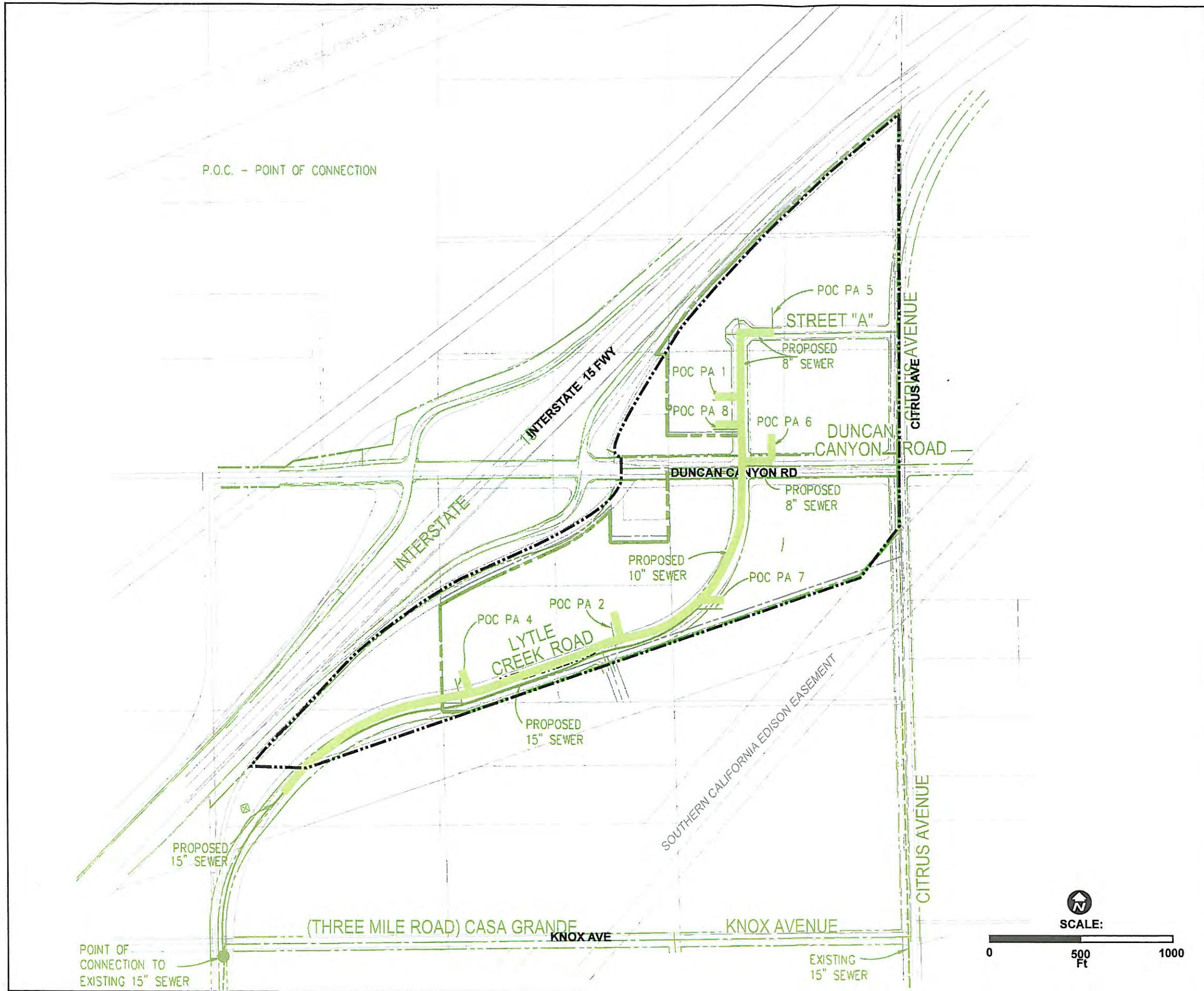
A 12-inch sewer line will be constructed in the new Lytle Creek Road alignment within the limits of the Ventana at Duncan Canyon Specific Plan. This sewer will drain southwesterly to connect to the existing 15-inch sewer main in Lytle Creek Road at a point approximately 2,600 feet northerly of Summit Avenue. From there, the existing trunk sewer line flows southerly along Lytle Creek Road and Beach Avenue to Foothill Boulevard. The flow is then westerly to East Avenue and southerly to the connection with the IEAU system.

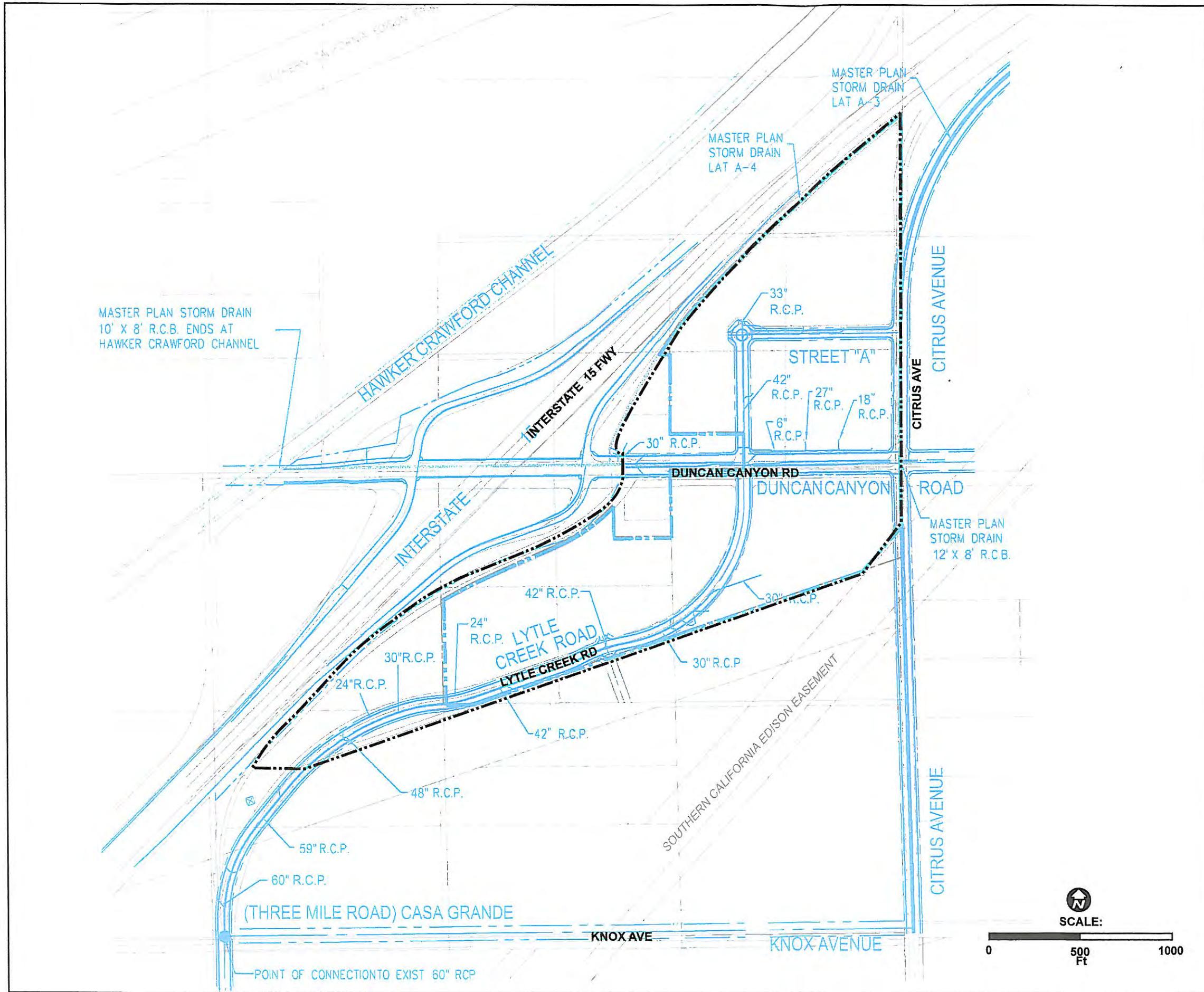
**Drainage Plan:** The City of Fontana Engineering Department has designed a conceptual drainage system to serve The Ventana at Duncan Canyon Specific Plan project area, and is shown in Figure 21, the Storm Drain Infrastructure Plan. The site's existing topographic relief shows that drainage will generally sheet flow in a northeasterly-to-southwesterly direction. A designated 100-year floodplain area currently impacts the northernmost portion of the project area. This designation was established prior to the construction of the 15 Freeway, and is being modified and removed from affecting the Specific Plan project area.

The project will result in the installation of new storm drains in Lytle Creek Road, Citrus Avenue, and along Duncan Canyon Road, consistent with the City's Drainage Master Plan. Stormwater flows will be temporarily directed to an interim catch basin. Projects are required to obtain approval of a Water Quality Management Plan (WQMP) prior to the approval of a tentative tract map to mitigate development runoff to a level below the predevelopment runoff rate. This detailed analysis is required to meet downstream restrictions on capacity of regional flood control facilities, and National Pollution Discharge Elimination System (NPDES) requirements.

Prior to the approval of any tentative tract map associated with The Ventana at Duncan Canyon Specific Plan, detailed drainage/hydrology studies and Water Quality Management Plans are required. These studies shall address specific on-site drainage conditions, increased runoff flows, required stormwater retention and water quality associated with future land uses on a subdivision level basis. The City of Fontana will maintain drainage facilities within public rights-of-way.







## SPECIFIC PLAN

**Figure 21**  
**STORM DRAIN**  
**INFRASTRUCTURE PLAN**

### 3.5 COMMUNITY SERVICES

The following information provides a brief summary of the community services to be provided to The Ventana at Duncan Canyon Specific Plan project area. A more detailed discussion of facilities and service availability is presented in the Environmental Impact Report on the Specific Plan project.

*Police and Fire Protection:* The Fontana Police Department provides law enforcement for the City, including the Ventana at Duncan Canyon Specific Plan project area. The Fontana Police department is located at Sierra Avenue and Arrow Boulevard. Response time to the project area is from 4 to 6 minutes. Fontana currently maintains a ratio of 1.1 sworn officers per 1,000 residents.

The Central Valley Fire Protection District (CVFPD) provides fire protection to the project area. The CVFPD is part of the San Bernardino County Fire Agency. CVFPD also provides paramedic service in this area. The closest fire station to the project area, Fire Station #78, is approximately three miles away, located on Citrus Avenue between Baseline Avenue and Walnut Avenue. The response time from Fire Station #78 would be approximately 5 minutes to the Specific Plan project area. A new Fire Station #79 is proposed north of the 210 Freeway, to be located at Summit Avenue and Citrus Avenue. This new Fire Station will be approximately one mile away, and have a response time of 2 to 3 minutes to the project area.

City of Fontana development impacts fees must be paid prior to the issuance of building permits to offset incremental impacts to Police and Fire Department facilities and services.

*Public Schools:* The Fontana Unified School District (FUSD) serves the student population that will be generated by the residential units within the Ventana at Duncan Canyon Specific Plan. Currently, the Sierra Lakes Elementary School, located at Citrus Avenue and Summit Avenue is currently the closest to the Specific Plan project area. The Wayne Ruble Middle School, located below the 210 Freeway on Juniper Avenue and South Highland Avenue is currently the closest middle school to the project area. The new Summit High School, located at Lytle Creek Road and Summit Avenue is currently nearing completion. FUSD cannot guarantee that students generated within the Specific Plan project area will attend the closest school. The District is pursuing the acquisition and construction of additional new elementary and middle schools north of the 210 Freeway.

Prior to the issuance of building permits, school impact fees must be paid to FUSD based upon current student generation rates. Please refer to the EIR on the project for specific information on the estimated student generation created by The Ventana at Duncan Canyon Specific Plan and the required fees.

*Public Library:* Library services are provided by the San Bernardino County Library system, Fontana Branch. The current Main Library is currently located at the intersection of Nuevo Avenue and Valencia Avenue, approximately three miles southeast of the Specific Plan project area. This Library is being replaced and relocated near City Hall at the intersection of Sierra Avenue and Spring Street. This relocation and expansion is expected to be completed by 2007.

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Section 3.0  
**ELEMENTS OF THE SPECIFIC PLAN**

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The closest public library to the project site is located at Summit High School, approximately one half mile south of the Specific Plan project area.

City of Fontana development impacts fees must be paid prior to the issuance of building permits to offset incremental impacts to Library facilities and services.

**Utilities:** The Ventana at Duncan Canyon Specific Plan project area will be served by the following utility companies:

Electricity:	Southern California Edison
Natural Gas:	The Gas Company, Sempra Utilities
Water:	West Valley Water District
Sewer:	City of Fontana
Sewer Treatment Facilities:	Inland Empire Utilities Agency
Solid Waste:	Burrtec Waste
Telephone:	SBC
Cable Services:	Adelphia Communications

## **3.6 CAPITAL IMPROVEMENT PROGRAM AND FINANCING**

Public facility and utility infrastructure construction costs are being provided as a supplement to the Specific Plan, and are contained within a separate document that is part of Appendix A-4. This document is available for review at Fontana City Hall, Community Development Department, Planning Division during normal business hours. Public infrastructure will be financed through a combination of private and public financing mechanisms, including a community facilities district or similar entity.

## **3.7 PROJECT PHASING PLAN**

The following Project Phasing Plan is intended for planning purposes and is based upon current day assumptions and professional marketing opinion. Construction of the project will be phased in a logical sequence and is subject to change in response to market conditions.

The City of Fontana Specific Plan entitlement process and California Environmental Quality Act (CEQA) required environmental review process is anticipated to be completed in the spring of 2007. Certain tract maps and architecture are being processed concurrently with the Specific Plan and EIR. Recordation of the Tract Maps is planned for later in the entitlement process.

Final Grading Plans are scheduled for early 2007, with Phase 1 (initial phase project streets and utility infrastructure) construction projected to start in mid 2007. This includes all core infrastructures necessary for development of the three eastern residential villages. Phase 2 consists of development of the residential villages in Planning Areas 5, 6 and 7, and the Campanile tower and landmark bridge. The project's current development plan suggests two backbone infrastructure sub-phases (1 and 3), logically bringing required infrastructure as needed for each developing planning area. This includes maintaining the current alignment of Lytle Creek Road until freeway interchange improvements are initiated and development begins to occur in the southern half of the Specific Plan project area.

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Section 3.0  
**ELEMENTS OF THE SPECIFIC PLAN**

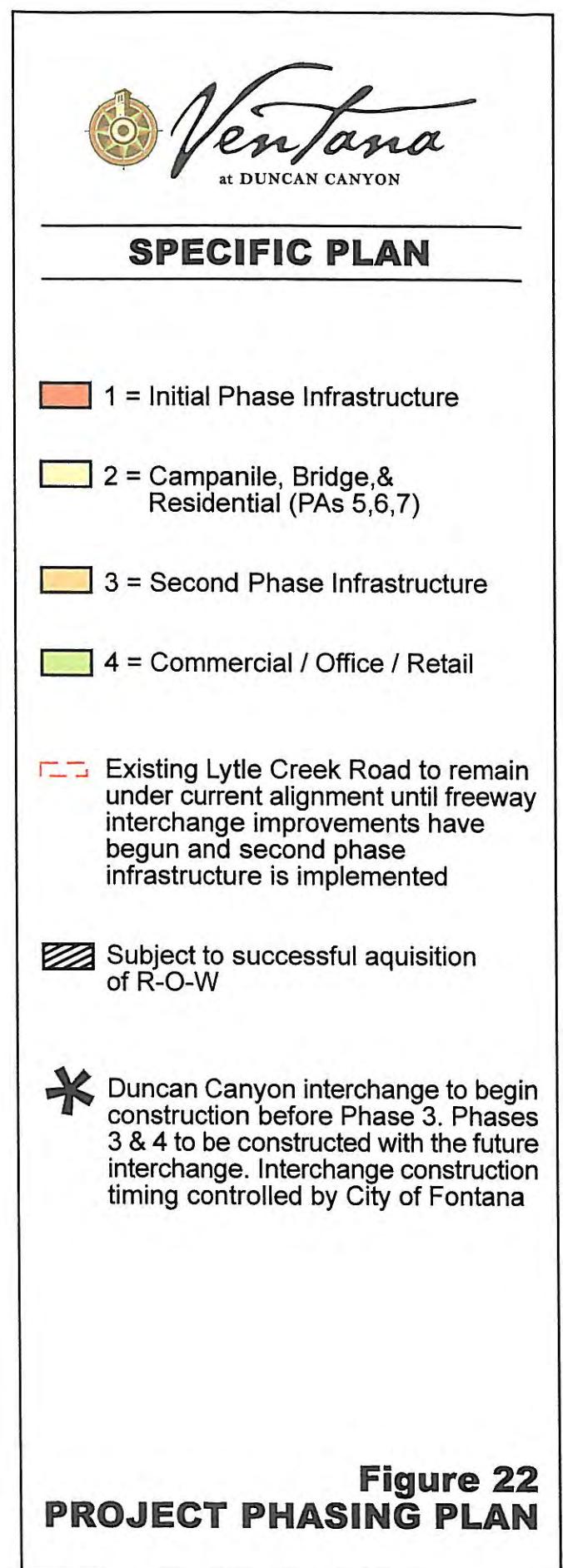
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The two key "placemaking" elements, the "Campanile" tower feature/monument and the "Ventana Bridge" would be the first structures to be built in Phase 2, with completion anticipated in mid-2008. Residential model complexes for the first three residential villages would be initiated in early 2008, with model completion later that year. Development of these homes would start in mid-to-late 2008 (Phase 2), and would be built out over a three- to four-year period, with build-out anticipated in 2011, based upon forecasted absorption rates.

The construction of the I-15 Freeway Interchange at Duncan Canyon Road is anticipated to start in early 2009, and be completed in late 2010. The initiation of construction of the freeway interchange will serve as a critical factor for initiating Phases 3 and 4; the completion of the remaining roadway and utility infrastructure and the development of the commercial uses. Phase 3 infrastructure and the arrival of the freeway interchange provides the access necessary for successful commercial tenants and quality corporate office occupancy.

Based upon the imminent availability of the freeway on-and off-ramps, along with the expected critical massing of residential units within the immediate trade area, it is anticipated that some portions of the retail commercial and office development could begin prior to the Freeway Interchange being completed. The convenience retail uses, anchor tenant/specialty market, and the "Ventana Winery and Restaurant" in Planning Areas 2 and 9 could begin development in early 2010 and be completed in late 2010 and early 2011. The mid-rise corporate office complex in Planning Area 1 and the business restaurant(s) in Planning Area 8 would also be initiated in 2010 with completion projected in 2011. It is anticipated that the hotel in Planning Area 1 and the "Piazza" in Planning Area 2 could be initiated between 2010 to 2011, both uses sharing critical dependence upon the direct freeway access provided by the Duncan Canyon Road interchange. The remaining office complexes in Planning Areas 3 and 10 are projected to begin development in 2012 and complete based on local and regional market demand.

Figure 22 provides a graphic representation of the Ventana at Duncan Canyon Phasing Plan.



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## 4.0 Development Regulations

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## 4.0 DEVELOPMENT REGULATIONS

### 4.1 GENERAL PROVISIONS

**Purpose and Intent:** The Development Regulations and Standards contained in this Section are set forth to implement the planning and design concepts of the Ventana at Duncan Canyon Specific Plan. These regulations address site development standards and provide the basic criteria that govern all development within the boundaries of the Specific Plan project area. Future development within the Specific Plan project area is subject to the review processes set forth in Section 6 of this Specific Plan. Any regulation or standard contained in this Section that differs from the City of Fontana Zoning and Development Code shall take precedent over, and supercede the Zoning and Development Code, unless otherwise prohibited. Any regulation or standard of the Zoning and Development Code not covered by this Specific Plan in the areas of site development, administration, review procedures, environmental review, and parking regulations shall be applicable to this Specific Plan. If discrepancies occur which unreasonably restrict the attainment of the goals, objectives and implementation of this Specific Plan and the Fontana General Plan, a Specific Plan Amendment shall be required. The Development Regulations and Standards set forth in this Section shall be applied to all properties located within the defined boundaries of The Ventana at Duncan Canyon Specific Plan.

**General Notes:** The following General Notes are intended to clarify the Development Regulations and Standards established in this Section of the Specific Plan.

1. The maximum number of residential dwelling units permitted by The Ventana at Duncan Canyon Specific Plan is 842. The approximate number of dwelling units within each residential or mixed use planning area is established by The Ventana at Duncan Canyon Planning Area Summary (Table 2). Each planning area contains an approximate or potential number of dwelling units. During the refined site planning and tentative tract map stage of design, the actual number of dwelling units allocated to a particular planning area may differ from the number shown in the Planning Area Summary (Table 2). Up to fifteen percent (15%) of the dwelling units in the applicable planning area may be transferred to another residential or mixed use planning area, provided that the maximum unit count for the Specific Plan as a whole does not exceed 842 units.
2. The maximum amount of commercial and office square footage permitted by The Ventana at Duncan Canyon Specific Plan is 574,500 square feet. The approximate amount of square footage within each commercial, corporate office, business park or mixed use planning area is established by The Ventana at Duncan Canyon Planning Area Summary (Table 2). Each planning area contains an approximate, or potential amount of commercial square footage. During the refined site planning and tentative tract map stage of design, the actual amount of commercial square feet allocated to a particular planning area may differ from the amount shown in the Planning Area Summary (Table 1). Up to fifteen percent (15%) of the allowable square footage in the applicable planning area may be transferred to

another commercial or mixed use planning area, provided that the maximum amount of commercial square feet for the Specific Plan does not exceed 574,500 square feet.

3. Minor boundary and acreage variations [up to fifteen percent (15%)] in the planning areas shall be permitted, subject to approval by the Director of Community Development, without an amendment to the Specific Plan document being required.
4. Development regulations relating to room additions, pools, spas and accessory structures that are not included in this Section shall conform to the City of Fontana Zoning and Development Code.
5. Development regulations for noise, vibration, light and glare, odors and electromagnetic interference shall comply with the City of Fontana Zoning and Development Code and any supplemental performance standards set forth in project Codes, Covenants and Restrictions (CC&Rs).
6. Any private streets within the Specific Plan shall be permanently reserved and maintained for their intended purpose by a means acceptable to, and enforceable by the City of Fontana. Adequate access for emergency vehicles shall be maintained at all times.
7. Table 30-175.A. of the Fontana Zoning and Development Code shall apply regarding the keeping of animals on residential properties, in addition to other project CC&Rs.
8. Section 30-178 of the Fontana Zoning and Development Code shall apply to all private swimming pools, spas and hot tubs.
9. Parking restrictions shall be included in all commercial, residential and mixed-use CC&Rs for enforcement of all on-site parking requirements. The intent in residential planning areas is to ensure full use of garages for vehicles, and that guest parking is not occupied by residents.
10. CC&Rs for residential, commercial and mixed-use projects within the Specific Plan project area shall establish recreational vehicle parking requirements on private streets, driveways and parking lots that are as restrictive or more restrictive than the Fontana Municipal Code.
11. All electrical, telephone, cable TV, fiber and other similar utilities are required to be underground, or as required by the Director of Community Development. Wireless and broadband telecommunication facilities must be fully integrated into the design and architecture of buildings or other structures, as a stealth facility.
12. Identification of historical site locations with monuments, plaques, kiosks with photos or other means within the appropriate Specific Plan planning area is required. This includes the Perdew School site, the Taylor House and the Lytle Creek Winery.

## 4.2 DEVELOPMENT REGULATIONS

The following section sets forth development regulations for all land uses within The Ventana at Duncan Canyon Specific Plan. This section has been prepared in compliance with California Government Code Section 65450 and all applicable development and design standards of the City of Fontana Zoning and Development Code, with modifications as permitted by The Ventana at Duncan Canyon Land Use Plan and Development Regulations set forth herein.

All setbacks established in this Section, unless otherwise noted in the following Development Regulations, shall be measured from the street right-of-way, except that setbacks from private streets shall be measured from the face of the curb, or the face of the sidewalk where they occur.

### 4.2.1 PLANNING AREA 1

Planning Area 1 consists of the North Corporate Complex, and is adjacent to the Interstate 15 Freeway and the planned hotel and restaurants uses in Planning Area 8. The primary use envisioned for this area includes a multi-story hotel of approximately 135 rooms. Other retail uses compatible with the North Corporate Complex, such as banks, savings and loans, credit unions, specialty shops are also conditionally allowed. Planning Area 1 contains approximately 5.75 net acres and would allow up to 116,000 square feet of hotel or corporate oriented commercial development.

**PERMITTED USES:** "C" Commercial

**Principal Permitted Uses:**

- 1) Offices, Corporate and Professional Services
- 2) Hotel
- 3) Sit-down Restaurants

**Accessory Permitted Uses:**

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

**Conditionally Permitted Uses:**

- 1) Banks and Savings and Loan Institutions
- 2) Retail Shops
- 3) Kiosk and Small Cart Retail
- 4) Credit Unions
- 5) Book Stores
- 6) Newsstands
- 7) Art Galleries & Auctions associated with the Art Gallery Use

- 8) Sports Clubs, Gyms and Athletic Facilities
- 9) Salons and Spas
- 10) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 11) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility.
- 12) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

**Prohibited Uses:**

- 1) Food Courts
- 2) Drive Through Fast Food
- 3) Car Washes
- 4) Gas Stations
- 5) Freestanding Drive-through Fast Food and Coffee Shops
- 6) Storage Facilities
- 7) Auctions not associated with a permitted use
- 8) New and Used Automobile Sales
- 9) Pawn Shops
- 10) Tattoo Parlors
- 11) Freestanding Wireless telecommunication Facilities that are not camouflaged or fully integrated into the architecture of structures
- 12) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

**DEVELOPMENT REGULATIONS AND STANDARDS**

**Commercial Floor Area Ratio Maximum:** 1:1 FAR

**Minimum Building & Parking Setbacks\*:**

- 1) Setback from Interstate 15 Freeway
- 2) Setback from Lytle Creek Road:
- 3) Setback from Residential
- 4) Building Separation Requirement:

<b>Building</b>	<b>Parking</b>
Twenty-five Feet (25')	Fifteen Feet (15')
Fifteen Feet (15')	Ten Feet (10')
Twenty-five Feet (25')	Ten Feet (10')
Ten Feet	N/A

\* From Right-of-way or Property Line

**Maximum Building Height:**

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III. Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

**Lot Requirements:**

- 1) Minimum Lot Size: 5 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

Parking and Circulation:

- 1) Except as specified herein, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces is sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All commercial site areas shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setback areas adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls or approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation, and specimen trees within this planning area.

#### 4.2.2 PLANNING AREA 2

Planning Area 2 is a unique, village scale, pedestrian-oriented mixed-use center. It is located adjacent to the major entry into the Specific Plan project area from the 15 Freeway. Duncan Canyon Road and the realigned Lytle Creek Road provide vehicle access that meet City and Caltrans access requirements. A pedestrian bridge would connect Planning Areas 2 and 8 over Duncan Canyon Road that serves to visually distinguish this area as Ventana at Duncan Canyon as you enter or exit Fontana from the 15 Freeway.

It consists of a European style commercial center focused around a large, oblong "Piazza" surrounded by vertically mixed uses in curved buildings. Restaurants and other retail shops are envisioned for the first floor, with other retail, office/professional and/or residential uses above. These uses would surround a large, open "Piazza" area. A tall "campanile" tower feature would be attached to the building close to the Duncan Canyon Road/Lytle Creek Road intersection, and serve as a significant visual monument from the surrounding area. A cascading fountain would be located in the middle of the "Piazza" to help mask the noise from the freeway and streets. The commercial "Piazza" would be supported by such uses as a market or another use and other specialty shops. Planning Area 2 contains approximately 11.4 net acres and would allow up to 104,000 square feet of commercial and office uses, and up to 45 residential units. If office uses are ultimately converted to residential uses, the change in use is required to obtain the approval of an Administrative Site Plan application from the City of Fontana Community Development Department.

##### PERMITTED USES: "M-U" Mixed Use

###### Principal Permitted Uses:

- 1) Vertically Mixed Uses that include Retail Commercial, Office Professional and Residential
- 2) Sit Down Restaurants
- 3) Offices, Corporate and Professional Services
- 4) Grocery Store/Specialty Market
- 5) Hotels
- 6) Sit-down Fast Food
- 7) Food Courts
- 8) Retail Shops
- 9) Kiosk and Small Cart Retail
- 10) Arcades with Video Games
- 11) Book Stores
- 12) Art Galleries and Auctions associated with the Art Gallery Use
- 13) Sports Clubs, Gyms and Athletic Facilities
- 14) Music and Vocational Instruction
- 15) Salons and Spas
- 16) Any other use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Director of Community Development.

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Office, Corporate and Professional Services
- 2) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 3) Night Clubs (Alcoholic beverages allowed)
- 4) Winery and Micro-brewery (Alcoholic beverages allowed)
- 5) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility
- 6) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses

Prohibited Uses:

- 1) Car Washes
- 2) Storage Facilities
- 3) Gas Stations
- 4) Free-standing Drive-through Fast Food and Coffee Shops
- 5) Auctions not associated with a permitted use
- 6) Used automobile sales
- 7) Pawn Shops
- 8) Tattoo Parlors
- 9) Freestanding Wireless Facilities that are not camouflaged or fully integrated into the architecture of structures
- 10) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development

**"M-U" DEVELOPMENT REGULATIONS AND STANDARDS**

(Refer to Table 3a for additional regulations)

Commercial Floor Area Ratio Maximum:

1:1 FAR

Residential Density: A Maximum of 45 Residential Units

Minimum Dwelling Unit Sizes:

Studio Unit: See Table 3

One Bedroom Unit: See Table 3

Residential Amenities: If residential uses are implemented within Planning Area 2, each unit shall have oversize exterior balcony or balconies that total not less than two

hundred (200) square feet. Common recreational amenities shall be provided that could include a meeting room/media center, gymnasium/work-out facilities, spa and sauna. The Director of Community Development is required to approve a residential amenities plan prior to the approval of a design review application if residential uses are implemented within Planning Area 2.

**Minimum Building and Parking Setbacks\*:**

	<u>Building</u>	<u>Parking</u>
1) Setback from Duncan Canyon Road:	Twenty-five Feet (25')	Twenty-five Feet (25')
2) Piazza Setback from Duncan Cyn Rd:	Twenty Feet (20')	Twenty-five Feet (25')
3) Setback from Lytle Creek Road:	Fifteen Feet (15')	Fifteen Feet (15')
4) Setback from Ventana Way*	Ten Feet (10')	Ten Feet (10')
5) Setback from Knox Avenue	Ten Feet (10')	Ten Feet (10')
6) Building Separation Requirement:	Ten Feet (10')	N/A

\* From Right-of-way or Property Line; for Ventana Way (private street) the setback shall be from back of sidewalk.

**Maximum Building Height:**

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) The "Campanile" tower feature maximum height shall not exceed ninety-five feet (95').
- 3) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III, Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

**Lot Requirements:**

- 1) Minimum Lot Size: 11 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

**Parking and Circulation:**

- 1) Except as specified herein, parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All commercial site areas shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setbacks adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required on the Campanile tower feature, as accents on buildings, on monumentation, and on specimen trees within this planning area.
- 3) Unique lighting is encouraged within, and radiating out from the Campanile tower that is visible from the I-15 Freeway and the surrounding area.

#### 4.2.3 PLANNING AREA 3

Planning Area 3 is located near the southwestern corner of the Specific Plan project area, and is adjacent to the I-15 Freeway. Planning Area 3 has excellent visibility from the Freeway in both directions. This Planning Area has approximately 5.1 net acres and would allow for up to 100,000 square feet of Corporate Office, Research and Development, Light Manufacturing/High Tech Assembly and similar related uses. Other compatible retail commercial uses would also be allowed in Planning Area 3, including hotels, sports clubs, retail shops, salons and spas, banks and other financial institutions. Conditionally permitted uses include restaurants, nightclubs, storage facilities and stealth wireless communication facilities.

PERMITTED USES: "C" Commercial

Principal Permitted Uses:

- 1) Offices, Corporate and Professional Services
- 2) Hotels
- 3) Banks and Savings and Loan Institutions

- 4) Credit Unions
- 5) Sit-down Restaurants
- 6) Research and Development
- 7) Light Manufacturing
- 8) High Tech Assembly
- 9) Food Courts
- 10) Retail Shops
- 11) Sports Clubs, Gyms and Athletic Facilities
- 12) Salons and Spas
- 13) Any other use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Director of Community Development.

**Accessory Permitted Uses:**

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

**Conditionally Permitted Uses:**

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Nightclubs (Alcoholic beverages allowed)
- 3) Storage Facilities
- 4) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility.
- 5) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

**Prohibited Uses:**

- 1) Gas Stations
- 2) Car Washes
- 3) Free-standing Drive-through Fast Food and Coffee Shops
- 4) Auctions not associated with a permitted use
- 5) Used Automobile Sales
- 6) Pawn Shops
- 7) Tattoo Parlors
- 8) Freestanding Wireless telecommunication Facilities that are not camouflaged or fully integrated into the architecture of structures
- 9) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

**"C" DEVELOPMENT REGULATIONS AND STANDARDS****Floor Area Ratio Maximum: 1:1 FAR**

<u>Minimum Building and Parking Setbacks*:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from I-15 Freeway:	Twenty Feet (20')	Fifteen Feet (15')
2) Setback from Adjacent Commercial Uses	Five Feet (5')	None
3) Setback from Ventana Way*:	Fifteen Feet (15')	Ten Feet (10')
4) Setback from Residential Uses:	Twenty-five Feet (25')	Fifteen Feet (15')
5) Building Separation Requirement:	Twenty Feet (20')	N/A

\* From Right-of-way or Property Line; for Ventana Way (private street), the setback shall be from the back of sidewalk.

**Maximum Building Height:**

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

**Lot Requirements:**

- 1) Minimum Lot Size: 5 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

**Parking and Circulation:**

- 1) Except as specified herein, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses.
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

**Landscaping:**

- 1) All commercial site areas shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.

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- 3) Landscape setback areas adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

**Walls and Fences:**

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

**Lighting:**

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation and specimen trees within this planning area.

#### 4.2.4 PLANNING AREA 4

Planning Area 4 is located in the southwestern portion of the Specific Plan project area, and is near to the I-15 Freeway. Planning Area 4 has excellent visibility from the Freeway in both directions. This Planning Area has approximately 7.45 net acres and would allow for up to 114,000 square feet of Corporate Office, Research and Development, Light Manufacturing/High Tech Assembly, Retail Commercial and similar related uses. Other compatible retail commercial uses would also be allowed in Planning Area 4, including hotels, sports clubs, retail shops, salons and spas, banks and other financial institutions. Conditionally permitted uses include restaurants, nightclubs, storage facilities and stealth wireless communication facilities.

PERMITTED USES: "C" Commercial

**Principal Permitted Uses:**

- 1) Offices, Corporate and Professional Services
- 2) Hotels
- 3) Banks and Savings and Loan Institutions
- 4) Credit Unions
- 5) Sit-down Restaurants
- 6) Research and Development
- 7) Light Manufacturing
- 8) High Tech Assembly
- 9) Food Courts
- 10) Retail Shops
- 11) Art Galleries and Auctions associated with Art Galleries

- 12) Sports Clubs, Gyms and Athletic Facilities
- 13) Salons and Spas
- 14) Any other use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Director of Community Development.

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Nightclubs (Alcoholic beverages allowed)
- 3) Storage Facilities
- 4) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility.
- 5) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Gas Stations
- 2) Car Washes
- 3) Free-standing Drive-through Fast Food and Coffee Shops
- 4) Auctions not associated with a permitted use
- 5) Used Automobile Sales
- 6) Pawn Shops
- 7) Tattoo Parlors
- 8) Freestanding Wireless telecommunication Facilities that are not camouflaged or fully integrated into the architecture of structures
- 9) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

**"C" DEVELOPMENT REGULATIONS AND STANDARDS**

Floor Area Ratio Maximum: 1:1 FAR

<u>Minimum Building and Parking Setbacks*:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from I-15 Freeway:	Twenty Feet (20')	Fifteen Feet (15')
2) Setback from Adjacent Commercial Uses	Five Feet (5')	None
3) Setback from Ventana Way*:	Fifteen Feet (15')	Ten Feet (10')
4) Setback from Residential Uses:	Twenty-five Feet (25')	Fifteen Feet (15')

5) Building Separation Requirement: Twenty Feet (20') N/A

\* From Right-of-way or Property Line; for Ventana Way (private street), the setback shall be from the back of sidewalk.

