

# WESTGATE SPECIFIC PLAN



## CITY OF FONTANA, CALIFORNIA

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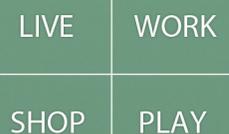
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## SECTION 1.0 INTRODUCTION

### 1.0 INTRODUCTION

#### 1.1 SUMMARY AND BACKGROUND

The Westgate Specific Plan was adopted in 1996 by the City of Fontana. Since that time, the region has experienced substantial growth and the dynamics of the area have changed considerably. The Route 210 / I-15 Freeway overpass has been completed, with the 210 Freeway extending easterly to the I-215 Freeway. Two major development projects have also been completed within the project boundary, including the Falcon Ridge Town Center, with 415,000 square feet of retail uses including, shops, services and restaurants, and the California Department of Transportation (Caltrans) 124,000 square feet Transportation Management Facility and Southern Regional Lab.

The overall quality of new development has improved in the region, as consumers and municipalities such as Fontana have become more discerning. Greater emphasis has also emerged on a statewide and national basis for developing sustainable communities, ones that strive to encourage conservation of resources, energy efficiency, reduction of water consumption, and to promote healthy buildings and communities.

Based on these changes, a new vision has been developed for Westgate. This new vision represents a unique opportunity to create a landmark project for the City of Fontana, one that implements the goals and policies of the Fontana General Plan, enhances the City's tax base, contributes to the jobs/housing balance, promotes the City's corporate corridor, and creates a sustainable, healthy community where people can live, work, shop and play.

With direct access from both the I-15 and Route 210 Freeways, the site is well positioned to take advantage of future local and regional needs for office, retail, hospitality, business park and residential uses in a high quality setting. Benefits to the community and City as a whole will include:

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- Establishing a land use plan with comprehensive development regulations, community planning and design standards that will create a sense of community and a sense of place.
- Generating significant new property tax revenue for the City, thereby strengthening the City's economic base.
- Providing a range of residential housing types to appeal to a broad spectrum of the market.
- Creating substantial new employment opportunities.
- Establishing a corporate corridor along the I-15 Freeway.
- Contributing to the balance of jobs and housing by providing for a mix of residential, commercial, office and business park uses within the overall Specific Plan project area.
- Installing significant public facility and infrastructure improvements, including streets, storm drains, sewers, curb, gutter and sidewalks and other utilities that benefit the project area and the adjacent developing areas.
- Creating sustainable growth criteria that encourages reducing traffic congestion and carbon emissions, conservation of resources, energy efficiency, reduction of water consumption, efficient use of public infrastructure, and other standards to promote healthy buildings and communities.
- Incorporating traditional neighborhood design principles to create a pedestrian friendly and connected community.
- Assuring that the area develops in a comprehensive and coordinated fashion with adequate consideration for infrastructure, public safety, public services, and resource management.
- This document supercedes the approved 1996 Westgate Specific Plan and has been prepared in accordance with the provisions of the State of California and City of Fontana for preparation of a Specific Plan. This new Specific Plan will supersede the previously approved Westgate Specific Plan in its entirety.
- The balance of this Section 1.0 identifies the Purpose and Intent of the Specific Plan, the authority for its preparation, describes its consistency with City of Fontana General Plan, compliance with the California Environmental Quality Control Act (CEQA) and sets forth the general organization of the entire Specific Plan document.

## 1.2 PURPOSE AND INTENT

The Westgate Specific Plan has been prepared pursuant to the provisions of the City of Fontana Zoning and Development Code and the California Government Code. State law grants the City the authority to prepare specific plans, and amendments thereto, of development for any area covered by its General Plan.

The Specific Plan is considered to be the most appropriate method of establishing zoning and design standards for large properties containing a variety of parcels and land uses. The general purpose is to set forth a systematic method of implementation of the City's General Plan. The purpose of this Specific Plan is to establish a unique high quality master planned development that implements the City's vision for a major area within north Fontana. When adopted, the Specific Plan will serve both as a planning and regulatory function.