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Lot Requirements:

- 1) Minimum Lot Size: 7 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

Parking and Circulation:

- 1) Except as specified herein, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or the Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses.
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All commercial site areas shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setback areas adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.

- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation and specimen trees within this planning area.

#### 4.2.5 PLANNING AREA 5

Planning Area 5 is the "North" Residential Village, located west of Citrus Avenue, north of Duncan Canyon Road and north of the Lytle Creek Road extension. This Planning Area has approximately 16.8 net acres and can accommodate up to 335 dwelling units. The maximum net residential density is 20 units per acre.

The envisioned housing type could be single-family detached court clusters, two-story/three-story townhomes or higher density motor court clusters. All units would be for sale and could include of two, three and four bedroom homes. Streets would be private and maintained through a Homeowners Association or similar entity. This area has approximately 0.9 acres of private recreation area, and, like the other two residential planning areas, contains a swimming pool, a tot lot and other passive amenities. See Table 6a for a complete list of amenities within this Planning Area.

The "MDR" or "MHDR" High Density Residential land use designation for Planning Area 5 are intended to provide for the development of a variety of single-family or multi-family residential dwellings. The intent is to allow the flexibility to offer a range of housing types and styles that appeal to a range of market segments, from first-time buyers, to families, and to seniors. Flexibility is provided in the development regulations to allow both a variety of densities and styles while maintaining the overall limit on the total number of allowed dwelling units. Typical products include for sale attached single-family residences, attached townhomes, multi-family clustered, courtyard flats and condominiums.

The following standards and regulations are applicable to Planning Area 5 within the Ventana at Duncan Canyon Specific Plan.

**PERMITTED USES:** "MDR" Medium Density Residential or "MHDR" Medium High Density Residential

Principal Permitted Uses:

- 1) Single-family Detached Residential
- 2) Multi-family Attached Residential

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Recreation Centers
- 4) Swimming Pools and Spas
- 5) Tot Lots
- 6) Court Games (Basketball, Volleyball, Handball, etc.)
- 7) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted residential use.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

**"MHDR" DEVELOPMENT REGULATIONS AND STANDARDS**

(Refer to Table 4 for additional regulations)

Maximum Density: 20 Dwelling Units per Acre

<u>Minimum Building and Parking Setbacks*</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Citrus Avenue:	Twenty Feet (20')	Ten Feet (10')
2) Setback from Street "A":	Ten Feet (10')	Fifteen Feet (15')
3) Building Separation Requirement:	See Table 4	N/A

\* From Public Rights-of-way.

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty-five feet (45') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III. Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Residential Unit Size Requirements:

- 1) Minimum Unit Size: See Table 4
- 2) Minimum Number of Bedrooms: Two (2)

Lot Requirements:

- 1) Minimum Lot Size: See Table 4
- 2) Minimum Lot Width: See Table 4
- 3) Minimum Lot Depth: See Table 4
- 4) Maximum Lot Coverage: See Table 4

Recreational Amenities: See Table 6a

Minimum Open Space

- 1) Private Open Space: A minimum of 150 square feet of open space shall be provided for each dwelling unit. Private open space may include ground floor patios or courtyards, second and third floor balconies or decks, and rooftop decks. Private open space may be covered, but must be open on at least one side.
- 2) Common Open Space: A minimum of thirty percent (35%) shall be provided for common open space.

Parking and Circulation:

- 1) For attached or detached, alley loaded, motor court or front-loaded multiple-family dwelling units, the following parking standards apply:
  - a) Studio: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
  - b) One Bedroom: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
  - c) Two Bedroom: 2.0 spaces per unit, both of which shall be within an enclosed garage.
  - d) Three or more Bedrooms: 2.5 spaces per unit, of which two spaces shall be within an enclosed garage.\*
- \*Note: The 0.5 spaces can be provided as on-street parking so long as the total number of spaces can be included entirely within the planning area and only on one side of a private street, provided that a minimum drive aisle width of 26 feet for two-story structures, and 30 feet for three story structures is provided on the private streets.
- e) Guest Parking: One space per three units, with a minimum of three spaces. These stalls must be provided off-street in dedicated parking areas reserved for guests.
- 2) For detached, single-family dwelling units, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 3) Driveway aisle widths as per the Specific Plan (see Table 4 "MHDR" Footnotes).
- 4) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') for screening and three feet (3') for retaining (nine feet [9]) overall height). Sound wall adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.

- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent the recreation building, monumentation and specimen trees within this Planning Area.

Accessory Structures:

- 1) Accessory structures located in private patio areas, including, but not limited to spas, patio trellis and covers, permanent barbecues and storage buildings shall adhere to the following setbacks:
  - a) Adjacent Buildings: Two Feet (2')
  - b) Alleys: None
  - c) Property Lines: Two Feet (2')
- 2) No setback is required from property lines where reciprocal easements exist. In this case, setback shall be two feet (2') from adjacent residential buildings.

#### 4.2.6 PLANNING AREA 6

Planning Area 6 is the "Central" Residential Village, located west of Citrus Avenue, north of Duncan Canyon Road and east of the realigned Lytle Creek Road extension. This area has approximately 11.7 net acres and can accommodate a maximum of 257 dwelling units. The envisioned housing type could be attached condominiums and townhomes with attached garages served by alleys or a higher density attached multi-family apartment product type. The net maximum residential density is 22 units per acre. All units would consist of studio and up to 3 bedroom homes.

The streets would be private and maintained through a Homeowners Association or similar entity. This area has approximately 0.5 acres of private recreation area. See Table 6b for a list of amenities within this Planning Area. Planning Area 6 provides for direct linkages to adjacent planning areas, and encourages pedestrian access to the residential villages to the north and west, and to the Northern Corporate Office Complex located to the west.

The "MDR" Medium Density Residential land use designation is intended to provide for the development of a variety of single-family or multi-family residential dwellings with a maximum density of 22 units per acre. The intent is to allow the flexibility to offer a range of housing types that appeal to a range of market segments, including singles, young couples, families and seniors. Flexibility is provided in the development regulations to allow a variety of densities while maintaining the overall limit on the total number of allowed dwelling units.

**PERMITTED USES:** "MDR" Medium Density Residential

Principal Permitted Uses:

- 1) Multi-family Attached Residential
- 2) Attached Condominiums and Townhomes

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Recreation Centers
- 4) Swimming Pools
- 5) Tot Lots
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with the principal permitted residential use.

Conditionally Permitted Uses:

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

**"MDR" DEVELOPMENT STANDARDS**

(Refer to Table 5 for additional regulations)

Maximum Density: 22 Dwelling Units per Acre

<u>Minimum Building and Parking Setbacks*:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from Duncan Canyon Road:	Twenty Feet (20')	Ten Feet (10')
2) Setback from Citrus Avenue:	Twenty Feet (20')	Ten Feet (10')
3) Setback from Lytle Creek Road:	Fifteen Feet (15')	Ten Feet (10')
4) Setback from Street "A":	Ten Feet (10')	Fifteen Feet (15')
5) Building Separation Requirement:	See Table 5	N/A

\* From Right-of-way.

Maximum Building Height:

- 1) Buildings and other structures shall not exceed fifty-five feet (55') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III, Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Residential Unit Size Requirements:

- 1) Minimum Unit Size: See Table 5
- 2) Minimum Number of Bedrooms: One (1) or Studio

Lot Requirements:

- 1) Minimum Lot Size: See Table 5
- 2) Minimum Lot Width: See Table 5
- 3) Minimum Lot Depth: See Table 5
- 4) Maximum Lot Coverage: See Table 5

Recreational Amenities: See Table 6b

Minimum Open Space

- 1) **Private Open Space:** A minimum of 65 square feet of open space shall be provided for each dwelling unit. Private open space may include ground floor patios or courtyards, second and third floor balconies or decks, and rooftop decks. Private open space may be covered, but must be open on at least one side.
- 2) **Common Open Space:** A minimum of thirty-five percent (35%) shall be provided for common open space.

Parking and Circulation:

- 1) 1.8 spaces per unit, inclusive of guest parking, of which one space shall be covered. Spaces can be provided as on-street parking so long as the total number of spaces can be included entirely within the planning area.
- 2) For detached, single-family dwelling units, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 3) Driveway aisle widths as per the Specific Plan (see Table 4 "MHDR" Footnotes).
- 4) Minimum parking stall dimensions for open and covered parking are nine feet (9') by eighteen feet (18').

Landscaping:

- 1) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') for screening and three feet (3') for retaining (nine feet [9'] overall height).
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.

- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

**Lighting:**

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation and specimen trees within this planning area.

**Accessory Structures:**

- 1) Accessory structures located in private patio areas, including, but not limited to spas, patio trellis and covers, permanent barbecues and storage buildings shall adhere to the following setbacks:
  - a) Adjacent Buildings: Two Feet (2')
  - b) Alleys: None
  - c) Property Lines: Two Feet (2')
- 2) No setback is required from property lines where reciprocal easements exist. In this case, setback shall be two feet (2') from adjacent residential buildings.

#### 4.2.7 PLANNING AREA 7

Planning Area 7 is the "South" Residential Village, located south of Duncan Canyon Road and east of the realigned Lytle Creek Road. This residential village is located east of the "Piazza" and neighborhood serving commercial center (Planning Area 2). This area has approximately 12.95 net acres and can accommodate a maximum of 205 dwelling units. The envisioned product type would be two-story, single-family detached cluster condominiums with standard attached garages.

All units would be for sale and would consist of two to four bedroom homes. The streets would be private and maintained through a Homeowners Association or similar entity. This area has approximately 0.75 acres of private recreation area, and includes a swimming pool, spa, tot lot and other village amenities. See Table 6c for a complete listing of amenities within this Planning Area.

A pedestrian bridge over Lytle Creek Road would connect this Planning Area to the Piazza commercial center to the west. Residences in this Planning Area would also have direct access to planned regional trails to be located with the Southern California Edison power transmission line corridor adjacent to the south side of Planning Area 7.

As with Planning Area 6, the "MDR" Medium Density Residential land use designation for Planning Area 7 is intended to provide for the development of a variety of single-family residential dwellings with a maximum density of 16 units per acre. The intent is to allow the flexibility to offer a range of housing types and styles that appeal to a range of market segments, from first-time buyers, to families, and move-up buyers. Flexibility is provided in the development regulations to allow both a variety of styles while maintaining the overall limit on the total number

of allowed dwelling units. Typical products include for sale detached single-family residences/condominiums.

**PERMITTED USES:** "MDR" Medium Density Residential

**Principal Permitted Uses:**

- 1) Single-family Detached Residential
- 2) Attached Condominiums and Town Homes

**Accessory Permitted Uses:**

- 1) Utility Facilities
- 2) Private Recreation Facilities
- 3) Recreation Centers
- 4) Swimming Pools
- 5) Tot Lots
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted residential use.

**Conditionally Permitted Uses:**

- 1) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

**Prohibited Uses:**

- 1) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use.

**"MDR" DEVELOPMENT STANDARDS**

(Refer to Table 5 for additional regulations)

**Maximum Density:** 16 Dwelling Units per Acre

**Minimum Building and Parking Setbacks\*:**

	<u>Building</u>	<u>Parking</u>
1) Setback from Duncan Canyon Road:	Twenty Feet (20')	Ten Feet (10')
2) Setback from Citrus Avenue:	Twenty Feet (20')	Ten Feet (10')
3) Setback from Lytle Creek Road:	Twenty Feet (20')	Ten Feet (10')
4) Setback from SCE Transmission Line Corridor:	Five Feet (5')	Five Feet (5')
5) Building Separation Requirement:	See Table 5	N/A

\* From Right-of-way.

**Maximum Building Height:**

- 1) Buildings and other structures shall not exceed thirty-five feet (35') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

**Residential Unit Size Requirements:**

- 1) Minimum Unit Size: See Table 5

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2) Minimum Number of Bedrooms: Two (2)

Lot Requirements:

- 1) Minimum Lot Size: See Table 5
- 2) Minimum Lot Width: See Table 5
- 3) Minimum Lot Depth: See Table 5
- 4) Maximum Lot Coverage: See Table 5

Recreational Amenities: See Table 6c

Minimum Open Space

- 1) Private Open Space: A minimum of 150 square feet of open space shall be provided for each dwelling unit. Private open space may include ground floor patios or courtyards, second and third floor balconies or decks, and rooftop decks. Private open space may be covered, but must be open on at least one side.
- 2) Common Open Space: A minimum of thirty-five percent (35%) shall be provided for common open space.

Parking and Circulation:

- 1) For attached or detached, alley loaded, motor court or front-loaded multiple-family dwelling units, the following parking standards apply:
  - a) Studio: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
  - b) One Bedroom: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
  - c) Two Bedroom: 2.0 spaces per unit, both of which shall be within an enclosed garage.
  - d) Three or more Bedrooms: 2.5 spaces per unit, of which two spaces shall be within an enclosed garage.\*

\*Note: The 0.5 spaces can be provided as on-street parking so long as the total number of spaces can be included entirely within the planning area and only on one side of a private street, provided that a minimum drive aisle width of 26 feet for two-story structures, and 30 feet for three story structures is provided on the private streets.

- e) Guest Parking: One space per three units, with a minimum of three spaces. These stalls must be provided off-street in dedicated parking areas reserved for guests.
- 2) For detached, single-family dwelling units, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 3) Driveway aisle widths as per the Specific Plan (see Table 4 "MHDR" Footnotes).
- 4) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All residential uses shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed six feet (6') for screening and three feet (3') for retaining (nine feet [9'] overall height).
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation and specimen trees within this planning area.

Accessory Structures:

- 1) Accessory structures located in private patio areas, including, but not limited to spas, patio trellis and covers, permanent barbecues and storage buildings shall adhere to the following setbacks:
  - a) Adjacent Buildings: Two Feet (2')
  - b) Alleys: None
  - c) Property Lines: Two Feet (2')
- 2) No setback is required from property lines where reciprocal easements exist. In this case, setback shall be two feet (2') from adjacent residential buildings.

The following Table 3 provides a summary of the residential development regulations for potential dwelling units within the Piazza in Planning Area 2. Tables 4 and 5 provide a summary of development regulations for Planning Area 5, 6 and 7.

## Ventana at Duncan Canyon Specific Plan

**Table 3**  
**Development Standards Summary - High Density Residential (HDR)**

DEVELOPMENT STANDARD	HIGH DENSITY RESIDENTIAL
<b>PLANNING AREA(S)</b>	<b>2</b>
Maximum Density	22 du/ac
Minimum Site Area	5 acres
Minimum Lot Size	N/A
Minimum Lot Width	150 feet
Minimum Lot Depth	200 feet
Maximum Building Site Coverage	50 %
Minimum Building Setback from Rights-of-Way <sup>1,3</sup>	
Major / Primary	20 feet
Secondary	15 feet
Collector	10 feet
Private street <sup>2</sup>	6 feet
Minimum Building Separation	
Front to any other Façade	15' Min. except 3 story to 3 story: 25' Min.
Side to Side or Rear Façade	15' Min. except 3 story to 3 story; 20' Min.
Rear to Rear	15' Min. except 3 story to 3 story, 25' Min.
Maximum Projection Permitted into Building Separation	See 3
Maximum Building Height <sup>4</sup>	45 feet
Minimum Floor Area:	
Studio	700 square feet
1 Bedroom	800 square feet
Private Open Space (Patio and/or Balcony)	
	100 square feet per unit
Common Open Space	N/A
Parking Requirements <sup>6</sup>	
Studio	1.0 space per unit
Resident Parking (1 Bedroom)	1.5 spaces per unit
Guest Parking	1 space per 5 units

(See following page for footnotes/additional regulations)

<sup>6</sup> see following page for notes.

**Table 3**  
**Planning Area 2 Footnotes**

<sup>1</sup> Right of way lines as shown on street sections in Specific Plan.

<sup>2</sup> Setbacks along private streets shall be measured from the back of sidewalk. If no sidewalk, then from face of curb.

<sup>3</sup> Architectural enhancements and projections, including covered porches, patios, balconies, outside open stairways and decks, are allowed into Building Setbacks or Building Separations a maximum of 50% as long the minimum clear distance between projections shall be three (3) feet. Projections such as fireplaces, media niches, bay windows, roof eaves, and meter cabinets may extend up to three (3) feet into building separations or setbacks providing a minimum of three (3) feet clear are provided.

<sup>4</sup> Architectural features such as chimneys and weather vanes may extend above building height maximum, subject to the approval through Fontana's Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

<sup>5</sup> Common open space includes all common areas, open space, recreation areas, and private streets within the site parcel.

<sup>6</sup> Includes private street parking, carports and parking lots. A minimum of one space shall be provided for studio units, and 1.5 spaces for one-bedroom units for PA 2. Guest parking shall be provided at one space per 5 units.

**Other:**

Building setbacks shall be fifteen (15) feet to an adjacent property.

Parking requirements may be reduced based on joint use considerations with adjacent retail and office uses if approved by the Director of Community Development. The minimum Site Area for PA 2 may also be reduced if approved by the Director of Community Development.

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**Table 4**  
**Development Standards Summary - Medium High Density Residential (MHDR)**

DEVELOPMENT STANDARD	MEDIUM HIGH DENSITY RESIDENTIAL	
<b>PLANNING AREA(S)</b>	<b>5</b>	
Maximum Density	20 du/ac	
Minimum Site Area	5 acres	
Minimum Lot Size	1,900 sq. ft.	
Minimum Lot Width	28 feet	
Minimum Lot Depth	45 feet	
Maximum Building Site Coverage	70%	
Building Setback from Rights-of-Way <sup>1,3</sup>		
Major / Primary	20 feet	
Secondary	20 feet	
Collector	10 feet	
Private street <sup>2</sup>	6 feet	
Minimum Building Separation	Detached	Attached
Front to Front	10'	20' Min. except 3 story to 3 story; 25' Min.
Front to Side Yard	8'	15' Min. except 3 story to 3 story; 20' Min.
Side to Side or Rear Façade	8'	15' Min. except 3 story to 3 story; 20' Min.
Rear to Rear	8'	20' Min. except 3 story to 3 story, 25' Min.
Maximum Projection Permitted into Building Separation		See 3 below
Maximum Building Height <sup>4</sup>		45 feet
Minimum Floor Area		
1 Bedroom	800 square feet	
2 Bedroom	900 square feet	
3 Bedroom	1,100 square feet	
Private Open Space (Patio and/or Balcony)		150 square feet per unit
Common Open Space <sup>5</sup>		35% of Site
Parking Requirements <sup>6</sup>		
Resident Parking ( 1 Bedroom)	1.5 spaces per unit	
Resident Parking ( 2 Bedroom)	2.0 spaces per unit	
Resident Parking ( 3 Bedroom+)	2.5 spaces per unit	
Guest Parking	1 space per 3 units	

(See following page for footnotes and additional regulations)

<sup>6</sup> See following page for notes.

**Table 4**  
**Planning Area 5 Footnotes**

<sup>1</sup> Right of way lines as shown on street sections in Specific Plan.

<sup>2</sup> Setbacks along private streets shall be measured from the back of sidewalk. If no sidewalk, then from face of curb. Garages along alleys or drives require a minimum total of thirty one (31) feet between facing garage doors with a minimum twenty five (25) feet access drive and three (3) feet of concrete apron or landscape on each side a garage condition occurs.

<sup>3</sup> Architectural enhancements and projections, including covered porches, patios, balconies, outside open stairways and decks, are allowed into Building Setbacks or Building Separations a maximum of 50% as long the minimum clear distance between projections shall be three (3) feet. Projections such as fireplaces, media niches, bay windows, roof eaves, and meter cabinets may extend up to three (3) feet into building separations or setbacks providing a minimum of three (3) feet clear are provided.

<sup>4</sup> Architectural features such as chimneys and weather vanes may extend above building height maximum, subject to the approval through Fontana's Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

<sup>5</sup> Common open space includes all common areas, open space, recreation or pool areas , and private streets within the site parcel, excluding private fenced yards.

<sup>6</sup> Includes street parking, carports and parking lots. A minimum of two spaces shall be provided in a garage per dwelling unit. For dwelling units with a full driveway, in order to count for one guest parking space, the minimum depth of the driveway shall be 19' 0" measured from the face of the garage door to the back of the sidewalk, and 16' 0" in width.

**Other:**

Building setbacks to the I-15 Freeway shall be twenty (20) feet and fifteen (15) feet to an adjacent property.

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**Table 5**  
**Development Standards Summary - Medium Density Residential (MDR)**

DEVELOPMENT STANDARD	MEDIUM DENSITY RESIDENTIAL	
<b>PLANNING AREA(S)</b>	<b>6</b>	<b>7</b>
Maximum Density	22 du/ac	16 du/ac
Minimum Site Area	5 acres	5 acres
Minimum Lot Size	2,240 sq. ft.	1,800 sq. ft.
Minimum Lot Width	32 feet	40 feet
Minimum Lot Depth	70 feet	45 feet
Maximum Lot Coverage	65 %	65 %
Minimum Building Setback from Rights-of-Way <sup>1,3</sup>		
Major / Primary	20 feet	
Secondary	15 feet	
Collector	10 feet	
Private street <sup>2</sup>	6 feet	
Minimum Building Separation		
Front to any other Façade	10 feet	
Side to Side or Rear Façade	7 feet	
Rear to Rear	7 feet	
Maximum Projection Permitted Building Separation		See Note 3
Maximum Building Height <sup>4</sup>		55 feet
Minimum Floor Area		
Studio	600 square feet	
1 Bedroom	700 square feet	
2 Bedroom	900 square feet	
3 Bedroom	1,100 square feet	
Private Open Space (Patio and/or Balcony)		65 square feet per unit
Common Open Space <sup>5</sup>		35% of Site
Parking Required <sup>6</sup>		1.8 spaces per unit

(See following page for footnotes/additional regulations)

**Table 5**  
**Planning Areas 6 and 7 Footnotes**

<sup>1</sup> Right of way lines as shown on street sections in Specific Plan.

<sup>2</sup> Setbacks along private streets shall be measured from the back of sidewalk. If no sidewalk, then from face of curb. Garages along alleys or drives require a minimum total of thirty one (31) feet between facing garage doors with a minimum twenty five (25) feet access drive and three (3) feet of concrete apron or landscape on each side a garage condition occurs.

<sup>3</sup> Architectural enhancements and projections, including covered porches, patios, balconies, stairways and decks, are allowed into Building Setbacks or Building Separations a maximum of 50% as long the minimum clear distance between projections shall be three (3) feet. Projections such as fireplaces, media niches, bay windows, roof eaves, and meter cabinets may extend up to three (3) feet into building separations or setbacks providing a minimum of three (3) feet clear are provided.

<sup>4</sup> Architectural features such as chimneys and weather vanes may extend above building height maximum . subject to the approval through Fontana's Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

<sup>5</sup> Common open space includes all common areas, open space, recreation or pool areas, and private streets within the site parcel, excluding private fenced yards.

<sup>6</sup> Includes street parking, carports and parking lots. A minimum of one space shall be parked in a garage or carport.

**Other:**

Building setbacks to a utility corridor property line shall be five (5) feet minimum.

#### 4.2.8 PLANNING AREA 8

Planning Area 8 is adjacent to the Interstate 15 Freeway, Duncan Canyon Road and the planned mid-rise Corporate Complex Hotel use in Planning Area 1. The primary use envisioned for this area includes quality restaurants and retail commercial uses. Other retail uses compatible with the North Corporate Complex, such as banks, savings and loans, credit unions, specialty shops are also allowed. Planning Area 8 contains approximately 3.6 net acres and would allow up to 32,500 square feet of retail commercial, restaurants and other compatible commercial development. This Planning Area is currently under separate ownership and is part of the North Corporate Complex.

PERMITTED USES: "C" Commercial

Principal Permitted Uses:

- 1) Retail Commercial
- 2) Sit-down Restaurants
- 3) Offices, Corporate and Professional Services

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Banks and Savings and Loan Institutions
- 2) Retail Shops
- 3) Kiosk and Small Cart Retail
- 4) Credit Unions
- 5) Book Stores
- 6) Newsstands
- 7) Art Galleries and Auctions associated with the Art Gallery use
- 8) Sports Clubs, Gyms and Athletic Facilities
- 9) Salons and Spas
- 10) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 11) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as stealth facilities
- 12) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Car Washes
- 2) Storage Facilities
- 3) Gas Stations
- 4) Drive-through Fast Food and Coffee Shops
- 5) Food Courts
- 6) Auctions not associated with a permitted use
- 7) New and Used Automobile Sales
- 8) Pawn Shops
- 9) Tattoo Parlors
- 10) Freestanding Wireless Telecommunication Facilities that are not camouflaged or fully integrated into the architecture of the structures
- 11) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

**"C" DEVELOPMENT REGULATIONS AND STANDARDS**

Maximum Floor Area Ratio: 1:1 FAR

Minimum Building and Parking Setbacks:

	<u>Building</u>	<u>Parking</u>
1) Setback from Interstate 15 Freeway	Twenty Feet (20')	Fifteen Feet (15')
2) Setback from Duncan Canyon Road:	Twenty-five Feet (25')	Twenty Feet (20')
3) Setback from Lytle Creek Road:	Fifteen Feet (15')	Ten Feet (10')
4) Building Separation Requirement:	None	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed sixty-five feet (65') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III. Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Lot Requirements:

- 1) Minimum Lot Size: 3.5 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

Off-Street Parking, Circulation and Loading Zones:

- 1) Except as specified herein, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is

not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.

- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.
- 6) Minimum loading areas for buildings in this Planning Area may differ from the minimum size required by the City's Development Code or any other City ordinances. The minimum size loading area for single tenant buildings less than 10,000 square feet in Planning Area 8 is 12' x 19'.

Landscaping:

- 1) All commercial uses shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setbacks adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls or approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent building(s), monumentation, and specimen trees within this planning area.

#### 4.2.9 PLANNING AREA 9

Planning Area 9 is located directly adjacent to the east side of the 15 Freeway at Duncan Canyon Road. It is also adjacent to the current alignment of Lytle Creek Road. This Planning Area is currently under separate ownership and contains an existing residence and outbuildings that was used in the past as the Lytle Creek Winery.

Planning Area 9 allows for the adaptive reuse of the existing residence as a specialty restaurant and winery. Corporate Office uses are also allowed within this planning area because of its' proximity to the future I-15 Freeway/Duncan Canyon Road Interchange. Planning Area 9 contains approximately 2.6 net acres and allows a maximum of 8,000 square feet of retail commercial use.

##### PERMITTED USES: "M-U" Mixed Use

###### Principal Permitted Uses:

- 1) Sit Down Restaurants
- 2) Offices, Corporate and Professional Services
- 3) Hotels
- 4) Retail Shops
- 5) Book Stores
- 6) Sports Clubs, Gyms and Athletic Facilities
- 7) Music and Vocational Instruction
- 8) Salons and Spas
- 9) Any other use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Director of Community Development.

###### Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

###### Conditionally Permitted Uses:

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Night Clubs (Alcoholic beverages allowed)
- 3) Winery and Micro-brewery (Alcoholic beverages allowed)
- 4) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility
- 5) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.

- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All commercial uses shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setbacks adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent building(s), monumentation, and specimen trees within this planning area.

#### 4.2.10 PLANNING AREA 10

Planning Area 10 is located in the southwestern corner of the Specific Plan project area, and is adjacent to the Freeway on the west, and the realigned Lytle Creek Road on the south. Planning Area 10 has excellent visibility from the Interstate 15 Freeway. This Planning Area has approximately 9.9 net acres and would allow for up to 100,000 square feet of office/business park, research and development, light manufacturing, high-tech assembly and other related uses. Separate two-story corporate office/research and development buildings of up to 50,000 square feet each are envisioned for this location. Other compatible retail commercial uses would also be allowed in Planning Area 10, including hotels, sports clubs, retail shops, salons and spas, banks and other financial institutions. Conditionally permitted uses include restaurants, nightclubs,

storage facilities and wireless communication facilities. Planning Area 10 is also currently under separate ownership.

PERMITTED USES: "C" Commercial

Principal Permitted Uses:

- 1) Offices, Corporate and Professional Services
- 2) Hotels
- 3) Research and Development
- 4) Light Manufacturing\*
- 5) High-tech Assembly\*
- 6) Banks and Savings and Loan Institutions
- 7) Credit Unions
- 8) Food Courts
- 9) Retail Shops
- 10) Sports Clubs, Gyms and Athletic Facilities
- 11) Salons and Spas
- 12) Any other use not specifically identified as a conditionally permitted or prohibited use, deemed compatible with other permitted uses by the Director of Community Development.

\* Note: For Light Manufacturing and High-tech Assembly uses, no outdoor storage or servicing is allowed; no truck loading bays in addition to that required by Code are allowed; storage areas within light manufacturing and high-tech assembly uses are limited to ten percent (10%) of the building area.

Accessory Permitted Uses:

- 1) Utility Facilities
- 2) Automatic Teller Machines (ATMs)
- 3) Parking Structures
- 4) Construction Trailers and Containers (Temporary)
- 5) Sales Office (Temporary)
- 6) Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Conditionally Permitted Uses:

- 1) Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed)
- 2) Nightclubs (Alcoholic beverages allowed)
- 3) Drive-through Fast Food and Coffee Shops
- 4) Storage Facilities
- 5) Wireless Telecommunication Facilities that are fully integrated into the architecture of structures, as a stealth facility
- 6) Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with principal permitted uses.

Prohibited Uses:

- 1) Gas Stations
- 2) Car Washes
- 3) Auctions not associated with a permitted use

- 4) New and Used Automobile Sales
- 5) Pawn Shops
- 6) Tattoo Parlors
- 7) Freestanding Wireless telecommunication Facilities that are not camouflaged or fully integrated into the architecture of the structures
- 8) Any other uses not specifically identified as a principal, accessory, or conditionally permitted use, and uses deemed incompatible by the Director of Community Development.

#### "C" DEVELOPMENT REGULATIONS AND STANDARDS

Maximum Floor Area Ratio: 1:1 FAR

<u>Minimum Building and Parking Setbacks:</u>	<u>Building</u>	<u>Parking</u>
1) Setback from I-15 Freeway:	Twenty Feet (20')	Ten Feet (10')
2) Setback from Lytle Creek Road:	Twenty Feet (20')	Ten Feet (10')
3) Building Separation Requirement:	Twenty Feet (20')	N/A

Maximum Building Height:

- 1) Buildings and other structures shall not exceed forty-five feet (45') in height.
- 2) Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height, subject to the approval through Fontana's Design and Administrative Site Plan Review process set forth in Article III., Division 1., Sections 30-103 through 30-112 of the Zoning and Development Code.

Lot Requirements:

- 1) Minimum Lot Size: 9 Acres (including easements)
- 2) Minimum Lot Width: One Hundred Fifty Feet (150')
- 3) Minimum Lot Depth: Two Hundred Feet (200')
- 4) Maximum Lot Coverage: Fifty Percent (50%)

Off-Street Parking and Circulation:

- 1) Except as specified herein, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.
- 2) For Uses not specified in the Specific Plan or Code, the Director of Community Development shall establish the required number of spaces based upon standards for similar uses
- 3) The Director of Community Development shall have the authority to grant the joint use of parking facilities for two or more uses. Joint, or reciprocal use of parking facilities may only occur when the uses/parties sharing the parking demonstrate that there is not a significant overlap in demand, and that the total number of spaces are sufficient to meet the peak parking demand of any combination of simultaneous uses.
- 4) Driveway aisle widths are required per the Zoning and Development Code Article IX, Division 2, Section 30-221, Table 30-221.A.
- 5) Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Landscaping:

- 1) All commercial uses shall have a minimum of fifteen-percent (15%) landscaping of the net project site, minus the building area footprint.
- 2) Required setback areas shall be landscaped with trees shrubs, plants, grasses and hardscape as recommended within The Ventana at Duncan Canyon Specific Plan Design Guidelines and Plant Palette.
- 3) Landscape setbacks adjacent to public rights-of-way and property boundaries, and areas occupied by exterior potted plants shall be included in the required 15% landscape area of the net project site.

Walls and Fences:

- 1) All perimeter walls and fences shall be designed to be consistent with The Ventana at Duncan Canyon Specific Plan Design Guidelines set forth herein.
- 2) Walls and fences constructed on interior lot lines, or at the rear of the required landscape setback area shall not exceed eight feet (8') in height. Sound walls adjacent to the I-15 Freeway right-of-way can exceed this height limit.
- 3) All trash and storage areas shall be screened with a decorative block wall that consists of split-face or slump-stone block, or a stucco finish.
- 4) All types of barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for security purposes.
- 5) All service, trash and storage areas shall be screened from view from public streets by walls and approved fencing.

Lighting:

- 1) Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and/or upward, but not outward from the project area.
- 2) Up lighting is required to accent buildings, monumentation, and specimen trees within this planning area.

## 4.3 SIGN REGULATIONS

*Purpose and Intent:* Retail commercial and office signage and site advertising are a key factors and an important aspect of The Ventana at Duncan Canyon Specific Plan. Uses within the neighborhood-serving commercial, corporate complex and the business park planning areas are critical to the success of Ventana. The purpose and intent of the Signs and Advertising Regulations section of The Ventana at Duncan Canyon Specific Plan are:

- To promote the economic success of Ventana at Duncan Canyon;
- To set forth a coordinated signage and advertising program for Ventana that identifies this area as a major Gateway into northern Fontana;
- To safeguard and enhance property values;
- To protect public and private investments in property and buildings;
- To preserve and enhance the appearance of Fontana as a place to live and work, and as an attraction to non-residents who come to visit, shop or recreate;
- To encourage sound signing practices as an aid to businesses and for conveying information to the public;
- To prevent excessive and confusing sign displays;
- To reduce hazards to motorists and pedestrians;
- To promote public health, safety and general welfare by regulating and controlling all matters relating to signage and advertising;

Fontana recognizes the need for a coordinated signage program as a means to identify businesses within the Ventana at Duncan Canyon Specific Plan project area. Signing is an important design element of the physical environment and an important aspect of business communication. The City is committed to preserving and improving its appearance and is striving to provide an economically stable and visually attractive community through site planning, building design, landscaping and signing. As a planned architectural feature, a sign can be pleasing and can harmonize with the physical character of its environment. Some signs detract from the city's aesthetic value and have the result of decreasing property values. Signs can present a hazard to both pedestrians and motorists. The City is committed to eliminating this hazard within Ventana, and to preserving and improving the area's aesthetic value, and to preserve and maintain the property values of parcels located within and around the project area.

*Authority and Requirements:* Ventana at Duncan Canyon Signage and Advertising plans shall be reviewed and approved pursuant to Development Advisory Board (DAB) review process set forth in Article III., Division 2, Sections 30-110 through 30-112 of the Fontana Zoning and Development Code.

No sign shall be erected, re-erected, constructed, installed or altered except as provided for in Chapters 3 and 30 of the Fontana Zoning and Development Code, or as approved by the Director of Community Development, through the DAB review process, as set forth above. A sign permit must be obtained from the Building and Safety Division prior to the construction or installation of all permanent and temporary signs within the Specific Plan project area. Where a conditional use permit or variance is needed for another purpose, the applicant need not submit a separate application for a sign permit, if the applicant wishes to submit sign plans at the same time. Any plan for signs to be so erected or constructed on the premises shall be submitted in conjunction

with the application for the conditional use permit or variance as part of the precise plan of design.

No sign shall be erected or used for business purposes of any kind, except such signs that are located on the place of business, and used solely for the naming designating or identifying that specific business, enterprise, calling, product or services available on and within the premises.

The commercial, office, business park and live/work uses within the Ventana at Duncan Canyon Specific Plan are designated, and shall be considered a "Commercial Complex". All applications for approval of signs shall be submitted to the City in the form of a Design Review Sign Application. The Sign Application shall outline and present the type, size, height, composition, location, color and design of all signs, banners and other types of exterior advertising to be constructed or installed. No sign, banners or other advertising shall be installed unless it conforms to an approved Design Review Sign Permit.

A sign program is required from the developer prior to the issuance of the first building permit for development within each planning area. The design of signage within each planning area shall be coordinated with all previous signage programs for the other commercial and residential planning areas within the Specific Plan. Signage designs shall embody an overall Mediterranean and Tuscan design theme, with colors, lettering styles, formats and materials that complement that theme.

No lighted or luminous sign shall be so constructed, erected or placed so as to direct or reflect artificial light onto any structure used exclusively for residential purposes.

#### **DESIGN STANDARDS FOR RETAIL COMMERCIAL AND OFFICE SIGNAGE**

The design standards set forth in this section shall be adhered to for all signage within The Ventana at Duncan Canyon Specific Plan. Each sign shall be designed with the intent and purpose of relating to the architectural style of the main building or buildings within each Planning Area. The sign shall also be compatible with the style or character of signage and development in adjacent planning areas. Signs located within commercial planning areas but adjacent to predominantly residential areas shall consider compatibility with such residential area.

The City finds that it is in the interest of both aesthetics and traffic safety that sign information be kept to a minimum. Only the name or use of the business or the name of the shopping center shall appear on the sign. The use of subordinate information such as telephone numbers, lists of products, pictures of products, etc., is discouraged, but may be considered at the discretion of the Director of Community Development or his/her designee and shall be based on size of lettering and location of information. Where subordinate information is allowed, the name or use of the business shall be the dominant message on the sign. No subordinate information will be allowed which may present a traffic hazard.

***Sign Colors:*** Sign colors should be compatible with the building architecture. Within the commercial and mixed use planning areas (PAs 1, 2, 3, 4, 8, 9 and 10), sign color should complement the color scheme for a Mediterranean/Tuscan style center. The use of garish or fluorescent colors is considered inappropriate, but may be considered at the discretion of the

Director of Community Development or his/her designee. No more than a three-color scheme shall be permitted.

Where there is more than one monument sign located within a Planning Area, all such signs shall have designs which are well related to each other by the similar treatment or incorporation of not less than four of the following six design elements:

- (1) Type of construction materials as used in the several sign components, such as cabinet, sign copy, supports.
- (2) Letter style of sign copy.
- (3) Illumination.
- (4) Type or method used for supports, uprights or structure on which sign is supported.
- (5) Sign cabinet or other configuration of sign area.
- (6) Shape of entire sign and its several components.

Each monument sign shall be located in a planted, landscaped area, which is of a shape, design, and size that will provide a compatible setting and ground definition to the sign, as determined by the Director of Community Development. The planted landscaped area shall be maintained on a reasonable and regular basis. Monument signs shall be nonmoving stationary structures. In all components and illumination (if any) shall be maintained by artificial light (either internally or externally), which is stationary and constant in intensity and color at all times (nonflashing).

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## 5.0 Community Design Guidelines

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## 5.0 COMMUNITY DESIGN GUIDELINES

### 5.1 PURPOSE AND INTENT

The Ventana at Duncan Canyon Specific Plan Design Guidelines provide criteria for site planning, architecture, monumentation, landscaping, hardscape and lighting design. These Guidelines are established to achieve a high-quality development that has community character and individual identity in this important gateway location into North Fontana. The primary goal of these Design Guidelines is to create a development that is unique to this area of Fontana that implements the goals, policies and actions established by the Fontana General Plan. It encourages a mixed-use master planned development where people can live, work and shop. It combines a wide range of retail and office space uses as well as shops, restaurants and corporate office facilities with a variety of residential housing types and densities. It also encourages a walkable community with pedestrian linkages within each planning area.

The Corporate Corridor Complex (Planning Areas 1, 3 4, 9 and 10) initiates the City's desire for a "Corporate Jobs Corridor" with supporting commercial uses along the southeast side of the I-15 Freeway. The neighborhood serving commercial center and "Piazza" (Planning Area 2) creates a unique, mixed-use village atmosphere with quality restaurants, shops, offices and residential uses. The community's theme focuses on a walkable Tuscan village with pleasant pedestrian corridors that reflects a strong Mediterranean design influence.

These Guidelines are intended to provide direction and criteria for design, but also allowing for and encouraging flexibility for architects, engineers, landscape architects, developers, builders and others involved with project design. Variation and customization within the context of these guidelines is encouraged to achieve distinctive commercial activity centers and quality residential neighborhoods. Careful and thorough collaboration between the City, the master developer, the builder(s), and their consultant teams will result in a quality development.

### 5.2 DESIGN GUIDELINE OBJECTIVES

The primary objectives of these Guidelines are to:

- 1) Provide guidance to developers and builders, and their professional consultant teams to achieve quality design;
- 2) Achieve a combination of mixed land uses and design elements that creates a unique "Village" environment in this area of the City;
- 3) Establish linkages and the separation of pedestrians and vehicles within a pleasant "Village" setting;
- 4) Suggest design elements that will result in a Mediterranean style Tuscan village atmosphere and setting with strong pedestrian connectivity.

These Design Guidelines are intended to be flexible in order to encourage creativity and to complement the Development Regulations set forth in Section 4 of this Specific Plan, Ventana at Duncan Canyon Specific Plan

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to establish quality to the character of each planning area. These Guidelines will be implemented through careful coordination between the master developer and the City of Fontana during the entitlement review process.

### 5.3 SITE PLANNING OBJECTIVES

Ventana at Duncan Canyon shall consists of the following major site plan objectives and components:

- A multi-story Corporate Office Complex and hotel, complemented by quality restaurants, shops, financial institutions and other related uses visible from the I-15 Freeway (Planning Areas 1, 3, 4, 9 and 10);
- A focal point neighborhood-serving commercial center, with a unique, multi-story, mixed use commercial development that surrounds a large "Piazza" (Planning Area 2);
- A "Campanile" tower feature located as a part of the "Piazza" that serves as a visual monument for the Ventana Master Development Plan (Planning Area 2);
- The adaptive reuse of the residence and other outbuildings into the commercial center that once contained the "Lytle Creek Winery" (Planning Area 9);
- A maximum of 842 medium and higher density residences that provide for alternative urban living environments generally not available in this area of Fontana, with unique housing types, designs and sizes. This includes single-family detached medium and medium high density residential, and attached, multi-family medium-high and high density townhomes and condominiums in a "Village" setting (Planning Areas 5, 6 and 7);
- Strong pedestrian linkages between the Corporate Office Complex, the neighborhood-serving Commercial Center and "Piazza", and the four Residential Villages, including grade separated bridges over Duncan Canyon Road and Lytle Creek Road (all Planning Areas);
- A quality edge treatment along the I-15 Freeway adjacent to the Specific Plan project area that distinguishes Ventana as a unique major entry into this area of Fontana (Planning Areas 1, 2, 3, 5, 8, 9 and 10);
- Creation of a pleasant Village environment buffered from strong winds and noise from the I-15 Freeway and the circulation system within the Specific Plan project area.

### 5.4 SITE PLANNING AND ARCHITECTURAL GUIDELINES

The following sections set forth site planning and architectural guidelines for the commercial, residential, private recreation, and other areas within the Ventana at Duncan Canyon Specific Plan. The goal is to assure that all site plans and architecture will be of high design quality and to attain a cohesive and unified community theme.

## Community Theme

A community theme is an important factor in creating a distinctive identity, continuity, and a sense of community. In developing a unifying theme for Ventana, a "Tuscan" village character was selected. The Tuscan style derives its forms and character from southern Italy, similar in geographic and climatic conditions to Southern California and to a heritage steeped in a tradition of agriculture and vineyards.

Another attraction of the Tuscan theme is it incorporates the use of stone and rich earth tone colors in its primary buildings. This is appropriate to the Fontana area given the occurrence of natural stone within the local alluvial soils and the natural color hues of the surrounding mountains. In addition, the Tuscan tradition includes a rich landscape character, with stands of Italian cypress, olive trees and other landscape materials that characterize many communities in the surrounding region.

The figures in these sections include many examples of quality buildings that reflect a Tuscan character. However, the intent is to apply a modern translation to the Tuscan style. Therefore, a literal interpretation of the style is not required. Instead, design solutions should incorporate key elements that complement a Tuscan theme. This includes the use of manufactured stone materials, inclusion of arches, arbors and trellises, earth tone building colors, and creating architectural interest and variation through variations in massing, form and details.

In order to provide an architecturally diverse community that will appeal to a broad range of people, other styles that are complementary to the Tuscan character are included in the Design Guidelines. These additional styles include Mission, Monterey, Italianate and Spanish Eclectic. Each of these styles and their major design elements are summarized in these Guidelines.

The supporting figures include a variety of residential and commercial buildings and are intended to demonstrate a level of design quality with attention to form, scale, color, details and materials. The examples provided are not intended to represent any actual building or particular design nor are they intended to require that all design images be incorporated into the design of the various planning areas. Rather, they are provided as a "palette" of design elements that should guide the design of the various sites. Developers, builders, planners and architects are encouraged to use creativity and imagination in developing their precise design proposals.

Any changes in architectural styles contained within the design guidelines as shown must meet or exceed the quality shown herein and shall be subject to approval by the Director of Community Development prior to issuance of building permits for the respective building.

## 5.5 COMMERCIAL AND MIXED USE ARCHITECTURAL GUIDELINES

### 5.5.1 Commercial / Mixed Use Site Planning Criteria

**Design Principles:** The intent of site planning criteria is to encourage a strong architectural village character that is pedestrian friendly and encourages residents, visitors, employers and employees, to take advantage of the "lifestyle" environment. At the same time, the goal of the site plan is to accommodate the needs for functionality and the creation of an appealing layout that will attract a broad cross-section of quality retail and office users and tenants.

**Site Planning Concepts:** As illustrated in the conceptual sketches, plans and photographs in the following Figures, the goal is to establish a unique lifestyle environment with an oval shaped "Piazza" as the centerpiece of the Commercial Master Plan and for the overall community of "Ventana." The curved shape of the buildings around the Piazza will create a classic and elegant architectural form as well as provide protection from the seasonal winds and noise of the surrounding streets. Other planned commercial buildings located outside the Piazza, including the hotel, offices, retail shops, restaurants, as well as the residential villages shall interconnect through pedestrian walks and/or via pedestrian bridges. The following is a summary of the building plotting criteria required for commercial and mixed-use Planning Areas.

- A campanile tower shall be provided to create a strong "beacon" and a "sense of place" for Ventana. The campanile should be illuminated to create a dramatic evening and nighttime effect.
- A fountain shall be provided at the center of the Piazza, reminiscent of many European piazzas where adults and children can socialize, relax and cool off in the summer months. A tiered or other cascading type fountain is required in order to mask and mitigate the noise from the adjacent streets and freeway. An example of a tiered fountain is included in the accompanying figures.
- The primary opening within the oval shaped buildings that form the Piazza shall be designed to face north and west to take advantage of the views to Mt. Baldy and surrounding mountains, as illustrated in the conceptual plans.
- Several pedestrian access locations are to be provided into the Piazza. In addition to two pedestrian bridges, access should be provided to allow pedestrians from adjacent perimeter streets to enter at various locations.
- Other retail, office and commercial buildings located outside the main Piazza shall provide special emphasis on pedestrian connectivity and crosswalks.
- Special hardscape treatments shall be provided within the Piazza area and other pedestrian walkways and corridors. Stamped concrete incorporating the "Ventana" logo shall be established throughout the Specific plan project area along pedestrian walkways in the commercial, residential and mixed-use areas.

The primary pedestrian corridor linking the Piazza and adjacent commercial uses with the surrounding residential uses is illustrated in the "Recreation and Pedestrian Connectivity Plan", Figures 18 and 26.

While adjustments to the master plan elements may occur over time as interested tenants/users submit applications for development of individual buildings within the commercial areas, the intent herein is to establish a cohesive concept. As such, for the first building design application in Planning Area 2 or 9, the "central" mixed-use area, a master plan for all buildings shall be submitted concurrently to identify the proposed location of other buildings and including site vehicular and pedestrian circulation. Similarly, for the "North" Corporate Planning Area, the first building design application shall also include a master plan for all proposed other proposed buildings in both Planning Area 2 and 9.

**Vehicular Parking and Circulation:** All ingress and egress into the retail center should be designed to minimize impacts on the surrounding uses while permitting ease of access to the center. Parking areas should be enhanced with canopy / shade trees.

**Pedestrian Circulation:** Pedestrian walkways shall be provided from one end of the center to the other, as well as access to the adjacent residential and office uses. All crosswalks at primary vehicular entry areas and into the piazza shall be enhanced with special paving. Refer to the "Recreation and Pedestrian Connectivity Plan" and the accompanying imagery / renderings for design intent (Figures 18 and 26).

### 5.5.2 Commercial Architectural Guidelines

The following are provided to guide the overall architecture of the commercial areas. Refer to Figures 23 through 25 for Commercial Architectural Guidelines for Planning Areas 1, 2, 3, 4, 8, 9 and 10.

**Building Massing and Scale:** Building mass and scale are key elements in the successful design of all commercial architecture. To unify the commercial uses, generous use of arch type forms, whether in entryways, windows or freestanding arbors and trellises should be included. The figures that follow identify various building forms that demonstrate these criteria.

**Building Materials and Colors:** Colors, materials and finishes should be coordinated on all exterior elevations of all buildings to achieve continuity of design. Earth tones, consistent with the residential guidelines, should be provided. Bright orange, pink or other intense colors should be avoided.

**Roof Forms and Materials:** A variety of roof forms are permitted with the retail center. Gable, hip and flat roofs are all acceptable. Flat roofs should be accented or hidden by a parapet wall. All roofing materials (excluding moldings, decoration, parapets, and similar architectural features) that are visible from ground level should be constructed of concrete tile to assure continuity in texture and character.

## SPECIFIC PLAN



Ground floor level enhancements such as covered walkways or canopies, a port-o-cochere at the hotel, and enhanced paving at the building entries shall be included.

Enhanced paving at building entries.

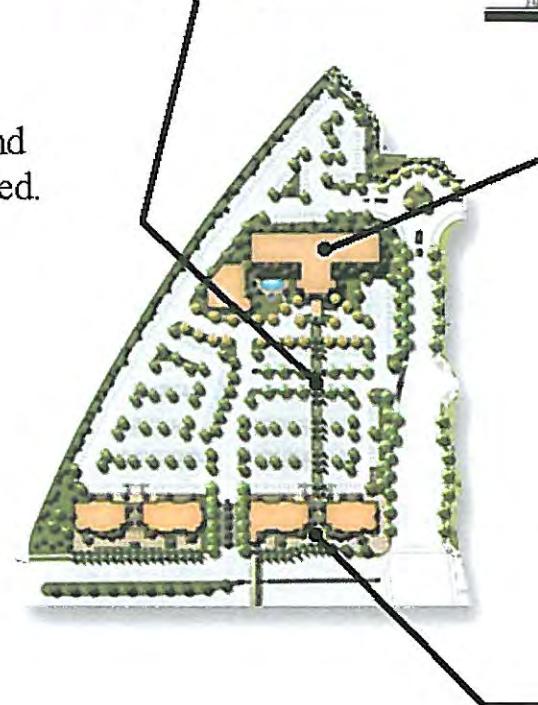


Landscape materials should be used to unify the various uses.

The major pedestrian linkages to the Duncan Canyon bridge shall be defined by stately trees such as Italian cypress.



A consistent architectural and landscape vocabulary shall integrate the office, hotel and retail uses.

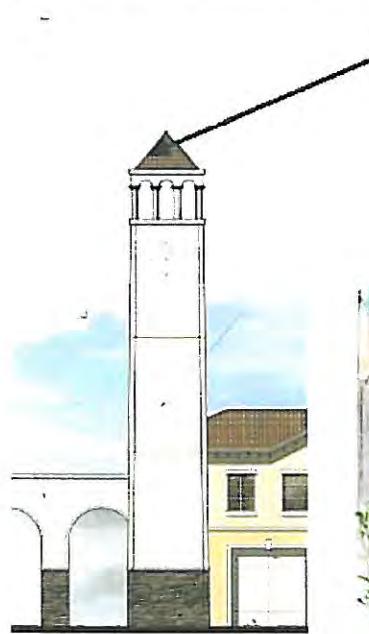


### PA 1 & 8 North Corporate Hotel, Office and Retail

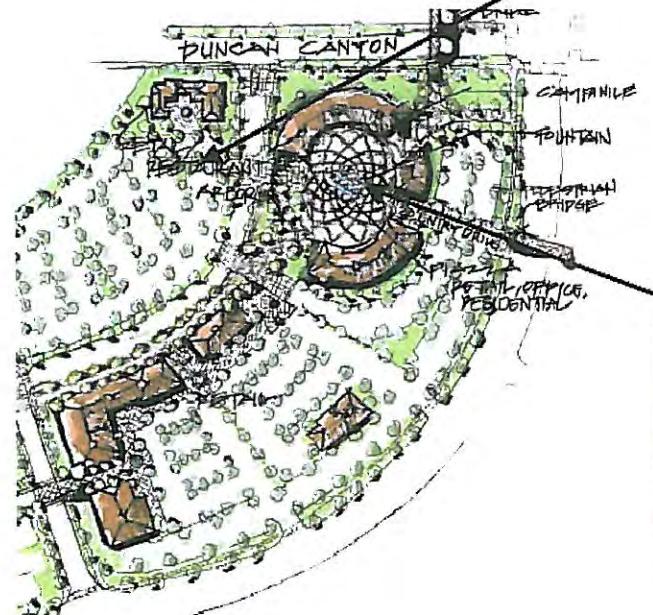
**Figure 23**  
**PA 1&8**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**

## SPECIFIC PLAN

A campanile or tower shall provide a focal point and sense of place for Ventana and the surrounding communities.



A vine covered arbor with arches will create enclosure within the piazza and provide a sense of entry.



A tiered fountain shall be located in the central Piazza area.



The piazza shall include large outdoor plaza areas for events such as farmers market and art fairs and shall be enhanced with decorative paving, bollards and landscaping.



“Conversation Areas” with comfortable chairs and benches shall be provided near the vine covered entry arbor.

### PA 2 and 9 Mixed Use Design Guidelines

**Figure 24a**  
**PA 2&9**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**

Incorporating stone or cultured stone materials enhances Tuscan character.



## PA 2 and 9 Mixed Use Design Guidelines - Continued.

Orient shops and restaurants to the piazza by linking with pedestrian walkways



Arches shall be integrated into the architectural facades.



Use color on buildings to enrich the elevations.



## SPECIFIC PLAN

**Figure 24b  
PA 2&9  
ARCHITECTURAL DESIGN  
GUIDLINES**



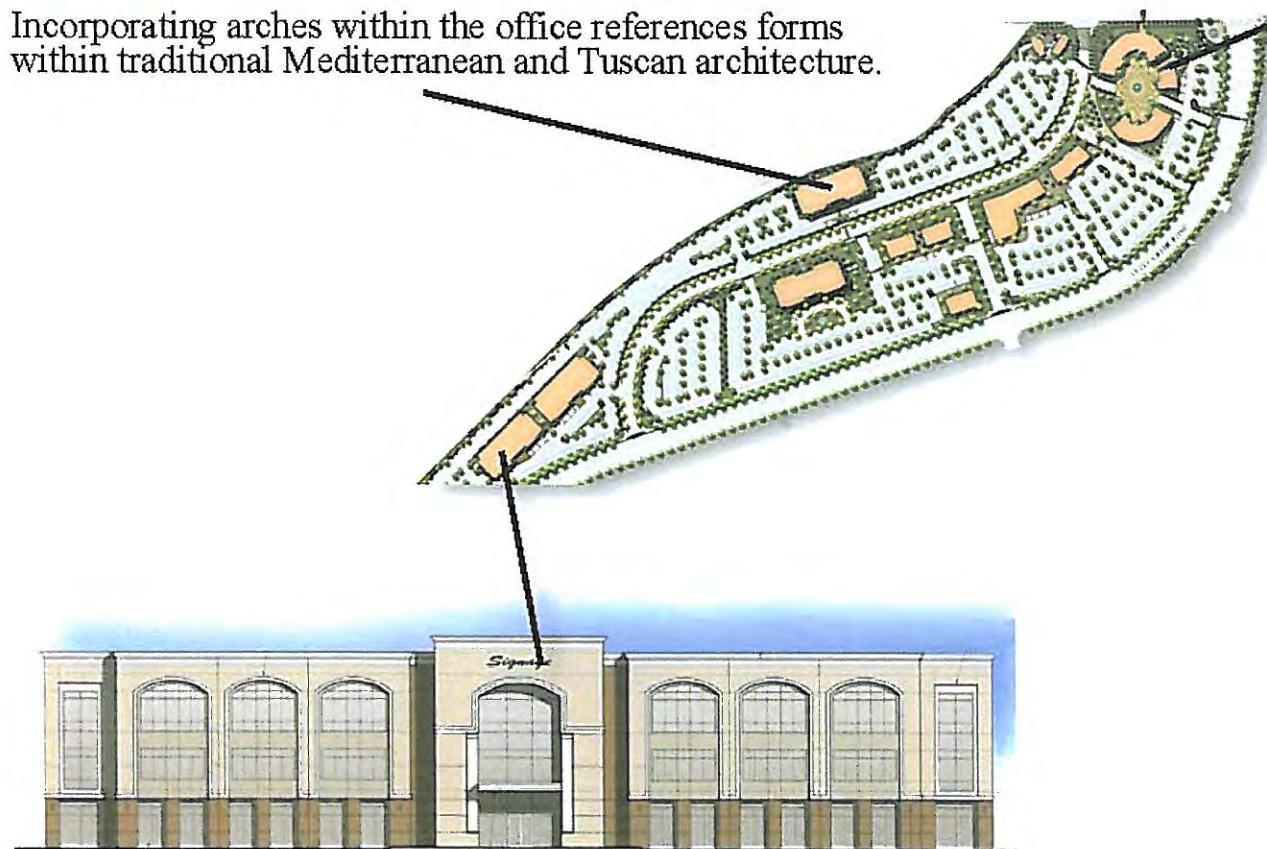
## SPECIFIC PLAN



Incorporating arches within the office references forms within traditional Mediterranean and Tuscan architecture.



Patio and/or seating should be provided in the outdoor spaces between buildings.



Incorporating stone or manufactured stone elements accents enriches the elevation and creates continuity within the overall master plan.



Exterior colors should complement adjacent retail and residential uses with emphasis on earth tones.

### PA 3,4 & 10 Central and South Corporate Guidelines

**Figure 25**  
**PA 3,4 &10**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**

## 5.6 RESIDENTIAL ARCHITECTURAL GUIDELINES

### 5.6.1 Residential Site Planning Criteria

Design Principles: The intent of these residential site planning criteria is to create an attractive, pedestrian friendly village environment that interconnects each neighborhood to the planned retail, office, and hotel uses.

Site Planning Concepts: Creating attractive, friendly and safe streets in today's communities is always a challenge given the omnipresence and dependency on the automobile. Garage doors in particular frequently dominate the street scene and detract from the overall quality of the community.

The concepts planned for Ventana places the emphasis on the pedestrian and the street scene character. All homes, whether detached or attached, are required to locate the majority of garages off the primary street scene and instead along alleyways, similar to many older and quaint communities in Southern California. In this way, the street scene becomes one where the beauty of front porches, balconies and other architectural features enliven the pedestrian walkways and street. It also creates a safer neighborhood environment, whereby children can walk along streets and walkways without the constant concern of automobiles backing in and out of garages.

Each of the three planning areas that are designated exclusively for residential uses are based on the above concepts. Planning Area 5 provides for sale type single-family homes or townhome/multi-family homes. Planning Areas 6 and 7 provide for either detached single-family homes, or higher density attached product types.

To create variety within each village, site plotting concepts shall emphasize orienting the fronts of homes to face local tree lined public or private streets and/or towards pedestrian walkways and inward oriented landscaped courts. To further enhance each village character, the primary entry to all residential villages shall orient to a community amenity, such as an open space, private recreation and/or pool facility.

"Each residential village will have it's own recreation and amenities, including a pool, bathroom/ shower, tot lot, BBQ area and passive open space within a short walking distance of all homes. Internal walkways within each residential planning area will provide safe pedestrian and bicycle access to these neighborhood centers. Planning Area 6 will also have a meeting room and kitchen that will provide a central location for local homeowner association meetings. This meeting room can also be reserved for private parties or other community functions.

Parking for all residential units and guest parking: Parking shall be provided based on the following:

Parking and Circulation:

For attached or detached, alley loaded, motor court or front-loaded multiple-family dwelling units, the following parking standards apply:

- a) Studio: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
- b) One Bedroom: 1.5 spaces per unit of which one space shall be within an enclosed garage.\*
- c) Two Bedroom: 2.0 spaces per unit, both of which shall be within an enclosed garage.
- d) Three or more Bedrooms: 2.5 spaces per unit, of which two spaces shall be within an enclosed garage.\*

\*Note: The 0.5 spaces can be provided as on-street parking so long as the total number of spaces can be included entirely within the planning area and only on one side of a private street, provided that a minimum drive aisle width of 26 feet for two-story structures, and 30 feet for three story structures is provided on the private streets.

- e) Guest Parking: One space per three units, with a minimum of three spaces. These stalls must be provided off-street in dedicated parking areas reserved for guests.

For detached, single-family dwelling units, off-street parking within the Specific Plan project area is required per Zoning and Development Code Article XI, Division 2., Table 30-314.A.

Driveway aisle widths as per the Specific Plan (see Table 4 "MHDR" Footnotes).

Minimum size parking stalls are required per Zoning and Development Code Article IX, Section 30-222, Table 30-222.A.

Parking restrictions shall be included in all commercial, residential and mixed-use CC&Rs for enforcement of all on-site parking requirements. The intent in residential planning areas is to ensure full use of garages for vehicles, and that guest parking is not occupied by residents.

Pedestrian Connectivity: Pedestrian connections shall be provided to enable easy access for residents to walk to the village center and surrounding commercial/office/retail uses. These may be via sidewalks or from landscaped pathways located within the internal areas of each residential village.

One of the major amenities provided in the Ventana community will be the accessibility to the Village Center in a safe and attractive setting. Most, if not all residents, will be able to walk from their homes to the planned shops, cafes, restaurants and offices within under ten minutes in a setting of tree lined streets or along generously landscape pathways. Future employers and employees within the hotel, office buildings and retail

uses will also appreciate the convenience and amenities of a pedestrian oriented environment. Figures 18a, 18b and 26 identify the primary pedestrian pathway system.

### 5.6.2 Residential Architectural Guidelines

The residential guidelines are intended to promote diverse villages with strong identities, consistent with the overall Tuscan theme. Refer to Figures 27a through 27h for Residential Planning Areas 5, 6 and 7.

Massing and Scale: The articulation of building facades and variation in rooflines increases the attractiveness in residential architecture. The location of certain types of building elements also improves massing and scale. On single-family homes, placing one-story elements on two-story houses at street corners effectively "steps back" the scale and massing, providing a more pedestrian friendly street scene. Therefore, on corner lot conditions for the single-family homes, it is encouraged to provide single story elements such as entry canopies, trellises, porches, or other single story architectural enhancements.

In the case of townhomes and multi-family structures, placing a one- or two-story building element at the ends of a three-story structure accomplishes the same objective. This is most needed when these structures are adjacent to or facing single-family detached homes, such as between Planning Areas 5 and 6. Continuous three-story structures, where proposed, are appropriate when adjacent to corporate or retail uses, to complement the scale of the greater massing and scale of the business uses and to create a more metropolitan character.

Building Materials and Colors: Building materials and colors play an important role enhancing each neighborhood and the community in general. While earth tones are preferred to complement the Tuscan theme, a variety of color palettes are recommended in order to avoid a monotonous or continuous appearance of buildings with the same color and tones. Examples of preferred earth tone color palettes that blend with the Tuscan theme are provided in the photographs in the figures that follow. Bright orange, pink or other intense colors should be avoided.

Windows: Windows details differentiate architectural styles and can provide a high level of architectural enrichment. The selection and proportion of the windows to the façade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are ways to further enhance the architecture and should be in keeping with the scale of the windows. In general, windows should enhance rather than dominate the overall architectural character.

Porches and Balconies: Another way to add to the architectural interest and functionality of a building is to incorporate porches and balconies. They help add depth to a building façade and break up large wall masses. The design of the porch or balcony should be consistent with the architectural style. Front porches and balconies also provide a pedestrian friendly scale and opportunity for social interaction. Wrap-around corner balconies on corner units are encouraged.

Columns and Posts: Whether serving as structural or aesthetic elements, columns and posts can reinforce the theme and character of a particular architectural design. The size and scale of columns and posts will vary depending upon the architectural style and should convey a solid, durable image. They may be freestanding or used as a support.

Rear and Side Elevations: Where homes are visible from the major streets such as Duncan Canyon Road, Citrus Avenue and Lytle Creek Road, the articulation of rear and side-building facades is an important feature for the community. While the goal of the landscape master plan is to create a continuous green perimeter along these major streets where residential units abut them, there will be cases where view fences occur that allow views into the community. Therefore, the architectural treatments for these conditions shall incorporate enhancements such as pop-outs, enhanced window treatments, planter boxes, shutters, banding and other appropriate detailing.

Floor Plans and Building Elevations: For planning areas that include single-family detached homes, a range of dwelling unit sizes, floor plans and elevations shall be provided. A minimum of three different floor plans is required. In addition, a minimum of three elevations shall be provided for each floor plan. Similar style elevations should not be repeated adjacent to one another, unless approved by the Director of Community Development due to unique design conditions.

For planning areas that have townhomes and multi-family structures, two styles are required. These shall include a Tuscan and Spanish Eclectic Style as identified in the accompanying figures and architectural imagery/photographs. Other styles permitted by this Specific Plan may be allowed subject to approval of the Director of Community Development.

There is the option for residential lofts within the Piazza in Planning Area 2, the mixed-use portion of the Specific Plan. These potential residential units shall be integrated architecturally into the oval shape building forms to reinforce a European type urban village.

Private Recreation Areas: Ventana provides individual private recreation uses for each of the three residential villages. Each village shall include a pool, tot lot, restroom/showers, BBQ area and benches set in either a garden or turf area setting. Refer to Figure 28a for locations of the private recreation areas and Figure 28b for conceptual layouts and list of amenities for each of the three recreation areas. Each of the three residential village recreation sites is located within convenient walking distance to surrounding homes. Tables 6a through 6c provide a summary of the proposed private recreational amenities to be provided within each residential planning area, and City Code or Optional Density Policy Standard requirements.

A major feature and open space amenity that is also provided in this Specific Plan is a European plaza, referred to as the "Piazza", located in the heart of the site as part of the mixed-use neighborhood center in Planning Area 2. The Piazza area will total approximately 30,000 square feet and will include a central fountain and outdoor sitting and shade areas for residents and visitors. Public and private activities, such as art

**Table 6a**  
**Proposed & Required Residential Planning Area Amenities**  
**Planning Area 5**

<u>Planning Area 5 Recreational Amenities</u>	<u>Zoning Code Development Standards*</u>
<ul style="list-style-type: none"><li>a) Large open lawn area (100' x 50').</li><li>b) Two tot-lots w/ multiple activities.</li><li>c) Pool and spa, with cabana building (restrooms/showers)*.</li><li>d) Two BBQ areas, one fireplace* and picnic benches.</li><li>e) Full size basketball court.</li></ul> <p>*Note: Cabana Building and Fireplace amenity is in addition to Code requirements.</p>	<p>Development consisting of 101 units to 200 units shall provide five of the following recreational facilities, or equivalent, as approved by the Planning Commission:</p> <ul style="list-style-type: none"><li>a) Large open lawn area, minimum dimensions shall be 100 feet by 50 feet.</li><li>b) Multiple Tot-lots with multiple play equipment. The tot-lots shall be conveniently located throughout the site. The number of tot-lots and their location shall be subject to Planning Commission review and approval.</li><li>c) Pool and/or spa.</li><li>d) Community multi-purposed room equipped with kitchen, defined area for games, exercises, etc.</li><li>e) Barbecue facilities equipped with multiple grills, picnic benches, etc. The barbecue facilities shall be conveniently located throughout the site. The number of barbecue facilities and their location shall be subject to Planning Commission review and approval.</li><li>f) Court facilities (e.g. tennis, volleyball, basketball, etc.)</li><li>g) Jogging/walking trails with exercise stations.</li></ul>

**Table 6b**  
**Residential Planning Area Amenities**  
**Planning Area 6**

Planning Area 6 Recreational Amenities

- a) Enhanced public realm with dedicated pedestrian circulation network of paseos and plazas
- b) Plaza with fountain
- c) Pool and spa, with cabana building (restrooms/showers)\*.
- d) Two BBQ areas, one fireplace\* and picnic benches.
- e) Bocce Court
- f) Community multi-purpose room equipped with kitchen, restrooms and shower.
- g) Indoor gym/fitness facility
- h) Community picnic Area

\* Note: The Plaza with fountain is in lieu of the open lawn area. The Cabana/Community Building, Community picnic area, and Fireplace amenity is in addition to Code requirements.

**Table 6c**  
**Proposed & Required Residential Planning Area Amenities**  
**Planning Area 7**

Planning Area 7 Recreational Amenities

- a) Large open lawn area (110' x 50').
- b) Tot-lot w/ multiple activities.
- c) Pool and spa, with cabana building (restrooms/showers)\*.
- d) Two BBQ areas, one fireplace\* and picnic benches.
- e) Full size sand volleyball court.

\*Note: Cabana and Fireplace amenity is in addition to Code requirements.

Zoning Code Development Standards\*

Development consisting of 101 units to 200 units shall provide five of the following recreational facilities, or equivalent, as approved by the Planning Commission:

- a) Large open lawn area, minimum dimensions shall be 100 feet by 50 feet.
- b) Multiple Tot-lots with multiple play equipment. The tot-lots shall be conveniently located throughout the site. The number of tot-lots and their location shall be subject to Planning Commission review and approval.
- c) Pool and/or spa.
- d) Community multi-purposed room equipped with kitchen, defined area for games, exercises, etc.
- e) Barbecue facilities equipped with multiple grills, picnic benches, etc. The barbecue facilities shall be conveniently located throughout the site. The number of barbecue facilities and their location shall be subject to Planning Commission review and approval.
- f) Court facilities (e.g. tennis, volleyball, basketball, etc.)
- g) Jogging/walking trails with exercise stations.

The Ventana Bridge will provide both a major sense of arrival to the City of Fontana and to the community of Ventana.

The bridge will provide a direct connection into the piazza, while also interconnecting the shops, restaurants, hotel and office uses with the surrounding residential neighborhoods.

The bridge example shown below is representative of the theme planned for Ventana. It provides a Tuscan/Mediterranean style architecture incorporating a combination of stucco and stone with accents of tile.



Pedestrian Bridge



Secondary Pedestrian Bridge

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**SPECIFIC PLAN**

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The Tuscan style is characterized by an informal arrangement of building forms with predominantly hipped roofs, accented by occasional gable or cross gable red tile roofs above predominantly tall narrow windows with or without shutters. Use of fieldstone or other rustic material completes the rural character of this style.

Form: Informal building massing with varied vertical and horizontal forms.

Roof: Red tile, mostly hip roofs.

Windows: Predominantly tall narrow or arched.

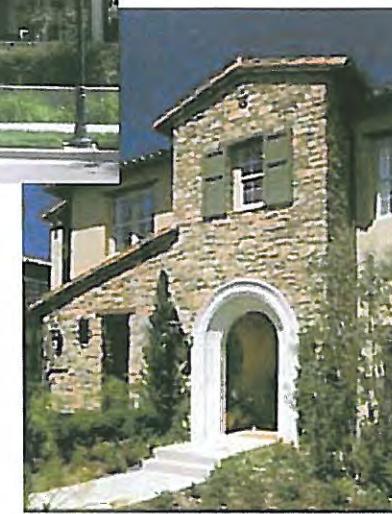
Colors: Earth tone with stone or cultured stone creating a contrast to light colored walls.

Details: Stone or cultured stone, wrought iron, colored awnings add character.



**T U S C A N**

**Figure 27a**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**



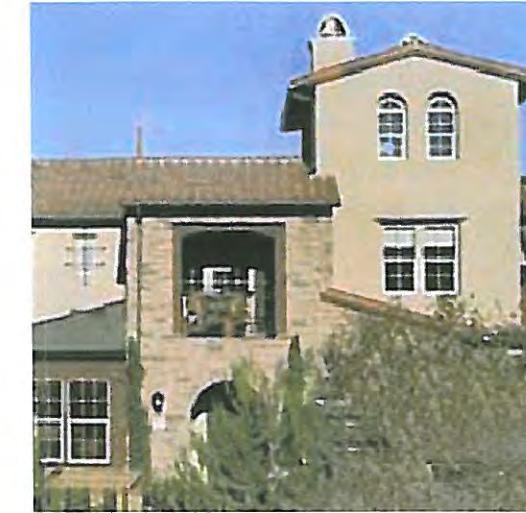
Arches in entryways and windows reinforce the Tuscan style.