## 1.3 AUTHORITY AND SCOPE OF THE SPECIFIC PLAN

Section 30-62 of the City of Fontana Zoning and Development Code specifies the purpose, requirements, regulations, and procedures for preparation of a Specific Plan in the City of Fontana, which this document follows.

California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan. It identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

The Westgate Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450. It grants local planning agencies the authority to prepare a Specific Plan of development for any area covered by a General Plan, for the purpose of establishing systematic methods for implementation of the agency's General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identifies the required contents of a Specific Plan and mandates consistency with the General Plan. According to Section 65451, a Specific Plan shall include a text and a diagram or diagrams, which include the following:

1. The distribution, location and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed, and standards for the conservation, development and utilization of natural resources, where applicable.

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4. A summary of implementation and financing measures to carry out items 1, 2 and 3 above.
5. In addition, the California Government Code states that a “Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan.”
6. With respect to land use regulation, this document serves as zoning for the property consistent with the City of Fontana General Plan. In this regard, all future development plans, tentative parcel and/or tract maps or other similar entitlements, shall be consistent with regulations set forth in this document and with all applicable City regulations.
7. In addition to the amended Specific Plan, a new Environmental Impact Report (EIR) is being prepared under the City’s authority in compliance with the California Environmental Quality Act (CEQA). The Westgate EIR serves as the project environmental document for the Specific Plan and all subsequent development projects undertaken within the Specific Plan boundaries. The EIR is intended to be an informational document designed to provide the City decision makers and general public with a full understanding of the potential environmental effects of the Specific Plan development proposal.

## 1.4 GENERAL PLAN CONSISTENCY

General Plan consistency is achieved when the land uses proposed within the Specific Plan are compatible with, and serve to achieve the objectives, policies, general pattern of land uses and programs set forth in the General Plan. The Governor’s Office of Planning and Research defines how a Specific Plan should be consistent with the General Plan:

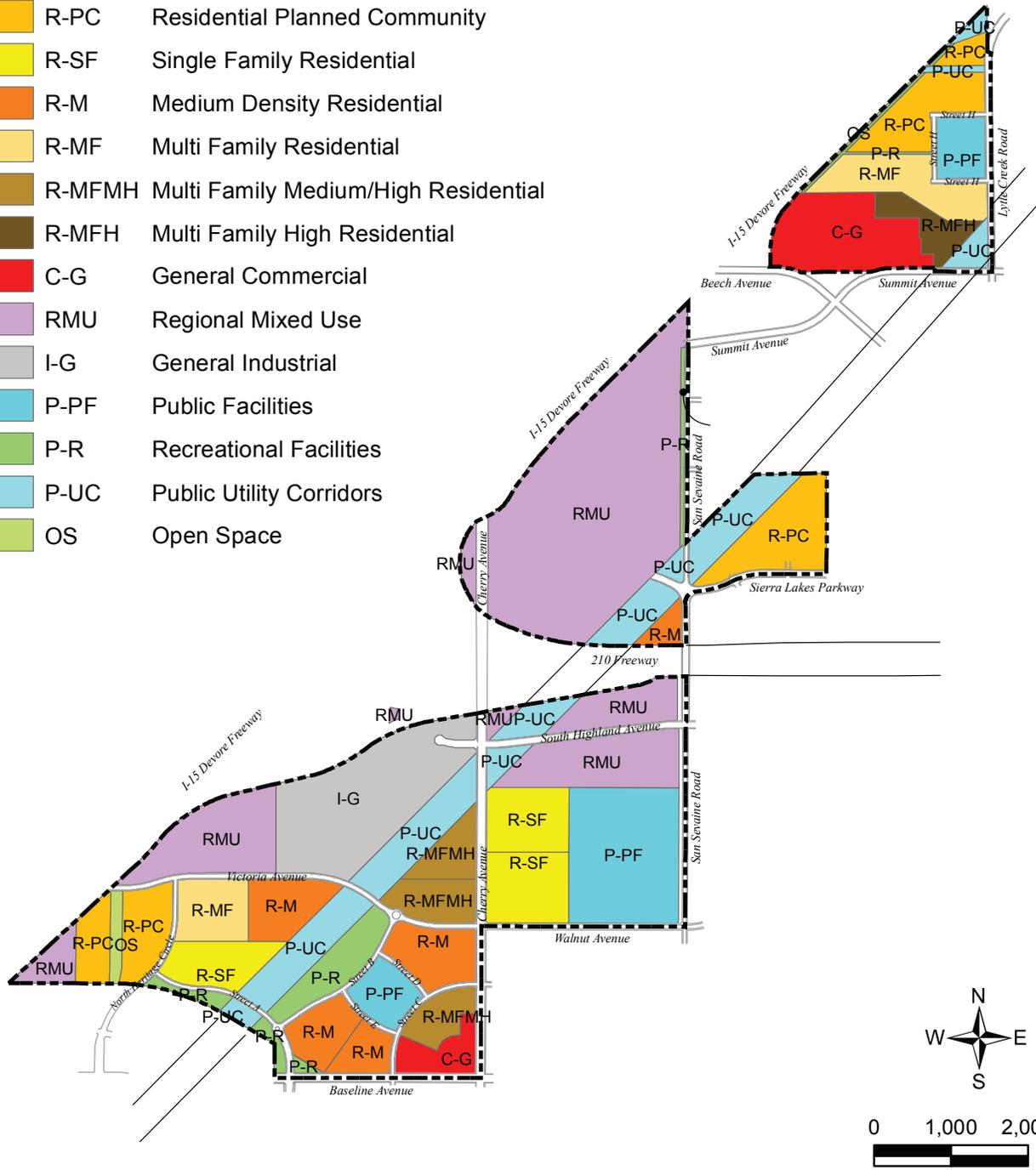
“An action, program or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.”