### Tuscan Details



Tall narrow windows typifies the Tuscan style.



Excellent massing and scale is shown above with this third story element adjacent to a two story town home.



A low pitched roof with a simple overall building form is enhanced with use of stone, window treatments and balconies.



### SPECIFIC PLAN

**Figure 27b  
PAs 5 THROUGH 7  
ARCHITECTURAL DESIGN  
GUIDLINES**

A blend of Mission and Spanish revival periods, the Spanish Eclectic style is characterized by low pitched hip or gabled roofs, usually with little or no overhangs, and red tile roofs with light colored stucco walls, typically white.

The design elements are often asymmetrical and include arches, balconies, patio's, and wood, wrought iron or stone decorative elements.

Form: Strong and simple massing, often asymmetrical.

Roof: Low pitched, hip or gable.

Windows: Combination of arched and rectangular, some with shutters.

Colors: Typically white stucco façade with red tile roofs.

Details: Wood and wrought iron/grills and pot shelves, use of decorative patterned tiles.



## SPANISH ECLECTIC



### SPECIFIC PLAN

**Figure 27c**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**



Low pitched, hip and gabled roofs characterize this style.



Arched windows and entries.



Window or balcony grills and rails.



Arcade type entries



## SPANISH ECLECTIC DETAILS



### SPECIFIC PLAN

**Figure 27d**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**

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## SPECIFIC PLAN

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The Monterey style is characterized by simple forms with extensive use of second story balconies, wood shutters and exposed wood rafter tails

Form: Simple forms with use of second story balconies.  
Primarily stucco surfaces.

Roof: Low pitch, generally gabled, many with exposed rafter tails.

Windows: Generally unadorned, paired and recessed, usually vertical. Shutters with deep rich colors are common.

Colors: Contrasting shades of white, light and darker tans.

Details: Cast iron railings, wood accents.



## MONTEREY

**Figure 27e**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**



Wood balconies create a distinctive Monterey style.



Roof forms are typically gabled.



Exposed rafter tails both in roof and balcony.

## MONTEREY DETAILS



Simple window details with vertical orientation.



## SPECIFIC PLAN

**Figure 27f**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**

The Italianate style is characterized with simple mass and forms, low pitched roofs, upper story windows that are smaller and less elaborate than below with each floor emphasized with different window treatments.

Form: Simple rectangular shape, with first story more elaborate in detailing than second story.

Roof: Low profile, with overhangs, sometimes with decorative brackets.

Windows: Windows are vertical or arched, with first story including greater detail.

Colors: Stucco walls with little or no texture, can be white or rich colors.

Details: Inverted U shaped crowns above windows, boxed eaves, some use of quoins, occasional use of shutters.



ITALIANATE



## SPECIFIC PLAN

Figure 27g  
PAs 5 THROUGH 7  
ARCHITECTURAL DESIGN  
GUIDLINES

---

**SPECIFIC PLAN**

---



Low profile roofs with rectangular and arched window as accents.



Stucco walls with minimum texture, lighter colors  
walls are required for Ventana.

### ITALIANATE DETAILS

**Figure 27h**  
**PAs 5 THROUGH 7**  
**ARCHITECTURAL DESIGN**  
**GUIDLINES**



**NOTE:**  
 The above recreation areas are conceptual and are subject to revision during site plan review. Amenities within each site shall be as identified in Table 6.

**Figure 28a**  
**RESIDENTIAL VILLAGE**  
**RECREATION & OPEN SPACE**  
**DESIGN GUIDELINES**



Site furnishings within planning areas shall be consistent in lighting standards, benches and trash receptacles



Picnic tables and a drinking fountain shall be required in all private recreation sites adjacent to the free play turf areas or as otherwise approved by the Community Development Director



BBQ areas will all be "built-in" style with decorative surfacing



Clustered Mailbox Design Features



**Site Amenity Standards:**

Within each of the residential planning areas 5, 6 and 7, a variety of recreational uses are planned. Refer to the individual site plans on the Figure 28a for each planned activity. (Refer to Tables 6a-d for a listing of the amenities).

In order to create overall continuity within the Ventana community, a design palette is illustrated in the photographs to the left.

Site furnishings such as benches, trash receptacles and bollard style lighting fixtures shall follow the character and color shown.

Picnic tables, with a minimum of one drinking fountain per Planning Area, shall be similar design to the images shown. Picnic tables and/or benches shall be located adjacent to free play turf areas and at bar-b-que locations where they are outside the pool areas.

Each pool site shall also include a spa area. Plantings between the pool / spa deck and the perimeter fencing shall be provided to soften the pool area and to provide areas for flowering evergreen plants. The pool decks shall at a minimum include a sand colored concrete, or other special deck paving material, with decorative score lines. A minimum of two shade trees per planning area shall be located within the interior of the fenced pool site, 36' box size minimum.

The basketball court within planning area 4 shall include a colored painted surface, similar to the image shown, unless otherwise approved by the Community Development Director.

Any changes to the above are subject to approval by the Director of Community development.

## 5.7 STREETSCAPE MASTER PLAN AND GUIDELINES

Streetscapes play an important part of the developing a distinctive community. Parkway trees and background trees, shrubs and groundcovers that are located within the streetscapes all contribute to creating a unified and beautiful community.

The streetscape design elements are described below and illustrated in the Figures 29a through 29h.

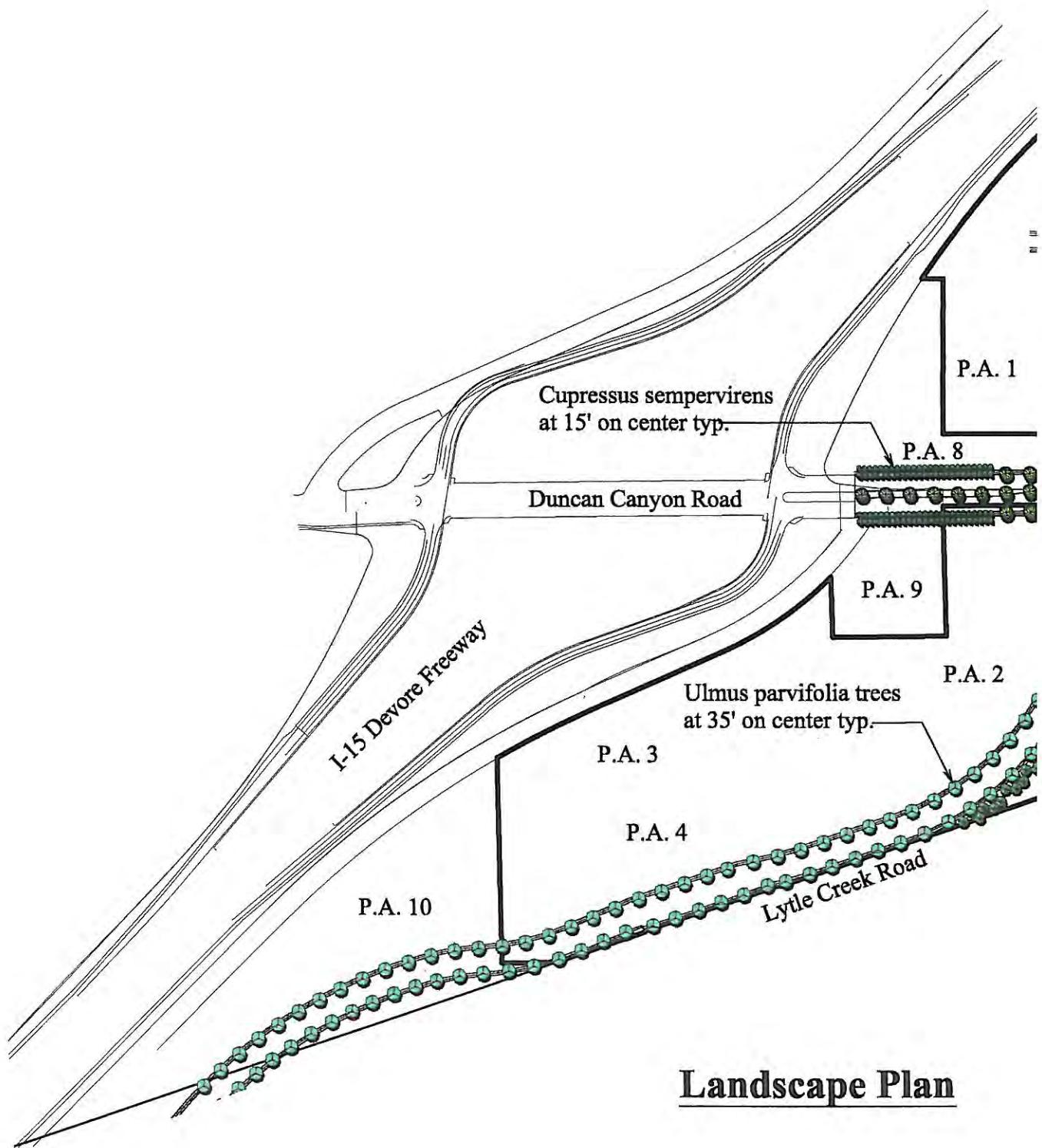
Duncan Canyon Road: This six-lane, divided road will be the primary entry into the community from the I-15 freeway. As shown in the illustrative sections, Duncan Canyon Road will include two distinct streetscape approaches, one leading up the pedestrian bridge from the I-15 Freeway, and another east of the bridge. The area from the I-15 Freeway to the east side of the pedestrian bridge is considered a "decorative corridor" with enhanced landscaping and decorative streetlights. This area will include a double row of Italian Cypress trees set on each side of the sidewalk to create a stately and formal entry character to the community. Italian Cypress will frame the bridge and will begin to establish the overall character of the community.

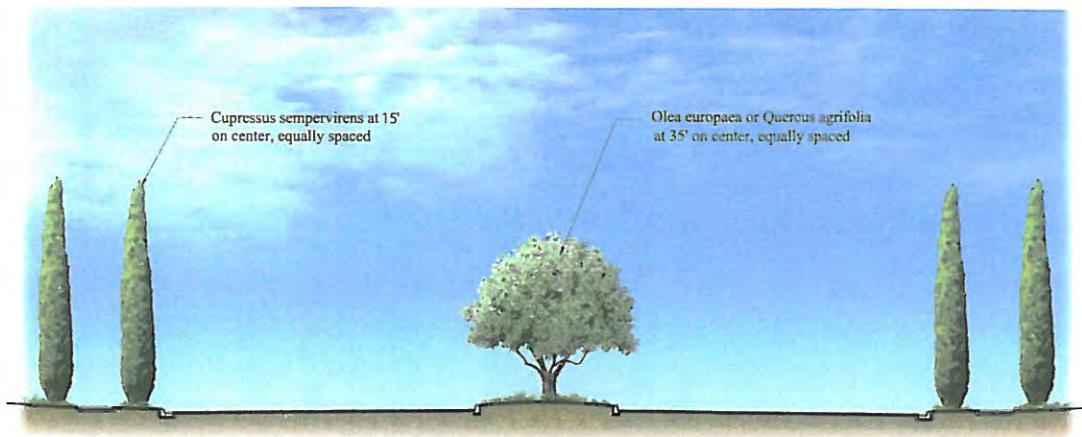
Beyond the bridge structure, rows of Olives or Oaks will be included to create a shaded streetscape canopy. A backdrop of informally clustered pines will be provided in a landscape setback area when adjacent to residential areas. These trees will provide a buffer to the adjacent housing while at the same time enhance the street scene. A layering of shrubs and groundcovers, many which flower in the spring and summer months, will be located beneath the pines. Perimeter community walls will be planted with vines to soften and further enhance the street scene.

Lytle Creek Road: Evergreen Elms, also a tree that creates a broad shade canopy, is planned for Lytle Creek Road. In a similar manner to Duncan Canyon Road, when adjacent to residential areas, a backdrop of informally clustered pines will be provided in a landscape setback area. This consistent backdrop of the evergreen pines will function to link together and unify the various streetscapes within the community. This design approach is also provided for Citrus Avenue, discussed below.

Citrus Avenue: Citrus Avenue will include formal rows of the London Plane tree, a stately upright tree that will complement the street scene. London Plane trees, common throughout European cities, are also seen throughout the Inland Empire and are well adapted to the climate. When adjacent to residential areas, the backdrop of informally clustered pines will be provided. A layering of shrubs and groundcovers, many which will flower during the spring and summer months, are also located beneath the pines. All edge conditions where perimeter walls occur will also include vines to soften and further enhance the street scene.

Collector Street "A": A canopy tree with yellow seasonal flowers, the Tipuana Tree, is designated as the primary tree for this street. These will also form a broad canopy and will create an attractive pedestrian and street streetscape. An urban street sculpture and/or fountain are required within the roundabout located at the intersection of Lytle Creek Road and Collector Street "A". The applicant shall submit an application for Administrative Site Plan review for this urban amenity, to be reviewed and approved by the Director of Community Development.

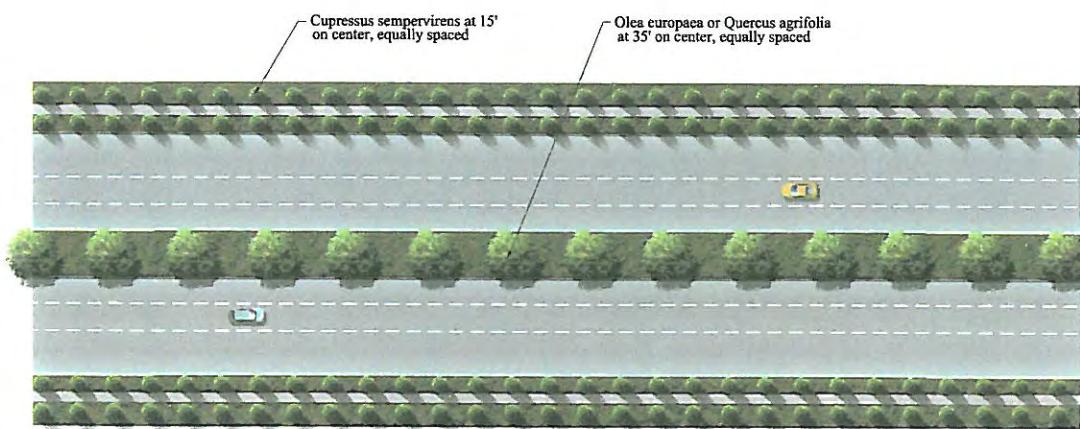




### **Duncan Canyon Road**

Streetscape Section  
(from I-15 to Pedestrian Bridge)

Note: For roadway and parkway dimensions, see Roadway Sections on Figure 17.



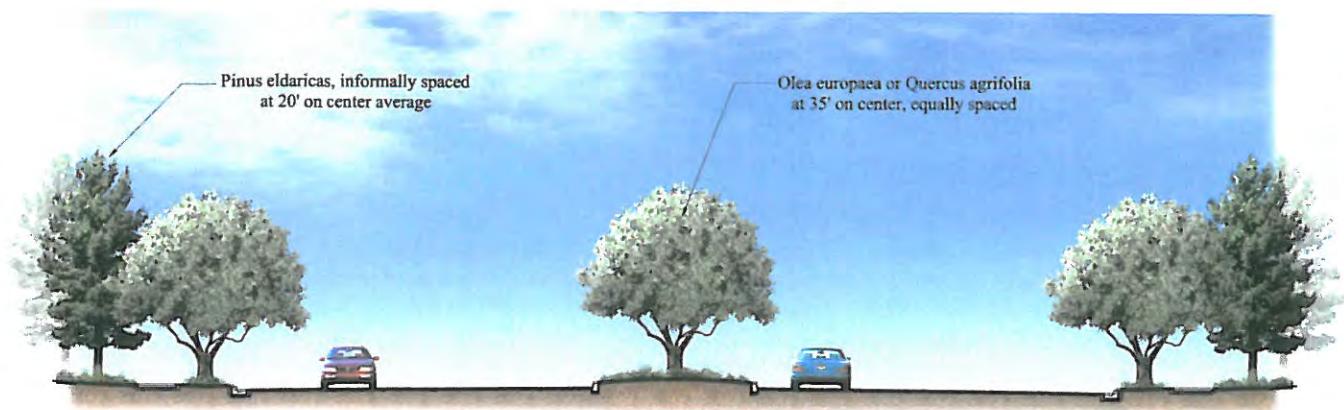
### **Duncan Canyon Road**

Streetscape Partial Plan View  
(from I-15 to Pedestrian Bridge)



KEY MAP

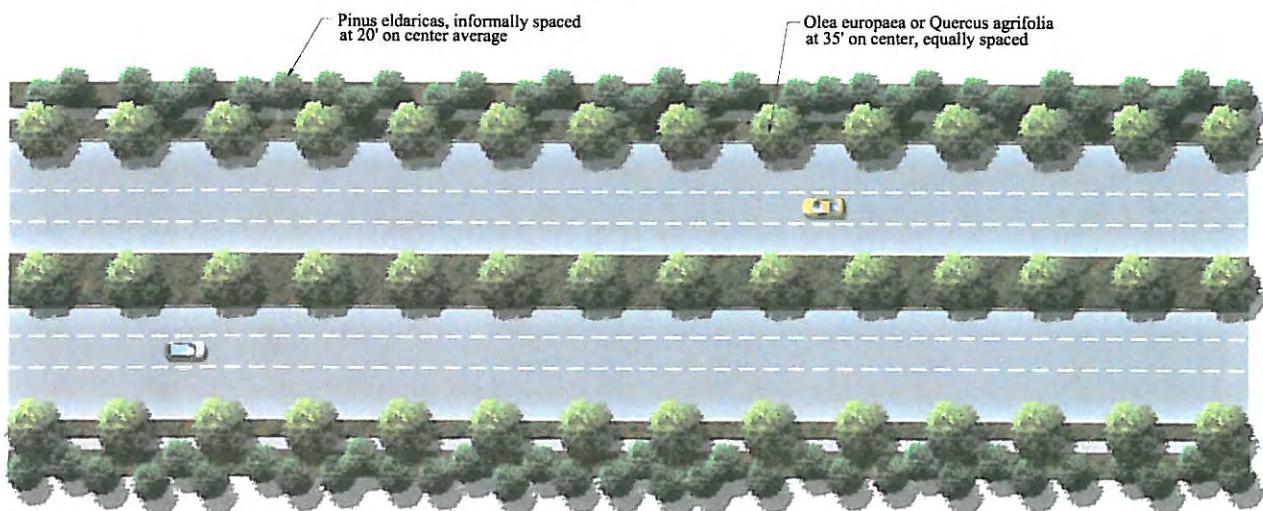
**Duncan Canyon Decorative Corridor** enhancements from the freeway interchange to Lytle Creek Road will include specialty lighting fixtures and enhanced planting in the medians and parkways



### **Duncan Canyon Road**

Streetscape Section  
(east of Pedestrian Bridge)

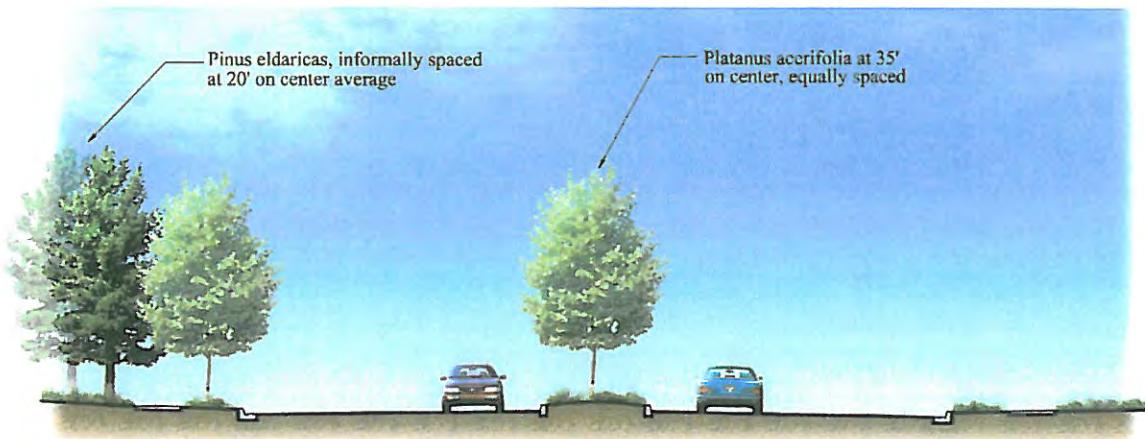
Note: For roadway and parkway dimensions, see Roadway Sections on Figure 17.



### **Duncan Canyon Road**

Streetscape Partial Plan View  
(east of Pedestrian Bridge)

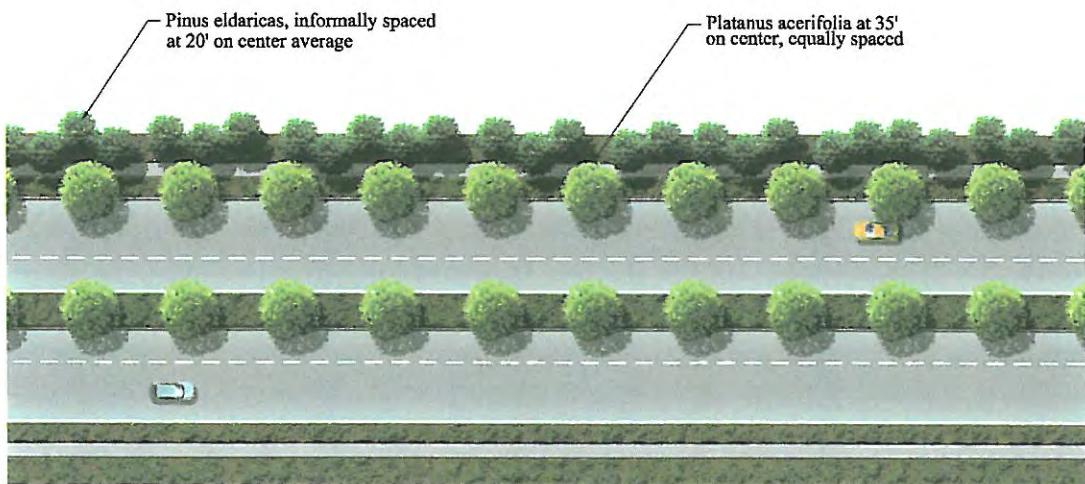
KEY MAP



### Citrus Avenue

Streetscape Section  
(westerly 1/2 section only)

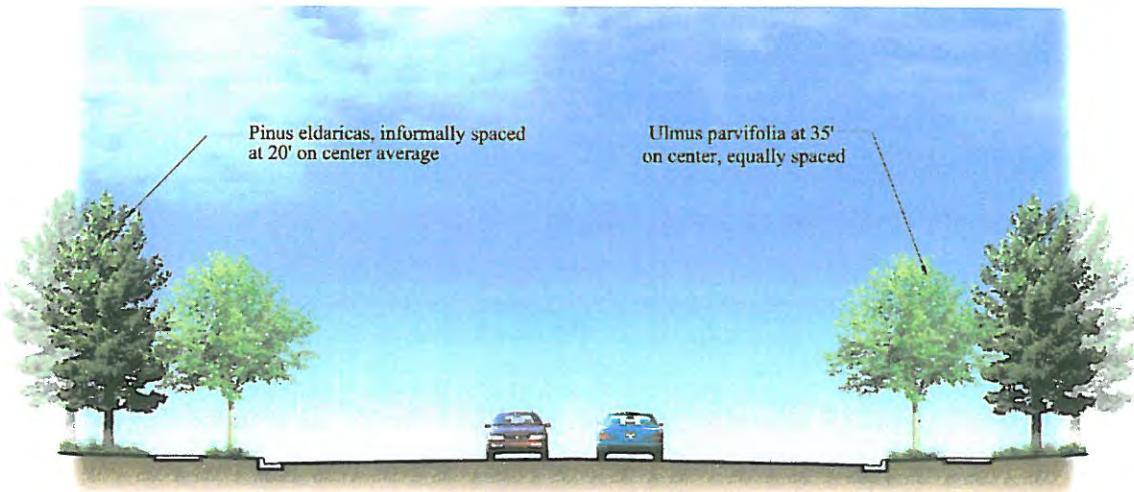
Note: For roadway and parkway dimensions, see Roadway Sections on Figure 17.



### Citrus Avenue

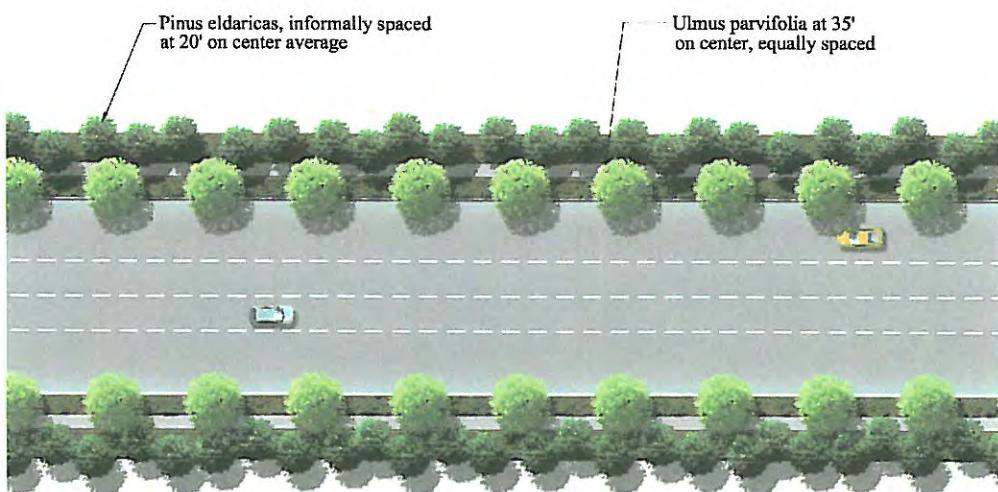
Streetscape Partial Plan View  
(westerly 1/2 section only)

KEY MAP



**Lytle Creek Road**  
Streetscape Section

Note: For roadway and parkway dimensions, see Roadway Sections on Figure 17.



**Lytle Creek Road**  
Streetscape Partial Plan View

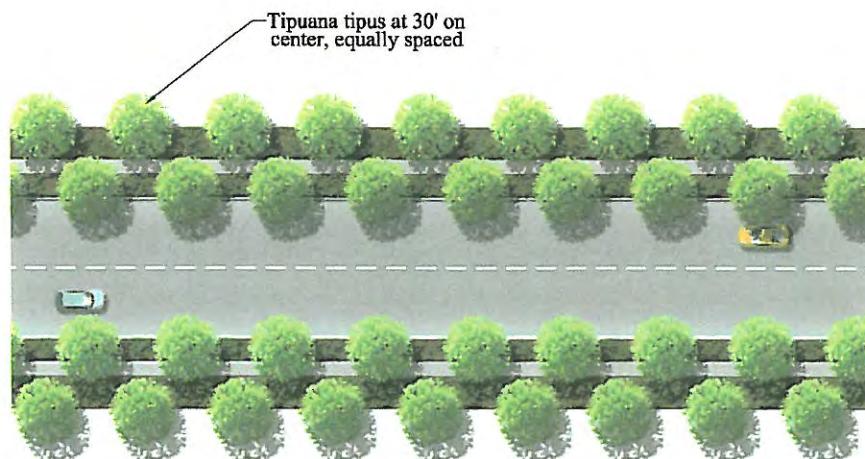
KEY MAP





**Collector Road**  
Streetscape Section

Note: For roadway and parkway dimensions, see Roadway Sections on Figure 17.



KEY MAP

**Collector Road**  
Streetscape Partial Plan View

## 5.8 COMMUNITY ENTRY, MONUMENTATION WALL, FENCE AND PAVING GUIDELINES

### 5.8.1 Entry and Monumentation Guidelines

A combination of both architectural and landscape elements will establish an exciting and impressive array of entry monumentation features into Ventana and the City of Fontana.

Upon entering the community from the I-15 freeway, a major pedestrian bridge structure, spanning six lanes of Duncan Canyon Road, will create an entry portal and sense of arrival that rivals any major entry in Southern California or elsewhere. Refer to Figure 26 for the conceptual design of this key entry statement.

A second major element, the "Campanile" located just beyond the bridge, is also one-of-a-kind feature that will create a majestic beacon and architectural icon. The Campanile architectural character is illustrated in Figure 24a.

Additional monumentation located at key community intersections and village entries are illustrated in Figures 30a and 30b.

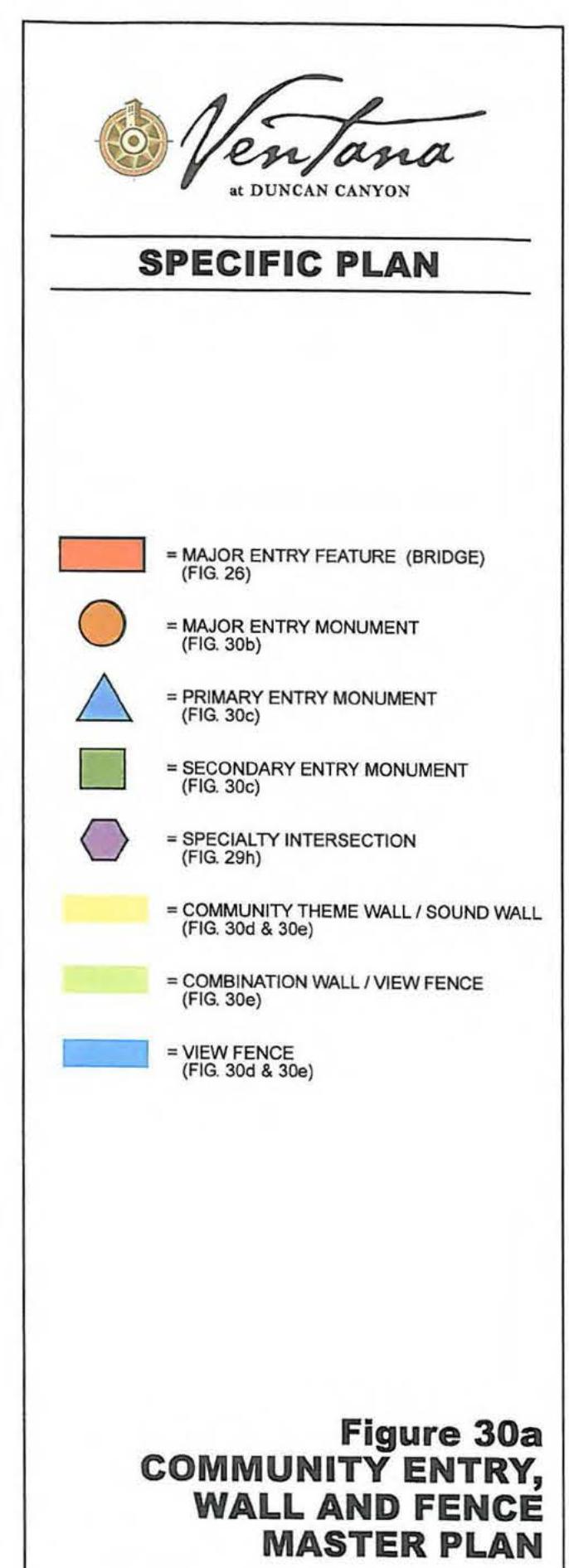
### 5.8.2 Community Wall and Fence Guidelines

Community walls and fences are planned where residential uses are adjacent to the major and secondary arterial roads, such as Duncan Canyon, Citrus Avenue and Lytle Creek Road, as well as the I-15 freeway. Refer to Figures 30c, 30d and 30e for the overall community wall and fence plan, elevations and imagery examples.

Community Theme Wall: The community theme wall will be articulated with a textured split face block and a concrete cap that provides a finished appearance. The textured wall will also be tan in color to complement the Tuscan community theme. Subject to the acoustical study, view fencing will be provided to create a variation and further articulation in the street scene. The wall shall generally not exceed six (6) feet in height, unless necessary for noise attenuation or other special circumstances. Vines such as Boston Ivy will be required to be planted on the public facing side of all community walls to create an attractive backdrop and layering of design elements within the streetscapes.

Community View Fence: The community view fences will be located to create variety and articulation to the streetscapes and to the perimeter of the site. They will also provide view windows between the villages and the public realm. The locations adjacent to the major roads are subject to the acoustical study.

Community Masonry Walls: Community masonry walls will be required between single-family detached homes. These will provide enclosure for private patios. No wood privacy fencing is permitted.

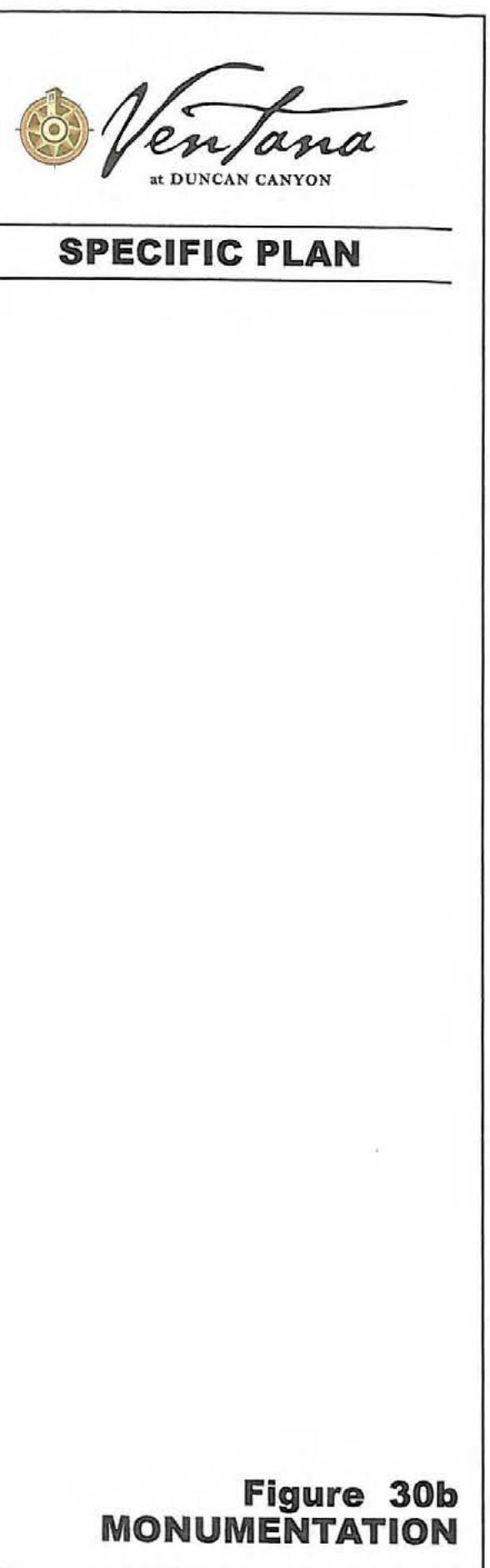




### MAJOR ENTRY MONUMENT CHARACTER

Major entry monuments will be located at major intersections as identified on the Community Entry Wall & Fence Master Plan exhibit. They will incorporate stone or culture stone materials to reinforce the "Tuscan character" of Ventana.

Note: Entry Monument sign lettering to be cast aluminum or steel.

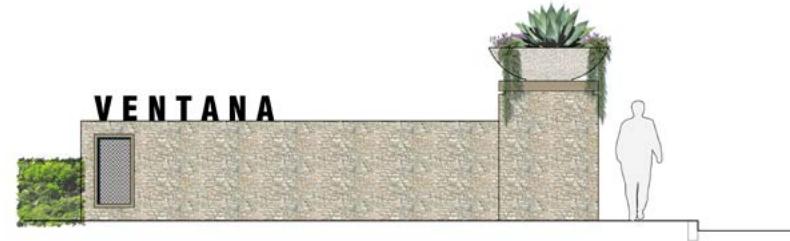


**Figure 30b  
MONUMENTATION**

As amended by Ordinance No. 1873



**Primary Entry Monument**



**Secondary Entry Monument**  
at entry forecourt



**Secondary Entry Monument**  
at retaining conditions



**Secondary Entry Monument**  
at entry drives

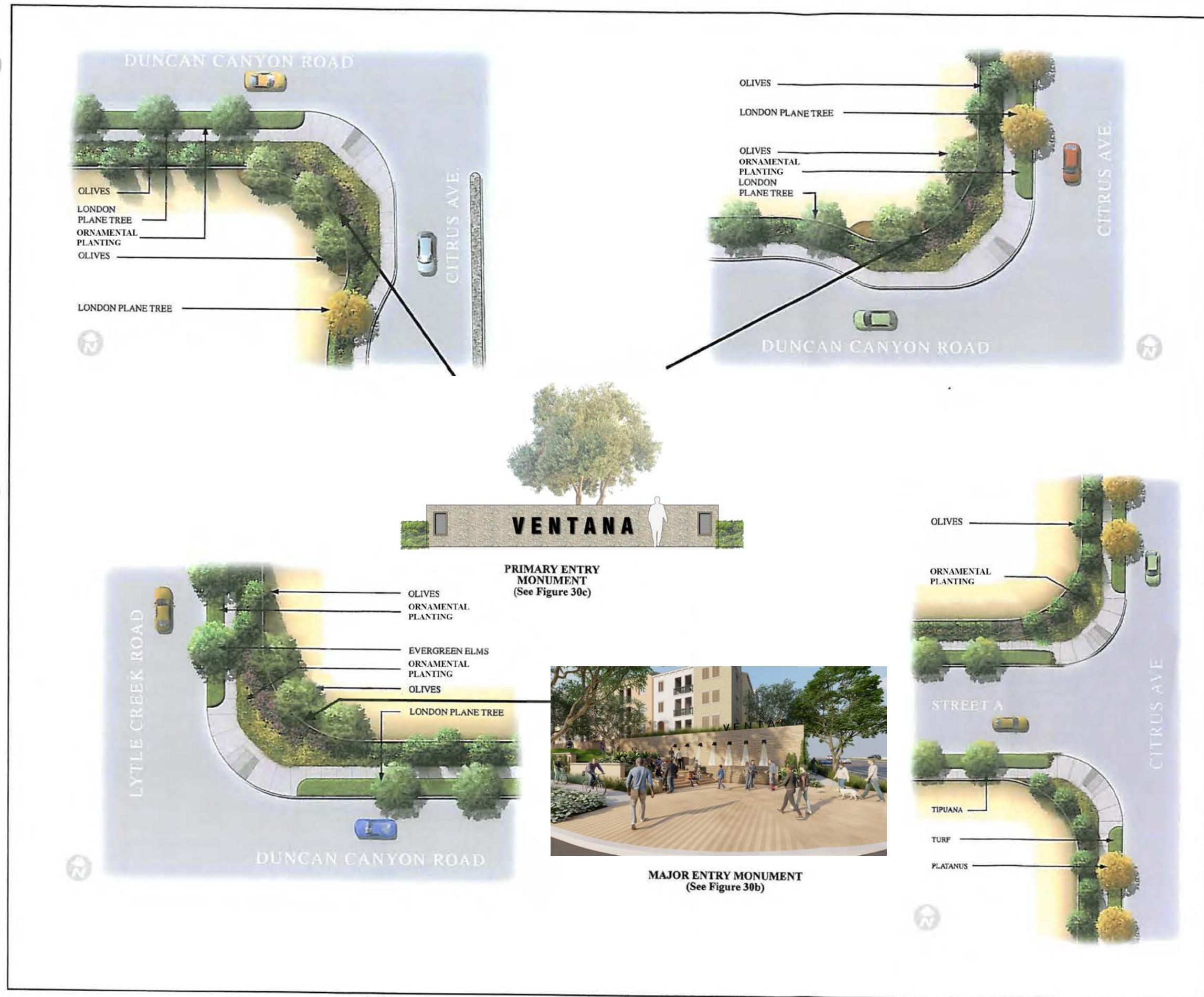
Primary and Secondary entry monuments will be located at each village entry and will incorporate stone or culture stone materials to reinforce the "Tuscan character" of Ventana.



## **SPECIFIC PLAN**

**Figure 30c**  
**MONUMENTATION**

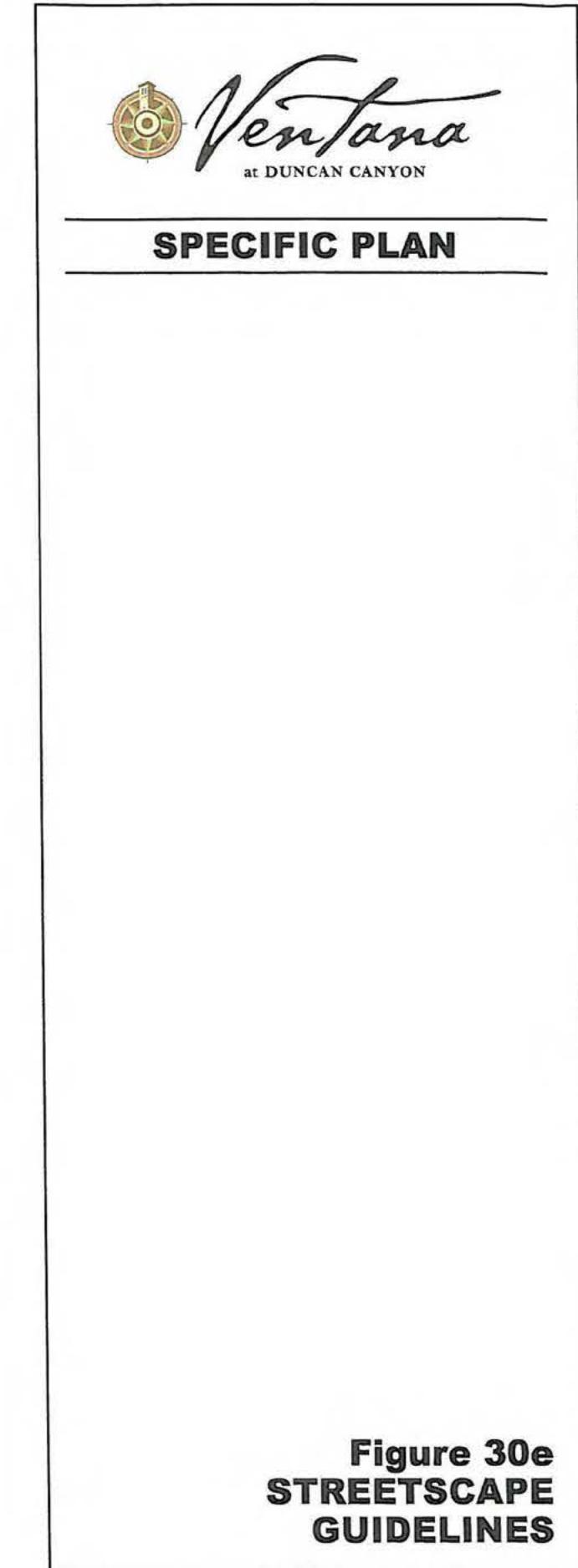
As amended by Ordinance No. 1873



## SPECIFIC PLAN

**Figure 30d**  
**STREETSCAPE**  
**GUIDELINES**

As amended by Ordinance No. 1873



**Figure 30e**  
**STREETSCAPE**  
**GUIDELINES**

As amended by Ordinance No. 1873

## SPECIFIC PLAN



At all ends of perimeter community walls and at intervals of 150' maximum on continuous walls, pilasters shall be provided with caps as shown..

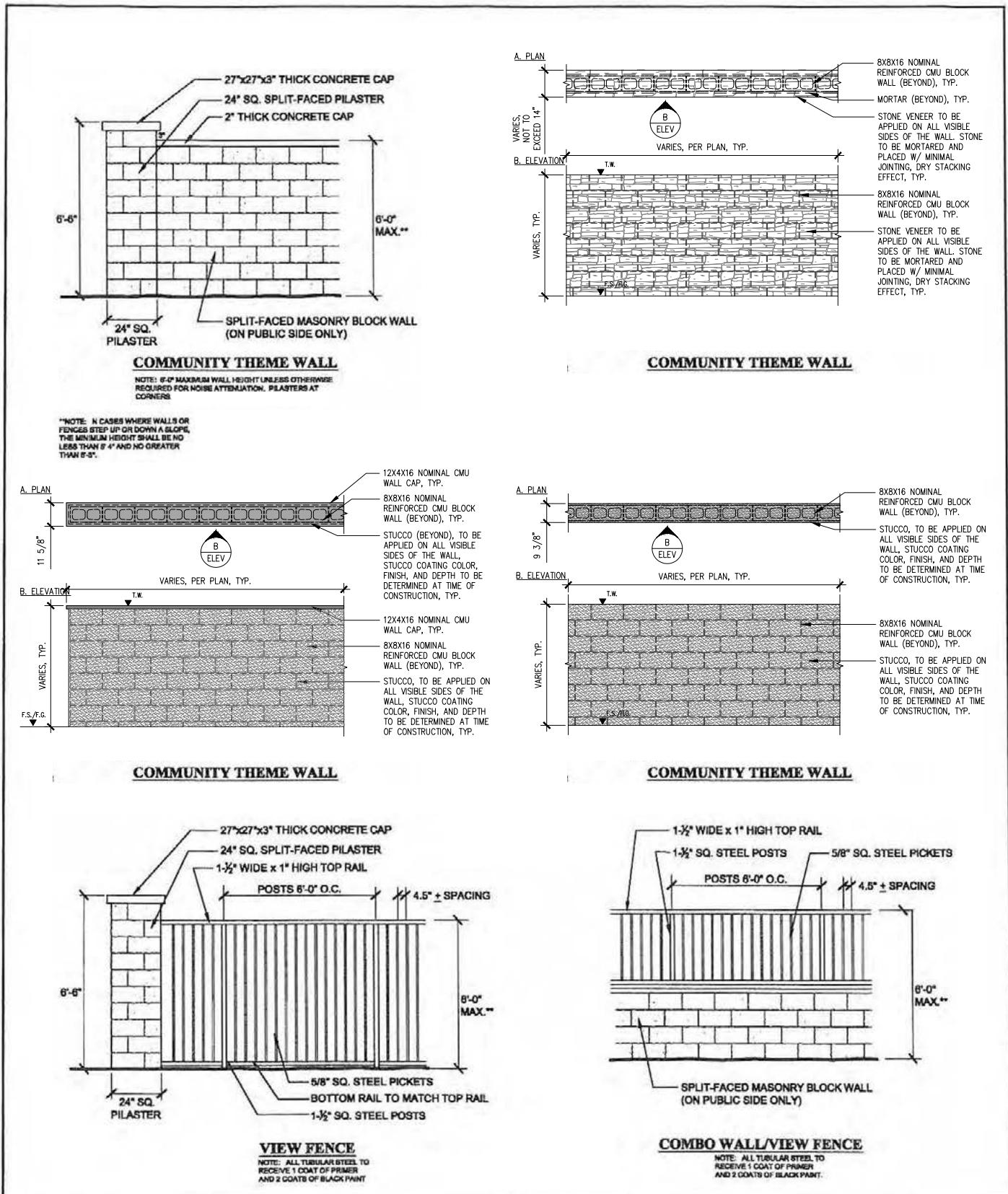
Vines, minimum 5 gallon in size, shall be planted a maximum of 30' apart to be selected from the Plant Palette included in this Specific Plan.

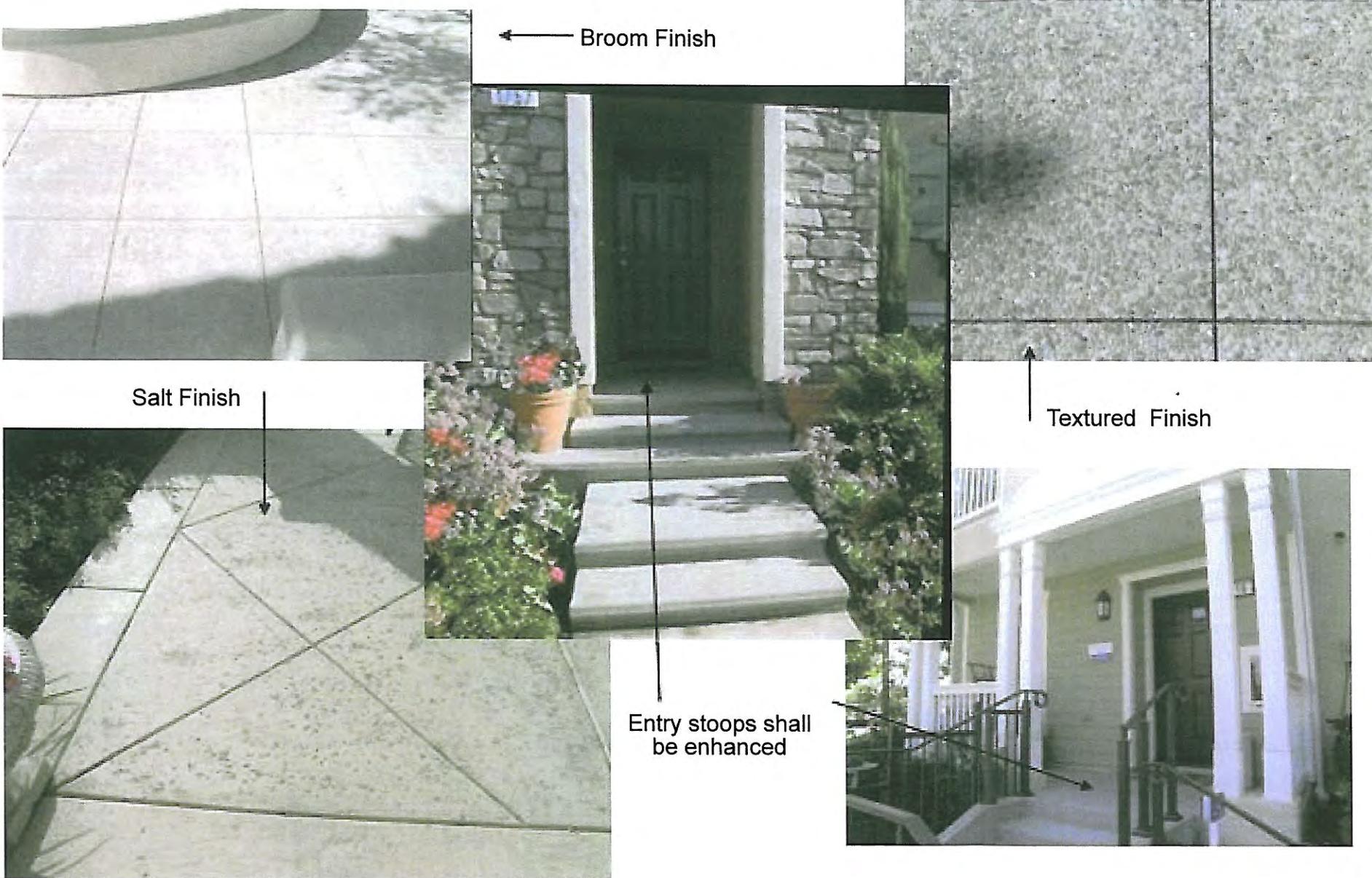


Tubular steel "View Fencing"  
shall be consistent in design and color  
throughout the community.

## WALLS & FENCING

**Figure 30f**  
**WALLS & FENCES**  
**DESIGN GUIDELINES**





### Enhanced Paving

In each residential Planning Area, variable patterned concrete shall be provided for each entry stoop, with a combination of either broom, salt or textured finishes as shown above.



### SPECIFIC PLAN

**Figure 30h  
ENHANCED PAVING  
DESIGN GUIDELINES**

## 5.9 LANDSCAPE MASTER PLAN AND GUIDELINES

### LANDSCAPE ELEMENTS

#### 5.9.1. PLANT MATERIAL GUIDELINES

The quality of, and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public areas that will be maintained by a landscape maintenance district or similar entity.

##### General Landscape Requirements:

- All areas required to be landscaped should be planted with turf, groundcover, shrub and/or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Fontana. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
- Cut slopes equal to or greater than eight feet in vertical height and fill slopes equal to or greater than five feet in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding 15 feet in vertical height shall be planted with shrubs spaced not more than ten feet average on center, or trees spaced not to exceed thirty feet average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
- Reference should be made to the City of Fontana Standards for erosion control methods for slopes and other landscaped areas.

Climate: The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

Horticultural Soils Test Requirements: Soil characteristics within the site may be variable. The developers/builders for parcels that require landscape development within public areas shall procure a horticultural soils report in order to determine proper planting and maintenance recommendations for proposed plant materials. Soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

### 5.9.2 PLANT PALETTE

The plant palette below has been selected to create a unified and cohesive design theme for the community. They have also been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive.

In the streetscape sections of the design guidelines, specific trees or other plant materials have been identified. In those cases, the intent is to illustrate the intended form and character that fulfill the design intent, i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped. Should alternate selections be desired for any given street, they should reflect the same form and character as those included in the streetscape sections.

#### Community Plant Palette

<b>TREES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
Acacia subporosa	Weeping acacia
Arbutus unedo	Strawberry tree
Betula albo	White birch
Brachychiton populneus	Bottle tree
Cedrus deodora	Deodar cedar
Cinnamomum camphora	Camphor tree
Cupressus sempervirens	Italian cypress
Eucalyptus spp.	Eucalyptus
Fraxinus uhdei	Evergreen ash
Koelreuteria spp.	Flame tree
Lagerstroemia spp.	Crape myrtle
Liquidambar styraciflua	Liquidambar
Lirondendron tulipifera	Tulip tree
Magnoia grandiflora	Magnolia
Olea europaea (fruitless)	Fruitless olive tree
Pinus spp.	Pine
Pistacia chinensis	Chinese pistache
Platanus acerifolia	London plane tree
Platanus racemosa	Sycamore
Podocarpus gracilior	Fern pine
Prunus spp.	Flowering peach
Pyrus spp.	Ornamental pear
Quercus agrifolia	Coast live oak
Quercus spp.	Oak spp.

<i>Rhus lancea</i>	African sumac
<i>Robinia pseudoacacia</i>	Locust
<i>Salix babylonica</i>	Weeping willow
<i>Schinus molle</i>	California pepper
<i>Tipuana Tipu</i>	Tipu tree
<i>Ulmus parvifolia</i>	Chinese elm
<i>Zelkova serrulata</i>	Sawleaf zelkova

<b>SHRUBS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Abelia</i> spp.	Abelia
<i>Agapanthus</i> sp.	Lily of the Nile
<i>Arctostaphylos</i> sp.	Manzanita
<i>Baccharis</i> sp.	Desert broom
<i>Ceanothus</i> sp.	California lilac
<i>Cistus</i> spp.	Rockrose
<i>Cotoneaster</i> species	Cotoneaster
<i>Dieteria Veseta</i>	Fortnight lily
<i>Elaeagnus pungens</i>	Silver berry
<i>Escallonia fradesii</i>	Pink escallonia
<i>Euryops pectinatus</i>	NCN
<i>Feijoa sellowiana</i>	Pineapple guava
<i>Grevillea Noelli</i>	NCN
<i>Grewia caffra</i>	Lavender starflower
<i>Hemerocallis</i> species	Daylily
<i>Heteromeles arbutifolia</i>	Toyon
<i>Iris douglasiana</i>	Douglas iris
<i>Juniperus torulosa</i>	Hollywood juniper
<i>Juniperus h Bar Harbor</i>	Bar Harbor true juniper
<i>Lavandula</i> spp.	Lavenders
<i>Ligustrum</i> spp.	Privet
<i>Moraea bicolor</i>	Fortnight lily
<i>Myrtus communis</i>	True myrtle
<i>Nandina</i> spp.	Heavenly bamboo
Ornamental grasses	Fountain grass
<i>Phormium tenax</i>	New Zealand flax
<i>Photinia fraseri</i>	Photinia
<i>Pittosporum tobira</i> & 'wheelers dwarf'	Mock orange
<i>Plumbago auriculata</i>	Cape plumbago
<i>Pyracantha</i> species	Firethorn
<i>Rhaphiolepis</i> spp.	India hawthorn
<i>Rosa californica</i>	California wildrose
<i>Salvia</i> spp.	Sages
<i>Taxus baccata</i>	English yew
<i>Tulbaghia Violacea</i>	Society garlic
<i>Xylosma congestum</i>	Shiny xylosma

<b>VINES</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Distictis buccinatoria</i>	Blood red trumpet vine
<i>Ficus repens</i>	Creeping fig
<i>Grewia caffra</i>	Lavendar star flower vine
<i>Mac Fadyena unguis-cati</i>	Cat's claw vine
<i>Parthenocissus tricuspidata</i>	Boston ivy
<i>Wisteria floribunda</i>	Wisteria

<b>GROUND COVERS</b>	
<b>Botanical Name</b>	<b>Common Name</b>
<i>Acacia redolens 'desert carpet'</i>	Dwarf trailing acacia
<i>Arctostaphylos 'John Dourley'</i>	John Dourley manzanita
<i>Ceanothus griseus hor 'yankee point'</i>	California lilac
<i>Fragaria chiloensis</i>	Wild strawberry
<i>Gazania rigens</i>	Clumping gazania
<i>Myoporum species</i>	Myoporum
<i>Rosemarinus officinalis species</i>	Rosemary
Turf grasses	Various drought tolerant varieties

Other plants compatible with the above may be included with approval of the Director of Community Development.

### 5.9.3 IRRIGATION

All landscaped areas should be watered with a permanent underground irrigation system, designed in a manner to ensure complete 100% water coverage.

The combined summer elements of heat and wind should be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers should have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.

Irrigation backflow prevention devices and controllers should be located with minimum public visibility or screened with appropriate plant materials.

#### Water Conservation Measures:

- Drip and / or bubbler irrigation should be utilized where appropriate.
- Use of moisture sensors and / or central control irrigation system may be incorporated where appropriate and feasible.

Invasive Species: Non-native invasive plant species identified below shall not be used in landscape plans.

<b>Invasive Species</b>
Non-native Acacia's (Acacia spp.)
Tree of Heaven (Ailanthus altissima)*
Giant reed (Arundo donax)*
Hottentot-fig (Carpobrotus edulis)*
Garland chrysanthemum (Chrysanthemum coronarium)*
Pampas grass (Cortaderia atacamensis)*
French broom (Cytisus monspessulans)
Scotch broom (Cytisus scoparius)*
Crystal ice plant (Mesembryanthemum crystallinum)*
Small-flowered ice plant (Mesembryanthemum nodiflorum)
Bermuda buttercup (Oxalis pes-caprae)*
German ivy (Senecio mikanooides)*
Pink periwinkle (Vinca major)*
Tamarisk (Tamarix spp.)*
Gorse (Ulex europaeus)

\* Indicates a species that may not be used in any plant palettes, regardless of location in the development, due to its ability to readily spread via airborne seed, rather than vegetatively.

Plant Pest and Disease Control: Diseases and pests can have deleterious affects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project. These include the following:

- Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
- Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
- Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
- Place plants in similar hydro zone grouping to maximize efficient water use.

**EXHIBIT "A"**  
**VENTANA SPECIFIC PLAN LEGAL DESCRIPTION**

ALL THAT PORTION OF THE NORTH  $\frac{1}{4}$  OF SECTION 24 AND THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 13, BOTH OF TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE, IN THE CITY OF VENTANA, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24; THENCE ALONG AN ASSUMED BEARING OF SOUTH 03°10'20" EAST FOR THE EASTERLY LINE OF THE NORTHEAST  $\frac{1}{4}$  OF SAID SECTION 24, 333.10 FEET TO THE NORTHEASTERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO SOUTHERN SURPLUS REALTY COMPANY IN A DOCUMENT RECORDED OCTOBER 11, 1973 IN BOOK 8285, PAGE 65 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE SOUTH 41°33'16" WEST 341.12 FEET ALONG SAID NORTHEASTERLY LINE TO AN ANGLE POINT THEREIN; THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE AND THE NORTHEASTERLY LINE OF THAT CERTAIN PARCEL CONVEYED TO SOUTHERN SURPLUS REALTY COMPANY IN A DOCUMENT RECORDED AUGUST 7, 1973 IN BOOK 8241, PAGE 46 OF OFFICIAL RECORDS OF SAID COUNTY; SOUTH 71°14'06" WEST 348.91 FEET TO THE SOUTH LINE OF THE NORTH  $\frac{1}{4}$  OF THE NORTH  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  OF THE NORTHWEST  $\frac{1}{4}$  OF SAID SECTION 24; THENCE SOUTH 89°21'29" WEST 331.76 FEET ALONG SAID SOUTH LINE TO THE WESTERLY LINE OF LYTHE CREEK ROAD; THENCE ALONG THE WESTERLY LINE OF LYTHE CREEK ROAD THE FOLLOWING FIVE COURSES: (1) NORTH 44°49'26" EAST 707.09 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 3027.00 FEET; (2) THENCE NORTHEASTERLY 1122.62 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 2°14'57"; (3) THENCE NORTH 66°04'23" EAST 408.70 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 100,000 FEET; (4) THENCE NORTHEASTERLY 503.62 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°51'20" TO A NON-TANGENT LINE; (5) THENCE NORTH 00°38'47" WEST 166.00 FEET ALONG SAID NON-TANGENT LINE TO THE NORTHERLY LINE OF SAID SECTION 24; THENCE ALONG SAID NORTHERLY LINE, NORTH 89°21'36" EAST 294.71 FEET TO THE SOUTHWEST CORNER OF THE SOUTHEAST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  OF SAID SECTION 13; THENCE ALONG THE EASTERLY AND SOUTHEASTERLY LINES OF THE LAND CONVEYED TO THE STATE OF CALIFORNIA BY DOCUMENT RECORDED NOVEMBER 26, 1973 IN BOOK 8314, PAGE 57 OF SAID OFFICIAL RECORDS, THE FOLLOWING SEVEN COURSES: (1) NORTH 00°23'46" EAST 51.49 FEET ALONG SAID WEST LINE OF SOUTHEAST  $\frac{1}{4}$  OF THE SOUTHEAST  $\frac{1}{4}$  OF SECTION 13; (2) THENCE SOUTH 89°19'06" WEST 754.46 FEET; (3) THENCE NORTH 83°51'11" WEST 145.45 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 50.00 FEET; (4) THENCE NORTHWESTERLY AND NORTHEASTERLY 92.61 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 106°07'27" TO THE BEGINNING OF A COMPOUND CURVE, CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 2042.00 FEET, A RADIAL LINE TO SAID BEGINNING OF COMPOUND CURVE BEARS SOUTH 67°43'50" EAST; (5) THENCE NORTHEASTERLY 1295.96 FEET ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 23°29'10"; (6) THENCE NORTH 45°45'20" EAST 265.13 FEET TO THE BEGINNING OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF

2010 CALIFORNIA EDITION, 80TH EDITION, FOR 2008

- For all areas to be publicly maintained, irrigation systems will be designed per City guidelines.

General Requirements: Irrigation systems and plans will be prepared pursuant the respective landscape maintenance district guidelines and / or City of Fontana ordinances.

#### 5.9.4 COMMERCIAL SITE LANDSCAPE GUIDELINES

The commercial site shall be required to adhere to the minimum following guidelines and standards:

##### Landscape Requirements:

- The builder / developer shall refer to standards contained in this Specific Plan for the percentage of gross commercial site acreage required to be landscaped.
- All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be landscaped with fully landscaped with plant materials identified in plant palette.
- Street trees in public rights of ways shall be selected that are consistent with the landscape cross sections.
- Side yard and rear service yard use areas should be screened with a six-foot wall.
- Accent tree entry planting is recommended at vehicular access points into the commercial center.

##### b. Parking Areas

- Parking area landscaping is required for the screening of large parking areas to limit their visual impact.
- Landscaped islands shall be provided at the ends of interior stall rows to enhance parking areas and shall be a minimum five-foot in width. Between islands, the minimum total number of parking lot trees shall be calculated by determining the length of the parking row and dividing by five. These trees may be equally spaced or arranged in an informal pattern.
- When parking is located adjacent to an arterial public street, a combination of landscaped berms and/or planting totaling three feet high (within approximately two years of planting) shall be provided to screen parked cars from view.

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Section 5.0  
**COMMUNITY DESIGN GUIDELINES**

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- The parking lot shall have crosswalks as required for ADA access and for pedestrian circulation. Enriched paving is encouraged for crosswalks. At a minimum, pedestrian circulation across entry drives shall include enhanced paving.



## SPECIFIC PLAN



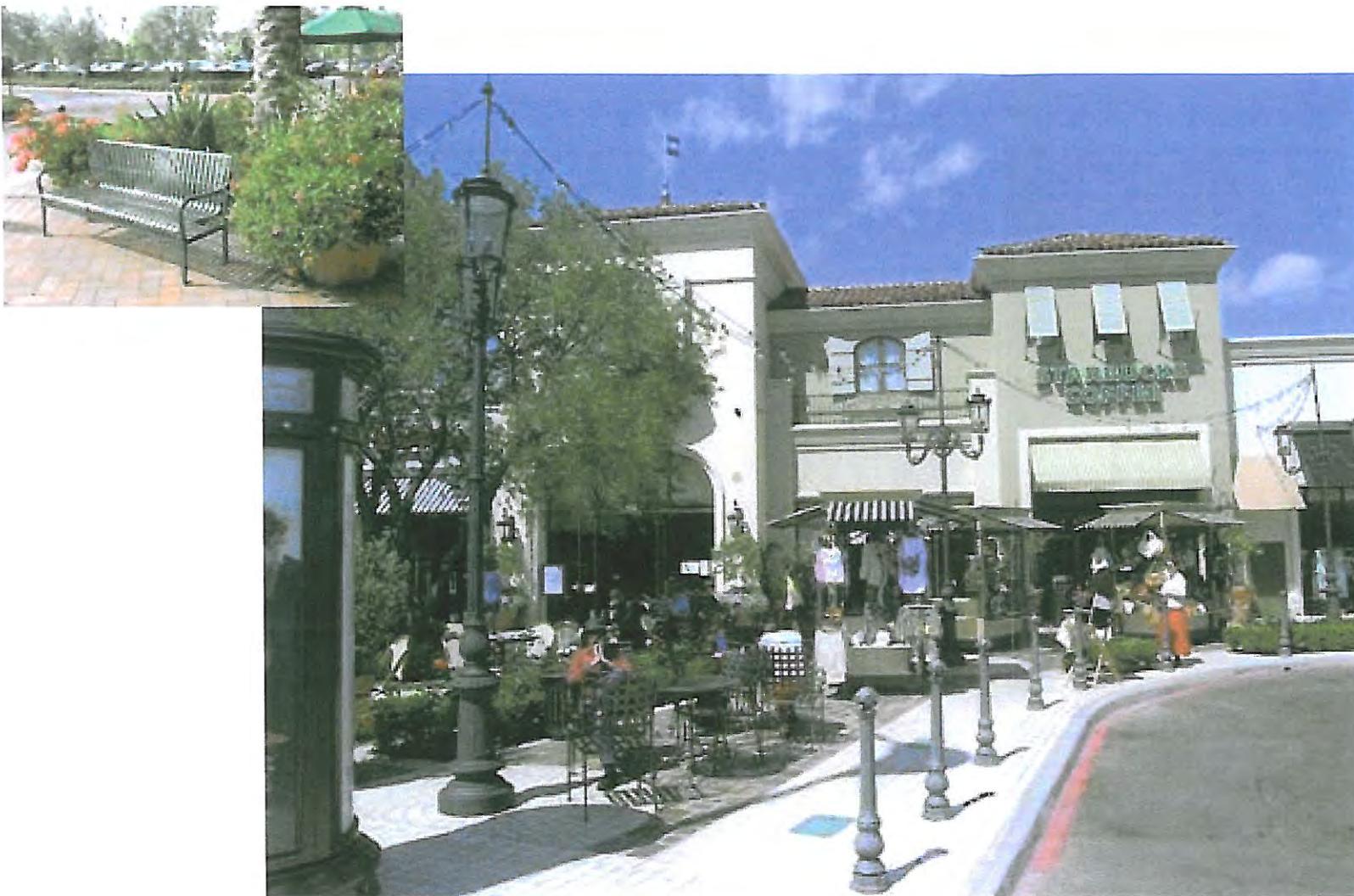
Landscape features consistent with the Tuscan theme shall be provided in the retail center. Italian cypress trees, flowering vines on archways and potted plants all create an inviting shopping experience and an amenity for the community.

**Figure 31a**  
**COMMERCIAL SITE**  
**LANDSCAPE GUIDELINES**

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**SPECIFIC PLAN**

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Enhanced complementary street furnishings shall be provided within the retail center as reflected above with the lighting, bollards and benches above.

**Figure 31b**  
**COMMERCIAL SITE**  
**LANDSCAPE GUIDELINES**

### 5.9.5 RESIDENTIAL SITE LANDSCAPE GUIDELINES

Each residential site shall be required to adhere to the minimum following guidelines and standards:

- The builder or developer shall be responsible for landscaping all public and private common areas. Private use areas enclosed by privacy walls or fences or separated by other architectural elements shall not be required to be landscaped by the builder or developer. A homeowners association or similar entry shall maintain all private common areas.
- All plant materials for private common areas shall be selected from the Landscape Palette located in this Specific Plan. Additional plant material may be selected if approved by the Director of Community Development.
- A minimum of fifteen percent (15%) of the total site shall include common area landscaping. All landscaped areas shall be counted towards the common area landscape requirements, including recreation areas, tot lots, private streets and perimeter landscape areas not part of the public right of way dedications.
- Street trees in public rights of ways shall be selected that are consistent with the landscape sections and guidelines provided herein.
- All trees in common areas shall be 15-gallon minimum.
- All areas that are used for private patios may be screened with a six-foot wall, or combination 3' wall and 3' tubular steel fence. If a combination wall/fence is selected, then vines and/ or shrubs shall be planted on the public facing side to provide an additional sense of separation. In certain cases a two to three foot high wall with no additional fence may be preferable. This shall be determined during the design review stages for each site plan.
- Accent tree entry planting shall be required at vehicular access points into the individual neighborhood, in either formal or informal groupings.

Figures 32a through 32g provide tiered planting standards for residential Planning Areas 5, 6 and 7.



### Planning Area 5,6 and 7

#### Tiered Planting Standards:

- Tier 5: Vines on Entry 25% of all homes (1-15 gal vine.)
- Tier 4: One Small Tree or Large Shrub per lot:  
(5' to 6' height: 1-15gal)
- Tier 3: Evergreen Layer- 3' to 4' height (5gal: 3'-4' on center)
- Tier 2: Evergreen Layer-1' to 2' height  
(1 gal-2' to 3' on center)
- Tier 1: Perennial Color- 4" to 12" height  
(From flats 12" to 18" on center)



### Planning Area 5,6 and 7

#### Tiered Planting Standards:

- Tier 4: Vine or Large Shrub 5' to 6' height  
(15gal)
- Tier 3: Evergreen Layer-3' to 4' height  
(5gal: 3' to 4' on center)
- Tier 2: Evergreen Layer-2' to 3' height  
(5gal. 3' to 4' on center)
- Tier 1: Low growing / flowering 4-12" height  
(25% of plants to be 1gal. - 75% to be 12" to 18" on center from flats)

The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.



## SPECIFIC PLAN

**Figure 32a  
RESIDENTIAL  
LANDSCAPE GUIDELINES**



### Planning Area 5,6 and 7 Tiered Planting Standards:

- Tier 4: Small Tree or Large Shrub  
( 5' to 6' height: 50% 24" box, 50% 15 gal.)
- Tier 3: Evergreen Layer-2' to 3' height  
( 5 gal: 3'-4' on center )
- Tier 2: Evergreen Layer-1 to 2' height  
( 5 gal: 3' to 4' on center )
- Tier 1: Perennial Color-4 to 12" height  
( From flats 12" on center )



### Planning Area 5,6 and 7 Tiered Planting Standards:

- Tier 5: Vertical "Grove" Trees  
(20% - 36" box, 30% - 24" box, 50% 1 gal.)  
Quantities per individual site landscape plans
- Tier 4: Accent Canopy / Shade Tree at all Property Corners  
(36" box, subject to site line requirements)
- Tier 3: Evergreen Shrub Layer-3' to 5' height  
(5 gal: 4"-6" on center)
- Tier 2: Evergreen Flowering Shrub Layer-2 to 3' height  
(5 gal: 3'-4' on center)
- Tier 1: Perennial Color Layer - 4 to 12" height  
(From flats 12" on center)

The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.