The Westgate Specific Plan has been developed to implement the goals and policies of the City of Fontana General Plan. The Specific Plan provides a site specific, detailed description of development regulations, standards and guidelines that are implementing tools of the General Plan goals, policies and actions.

Refer to Figure 1-1, Proposed General Plan Land Use Designations.

**LEGEND:**

- R-PC Residential Planned Community
- R-SF Single Family Residential
- R-M Medium Density Residential
- R-MF Multi Family Residential
- R-MFMH Multi Family Medium/High Residential
- R-MFH Multi Family High Residential
- C-G General Commercial
- RMU Regional Mixed Use
- I-G General Industrial
- P-PF Public Facilities
- P-R Recreational Facilities
- P-UC Public Utility Corridors
- OS Open Space



**FIGURE 1-1  
PROPOSED GENERAL PLAN LAND USE DESIGNATIONS**

## 1.5 CEQA COMPLIANCE

A Environmental Impact Report (EIR) is being prepared under the City’s authority in compliance with the California Environmental Quality Act (CEQA) for the amended Westgate Specific Plan. The EIR serves as the program level environmental document. The EIR is intended to be an informational document designed to provide the City decision makers and general public with a full understanding of the potential environmental effects of the Specific Plan and provides appropriate mitigation measures.

## 1.6 RELATIONSHIP OF THE SPECIFIC PLAN TO THE CITY OF FONTANA ZONING ORDINANCE

Development standards, regulations, guidelines and administrative procedures have been tailored in this document to implement the vision for the Westgate Specific Plan. These will be used by the City of Fontana with property owners, developers, and builders to implement development through future parcel and tentative tract maps, final maps, improvement plans, and other site design and administrative reviews.

These standards, regulations, guidelines and administrative procedures shall supersede the relevant portions of the City of Fontana Zoning and Development Code Ordinance. If the Specific Plan does not cover specific topics or uses covered in the City Zoning Ordinance, then the City code shall prevail. If there is a discrepancy between the City Zoning Ordinance and the Specific Plan, then the Specific Plan shall take precedence.

Refer to Figure 1-2, Comparison of Existing and Proposed Specific Plans, for a comparison of the existing Westgate Specific Plan land uses and the amended Specific Plan.