## SPECIFIC PLAN

**Figure 32b  
RESIDENTIAL  
LANDSCAPE GUIDELINES**

## SPECIFIC PLAN



**Planning Area 5,6 and 7**  
**Tiered Planting Standards: Live/Work**  
**and Non-Live/Work Townhomes**

Tier 4: Vertical "Grove Trees  
 ( 20%-36"box, 30%-24"box, 50%-15gal.)

Tier 3: Accent Canopy Shade Tree  
 ( 20%-36"box, 30%-24"box, 50%-15gal.)

Tier 2: Evergreen Shrub Layer- 3' to 5' height  
 ( 5 gal: 4' to 6' on center)

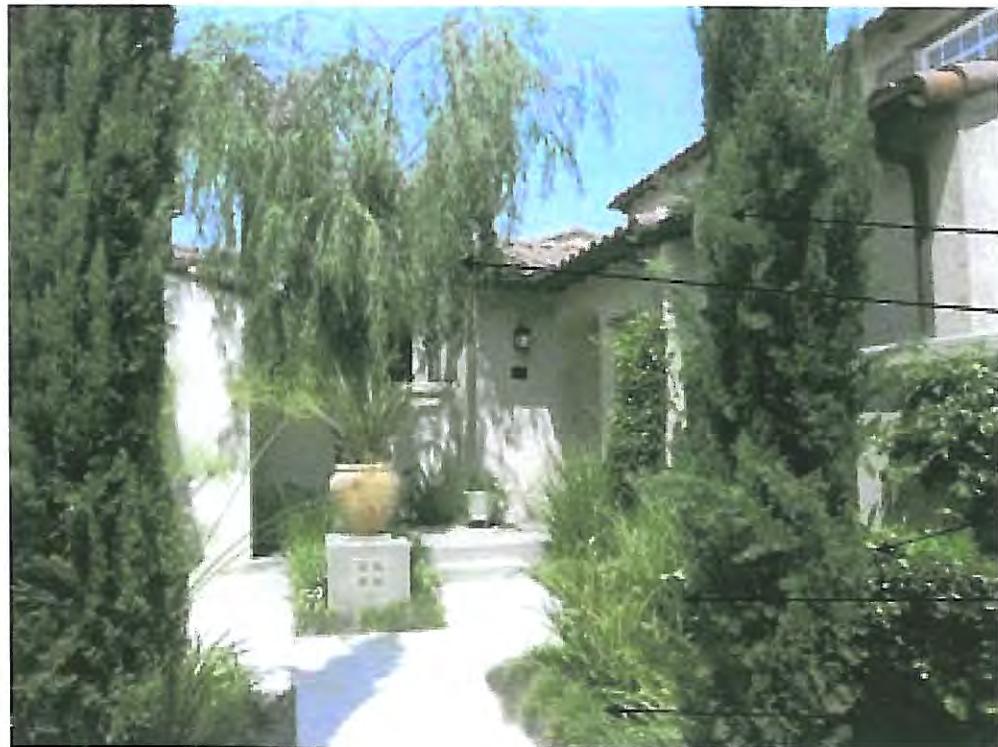
Tier 1: Evergreen Flowering Shrub Layer- 4 to 12" height  
 ( 5gal. 3' to 4' on center)

Quantities of trees and shrubs per individual site landscape plans



The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.

**Figure 32c**  
**RESIDENTIAL**  
**LANDSCAPE GUIDELINES**



**Planning Area 7 Greencourts  
Tiered Planting Standards:**

- Tier 5: Vertical Accent Trees  
(50%- 15gal. 50% 24"box)
- Tier 4: Accent Canopy / Shade Tree  
(36" box - Minimum one per courtyard)
- Tier 3: Evergreen Shrub Layer- 3' to 5' height  
(5gal: 4'-6' on center)
- Tier 2: Evergreen Shrub Layer-2' to 3' height  
(5 gal. 3' on center)
- Tier 1: Perennial Color Layer - 4" to 12" height  
(From flats 12" -18" on center)

The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.

**Figure 32d  
RESIDENTIAL  
LANDSCAPE GUIDELINES**



**Planning Area 5,6 and 7  
Tiered Planting Standards: Live/Work  
and Non-Live/Work Townhomes:**

**Interior Greenbelts**

Tier 4: Accent Canopy / Shade Tree  
(36" box tree - 3 minimum)

Tier 3: Vertical "Grove" Trees  
( 20%-36"box, 30%-24"box, 50%-15gal.)

Tier 2: Evergreen Shrub Layer- 3' to 5' height  
( 5 gal: 4' to 6' on center)

Tier 1: Evergreen Flowering Shrub Layer- 2' to 3' height  
( 5gal. 3' to 4' on center)

Quantities of trees and shrubs per individual site landscape plans

The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.

**Figure 32e  
RESIDENTIAL  
LANDSCAPE GUIDELINES**



**Planning Area 5 Pedestrian Greenbelt  
Tiered Planting Standards:**

Tier 5: Vertical Accent Trees

(50%- 15gal. 50% 24"box)

Tier 4: Accent Canopy / Shade Tree

(36" box - Minimum one per at each cul-de-sac)

Tier 3: Evergreen Shrub Layer- 3' to 5' height

(5gal: 4'- 6' on center)

Tier 2: Evergreen Shrub Layer-2' to 3' height

(5 gal. 3' on center)

Tier 1: Perennial Color Layer - 4" to 12" height

(From flats 12" -18" on center)

The Planting Standards shown are intended to set guideline for creating a lush landscape character within a 2-3 year period as shown in photos. The plant sizing listed above will assure compliance. Shrub and ground cover planting "heights" shown indicate the approximate height of the plant in the photo.



**SPECIFIC PLAN**

**Figure 32f  
RESIDENTIAL  
LANDSCAPE GUIDELINES**



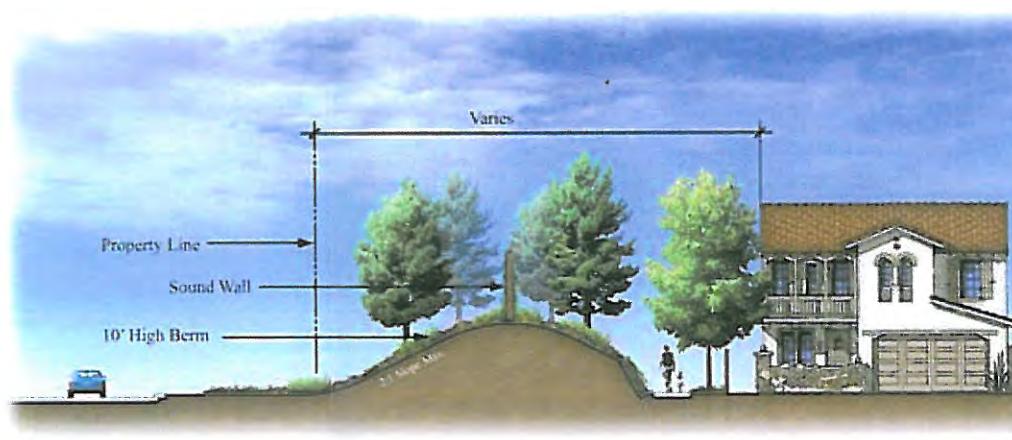
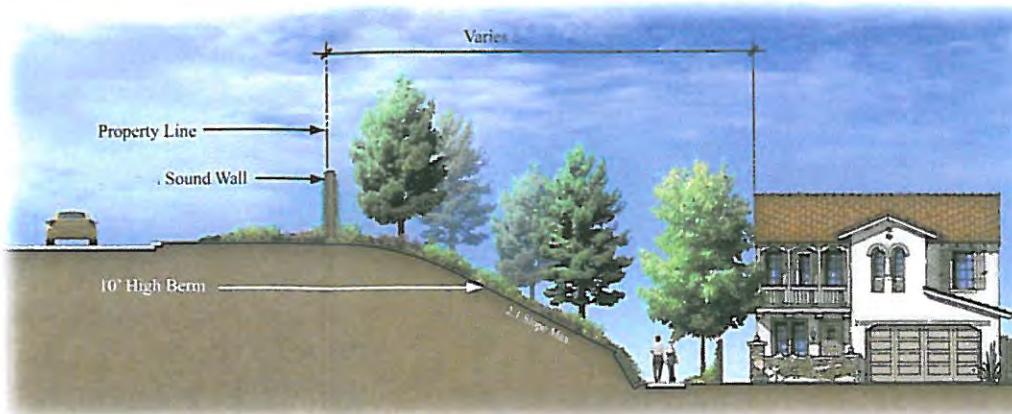
## SPECIFIC PLAN



Landscape On Freeway Side Of Wall Character



Landscape Character on Residential Side of Wall



### Freeway Edge:

A landscape buffer varying up to 40' in width occurs between the freeway sound wall and boundary of the Specific Plan along Planning Area 5.

A grove of evergreen trees with vines shall be planted and maintained by the homeowners association or landscape maintenance district as approved by the City of Fontana.

**Figure 32g**  
**FREEWAY EDGE**  
**GUIDELINES**

## 5.10 OUTDOOR LIGHTING GUIDELINES

All commercial and residential development shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Each residential development may develop its own lighting standards, provided that the selected lighting fixture style is used consistently throughout the individual development area. Lighting within the retail/office areas should create a unified theme. All lighting fixtures in the Ventana at Duncan Canyon Specific Plan area shall comply with the following regulations and provisions:

- Creative up lighting is required on the campanile, on piazza buildings, other buildings, and trees within commercial and mixed-use areas. Up lighting is required on theme walls and trees at prominent intersections to enhance the evening and nighttime visual environment.
- All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize glare and illumination of streets or adjoining property.
- Lights shall be break resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
- Neon and similar types of lighting are prohibited in all areas of the Specific Plan except in retail commercial developments.
- Community entry areas and public plazas in the retail site should be creatively lit to develop a sense of place and arrival.
- All exterior lighting designs shall address the issue of security. Parking lots and commercial building entrances shall be well lighted for security reasons.
- All exterior lights should be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
- No freestanding lighting fixtures shall exceed forty (40) feet in height, unless approved by the Director of Community Development.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls.
- Commercial project entry features should be illuminated, including the signage and/or logo.

- All electrical meter pedestals and light switch/control equipment shall be located with minimum public visibility if possible or shall be screened with appropriate plant materials.
- The level of on-site lighting as well as lighting fixtures shall comply with any and all applicable illumination requirements and policies of the City of Fontana. Energy conservations, safety and security should be emphasized when designing any light system.
- All community landscape common areas, private facilities, commercial sites, streetscapes, and other use areas may, at the discretion of the project developer or builders, contain accent or other night lighting elements.
- Pedestrian corridors shall be lit to ensure safe walking environments throughout the project area.

Figure 33 provides examples of lighting aimed at establishing an overall hierarchy and visual palette that is consistent with design theme of Ventana at Duncan Canyon.

The following lighting examples establish an overall hierarchy and palette that will be consistent with the over community character of Duncan Canyon.

Along public and private streets a fixture similar to the photo at right, set on a natural stone pole shall be provided at intervals determined by an electrical engineer.

For the shopping center parking lot areas, a simple and elegant cut-off style fixture will also minimize glare to surrounding properties. Adjacent to the shops and eating establishments, lighting fixtures should be of proper proportion to the building as shown here.



Office



Major and Local  
Private Streets



Specimen Tree Lighting



Pathway Bollard Lighting

## LI G H T I N G



Parking Lots



Retail Shops / Piazza

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## 6.0 Methodology and Procedures

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## 6.0 METHODOLOGY AND PROCEDURES

The Ventana at Duncan Canyon Specific Plan serves as the Zoning and General Plan implementation document for the subject property in conjunction with Chapter 33 of the Fontana Zoning Code and Ordinance No. 845. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

### 6.1 SPECIFIC PLAN ADOPTION

Government Code Section 65453(a) states that:

*"A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body."*

The Ventana at Duncan Canyon Specific Plan will be adopted by Ordinance in accordance with City policy.

This Specific Plan has been developed as both a regulatory document and a land use policy plan. The development standards have been structured in a format consistent with the City of Fontana Zoning Ordinance, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the Specific Plan are oriented to land use policies and include background and project information, planning policies, design criteria, conceptual plans and infrastructure proposals.

### 6.2 IMPLEMENTATION

The Ventana at Duncan canyon Master Planned Community shall be implemented through the processing of tract maps, parcel maps and site plans. The implementation process, as described below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

Applicability: All development within the Master Planned Community shall be subject to the implementation procedures described herein.

Development Review Process: Tentative Tract/Parcel Maps and Site Plans for development within a Specific Plan area shall be submitted to the Director of Community Development for review and processing. Tentative Maps and Site Plans shall be prepared and submitted in accordance with City requirements and local codes (Fontana Municipal Codes). They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

Relationship of the Specific Plan's Environmental Impact Report to Subsequent Discretionary Permits: Projects that will be exempt from additional environmental documentation based on the Environmental Impact Report prepared on the Ventana at Duncan Canyon Specific Plan

are the individual tentative tract maps, site plan review of each tract map through the City's Development Advisory Board (DAB), signage programs, water quality management plans, capital improvement programs and financing mechanisms. Projects that may require additional environmental documentation would be tract maps that do not meet the development regulations set forth within this Specific Plan.

Cost Recovery: The applicant is required to cover all costs and fees associated with the City of Fontana's preparation, review and administration of the adoption of this Specific Plan.

### 6.3 PROCEDURES FOR REVIEW, APPROVAL AND AMENDMENTS

The following procedures are to be used for the review and approval of Site Plans for individual planning areas, and establish the requirements for making changes or additions to the Master Planned Community. It should be noted that upon adoption of this Specific Plan document, the land use designations indicated on the Land Use Plan shall be applied and will attain the regulatory equivalence of zoning ordinances.

Site Plan Approval: The "Site Plan Review" process will be employed for project implementation. Site Plan(s) for a particular development area shall be reviewed at a duly noticed public hearing by the Planning Commission for consistency with the Specific Plan document. Notice of said hearings shall be given at the same time and in the same manner as specified for hearings for Tract Maps and Parcel Maps in the Municipal Code. If the Site Plan is found to be consistent with the Specific Plan and this chapter, the Planning Commission or City Engineer, as applicable, shall approve the Site Plan and direct that the Zoning Map of the City be amended when necessary. The decision of the Planning Commission or the City Engineer shall be final, subject to appeal or review by the City Council in the same time and manner as provided for appeal from decisions of the advisory agency on Tract Maps or Parcel Maps as set forth in Chapter 33 of the City's Municipal Code.

Site Plan Consistency: Following approval of a Site Plan, if any changes are proposed regarding the location or alteration of any use or structure shown on an approved Site Plan, a revised plan shall be submitted to the Director of Community Development and/or Planning Director for approval. If the Director of Community Development or his/her designee determines that the proposed revision complies with the provisions of the Specific Plan document and the general intent of the approved Site Plan, the revised Site Plan may be approved without resubmittal to the approval process described in the above Section (Site Plan Approval). Such decision shall be final unless appealed to the City Council within ten (10) days from the date of such decision.

Specific Plan Amendments: Because the Ventana development will be phased over a number of years, it is anticipated that market conditions and development practices may change, thereby necessitating Specific Plan Amendments. Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If the Director of Community Development deems the Amendment major, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications by the Director of Community Development, as defined herein, will be processed administratively by the Administrative Review process.

Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162. It is the applicant's responsibility to provide an analysis of the impacts of the amendment relative to the original EIR.

Findings for Approval of Specific Plan Amendments: In considering approval or disapproval of Specific Plan Amendments, the City Council shall find that the proposed Amendment is in compliance with the following:

- 1) The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of submission.
- 2) The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety or general welfare.
- 3) The proposed Amendment is consistent with the overall design character and general community structure of Ventana.
- 4) The proposed Amendment is not likely to cause substantial environmental damage, or substantially and avoidably injure significant wildlife, or their habitat.

Minor Modifications: The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Director of Community Development. The Director of Community Development shall, however have the discretion to refer any such request for modification to the Planning Commission.

- a) Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer.
- b) Change in utility and/or infrastructure servicing agency.
- c) Arterial, collector or local road alignment revisions when the centerline moves by less than two hundred feet (200').
- d) Collector street alignments within tracts. Off-site connections or four-way intersections at arterial roads only when reviewed and approved by the Director of Community Development and City Traffic Engineer.
- e) Alignment of pedestrian trails and off-street bike lanes.
- f) Decrease in project density.
- g) Adjustment of planning areas so long as the total acreage of that planning area does not decrease or increase by more than 10% of that stated within this Specific Plan.
- h) Minor landscape, wall material, wall alignment and streetscape design modifications, which are consistent with the design guidelines, contained in this document.

- i) Modifications to Architectural Design Guidelines, such as variations of materials within the particular architectural style and minor variations in colors.
- j) Changes in park facilities or conceptual park drawings.
- k) Minor revisions to project graphics which do not substantially change the intent of the graphics in the Ventana at Duncan canyon Specific Plan.
- l) Transfer of units of 10% or less.
- m) Modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- n) Specific modifications of a similar nature to those listed above, which the Director of Community Development deems minor, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.

Effective Date: All Amendments per this Section adopted by ordinance shall take effect thirty (30) days after final adoption by the City Council.

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## 7.0 Appendix

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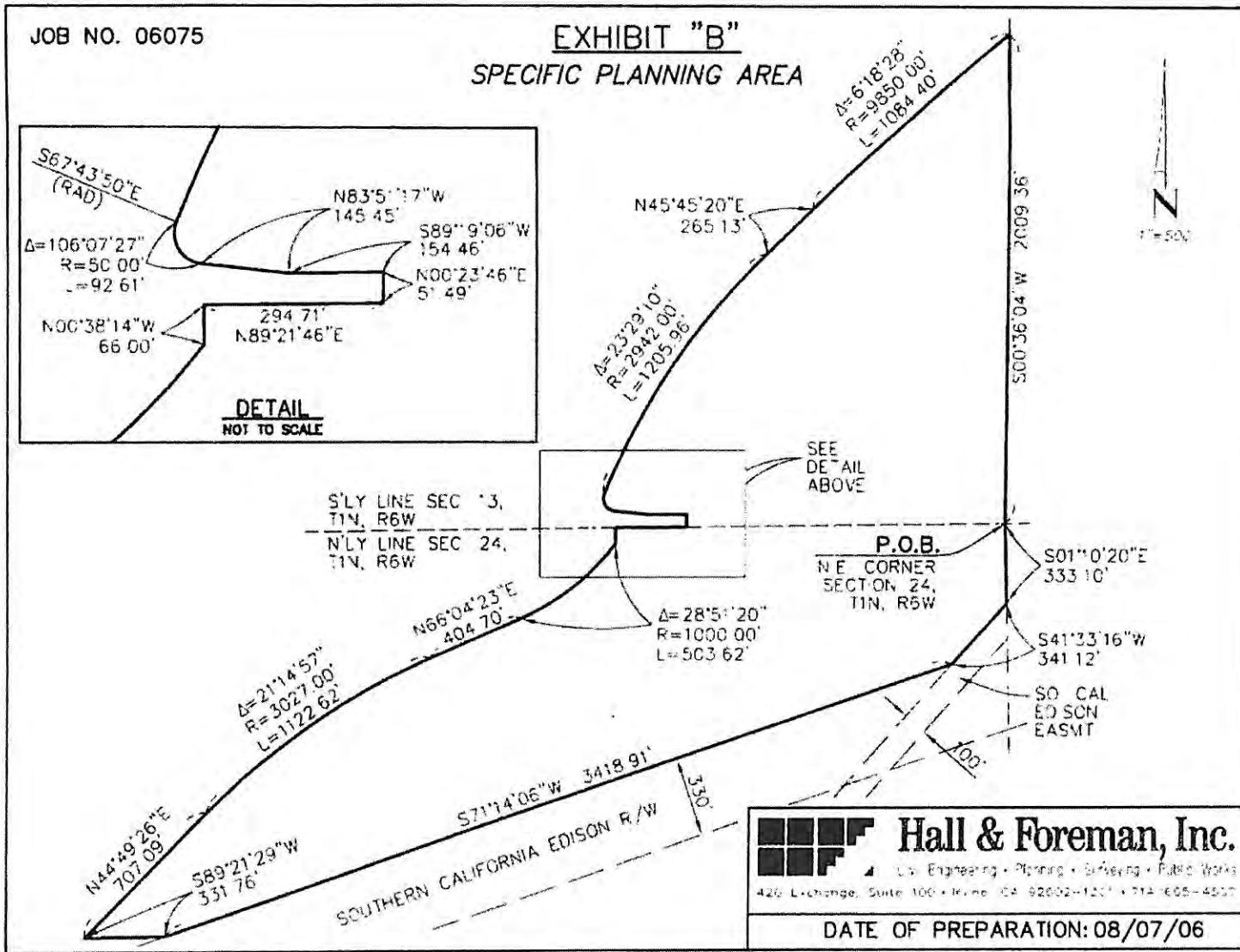
**A-1: PROJECT BOUNDARY MAP AND LEGAL DESCRIPTION**

## PROJECT BOUNDARY MAP AND LEGAL DESCRIPTION

Ventana at Duncan Canyon Specific Plan  
Trumark Companies

A-1

*February 2007*



9850.00 FEET. (7) THENCE NORTHEASTERLY 1084.40 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 06°18'28" TO THE EASTERLY LINE OF SAID SOUTHEAST  $\frac{1}{4}$  OF SECTION 13, ALSO BEING THE CENTERLINE OF CHURCH AVENUE 60 FEET WIDE AS OCCUPIED; THENCE SOUTH 00°36'47" WEST 2099.36 FEET ALONG SAID EASTERLY LINE TO THE SOUTHEAST CORNER OF SAID SECTION 13 AND THE POINT OF BEGINNING.

EXHIBIT "B" ATTACHED HERETO AND MADE A PART HEREOF.

THIS DESCRIPTION IS NOT TO BE USED FOR CONVEYANCE PURPOSES.

2007-06-17 11:28pm-6-2007-06-17-11-44-28

## A-2: PROPERTY OWNERSHIP MAP AND LIST

## APN Map 0226-07

Duncan Canyon  
Specific Plan Pre-application  
Attachment A-2  
Property Owner Map

0226-073-03

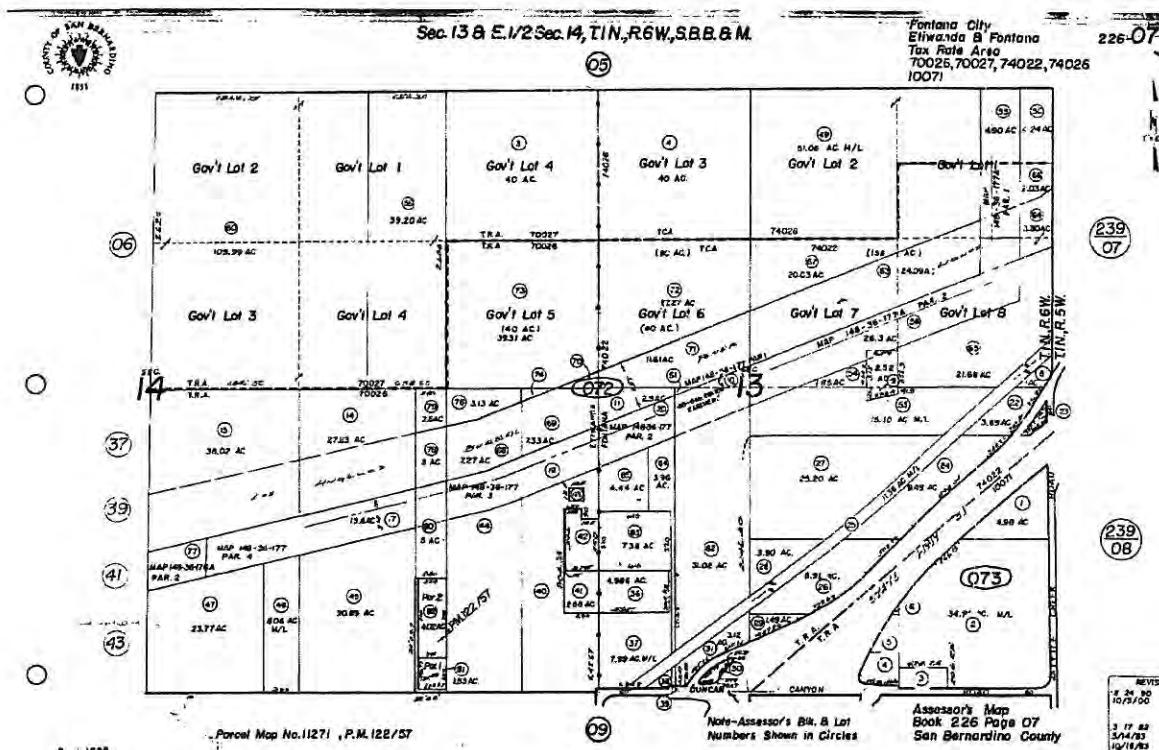
0226-073-06

0226-073-05

0226-073-02

0226-073-04

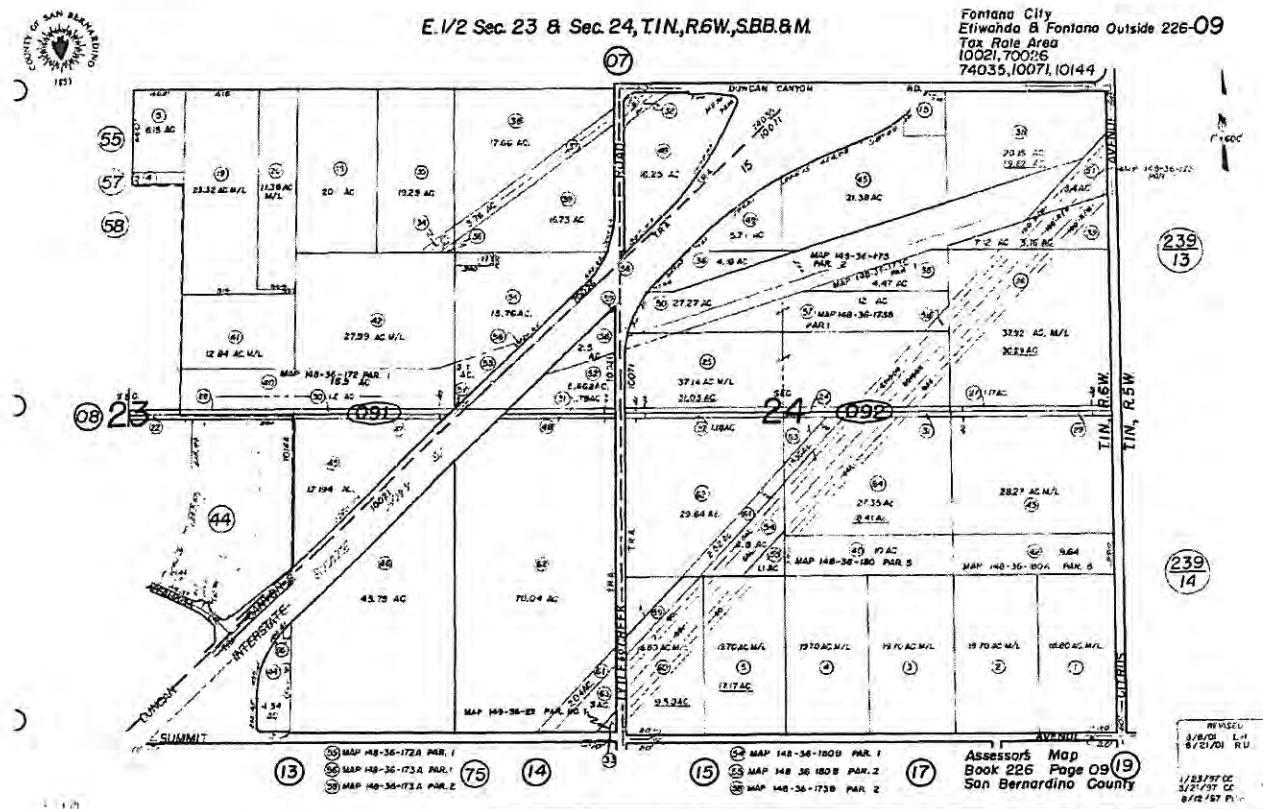
0226-073-01



## APN Map 0226-09

**Duncan Canyon  
Specific Plan Pre-application  
Attachment A-1  
Property Owner Map**

0226-092-45  
0226-092-15  
0226-092-38



**Property Owner's List**

APN	Acres <sup>1</sup>	Owner Name	Owner Address
0226-073-01	4.98	DUNCAN CANYON NORTH LTD PARTNERSHIP	15538 GALE AVENUE HACIENDA HEIGHTS, CA 91745
0226-073-02	34.91	DUNCAN CANYON NORTH LTD PARTNERSHIP	15538 GALE AVENUE HACIENDA HEIGHTS, CA 91745
0226-073-03	1.99	JOHN M & MARY BLUCKER	9254 GOLDEN STREET ALTA LOMA, CA 91737
0226-073-04	1.01	JOHN M & MARY BLUCKER	9254 GOLDEN STREET ALTA LOMA, CA 91737
0226-073-05	.64	JOHN M & MARY BLUCKER	9254 GOLDEN STREET ALTA LOMA, CA 91737
0226-073-06	.06	DUNCAN CANYON NORTH LTD PARTNERSHIP	15538 GALE AVENUE HACIENDA HEIGHTS, CA 91745
0226-092-15	.43	VERLA LEN QUOSS	15885 DUNCAN CANYON ROAD FONTANA, CA 92336
0226-092-38	19.82	DUNCAN CANYON SOUTH LTD PARTNERSHIP	15538 GALE AVENUE HACIENDA HEIGHTS, CA 91745
0226-092-45	21.38	DUNCAN CANYON WEST LTD PARTNERSHIP	15538 GALE AVENUE HACIENDA HEIGHTS, CA 91745
0226-092-49	5.77	MIKE ISMAIL	5061 LYTLE CREEK ROAD FONTANA, CA. 92336
0226-092-36	4.16	YUCAIPA HOLDING TRUST 1-7-00	416 ALAMOSA DRIVE CLAREMONT, CA. 91711-1959
<b>Total Acres</b>	<b>95.15</b>		

<sup>1</sup> Based upon tax assessor figures.

## A-3: GLOSSARY OF TERMS

The following glossary of terms defines the intent and meaning of the terminology and acronyms used within The Ventana at Duncan Canyon Specific Plan:

**Abutting:** means having lot lines or zone boundaries in common.

**Accessory Building:** means a building detached from the main building or structure on the same lot, the use of which is incidental and subordinate to the main building or structure.

**Accessory Use:** means a use of land or of a building or portion thereof which is incidental and subordinate to the principal use of the land or building and located on the same lot with such principal use.

**Acreage, Gross:** means all land within a defined area, including private and public ownerships, rights-of-way, easements, etc., measured to centerline of street.

**Acreage, Net:** means the developable portion of a given site less public rights-of-way, easements, and public and dedicated open space.

**Adjusted Gross Acreage:** means total gross acreage minus the acreage/square footage required for the construction of collector streets (and above), public facilities (excluding public schools), and open space (excluding public parks). To estimate adjusted gross acreage of a property, use the total gross acres multiplied by 70 percent (.7), to provide an approximate calculation. For the purpose of this section, the term "net acreage" may also be used to mean adjusted gross acreage.

**Alley:** means a service way providing a secondary means of public access to abutting property and not intended for general traffic circulation.

**Antenna:** means any system of wires, poles, rods, towers, whips, reflecting discs, or similar devices used for transmission or reception of electromagnetic waves. This definition shall include all satellite dish antennae, as well as any and all antenna structures used for the reception of television, radio waves, and microwaves.

**Antenna (transmission):** means any system of wires, poles, pods, towers, whips, reflecting discs, or similar devices for transmission of electromagnetic waves.

**Architectural Control:** means public regulation of the design of private buildings to develop, preserve, or enhance the attractiveness or character of a particular area or individual building.

**Balcony:** means a platform projecting from the external wall of a building and surrounded by a railing or parapet.

**Berm:** means a mound of earth of varying height.

**Building:** means any structure built for the support, shelter, or enclosure of persons, animals, fowls, chattels, or personal property of any kind.

**Building Coverage:** means the relationship between the ground floor area (footprint) of the building(s) and the net lot area.

**Building Height:** means the vertical distance above a reference point measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The reference point shall be selected by either of the following, whichever yields a greater height of building:

(1) The elevation of the highest adjoining sidewalk or ground surface within a five-foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten feet above lowest grade.

(2) An elevation ten feet higher than the lowest grade when the sidewalk or ground surface described in item (1) above is more than ten feet above lowest grade.

The height of a stepped or terraced building is the maximum height of any segment of the building.

**Building Official:** means the head of the Building and Safety Division of Fontana and shall include his deputies.

**Building Site:** means a lot, or contiguous lots of land in single, multiple, or joint ownership (exclusive of all rights-of-way and all easements, except open space easements, that prohibit the surface use of the property by its owner), which provides the area and open spaces required by this chapter for construction of a building or buildings, and which abuts a public or private street or alley, or easement.

**Carport:** means a roofed structure providing space for the parking or storage of motor vehicles and enclosed on not more than one side.

**Centerline:** means the centerline of a street as referred to in this code shall mean the right-of-way centerline as established by the county engineer of the county, by the City Engineer of any City within the county, by the Division of Highways of the State of California, or if no such centerline has been established and in any base in which foregoing definition is not applicable.

**CEQA:** means The California Environmental Quality Act.

**Commercial Use:** means an activity, normally retail sales, carried out for monetary gain.

**Common Area:** means land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.

**Common Open Space:** means all common areas, private recreation areas, including the pool and spa, and private streets within each planning area that are controlled and maintained by an established homeowners association or similar entity.

**Conditional Use:** means a use permitted in a particular planning area only upon showing that such use in a specified location will comply with all the conditions and standards for the location or operation of such use as specified according to the Specific Plan development regulations and authorized by the Planning Commission.

**Conditional Use Permit:** means an approval which may be granted by the Planning Commission that authorizes the recipient to make use of property in accordance with the requirements of this Specific Plan as well as any additional requirements imposed by the Planning Commission as conditions of approval of a particular project.

**Condominium:** means an undivided interest in common in a portion of real property coupled with a separate interest in space called a unit, the boundaries of which are described on a recorded final map, parcel map, or condominium plan in sufficient detail to locate all boundaries thereof. The area within these boundaries may be filled with air, earth, or water, or any combination thereof, and need not be physically attached to land except by easements for access and, if necessary, support.

**Defensible Space:** means a physical space which is made usable and safe by means of a design encouraging pedestrian circulation, visual access and the elimination of visually obstructed areas.

**Density:** means the number of dwelling units, or housing structures per net acre of land.

**Design Review:** means the procedure intended to protect the integrity and character of the residential, commercial, and industrial areas of the City through the application of the provisions of the development code, consistent with the policies of the general plan or specific plan.

**Design Review, Major:** means revisions or modifications to site plans, grading plans, landscape plans, or architectural plans which are significant, shall be considered a major revision. Also, any request for a change in conditions of approval shall be considered a major revision. Major revisions shall be processed through the same approval procedures and authority which granted the original approval. The applicant requesting such revisions shall be required to supply any necessary plans, as deemed appropriate by the Community Development Director, and pay necessary fees to cover the review procedure. The decision of the approval authority shall be final unless appealed to the City Council.

**Developer:** means the person or firm who prepares acreage for development and installs sufficient improvements to facilitate further subdivision of the property and construction of authorized uses. In the case of larger acreage there may be a master developer who sells property to several builders. With smaller acreage, the developer may be the original land owner or an individual builder.

**Development Advisory Board (D.A.B.):** consists of representatives of the various City departments and public agencies. The D.A.B. serves to review projects for consistency with the general plan, zoning ordinance, and other policies and procedures established by the City Council and Planning Commission on development proposals. The D.A.B. is strictly advisory.

**Development Agreement:** means a legally binding instrument executed between two or more parties which sets forth the specific criteria under which a certain development project may proceed. Modifications to the terms and conditions of the agreement require the mutual written consent of all parties entering into the agreement.

**Development Plan:** means a map or maps, along with supporting text and data, statistics or tables which describe the entitlement to use and associated conditions thereto authorized for a described parcel of land, approved in accordance with the requirements of the applicable plan.

**Development Review:** See: Design Review.

**Director:** means the Director of Community Development.

**Drive-thru Facility:** means a facility which, by its design, allows people to receive goods and/or services while remaining in their automobiles.

**Drive-thru Restaurant:** means a use providing preparation and retail sale of food and beverages with either "sit-down" and/or "drive-thru" service.