## 1.7 ORGANIZATION OF THE SPECIFIC PLAN

The Westgate Specific Plan is organized into the following Sections:

- Section 1.0: Provides an introduction, including a summary and background of the Specific Plan, purpose and intent, authority and scope, review of consistency and compliance criteria with the City of Fontana’s General Plan and State of California CEQA guidelines, relationship to the City’s zoning ordinance and the Plan’s organization.
- Section 2.0: Describes the project location and setting, surrounding land uses, existing site conditions and ownerships.

- Section 3.0: Includes the major “Elements” of the Specific Plan: Community Vision and Goals, Land Use, Community Area Structure and Community Area Design, Parks, Recreation & Trails, Circulation, Public Facilities, (water, sewer, drainage, utilities), Community Services (schools, police, fire, library) and a summary of the capital improvement program and phasing.
- Section 4.0: Provides Development Standards and Regulations for each of the land uses.
- Section 5.0: Includes Design Guidelines which will implement the vision of the community, including site planning, architecture, landscape and signage standards.
- Section 6.0: Includes the Specific Plan Methodology and Procedures, including the administrative procedures for implementing the Specific Plan.

# WESTGATE

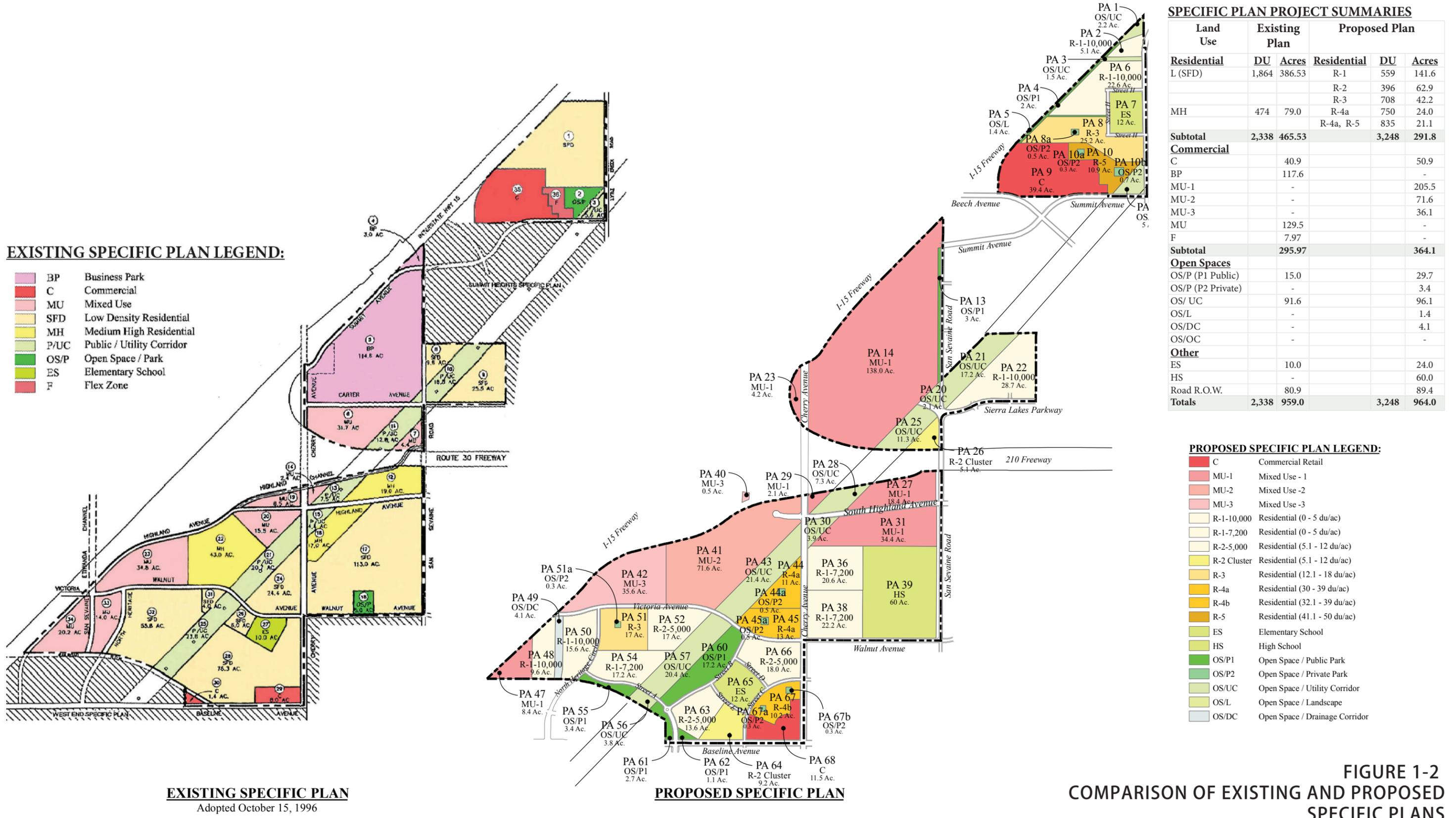
LIVE

WORK

SHOP

PLAY

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**SPECIFIC PLAN PROJECT SUMMARIES**

| Land Use           | Existing Plan |               | Proposed Plan |              |              |
|--------------------|---------------|---------------|---------------|--------------|--------------|
|                    | DU            | Acres         | Residential   | DU           | Acres        |
| <b>Residential</b> |               |               |               |              |              |
| L (SFD)            | 1,864         | 386.53        | R-1           | 559          | 141.6        |
|                    |               |               | R-2           | 396          | 62.9         |
|                    |               |               | R-3           | 708          | 42.2         |
| MH                 | 474           | 79.0          | R-4a          | 750          | 24.0         |
|                    |               |               | R-4a, R-5     | 835          | 21.1         |
| <b>Subtotal</b>    | <b>2,338</b>  | <b>465.53</b> |               | <b>3,248</b> | <b>291.8</b> |
| <b>Commercial</b>  |               |               |               |              |              |
| C                  |               | 40.9          |               |              | 50.9         |
| BP                 |               | 117.6         |               |              | -            |
| MU-1               |               | -             |               |              | 205.5        |
| MU-2               |               | -             |               |              | 71.6         |
| MU-3               |               | -             |               |              | 36.1         |
| MU                 |               | 129.5         |               |              | -            |
| F                  |               | 7.97          |               |              | -            |
| <b>Subtotal</b>    | <b>295.97</b> |               |               | <b>364.1</b> |              |
| <b>Open Spaces</b> |               |               |               |              |              |
| OS/P (P1 Public)   |               | 15.0          |               |              | 29.7         |
| OS/P (P2 Private)  |               | -             |               |              | 3.4          |
| OS/ UC             |               | 91.6          |               |              | 96.1         |
| OS/L               |               | -             |               |              | 1.4          |
| OS/DC              |               | -             |               |              | 4.1          |
| OS/OC              |               | -             |               |              | -            |
| <b>Other</b>       |               |               |               |              |              |
| ES                 |               | 10.0          |               |              | 24.0         |
| HS                 |               | -             |               |              | 60.0         |
| Road R.O.W.        |               | 80.9          |               |              | 89.4         |
| <b>Totals</b>      | <b>2,338</b>  | <b>959.0</b>  |               | <b>3,248</b> | <b>964.0</b> |

**EXISTING SPECIFIC PLAN LEGEND:**

- BP Business Park
- C Commercial
- MU Mixed Use
- SFD Low Density Residential
- MH Medium High Residential
- P/UC Public / Utility Corridor
- OS/P Open Space / Park
- ES Elementary School
- F Flex Zone