**Driveway:** means a private roadway providing access for vehicles to a parking space, garage, dwelling or other structure.

**Dwelling:** means a structure or portion thereof which is used exclusively for permanent human habitation.

**Dwelling, Multiple-family:** means a building or portion thereof used and/or designed as a residence with three or more dwelling units in the same structure, located on a single lot.

**Dwelling, Single-family:** *attached* means a building or portion thereof used and/or designed as one dwelling unit, located on a single lot, and constructed with one or two common walls with a single-family unit on another lot.

**Dwelling, Single-family Detached:** means a building designed and/or used for one dwelling unit, exclusive of a secondary unit, located on a single lot, and separated from any other dwelling unit.

**Dwelling Unit:** means one or more rooms designed, occupied or intended for occupancy as separate living quarters, with cooking, sleeping and sanitary facilities provided within the dwelling unit for the exclusive use of a single-family maintaining a household; a dwelling unit in a single-family detached dwelling also includes space for domestic employees of the family maintaining the household.

**Engineer, City:** means the City Engineer of the City of Fontana and shall include his/her designee.

**Environmental Impact Report (EIR):** means a detailed statement setting forth the environmental effects and considerations pertaining to a project as specified in Section 21100 of the California Public Resources Code (California Environmental Quality Act), and may mean either a draft or a final EIR.

**Facade:** means the exterior wall of a building exposed to public view or that wall viewed by persons outside the building.

**Floor Area Ratio (F.A.R.):** means the gross floor area of all buildings on a lot divided by the lot area.

**Frontage:** means the length of that portion of a lot abutting a street.

**Garage:** means a building or portion thereof in which a motor vehicle containing flammable or combustible liquids or gas in its tank is stored, repaired, or kept.

**General Plan:** means the adopted general plan of the City of Fontana which is the official statement of policy relative to physical development within the City boundaries.

**Guest Parking :** means on-site parking spaces provided for intermittent use by visitors.

**Homeowners Association (H.O.A.):** means a community association which is organized within a development in which individual owners share common interests and responsibilities for open space, landscaping, and/or facilities.

**Hotel:** means a building in which there are six or more guest rooms where lodging with or without meals is provided for compensation, and where no provision is made for cooking in any individual room or suite. Access to the guest facilities shall be through a main lobby so as to monitor and control the actual use of the facility by patrons.

**Infrastructure:** means basic facilities and services needed to sustain residential and commercial activities.

**Land Use Plan :** means a plan showing the existing and proposed location, extent and intensity of development of land to be used in the future for varying types of residential, commercial, industrial, agricultural, recreational, educational and other public and private purposes or combination of purposes.

**Landscaping Plans:** means a plan designed and prepared by a City approved landscape designer or a landscape architect, who indicates the type, size and location of vegetative and accent material proposed for the landscaping of a site including all irrigation and other devices necessary to maintain such landscaping.

**Landscaping :** means an area devoted to or developed and maintained predominately with native or exotic plant materials including lawn, ground cover, trees, shrubs, and other plant materials; and also including accessory decorative outdoor landscape elements such as pools, fountains, paved or decorated surfaces (excluding driveways, parking, loading, or storage areas).

**Line-of-sight:** means point of visibility from one point to another.

**Loading Zone :** means an approved off-street space or berth on the same lot with a building or contiguous to a group of buildings for the temporary parking of a commercial and customer vehicle while loading or unloading merchandise or materials and which abuts upon a street, alley, or other appropriate means of access.

**Local commercial :** means the general plan land use category which applies to business having a retailing function that senses the needs of local neighborhood residents. A site for this type of use shall be no less than one acre nor no more than eight acres.

**Lot Area, Net:** means the area within the lot lines of a lot exclusive of any dedications for public rights-of-way, parks, school sites, open space, surface rights easements, or other impediments which prevent the property owner from constructing a structure on that portion of the site.

**Lot Coverage :** means the percentage of the net area of the lot which is covered by the main building, carports, and all accessory structures (patios not included) as viewed from a plan perspective.

**Lot Depth:** means the average linear measurement between the front and rear lot lines when measured at 90 degree angles from the front lot line, or the tangent or chord line of a curved front lot line.

**Lot Frontage:** means the length of the defined front lot line measured at the street right-of-way line.

**Lot Line:** means the lines bounding a lot as defined herein.

**Minimum Lot Area:** means the amount of land that must be contained in a lot for each dwelling unit to be built on that lot. This ratio is typically applied in multiple-family zones. In single-family zones, it is the same as minimum lot size.

**Minor Modification:** means a method whereby minor changes may be made to preexisting or previously approved use or structure without any additional impact or expansion of the use or structure.

**Mixed Use:** means the development of a tract of land or building or structure with two or more different uses such as, but not limited to, residential, office, manufacturing, retail, public, or entertainment, in a compact urban form.

**Municipal Code:** means refers to the Municipal Code of the City of Fontana, County of San Bernardino, and State of California.

**Natural Grade:** means the elevation of the ground surface in its natural state before man-made alterations.

**Neighborhood Center:** means a shopping center which clusters retail goods and services to residents in the immediate vicinity of the center. Such centers range in size from five to 15 acres and normally contain a major supermarket.

**Off-street Parking Space:** a temporary motor vehicle parking area that is not located on a dedicated street right-of-way.

**Open Space, Active:** means any parcel or area of land or water designated or reserved for public or private use or enjoyment. An active open space contains recreational facilities such as pools and swimming areas, court and other game areas, playing fields and equipment required for recreational activities. Active open space shall not include any curbside parking.

**Open Space, Passive:** means any parcel or area of land or water essentially unimproved and set aside, dedicated, designated or reserved for public or private use or enjoyment, or for the use and enjoyment of owners and occupants of land adjoining or neighboring such open space which is established in order to preserve the natural and aesthetic qualities of the area and may be used for non-structured recreational activities. Passive open space shall not include any curbside parking.

**Open Space, Private:** means an open space, fenced or otherwise, which is reserved for the exclusive use by the occupants of a single specified dwelling unit. Private open space shall not include any curbside parking.

**Open Space, Public:** means open space owned by a public agency and maintained by it for the use and enjoyment of the general public. Public open space shall not include any curbside parking.

**Parking Area, Private:** means an area, other than a street, designed or used primarily for the parking of vehicles and not open to general public use.

**Parking Area, Public:** means an area, other than a private parking area or street, used for the parking of vehicles and available for general public use, either free or for remuneration.

**Parking Space:** means an area with minimum dimensions as established in the parking standards for a district, which is accessible and available for the parking of one vehicle.

**Performance standards:** mean a set of minimum criteria or minimum limits for a particular use or process.

**Permitted use:** means any use allowed in a zoning district by right and subject to the restrictions applicable to that zoning district.

**Phase:** means any contiguous part or portion of a project which is developed as a part of a total project.

**Pilaster:** means an upright architectural member that is structurally a pier, but architecturally is treated as a column.

**Planning Area:** means a specifically delineated area or district within the Specific Plan with development regulations and standards that uniformly govern the use, placement, spacing and size of land and buildings.

**Plot Plan:** means a diagram of a lot, as seen from above, showing the outline of all structures and other significant features on the lot and indicating the distance of the structures and other significant features from the borders of the lot and from each other.

**Porch:** means a roofed platform usually forming an entrance to a house.

**Project:** means the total development within the boundaries as defined on the development plan.

**Public Utility Structures:** mean a structure that provides a service (such as light, power, or water) to the general public. Included in this term are electric substations, water reservoirs, etc. Waste-to-energy facilities are not considered as public utility structures for these purposes.

**Recreational Vehicle:** means a movable vehicular structure without permanent foundation, which can be towed, hauled or driven and primarily designed as temporary living accommodation for recreational, camping and travel use. Recreational vehicles include but are not limited to travel trailers, truck campers, camping trailers and self-propelled motor homes.

**Research and Development:** means a primary use engaged in study, testing, design, analysis, and experimental development of products, processes, or services, that may include incidental manufacturing or products or provision of services to others.

**Restaurant:** means an establishment where food and drink is prepared, served and consumed primarily within the main building, and building or portion thereof where food and/or beverages are sold in a form ready for consumption and where all or a significant portion of the consumption takes place or is designated to take place outside the confines of the building, often in a motor vehicle.

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**Restaurant, Drive-thru.:** See: Drive-thru restaurant.

**Restaurant, Fast Food:** means a restaurant which supplies food and beverages primarily in disposable containers and which is characterized by high automobile accessibility, self-service and short stays by customers.

**Retail:** means the selling of goods, wares or merchandise directly to the ultimate consumer.

**Retention Basin:** means a pond, pool or basin used for the permanent storage of water runoff. See: Detention basin and recharge basin.

**Screencheck Plan:** means a draft development plan prepared with sufficient scope and detail (1) to enable City staff to review the plan, and (2) to provide direction to guide the preparation of a development plan complete and accurate enough to schedule it for required public hearings.

**Screening:** means a method of visually shielding or obscuring one abutting or nearby structure or use from another by fencing, walls, berms or densely planted vegetation.

**Setback Area:** means the minimum distance required by zoning to be maintained between two structures or between a structure and a property line.

**Setback Line:** means a line within a lot parallel to and measured from a corresponding lot line, forming the boundary of a required yard and governing the placement of structures and uses on the lot.

**Shared Parking:** means a situation where the same parking spaces can be utilized by two or more different uses due to the differing peak hours of operation of the uses involved.

**Site:** means any plot or parcel of land or combination of contiguous lots or parcels of land.

**Site plan:** means a plan drawn to scale showing uses and structures proposed for a parcel of land as required by the applicable regulations including lot lines, streets, building sites, reserved open space and other specific development proposals.

**Slope:** means the degree of deviation of a surface from the horizontal, usually expressed in percent or degrees.

**Specific Plan:** means a fully planned community, with all design controls, servicing requirements and financing techniques incorporated into the plan, which is adopted with a self-contained regulatory text and serves to implement the general plan in more detail.

**Standards, Development:** means the physical design and development portion of the development regulations of the Specific Plan controlling such items as building coverage, yard areas, and height of structures or floor area ratios.

**Structure:** means anything constructed or built. An edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner.

**Temporary Use:** means a use established for a fixed period of time with the intent to discontinue such use upon the expiration of the time period.

**Topography:** means the configuration of a surface area showing relative elevations.

**Tot Lot:** means an improved and equipped play area for small children.

**UBC :** Uniform Building Code.

**Use :** means the purpose for which land or a building is occupied, arranged, designed or intended, or for which either land or building is, or may be, occupied or maintained.

**Use, Conditional:** means a use, listed by the regulations of any particular district as a conditional use within that district and allowable therein, solely on a discretionary and conditional basis, subject to development/design review or to a conditional use permit, and to all other regulations established by this Specific Plan.

**Variance:** means permission to depart from Specific Plan and/or zoning ordinances when because of special circumstances, unique to a specific property, strict application of the Plan or ordinance deprives such property of privileges enjoyed by other property in the vicinity and under identical zoning. Any variance granted will assure that the adjustment granted will not constitute a special privilege.

**Wall:** means a substantial solid barrier intended to enclose, separate or surround. Typically, a wall is four inches or more in thickness and is usually supported by a rectangular pilaster.

**Wall, Community Theme:** means a solid wall used to establish a community architectural identity or theme, often used to link diverse project neighborhoods and facilities together into an identifiable community.

**Yard Area:** means as defined in the UBC, yard is an open, unoccupied space, other than a court, unobstructed from the ground to the sky, except where specifically provided by this code, on the lot on which a building is situated.

**Yard, Corner:** means a side yard which faces a public street on a corner lot and extending from the front yard to the rear yard.

**Yard, Front:** means a yard extending the full width of the lot between the front lot line and a line parallel thereto and passing through the nearest point of the building; provided that, if a future street right-of-way has been established, such measurement shall be from the future street right-of-way line.

**Yard, Rear:** means a yard extending the full width of the lot between the rear lot line and a line parallel thereto. For through lots, if a future street right-of-way has been established, such measurement shall be from the future street right-of-way line.

**Yard, Side:** means a yard between the side lot line and a line parallel thereto and extending from the front yard to the rear yard.

**Zero Lot Line:** means the location of a building on a lot in such a manner that one or more of the building's sides rest directly on a lot line.

**Zoning District:** means a specifically delineated area or district in a municipality within which regulations and requirements uniformly govern the use, placement, spacing and size of land and buildings.

**Zoning Map:** means the map or maps, which are a part of the development code, and delineate the boundaries of zone districts.

## A-4: Key Specific Plan Background Data

The following lists key background data in support of the Ventana at Duncan Canyon Specific Plan":

- Draft Environmental Impact Report for the proposed Ventana at Duncan Canyon Specific Plan, State Clearinghouse No. 2005111048, David Evans & Associates, June 2006.
- Circulation Alignment Study, Hall & Foreman, Inc., August 2006.
- Hydrology Analysis, Hall & Foreman, Inc., June 2006.
- Water Quality Management Plan, Hall & Foreman, Inc., August 2006
- Capital Improvement Program and Financing Mechanisms, Developers Research, Inc., September 2006

These documents are available for review at Fontana City Hall, Community Development Department, Planning Division during normal business hours.

# CAPITAL IMPROVEMENT COST ESTIMATES

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*Note: The following exhibits and costs are for indicative purposes only. Their basis is the proposed, but not approved, master tract map, land plan, and development phasing plan, and therefore subject to change. All costs are current estimates only and subject to change.*

# CIRCULATION EXHIBIT



PHASE 1 OF THE PROJECT PHASING PLAN



PHASE 1 OF THE PROJECT PHASING PLAN  
OUTSIDE OF PROPERTY BOUNDARY



PHASE 3 OF THE PROJECT PHASING PLAN



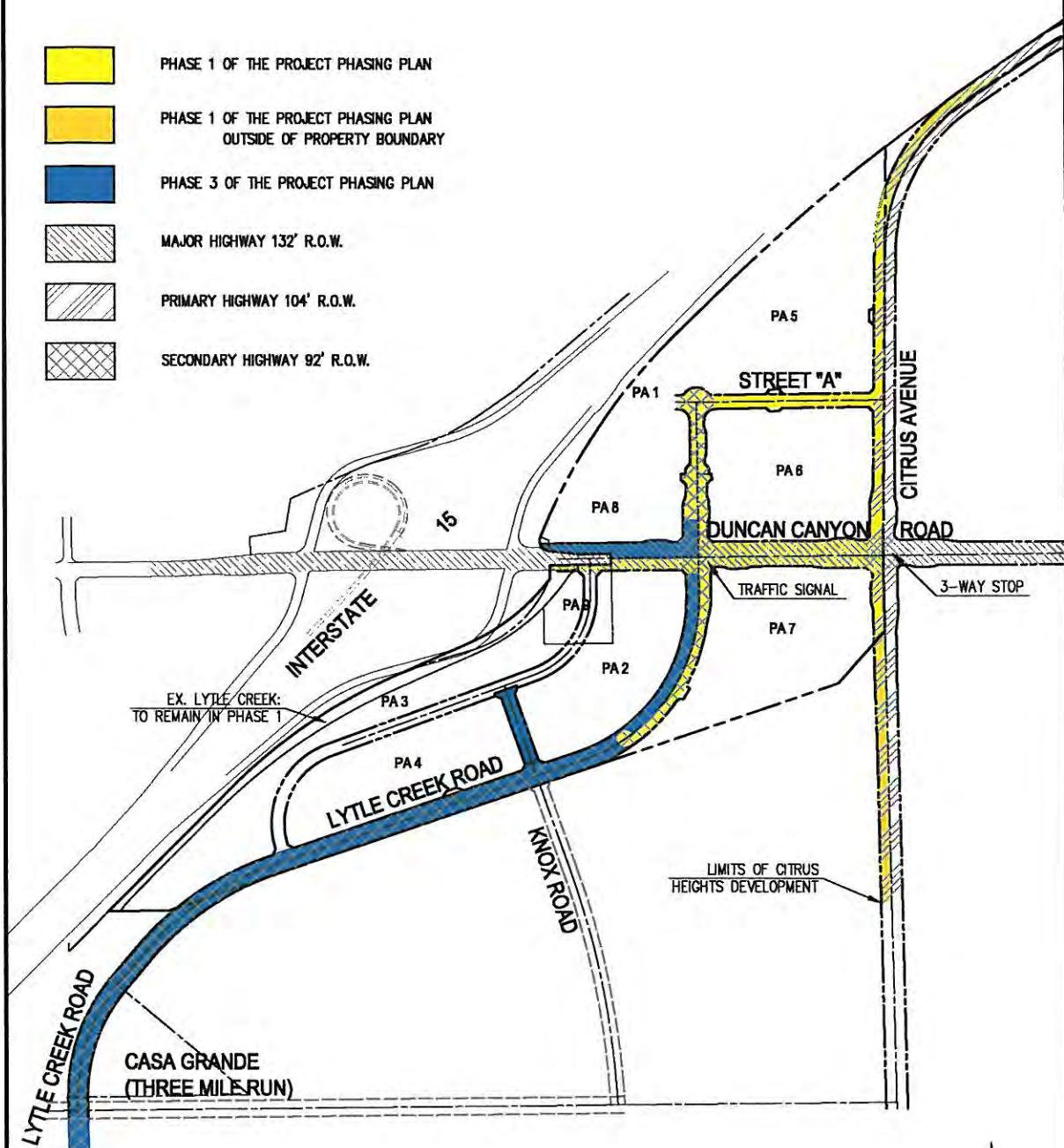
MAJOR HIGHWAY 132' R.O.W.



PRIMARY HIGHWAY 104' R.O.W.



SECONDARY HIGHWAY 92' R.O.W.



500 0 500 1000  
scale 1" = 500' feet

*Ventana*  
at DUNCAN CANYON

Trumark  
Companies

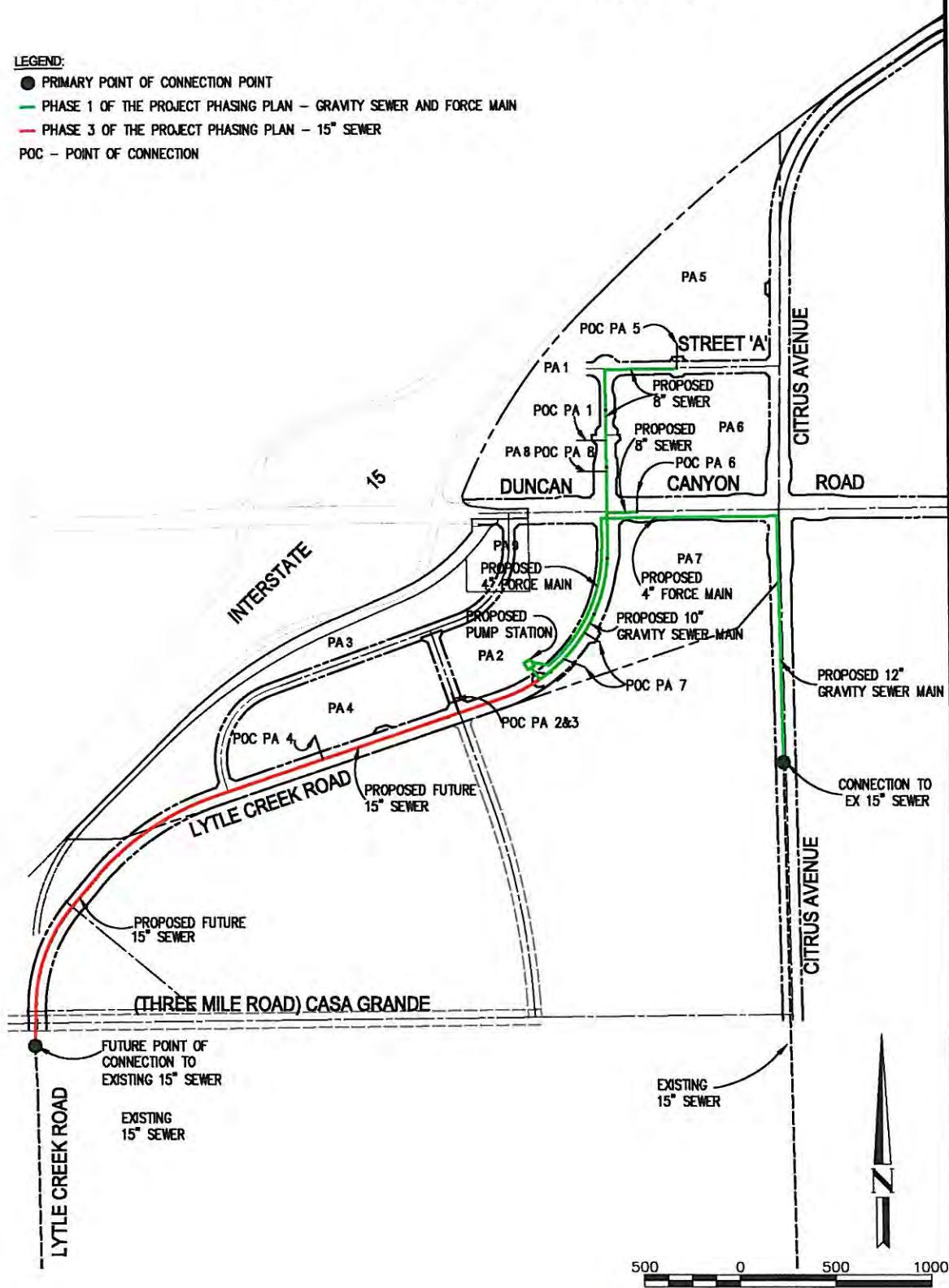
**H&F** Hall & Foreman, Inc.  
Engineering - Surveying - Planning - Landscape Architecture  
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# VENTANA SEWER MASTER PLAN

## INTERIM PUMP STATION

### LEGEND:

- PRIMARY POINT OF CONNECTION POINT
- PHASE 1 OF THE PROJECT PHASING PLAN – GRAVITY SEWER AND FORCE MAIN
- PHASE 3 OF THE PROJECT PHASING PLAN – 15" SEWER
- POC – POINT OF CONNECTION



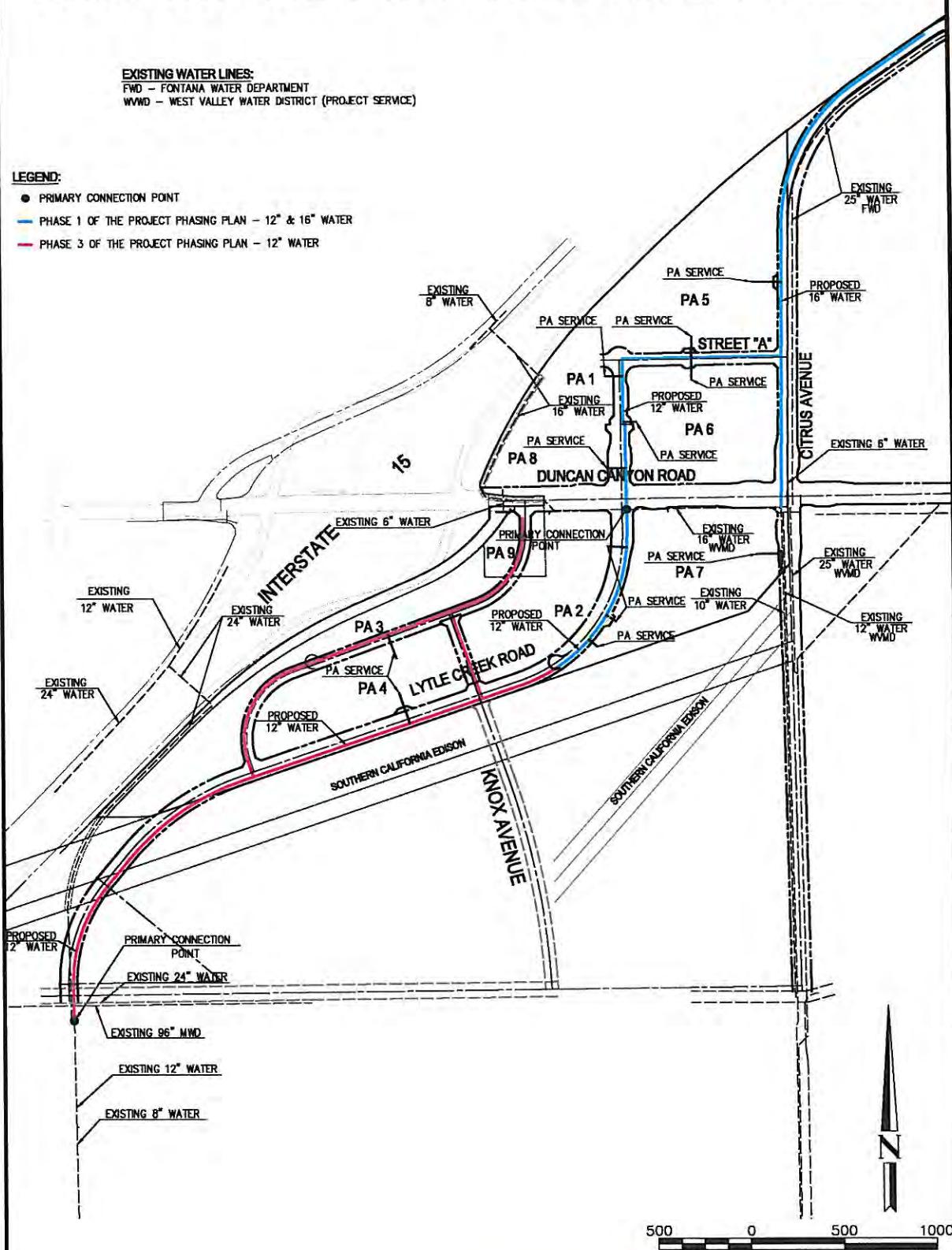
# DOMESTIC WATER FACILITIES

## EXISTING AND PROPOSED WATER LINES

**EXISTING WATER LINES:**  
 FWD - FONTANA WATER DEPARTMENT  
 WWD - WEST VALLEY WATER DISTRICT (PROJECT SERVICE)

### LEGEND:

- PRIMARY CONNECTION POINT
- PHASE 1 OF THE PROJECT PHASING PLAN - 12" & 16" WATER
- PHASE 3 OF THE PROJECT PHASING PLAN - 12" WATER



*Ventana*  
 at DUNCAN CANYON

Trumark  
 Companies

  
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## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Summary Schedule

Total Backbone Costs	Backbone	Backbone	Backbone
	Phase 1 Backbone	Phase 2 Backbone	Backbone
	0	0	0
Number of Units			
Total Project Acreage	13.8	7.8	21.66
<u>Lot Improvement Indirect Costs</u>			
Consultant Fees and Services	\$300,202	\$257,525	\$557,727
Planning Fees, Deposits, Permits	\$282,817	\$217,404	\$500,221
Impact Fees	\$377,878	\$229,724	\$607,602
Impact Fee Credits	(\$281,715)	(\$159,884)	(\$441,599)
Bonds	\$100,937	\$74,559	\$175,497
Indirect Cost Contingency	\$53,092	\$38,961	\$92,052
<u>Lot Improvement Indirect Costs</u>	<b>\$833,211</b>	<b>\$658,289</b>	<b>\$1,491,500</b>
<u>Lot Improvement Direct Costs</u>			
Site Preparation	\$142,307	\$45,905	\$188,212
Rough Grading	\$466,835	\$226,729	\$693,564
Erosion Control	\$52,827	\$33,858	\$86,685
Storm Drain System	\$1,532,700	\$2,082,975	\$3,615,675
Sanitary Sewer System	\$993,701	\$339,540	\$1,333,241
Water Distribution System	\$229,123	\$400,763	\$629,886
Street Improvements - Concrete	\$582,116	\$341,280	\$923,396
Street Improvements - Asphalt	\$2,158,111	\$1,245,081	\$3,403,192
Landscaping	\$766,580	\$334,238	\$1,100,818
Common Costs	\$1,500,000	\$0	\$1,500,000
Repairs for Bond Release	\$228,893	\$156,190	\$385,083
Dry Utilities	\$1,843,533	\$934,816	\$2,778,349
Reimbursements	(\$921,767)	(\$467,408)	(\$1,389,174)
Direct Cost Contingency	\$1,004,179	\$590,070	\$1,594,249
<u>Lot Improvement Direct Costs</u>	<b>\$10,579,138</b>	<b>\$6,264,036</b>	<b>\$16,843,174</b>
<u>Total Lot Improvement Costs</u>	<b>\$11,412,349</b>	<b>\$6,922,325</b>	<b>\$18,334,674</b>

\*This estimate assumes that all costs incurred through final engineering are to be paid by the seller.

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Total Residential Units				0	0	0	0		
Buildable Square Feet				0	0	653,954			
Buildable Acres				0.0	0.0	0.0			
Total Other Acreage (excludes Buildable Acres)				AC	13.8	7.8	21.7		
Total Project Acreage				AC	13.8	7.8	21.7		
<b>Consultant Fees and Services</b>				AC	13.8	7.8	21.7		
<b>Civil Engineering</b>									
<b>Civil Engineering Field</b>									
Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Civil Engineering - Field - Rough Grade Staking	Days	\$2,400.00	8	4	12	\$19,200	\$9,600	\$28,800	Based on Developers Research estimate
Civil Engineering - Field - Survey of Removal Areas	AC	\$300.00	13.8	7.8	21.7	\$4,145	\$2,353	\$6,498	Based on Developers Research estimate
Civil Engineering - Field - Residential - Establish Control	AC	\$50.00	13.8	7.8	21.7	\$891	\$392	\$1,083	Based on Developers Research estimate
Civil Engineering - Field - Erosion Control Staking	AC	\$100.00	13.8	7.8	21.7	\$1,382	\$784	\$2,166	Based on Developers Research estimate
Civil Engineering - Field - Storm Drain Staking - Backbone	LF	\$4.00	3,135	5,775	8,910	\$12,540	\$23,100	\$35,640	Based on Developers Research estimate
Civil Engineering - Field - Sewer Staking - Backbone	LF	\$4.00	3,660	3,600	7,460	\$15,440	\$14,400	\$29,840	Based on Developers Research estimate
Civil Engineering - Field - Domestic Water Staking - Backbone	LF	\$4.00	2,650	4,720	7,370	\$10,600	\$18,880	\$29,480	Based on Developers Research estimate
Civil Engineering - Field - Curb & Gutter Staking - Backbone	LF	\$4.00	18,045	10,230	29,175	\$75,780	\$40,920	\$116,700	Based on Developers Research estimate
Civil Engineering - Field - Joint Trench Staking - Backbone	LF	\$1.00	8,375	5,610	13,985	\$8,375	\$5,610	\$13,985	Based on Developers Research estimate
Civil Engineering - Field - Final Monumentation - Backbone	EA	\$25,000.00	1	1	2	\$25,000	\$25,000	\$50,000	Based on Developers Research estimate
<b>Subtotal - Civil Engineer - Field</b>	DU	\$722				\$173,153	\$141,039	\$314,192	
<b>Civil Engineering Total</b>	DU	\$722				\$173,153	\$141,039	\$314,192	
<b>Soils Engineering</b>									
Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Field Soils - Grading Observation 20000 Yards per Day	Days	\$2,500.00	8	4	12	\$20,000	\$10,000	\$30,000	Based on Developers Research estimate
Field Soils - Toxic Study	AC	\$50.00	13.8	7.8	21.7	\$891	\$392	\$1,083	Based on Developers Research estimate
Field Soils - Utility Backfills - Backbone	LF	\$3.00	18,020	19,705	37,725	\$54,060	\$59,115	\$113,175	Based on Developers Research estimate
Office Soils - Additional Studies During Grading	AC	\$200.00	13.8	7.8	21.7	\$2,764	\$1,568	\$4,332	Based on Developers Research estimate
<b>Soils Engineering Total</b>	DU	\$342				\$77,514	\$71,076	\$148,590	
<b>Environmental Processing</b>									
Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Storm Water Pollution Prevention Plan (SWPPP)	AC	\$200.00	13.8	7.8	21.7	\$2,764	\$1,568	\$4,332	To prepare required reports, includes bond cost
NPDES Processing	AC	\$40.00	13.8	7.8	21.7	\$553	\$314	\$866	To receive a negative declaration
<b>Environmental Processing Total</b>	DU	\$12				\$3,316	\$1,882	\$5,198	
<b>Other Consulting</b>									
Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Legal - SWPPP Issues	AC	\$300.00	13.8	7.8	21.7	\$4,145	\$2,353	\$6,498	Based on Developers Research estimate
Consulting - Prepare Annexation Documents	EA	\$25,000.00	1	1	2	\$25,000	\$25,000	\$50,000	Assumed needed to complete financing package
Landscape Architect Prints and Reproduction	AC	\$150.00	13.8	7.8	21.7	\$2,073	\$1,176	\$3,249	Based on Developers Research estimate
SWPPP Consultant	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate
Utility Consulting - Backbone	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate
<b>Other Consulting Total</b>	DU	\$208				\$46,218	\$43,529	\$89,747	
<b>Consultant Fees and Services Total</b>	DU	\$1,282				\$300,202	\$257,525	\$557,727	
Blue Top Responsibility		\$1,282				\$300,202	\$257,525	\$557,727	
CFD Eligible						\$201,795	\$187,025	\$388,820	

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

#### Fees, Deposits, Permits

Plan Check & Inspection - Rough Grading - Blue Top	0.0%	\$466,835	\$226,729	\$693,564
Plan Check & Inspection - Erosion Control & Fine Grading - Blue Top	0.8%	\$52,827	\$33,858	\$86,085
Inspection - Storm Drain - Blue Top	5.0%	\$1,532,700	\$2,082,975	\$3,615,675
Inspection - Sanitary Sewer - Blue Top	5.0%	\$993,701	\$339,540	\$1,333,241
Inspection - Domestic Water - Blue Top	5.0%	\$229,123	\$400,763	\$629,886
Inspection - Streets Improvements - Blue Top	3.5%	\$2,740,227	\$1,586,361	\$4,326,588
Inspection - Landscaping and Common Costs - Blue Top	0.5%	\$2,266,580	\$334,238	\$2,600,818
Plan Check & Inspection - Utilities - Blue Top	1.5%	\$1,843,533	\$934,816	\$2,778,349
NPDES Permit	AC	\$30.00	13.8	7.8
				21.7

#### Fees, Deposits, Permits Total

DU	\$1,150			

#### Blue Top Responsibility

#### CFD Eligible

#### Impact Fees

West Valley Water District - Irrigation Connection Fee - 1 1/2 inch - Backbone	EA	\$16,755.00	2	2	4
West Valley Water District - Irrigation Meter Fee - 1 1/2 inch - Backbone	EA	\$803.00	2	2	4
City of Fontana - Flood Control Fee - San Sevina Area	AC	\$4,405.00	13.8	7.8	21.7
City of Fontana - Drainage Fee - I-10 North Area	AC	\$20,388.00	13.8	7.8	21.7
City of Fontana - Drainage Fee - I-10 North Area - Credit	AC	(\$20,388.00)	13.8	7.8	21.7

Impact Fees Total	DU	\$1,397			
Impact Fee Credits		(\$1,015)			
Net Impact Fees		\$382			
Blue Top Responsibility		\$382			
CFD Eligible (Net of CFD Eligible Impact Fee Credits)		\$1,397			

#### Bonds

Improvement Bonds Blue Top	Unit	Dev Res	Phase 1	Phase 2	Total Quantity
	%	1.5%	\$5,495,751	\$4,409,639	\$9,905,389
Grading Bonds Blue Top	%	1.5%	\$486,835	\$226,729	\$693,564
Landscape Bonds Blue Top	%	1.5%	\$766,580	\$334,238	\$1,100,818

Bonds Total	DU	\$403			
Blue Top Responsibility		\$403			
CFD Eligible					

#### Indirect Contingency

Consultant Fees and Services Contingency - Blue Top	Unit	Dev Res	Phase 1	Phase 2	Total Quantity	
	%	5.0%	\$300,202	\$267,525	\$557,727	
Fees, Deposits, Permits Contingency - Blue Top	%	5.0%	\$282,817	\$217,404	\$500,221	
Impact Fees Contingency - Blue Top	%	5.0%	\$377,878	\$229,724	\$807,602	
Bonds Contingency - Blue Top	%	5.0%	\$100,937	\$74,559	\$175,497	

Indirect Contingency Total	DU	\$212				
Blue Top Responsibility		\$212				
CFD Eligible						