**PROPOSED SPECIFIC PLAN LEGEND:**

- C Commercial Retail
- MU-1 Mixed Use - 1
- MU-2 Mixed Use - 2
- MU-3 Mixed Use - 3
- R-1-10,000 Residential (0 - 5 du/ac)
- R-1-7,200 Residential (0 - 5 du/ac)
- R-2-5,000 Residential (5.1 - 12 du/ac)
- R-2 Cluster Residential (5.1 - 12 du/ac)
- R-3 Residential (12.1 - 18 du/ac)
- R-4a Residential (30 - 39 du/ac)
- R-4b Residential (32.1 - 39 du/ac)
- R-5 Residential (41.1 - 50 du/ac)
- ES Elementary School
- HS High School
- OS/P1 Open Space / Public Park
- OS/P2 Open Space / Private Park
- OS/UC Open Space / Utility Corridor
- OS/L Open Space / Landscape
- OS/DC Open Space / Drainage Corridor

**EXISTING SPECIFIC PLAN**  
Adopted October 15, 1996

**PROPOSED SPECIFIC PLAN**

**FIGURE 1-2**  
**COMPARISON OF EXISTING AND PROPOSED**  
**SPECIFIC PLANS**

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## SECTION 2.0 PROJECT LOCATION, SETTING, AND OVERVIEW

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### 2.0 PROJECT LOCATION, SETTING, AND OVERVIEW

#### 2.1 REGIONAL AND LOCAL SETTING

The Westgate Specific Plan encompasses 964 acres in the northwestern part of the City of Fontana within a gently sloping alluvial plain of the nearby San Gabriel Mountains in western San Bernardino County.

Regionally, this project site is approximately five (5) miles north and west of downtown Fontana, ten (10) miles west of Downtown San Bernardino, twenty-two (22) miles north of the City of Riverside, and fifty (50) miles east of the City of Los Angeles. Figure 2-1, Regional Map, identifies the Westgate Specific Plan location within the Southern California region.

The site is adjacent to the I-15 and Route 210 Freeways. Full interchanges that provide access to the site are located at I-15 / Baseline, I-15 / Summit Avenue with direct access at the Route 210 / Cherry Avenue interchange. A utility corridor including Southern California Edison, Southern California Gas and Metropolitan Water District traverses the property, paralleling the I-15 Freeway.

Figure 2-2, Project Vicinity Map, shows the project area within the local city context.

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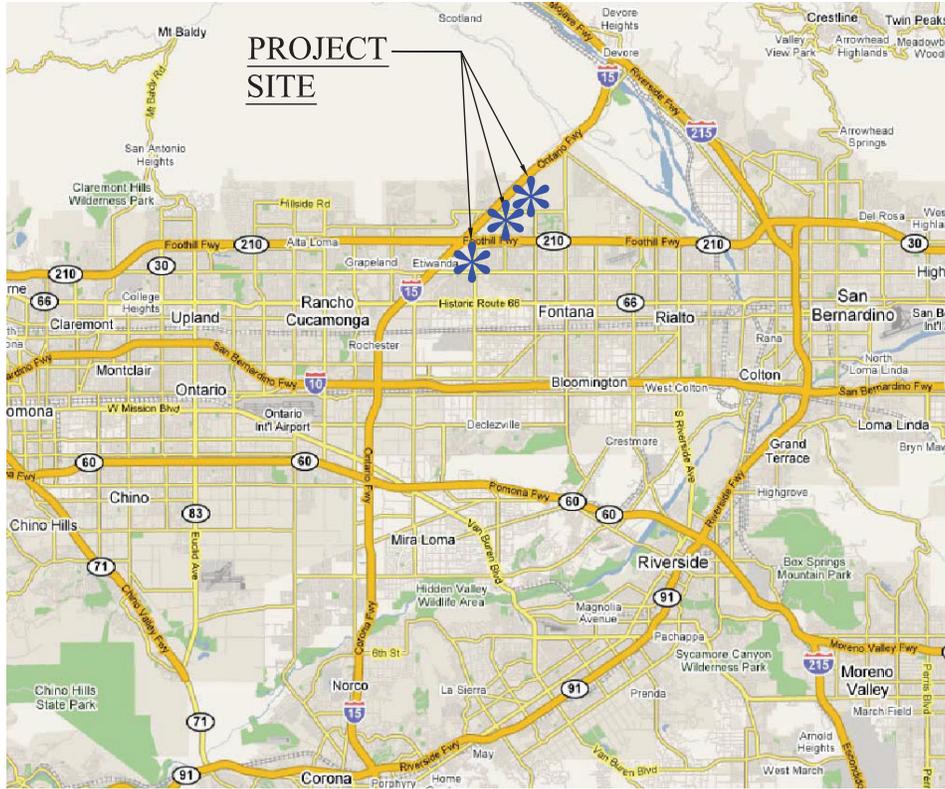