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

<u>Site Preparation</u>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Clearing & Grubbing	AC	\$400.00	13.8	7.8	21.7	\$5,527	\$3,137	\$8,664	General site cleaning	
Debris Removal	AC	\$200.00	13.8	7.8	21.7	\$2,784	\$1,568	\$4,332	General site cleaning	
Remove Existing Asphalt - Citrus Avenue	SF	\$0.60	77,160	0	77,160	\$46,296	\$0	\$46,296	Based on Developers Research estimate	
Remove Existing Asphalt - Duncan Canyon Road	SF	\$0.60	19,200	19,200	38,400	\$11,520	\$11,520	\$23,040	Based on Developers Research estimate	
Relocate Existing Miscellaneous Appurtenances/Structures Allowance	LS	\$50,000.00	0.5	0.5	1	\$25,000	\$25,000	\$50,000	Based on Developers Research estimate	
Abandon & Cap Existing Water Well	LS	\$30,000.00	1	0	1	\$30,000	\$0	\$30,000	Per E.I.R. Executive Summary, dated August 2006	
Remove Septic Tank	LS	\$15,000.00	1	0	1	\$15,000	\$0	\$15,000	Per E.I.R. Executive Summary, dated August 2006	
Temporary Construction Fencing	LF	\$2.00	3,100	2,340	5,440	\$8,200	\$4,680	\$10,880	Based on Developers Research estimate	
<b>Site Preparation Total</b>	DU					<b>\$142,307</b>	<b>\$45,905</b>	<b>\$188,212</b>		
<b>Blue Top Responsibility</b>						<b>\$142,307</b>	<b>\$45,905</b>	<b>\$188,212</b>		
<u>Rough Grading</u>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Mobilization	LS	\$0.10	154,200	74,100	228,300	\$15,420	\$7,410	\$22,830	To move equipment onsite	
Construction Water	CY	\$0.09	102,750	92,825	285,375	\$17,348	\$8,336	\$25,684	Based on Developers Research estimate	
Alluvium / Colluvium	CY	\$1.55	44,000	53,000	97,000	\$68,200	\$82,150	\$150,350	Based on Developers Research grading takeoff	
Mass Excavation - Rippable	CY	\$1.60	109,900	20,700	130,600	\$175,840	\$33,120	\$208,960	Based on Developers Research grading takeoff	
Crushing Oversized Material & Place	Tons	\$6.00	5,785	2,780	8,565	\$34,710	\$16,680	\$51,390	Based on Developers Research estimate	
Handling of Oversized Rock	CY	\$1.00	38,550	18,525	57,075	\$38,550	\$18,525	\$57,075	Based on Developers Research estimate	
Double Handling Dirt between Phases	LS	\$1.00	50,000	0	50,000	\$50,000	\$0	\$50,000	Based on Developers Research estimate	
Export - Oversized Rock	CY	\$0.00	29,800	3,800	33,500	\$0	\$0	\$0	Site should balance upon final engineering	
Street Finish - Backbone	SF	\$0.20	333,855	302,540	636,375	\$88,767	\$60,508	\$127,275	Based on Developers Research estimate	
<b>Rough Grading Total</b>	DU					<b>\$466,835</b>	<b>\$228,729</b>	<b>\$693,564</b>		
<b>Blue Top Responsibility</b>						<b>\$466,835</b>	<b>\$228,729</b>	<b>\$693,564</b>		
<u>Erosion Control</u>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Dust Control - (PM-10)	AC	\$1,500.00	13.8	7.8	21.7	\$20,727	\$11,783	\$32,490	Based on Developers Research estimate	
Silt Fence	LF	\$2.25	3,100	2,340	5,440	\$8,975	\$5,265	\$12,240	Based on Developers Research estimate	
Street Cleanup	LF	\$3.00	8,375	5,810	13,985	\$25,125	\$16,830	\$41,955	Based on Developers Research estimate	
<b>Erosion Control Total</b>	DU					<b>\$52,827</b>	<b>\$33,858</b>	<b>\$86,685</b>		
<b>Blue Top Responsibility</b>						<b>\$52,827</b>	<b>\$33,858</b>	<b>\$86,685</b>		

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

#### Storm Drain System

	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Storm Drain Move-In - Backbone	EA	\$5,000.00	1	1	2	\$5,000	\$5,000	\$10,000	To move equipment onsite
Reinforced Concrete Pipe - 18 Inch - BB	LF	\$72.00	710	185	875	\$51,120	\$11,880	\$63,000	Per TTM #18143, dated 8.14.06
Reinforced Concrete Pipe - 21 Inch - BB	LF	\$75.00	300	0	300	\$22,500	\$0	\$22,500	Per TTM #18143, dated 8.14.06
Reinforced Concrete Pipe - 27 Inch - BB	LF	\$100.00	120	395	515	\$12,000	\$38,500	\$51,500	Per TTM #18143, dated 8.14.06
Reinforced Concrete Pipe - 33 Inch - BB	LF	\$120.00	0	580	580	\$0	\$67,200	\$67,200	Per TTM #18143, dated 8.14.06
Reinforced Concrete Pipe - 42 Inch - BB	LF	\$160.00	1,095	3,800	5,495	\$303,200	\$576,000	\$879,200	Per TTM #18143, dated 8.14.06
Reinforced Concrete Pipe - 51 Inch - BB	LF	\$195.00	110	935	1,045	\$21,450	\$182,325	\$203,775	Per TTM #18143, dated 8.14.06
Sand Bedding - Under 36 Inch - Backbone	LF	\$2.00	1,130	1,240	2,370	\$2,260	\$2,480	\$4,740	Below pipe in 4 feet trench
Sand Bedding - 36 Inch To 60 Inch - Backbone	LF	\$4.00	2,005	4,535	6,540	\$8,020	\$18,140	\$26,160	Below pipe in 4 feet trench
Connect To Existing	EA	\$3,500.00	1	0	1	\$3,500	\$0	\$3,500	Based on Developers Research estimate
Storm Drain - Manhole 48 Inch Diameter - Backbone	EA	\$4,000.00	13	23	36	\$52,000	\$92,000	\$144,000	One per 250 linear feet
Manhole Adjust To Grade - Backbone	EA	\$400.00	13	23	36	\$5,200	\$9,200	\$14,400	Based on Developers Research estimate
Catch Basin W = 4 Feet - Backbone	EA	\$4,200.00	1	0	1	\$4,200	\$0	\$4,200	Per TTM #18143, dated 8.14.06
Catch Basin W = 7 Feet - Backbone	EA	\$6,000.00	3	5	8	\$18,000	\$30,000	\$48,000	Per TTM #18143, dated 8.14.06
Catch Basin W = 10 Feet - Backbone	EA	\$6,500.00	2	4	6	\$13,000	\$26,000	\$39,000	Per TTM #18143, dated 8.14.06
Outlet Structure 51 Inch	LS	\$12,000.00	0	1	1	\$0	\$12,000	\$12,000	Based on Developers Research estimate
10 Foot x 8 Foot - Single Cell Reinforced Concrete Box	LF	\$1,250.00	805	805	1,610	\$1,008,250	\$1,008,250	\$2,012,500	Per TTM #18143, dated 8.14.06
Traffic Control - Backbone	EA	\$5,000.00	1	1	2	\$5,000	\$5,000	\$10,000	Based on Developers Research estimate

#### Storm Drain System Total

DU	\$8,312	\$1,532,700	\$2,082,975	\$3,615,675
Blue Top Responsibility		\$1,532,700	\$2,082,975	\$3,615,675
CFD Eligible		\$1,532,700	\$2,082,975	\$3,615,675
Per Linear Foot		\$488.90	\$368.34	\$411.34

#### Sanitary Sewer System

	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
PVC Pipe - 4 Inch - Force Main	LF	\$31.00	1,600	0	1,600	\$49,600	\$0	\$49,600	Quantities from engineering working drawings
Vitrified Clay Pipe - 8 Inch - Backbone	LF	\$39.00	1,270	0	1,270	\$49,530	\$0	\$49,530	Per TTM #18143, dated 8.14.06
Vitrified Clay Pipe - 10 Inch - Backbone	LF	\$46.00	180	0	180	\$8,740	\$0	\$8,740	Based on Developers Research estimate
Vitrified Clay Pipe - 15 Inch - Backbone	LF	\$75.00	800	3,600	4,400	\$60,000	\$270,000	\$330,000	Per TTM #18143, dated 8.14.06
TV Test Sewer Mains - Backbone	LF	\$0.65	3,880	3,600	7,480	\$2,509	\$2,340	\$4,849	Required by city
Sand Bedding - Backbone	LF	\$1.20	3,880	3,600	7,480	\$4,632	\$4,320	\$8,952	Based on Developers Research estimate
Sand Bedding 10 Inch & Over Pipe - Backbone	LF	\$1.50	800	3,600	4,400	\$1,440	\$6,480	\$7,920	Based on Developers Research estimate
Manhole - (Sanitary Sewer) - 48 Inch - Backbone	EA	\$3,000.00	15	14	29	\$45,000	\$42,000	\$87,000	One per 250 linear feet
Manholes Adjust To Grade - Backbone	EA	\$350.00	15	14	29	\$5,250	\$4,900	\$10,150	Based on Developers Research estimate
Sewer Stubs To Future Development	EA	\$1,000.00	2	2	4	\$2,000	\$2,000	\$4,000	Based on Specific Plan - Figure 20, dated August 2006
Connect To Existing	LS	\$7,500.00	1	0	1	\$7,500	\$0	\$7,500	Based on Developers Research estimate
Interim Sewer Pump Station	LS	\$750,000.00	1	0	1	\$750,000	\$0	\$750,000	Pump Station size unavailable
Traffic Control - Backbone	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate

#### Sanitary Sewer System Total

DU	\$3,065	\$993,701	\$339,540	\$1,333,241
Blue Top Responsibility		\$993,701	\$339,540	\$1,333,241
CFD Eligible		\$192,101	\$337,540	\$529,641
Per Linear Foot		\$324.74	N/A	\$435.70

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

#### Water Distribution System

	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
PVC Pipe w/ Fittings - 10 Inch - Backbone	LF	\$47.00	0	1,320	1,320	\$0	\$82,040	\$82,040	Per TTM #18143, dated 8.14.06
PVC Pipe w/ Fittings - 12 Inch - Backbone	LF	\$56.00	2,650	3,400	6,050	\$148,400	\$190,400	\$338,800	Per TTM #18143, dated 8.14.06
Chlorinate & Pressure Test - Backbone	LF	\$0.65	2,650	4,720	7,370	\$1,723	\$3,088	\$4,791	Based on Developers Research estimate
Sand Bedding - 12 inch & Under - Backbone	LF	\$1.50	2,650	4,720	7,370	\$3,975	\$7,080	\$11,055	Based on Developers Research estimate
Fire Hydrant Assembly - Backbone	EA	\$3,500.00	5	9	14	\$17,500	\$31,500	\$49,000	One per 500 linear feet
Fire Hydrant Adjust To Grade - Backbone	EA	\$200.00	5	9	14	\$1,000	\$1,800	\$2,800	Based on Developers Research estimate
Air/Vac Release - 2 Inch - Backbone	EA	\$3,000.00	3	5	8	\$9,000	\$15,000	\$24,000	One per 1000 linear feet
Blow Off Assembly - 4 Inch - Backbone	EA	\$4,000.00	3	5	8	\$12,000	\$20,000	\$32,000	One per 1000 linear feet
Valves - Gate - 10 Inch - Backbone	EA	\$1,900.00	0	4	4	\$0	\$7,600	\$7,600	One per 300 linear feet
Valves - Gate - 12 Inch - Backbone	EA	\$2,200.00	9	11	20	\$19,800	\$24,200	\$44,000	One per 300 linear feet
Valves - Adjust To Grade - Backbone	EA	\$225.00	0	15	24	\$2,025	\$3,375	\$5,400	Based on Developers Research estimate
Service & Box - 1 1/2 Inch Landscape - Backbone	EA	\$1,800.00	2	2	4	\$3,200	\$3,200	\$6,400	Based on Developers Research estimate
Concrete Thrust Block - Backbone	EA	\$300.00	10	5	15	\$3,000	\$1,500	\$4,500	Based on Developers Research estimate
Hot Tap 25 Inch - Citrus Avenue	LS	\$7,500.00	0	3	3	\$0	\$22,500	\$22,500	Based on Developers Research estimate
Traffic Control - Backbone	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate

#### Water Distribution System Total

DU	\$1,448	\$229,123	\$400,763	\$629,886
Blue Top Responsibility		\$229,123	\$400,763	\$629,886
CFD Eligible		\$229,123	\$400,763	\$629,886
Per Linear Foot		\$86.46	\$84.91	\$85.47

#### Street Improvements - Concrete

	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Sidewalk - Move-In - Backbone	EA	\$2,800.00	1	1	2	\$2,800	\$2,800	\$5,600	To move equipment onsite
Balance ROW - Backbone	SF	\$0.20	52,675	47,000	100,575	\$10,535	\$9,580	\$20,115	From +/- 0.5 Feet to within 0.1 Feet
Sidewalk - Knox Ave, Street A & Lytle N - 5 Feet Wide, 4 Inch Thick - Both Sides	SF	\$2.85	14,700	0	14,700	\$41,895	\$0	\$41,895	Per TTM #18143, dated 8.14.06
Sidewalk - Lytle Creek Rd. S. of Duncan - 5 Feet Wide, 4 Inch Thick - Both Sides	SF	\$2.80	0	34,000	34,000	\$0	\$88,400	\$88,400	Per TTM #18143, dated 8.14.06
Sidewalk - Lytle Creek Rd. S. of Duncan - 5 Feet Wide, 4 Inch Thick - One Side	SF	\$2.80	9,900	9,900	19,800	\$25,740	\$25,740	\$51,480	Per TTM #18143, dated 8.14.06
Sidewalk - Citrus Avenue - 5 Feet Wide, 4 Inch Thick - One Side	SF	\$2.80	16,075	0	16,075	\$41,795	\$0	\$41,795	Per TTM #18143, dated 8.14.06
Sidewalk - Duncan Canyon Road - 5 Feet Wide, 4 Inch Thick - One Side	SF	\$2.80	4,000	4,000	8,000	\$10,400	\$10,400	\$20,800	Per TTM #18143, dated 8.14.06
Sidewalk - Duncan Canyon Road - 5 Feet Wide, 4 Inch Thick - One Side	SF	\$2.80	8,000	0	8,000	\$20,800	\$0	\$20,800	Per TTM #18143, dated 8.14.06
Sidewalk - Subgrade - Backbone	SF	\$0.45	52,675	47,000	100,575	\$23,704	\$21,555	\$45,259	Based on Developers Research estimate
Curb & Gutter - Move-In - Backbone	EA	\$3,200.00	1	1	2	\$3,200	\$3,200	\$6,400	To move equipment onsite
Curb & Gutter - 8 Inch Curb - Citrus - One Side	SF	\$12.50	3,215	0	3,215	\$40,188	\$0	\$40,188	Per TTM #18143, dated 8.14.06
Curb & Gutter - 8 Inch Curb - Lytle Creek S. of Duncan Canyon - One Side	SF	\$12.50	990	990	1,980	\$12,375	\$12,375	\$24,750	Per TTM #18143, dated 8.14.06
Curb & Gutter - 8 Inch Curb - Both Sides - Backbone	LF	\$12.50	8,340	9,240	17,580	\$104,250	\$115,500	\$219,750	Per TTM #18143, dated 8.14.06
Median Curb Only - Backbone - 8 Inch	LF	\$12.50	6,400	0	6,400	\$80,000	\$0	\$80,000	Per TTM #18143, dated 8.14.06
Curb & Gutter - Subgrade - Backbone	LF	\$1.00	18,945	10,230	29,175	\$18,945	\$10,230	\$29,175	Based on Developers Research estimate
Enhanced Crosswalk Paving at Major Intersections	SF	\$10.00	9,500	3,000	12,500	\$95,000	\$30,000	\$125,000	Based on Developers Research estimate
Concrete Bus Turnout	SF	\$5.50	6,180	0	6,180	\$33,980	\$0	\$33,980	Per TTM #18143, dated 8.14.06
Wheelchair Access Ramp - Backbone	EA	\$500.00	18	8	26	\$9,000	\$4,000	\$13,000	Based on Developers Research estimate
Traffic Control - Backbone	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate

#### Street Improvements - Concrete Total

DU	\$2,123	\$582,116	\$341,280	\$923,396
Blue Top Responsibility		\$582,116	\$341,280	\$923,396
CFD Eligible		\$582,116	\$341,280	\$923,396
Per Linear Foot		\$69.51	\$60.63	\$29.32

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

<u>Street Improvements - Asphalt</u>									
	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Mobilization (Move-In) - Backbone	EA	\$5,000.00	1	1	2	\$5,000	\$5,000	\$10,000	To move equipment onsite
Balance Streets - Backbone	SF	\$0.20	333,835	302,540	636,375	\$66,767	\$60,508	\$127,275	From +/- 0.5 Feet to within 0.1 Foot
Duncan Canyon Road - 24 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	19,200	19,200	38,400	\$57,600	\$57,600	\$115,200	Per TTM #18143, dated 8.14.06
Street A Roundabout - 28 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	7,800	0	7,800	\$23,400	\$0	\$23,400	Per TTM #18143, dated 8.14.06
Lytle Creek Rd. S. of Duncan 1/2 Width - 34 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	33,860	33,860	67,320	\$100,980	\$100,980	\$201,960	Based on Information provided by Hall and Foreman 10.20.06
Knox Ave & Street A & Lytle N. - 44 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	64,680	0	64,680	\$194,040	\$0	\$194,040	Based on Information provided by Hall and Foreman 10.20.06
Citrus Avenue - 33 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	106,095	0	106,095	\$318,285	\$0	\$318,285	Per TTM #18143, dated 8.14.06
Duncan Canyon Road - 64 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	102,400	0	102,400	\$307,200	\$0	\$307,200	Per TTM #18143, dated 8.14.06
Lytle Creek Rd. S. of Duncan Full-Width - 68 Feet AC ROW - 4 Inch Over 10 Inch Base	SF	\$3.00	0	231,200	231,200	\$0	\$693,600	\$693,600	Per TTM #18143, dated 8.14.06
AC Subgrade Preparation - Backbone	SF	\$0.20	333,835	302,540	636,375	\$66,767	\$60,508	\$127,275	Quantities based on asphalt square footage
AC Cap w/ Fog Seal - 1 Inch - Backbone	SF	\$0.00	333,835	302,540	636,375	\$200,301	\$181,524	\$381,825	Quantities based on asphalt square footage
Street Sign/Striping - Backbone	LF	\$1.25	8,375	5,810	13,985	\$10,469	\$7,013	\$17,481	Based on Developers Research estimate
Street Name Signs w/ Base - Backbone	EA	\$400.00	10	5	15	\$4,000	\$2,000	\$6,000	Based on Developers Research estimate
Stop Signs w/ Base - Backbone	EA	\$300.00	10	5	15	\$3,000	\$1,500	\$4,500	Based on Developers Research estimate
Traffic Signal - Knox & Lytle Creek Road	EA	\$175,000	1	0	1	\$175,000	\$0	\$175,000	Based on Developers Research estimate
Traffic Signal - Lytle Creek Road & Duncan Canyon Road	EA	\$200,000	1.0	0.0	1	\$200,000	\$0	\$200,000	Based on Developers Research estimate
Traffic Signal - Duncan Canyon Road & Citrus Avenue	EA	\$200,000	1.0	0.0	1	\$200,000	\$0	\$200,000	Based on Developers Research estimate
Traffic Signal - Citrus Avenue & Street "A"	EA	\$175,000	1	0	1	\$175,000	\$0	\$175,000	Based on Developers Research estimate
Right Turn Only Lanes	SF	\$3.90	6,695	13,390	20,085	\$26,111	\$52,221	\$78,332	Yet to be confirmed - based on Mitigation Measures 10-5
Traffic Control - Backbone	EA	\$7,500.00	1	1	2	\$7,500	\$7,500	\$15,000	Based on Developers Research estimate
Street Cleaning - Backbone	SF	\$0.05	333,835	302,540	636,375	\$16,892	\$15,127	\$31,819	Estimated will be required by city Inspectors
<b>Street Improvements - Asphalt Total</b>	DU	<b>\$7,823</b>				<b>\$2,158,111</b>	<b>\$1,245,081</b>	<b>\$3,403,102</b>	
Blue Top Responsibility		\$7,823				\$2,158,111	\$1,245,081	\$3,403,192	
CFD Eligible						\$2,158,111	\$1,245,081	\$3,403,192	
Per Linear Foot						\$257.68	\$221.94	\$108.07	
<b>Landscaping</b>									
	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Parkway Trees - Backbone Streets - 24 Inch Box - 15 Feet on Center	EA	\$250.00	370	280	650	\$92,500	\$70,000	\$162,500	Based on Specific Plan, Figure 29a, dated August 2006
Parkway Trees - Backbone Streets - 24 Inch Box - 30 Feet on Center	EA	\$250.00	0	30	30	\$0	\$7,500	\$7,500	Based on Specific Plan, Figure 29a, dated August 2006
Parkway Trees - Backbone Streets - 24 Inch Box - 35 Feet on Center	EA	\$250.00	160	120	280	\$40,000	\$30,000	\$70,000	Based on Specific Plan, Figure 29a, dated August 2006
Parkway Landscaping - Backbone Streets (7 Feet) - Both Sides	SF	\$2.50	72,240	78,540	150,780	\$180,600	\$196,350	\$376,950	Based on Developers Research estimate
Parkway Landscaping - Backbone Streets (7 Feet) - One Side	SF	\$2.50	22,505	0	22,505	\$56,263	\$0	\$56,263	Based on Developers Research estimate
Median Landscaping - Backbone	SF	\$4.00	11,990	2,530	14,520	\$47,960	\$10,120	\$58,080	Based on Developers Research estimate
Detention Basin / Bio Basin	SF	\$4.00	73,753	0	73,753	\$295,011	\$0	\$295,011	Based on Developers Research estimate
Detention Basin Maintenance	SF	\$0.15	73,753	0	73,753	\$11,083	\$0	\$11,083	Based on Developers Research estimate
Detention Basin Fencing	LF	\$15.00	1,100	0	1,100	\$16,500	\$0	\$16,500	Based on Developers Research estimate
Landscape Maintenance - 6 Months - Backbone	SF	\$0.25	106,735	81,070	187,805	\$26,884	\$20,288	\$46,851	Based on Developers Research estimate
<b>Landscaping Total</b>	DU	<b>\$2,531</b>				<b>\$765,580</b>	<b>\$334,238</b>	<b>\$1,100,818</b>	
Blue Top Responsibility		\$2,531				\$765,580	\$334,238	\$1,100,818	
CFD Eligible						\$765,580	\$334,238	\$1,100,818	
<b>Common Costs</b>									
	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Campanile	%	\$1,000,000	100%	0%	100%	\$1,000,000	\$0	\$1,000,000	To be completed during Phase 1 construction
Decorative "Pedestrian Bridge"	%	\$500,000	100%	0%	100%	\$500,000	\$0	\$500,000	Bridge to be decorative only - not intended for pedestrian use.
<b>Common Costs Total</b>	DU	<b>\$3,448</b>				<b>\$1,500,000</b>	<b>\$0</b>	<b>\$1,500,000</b>	
Blue Top Responsibility		\$3,448				\$1,500,000	\$0	\$1,500,000	
CFD Eligible						\$1,500,000	\$0	\$1,500,000	

## Discussion Draft

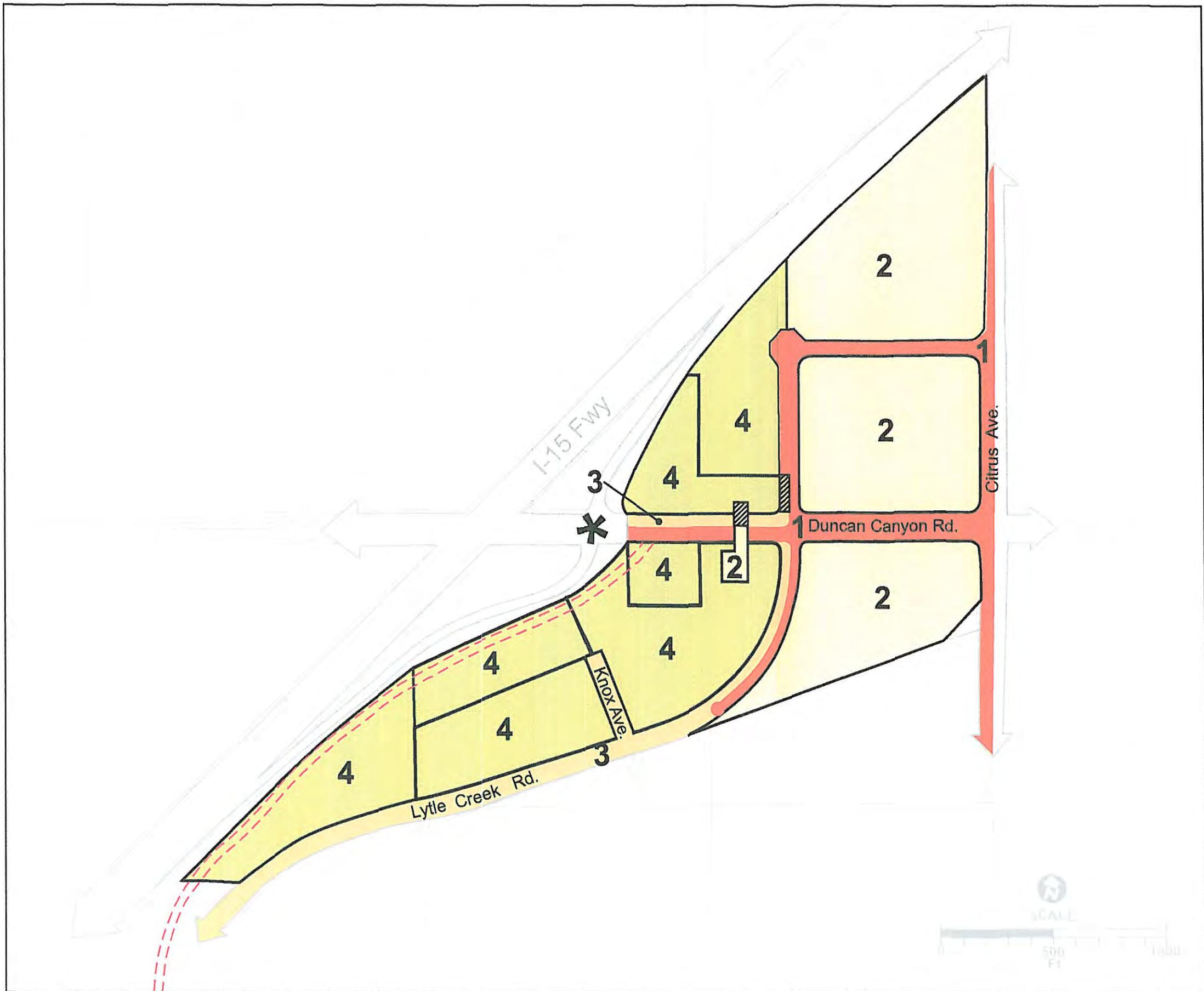
### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

		Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
<b>Repairs For Bond Release</b>										
Storm Drain Clean & Repair - Blue Top	%	2.0%	\$1,532,700	\$2,082,975		\$3,615,675	\$30,654	\$41,060	\$72,314	Based on Developers Research estimate
Sanitary Sewer Clean & Repair - Blue Top	%	2.0%	\$993,701	\$335,540		\$1,335,241	\$19,874	\$5,791	\$25,665	Based on Developers Research estimate
Water Clean & Repair - Blue Top	%	2.0%	\$229,123	\$400,763		\$629,886	\$4,582	\$8,015	\$12,598	Based on Developers Research estimate
Concrete Repair Sidewalk & Approach Blue Top	%	10.0%	\$582,116	\$341,280		\$923,390	\$58,212	\$34,128	\$92,340	Based on Developers Research estimate
Asphalt Clean & Repair - Blue Top	%	5.0%	\$2,158,111	\$1,245,081		\$3,403,192	\$107,906	\$62,254	\$170,160	Based on Developers Research estimate
Landscape Clean & Repair - Blue Top	%	1.0%	\$766,580	\$334,238		\$1,100,818	\$7,666	\$3,342	\$11,008	Based on Developers Research estimate
<b>Repairs For Bond Release Total</b>	DU		<b>\$885</b>				<b>\$228,893</b>	<b>\$156,190</b>	<b>\$385,083</b>	
Blue Top Responsibility			<b>\$885</b>				<b>\$228,893</b>	<b>\$156,190</b>	<b>\$385,083</b>	
CFD Eligible							<b>\$228,893</b>	<b>\$156,190</b>	<b>\$385,083</b>	
<b>Dry Utilities</b>										
Joint Trench	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity		Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Main Line Trench - Backbone	LF	\$50.00	8,375	5,610	13,985		\$418,750	\$280,500	\$699,250	Quantities same as street lengths
Joint Trenching CIAC Tax - Blue Top	%	37.0%	\$418,750	\$280,500		\$899,250	\$154,938	\$103,785	\$258,723	Based on Developers Research estimate
<b>Joint Trench Total</b>			<b>\$2,202</b>				<b>\$573,888</b>	<b>\$384,285</b>	<b>\$957,973</b>	
Per Linear Foot							<b>\$68.50</b>	<b>\$68.50</b>	<b>\$30.42</b>	
<b>Electric</b>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity		Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Electrical Contractor Charges - Backbones	LF	\$30.00	8,375	5,610	13,985		\$251,250	\$168,300	\$419,550	Quantities same as street lengths
Distribution Tax - Blue Top	%	37%	\$251,250	\$168,300		\$419,550	\$92,963	\$62,271	\$155,234	One per house
<b>Electric Total</b>			<b>\$1,321</b>				<b>\$344,213</b>	<b>\$230,571</b>	<b>\$574,784</b>	
<b>Street Lights</b>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity		Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Street Lights Single Lumina - Backbone Streets	EA	\$3,150.00	42	29	71		\$132,300	\$91,350	\$223,650	Quantities same as backbone street lengths
Energy Advance - 12 Months - Backbone	MO	\$13.00	504	348	852		\$6,562	\$4,524	\$11,076	12 months service
<b>Street Lights Total</b>			<b>\$540</b>				<b>\$138,862</b>	<b>\$95,874</b>	<b>\$234,726</b>	
<b>Gas</b>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity		Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Main Footage - Backbone Streets	LF	\$15.00	8,375	5,610	13,985		\$125,925	\$84,150	\$209,775	Quantities same as street lengths
Gas Tax - Blue Top	%	37.0%	\$125,925	\$84,150		\$209,775	\$48,481	\$31,136	\$77,617	Required by utility
<b>Gas Total</b>			<b>\$661</b>				<b>\$172,106</b>	<b>\$115,286</b>	<b>\$287,392</b>	
<b>Miscellaneous</b>	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity		Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments
Irrigation Pedestals 16 Outlets - Backbone	EA	\$4,400.00	2	2	4		\$8,800	\$8,800	\$17,600	To provide water to parkways
Underground Existing Overhead Lines - Citrus Avenue	LF	\$125.00	3,215	0	3,215		\$401,875	\$0	\$401,875	Based on Developers Research estimate
Underground Existing Overhead Lines - Duncan Canyon Road (North Side)	LF	\$125.00	800	800	1,600		\$100,000	\$100,000	\$200,000	Based on Developers Research estimate
Underground Existing Overhead Lines - Duncan Canyon Road (South Side)	LF	\$65.00	1,600	0	1,600		\$104,000	\$0	\$104,000	Based on Developers Research estimate
<b>Miscellaneous Total</b>			<b>\$1,663</b>				<b>\$614,675</b>	<b>\$108,800</b>	<b>\$723,475</b>	
<b>Dry Utilities Total</b>	DU		<b>\$6,387</b>				<b>\$1,843,533</b>	<b>\$934,816</b>	<b>\$2,778,349</b>	
Blue Top Responsibility							<b>\$1,843,533</b>	<b>\$934,816</b>	<b>\$2,778,349</b>	

## Discussion Draft

### Trumark - Ventana at Duncan Canyon Backbone Cost Detail Schedule

Reimbursements	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Refundable Utilities - Blue Top	DU	(50.0%)	\$1,843,533	\$934,816	\$2,778,349	(\$921,767)	(\$467,408)	(\$1,389,174)	Based on Developers Research estimate	
<b>Reimbursements Total</b>	<b>DU</b>	<b>(\$3,194)</b>				<b>(\$921,767)</b>	<b>(\$467,408)</b>	<b>(\$1,389,174)</b>		
Blue Top Responsibility						<b>(\$921,767)</b>	<b>(\$467,408)</b>	<b>(\$1,389,174)</b>		
Direct Contingency	Unit	Dev Res Unit Price	Phase 1 Backbone	Phase 2 Backbone	Total Quantity	Phase 1 Backbone	Phase 2 Backbone	Total Cost	Comments	
Site Preparation Contingency - Blue Top	%	10.0%	\$142,307	\$45,905	\$188,212	\$14,231	\$4,591	\$18,821	Based on Developers Research estimate	
Rough Grading Contingency - Blue Top	%	20.0%	\$466,835	\$226,729	\$693,564	\$93,367	\$45,346	\$138,713	Based on Developers Research estimate	
Erosion Control Contingency - Blue Top	%	10.0%	\$52,827	\$33,858	\$86,685	\$5,283	\$3,386	\$8,688	Based on Developers Research estimate	
Storm Drain System Contingency - Blue Top	%	10.0%	\$1,532,700	\$2,082,975	\$3,615,675	\$153,270	\$208,298	\$361,568	Based on Developers Research estimate	
Sanitary Sewer System Contingency - Blue Top	%	10.0%	\$993,701	\$339,540	\$1,333,241	\$99,370	\$33,954	\$133,324	Based on Developers Research estimate	
Water Distribution System Contingency - Blue Top	%	10.0%	\$229,123	\$400,763	\$629,888	\$22,912	\$40,076	\$62,988	Based on Developers Research estimate	
Street Improvements - Concrete Contingency - Blue Top	%	10.0%	\$682,116	\$341,280	\$923,396	\$58,212	\$34,128	\$92,340	Based on Developers Research estimate	
Street Improvements - Asphalt Contingency - Blue Top	%	10.0%	\$2,158,111	\$1,245,081	\$3,403,192	\$215,811	\$124,508	\$340,319	Based on Developers Research estimate	
Landscaping Contingency - Blue Top	%	10.0%	\$766,580	\$334,238	\$1,100,818	\$76,658	\$33,424	\$110,082	Based on Developers Research estimate	
Common Costs Contingency - Blue Top	%	10.0%	\$1,500,000	\$0	\$1,500,000	\$150,000	\$0	\$150,000	Based on Developers Research estimate	
Repairs For Bond Release Contingency - Blue Top	%	10.0%	\$228,893	\$156,180	\$385,083	\$22,889	\$15,619	\$38,508	Based on Developers Research estimate	
Dry Utilities Contingency - Blue Top	%	10.0%	\$1,843,533	\$934,816	\$2,778,349	\$184,353	\$93,482	\$277,835	Based on Developers Research estimate	
Reimbursements Contingency - Blue Top	%	10.0%	(\$921,767)	(\$467,408)	(\$1,389,174)	(\$92,177)	(\$46,741)	(\$138,917)	Based on Developers Research estimate	
<b>Direct Contingency Total</b>	<b>DU</b>	<b>\$3,685</b>				<b>\$1,004,179</b>	<b>\$590,070</b>	<b>\$1,594,249</b>		
Blue Top Responsibility						<b>\$1,004,179</b>	<b>\$590,070</b>	<b>\$1,594,249</b>		
CFD Eligible						<b>\$799,122</b>	<b>\$490,007</b>	<b>\$1,289,129</b>		



## SPECIFIC PLAN

- 1 = Initial Phase Infrastructure
- 2 = Campanile, Bridge, & Residential (PAs 5,6,7)
- 3 = Second Phase Infrastructure
- 4 = Commercial / Office / Retail Residential (PA 4)
- Existing Lytle Creek Road to remain under current alignment until freeway interchange improvements have begun and second phase infrastructure is implemented
- Subject to successful acquisition of R-O-W
- \* Duncan Canyon interchange to begin construction before Phase 3. Phases 3 & 4 to be constructed with the future interchange. Interchange construction timing controlled by City of Fontana

**Figure 22**  
**PROJECT PHASING PLAN**