FIGURE 2-1  
REGIONAL MAP

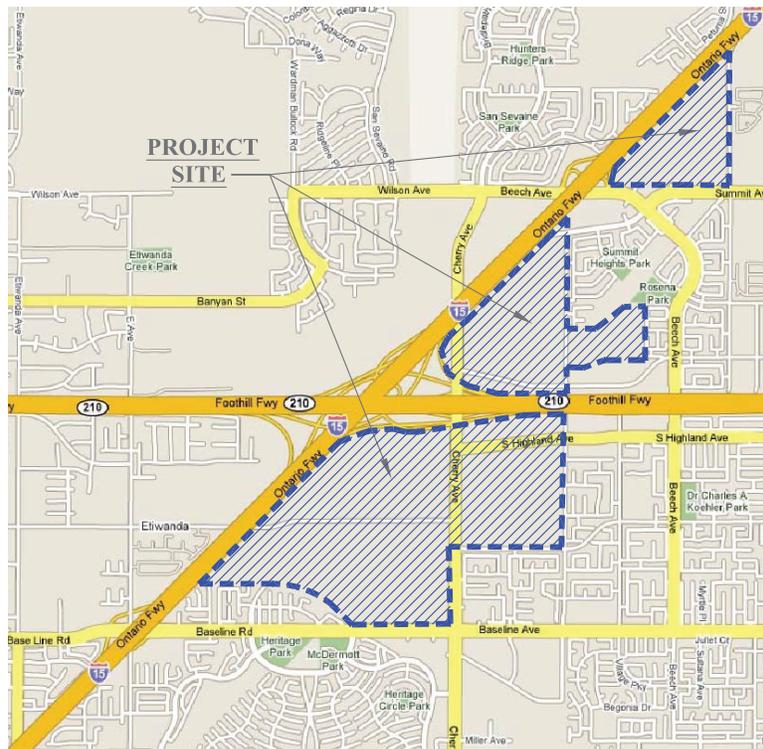


FIGURE 2-2  
PROJECT VICINITY MAP

## 2.2 SURROUNDING LAND USES

The Westgate Specific Plan project area is located in a rapidly growing area of North Fontana. The General Plan identifies this part of the City as “Growth Areas” which also includes all of Northern Fontana. There are over a dozen new and proposed Specific Plans and Community Plans in the nearby areas. Refer to Figure 2-3, Existing Specific Plans and Community Plans.

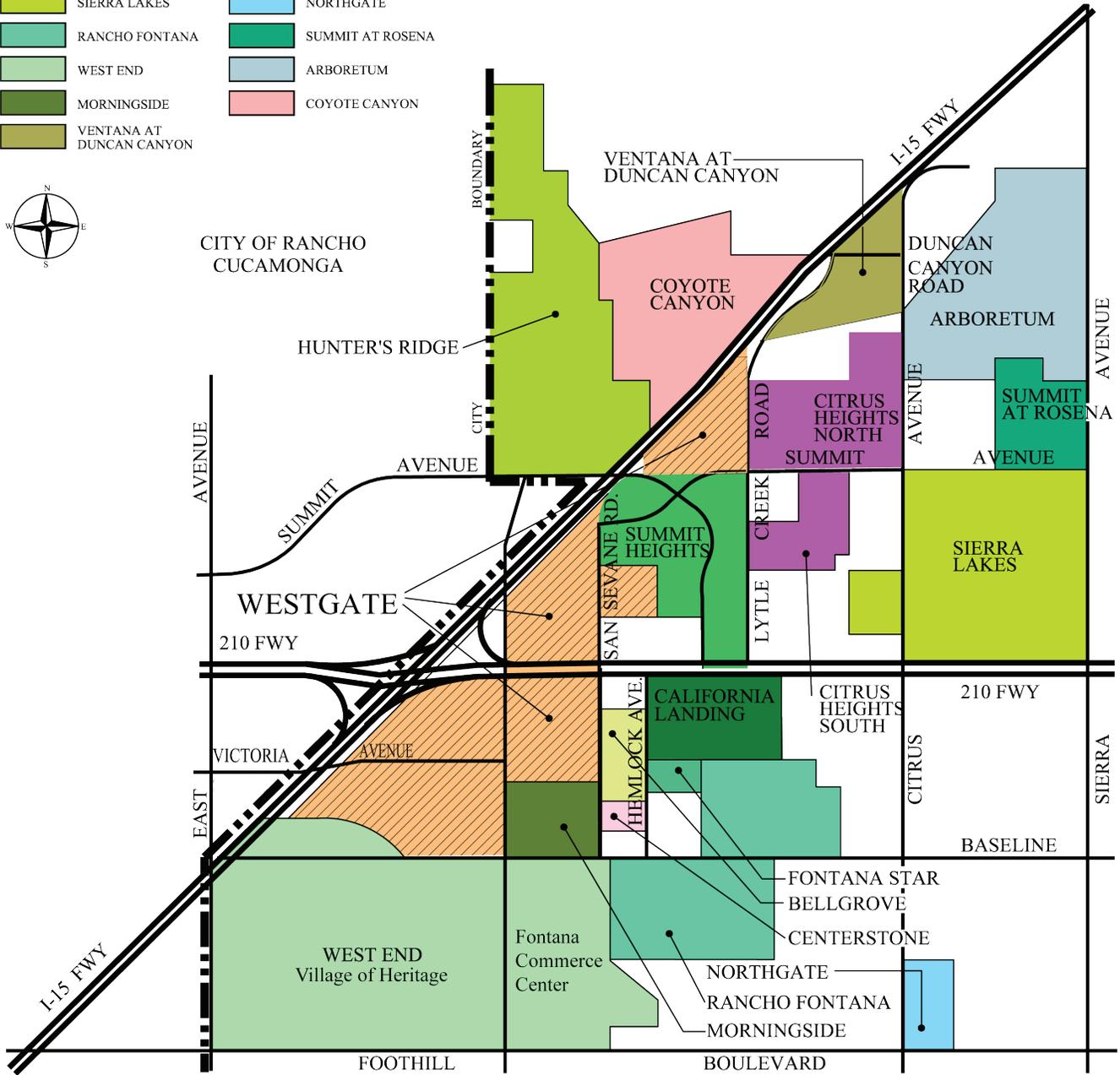
The North Fontana area contains significant recreational uses, including Fontana Park and the Jessie Turner Health & Fitness Community Center. A second community center and swim complex is also located nearby at the Heritage Neighborhood Center directly south of Westgate. Lighted soccer fields, baseball fields, tennis courts and other amenities area are also located directly south in the McDermott Sports Complex, adjacent to Heritage Intermediate School.

Adjacent and surrounding land uses around the project area are summarized below.

| SURROUNDING LAND USES |   |
|-----------------------|---|
| <b>NORTH</b>          | Interstate 15 Freeway. The 103 acre Ventana at Duncan Canyon Specific Plan is approximately ½ mile to the north. Several unimproved vacant properties are located between the Ventana project and Westgate. |
| <b>SOUTH</b>          | Various developed residential neighborhoods including the Village of Heritage and Morningside Community.  |
| <b>WEST</b>           | Interstate 15 Freeway.  |
| <b>EAST</b>           | Various developed residential neighborhoods including Summit Heights, Morningside, and Citrus Heights North.  |

**LEGEND**

|   |                          |   |                                  |
|---|--------------------------|---|----------------------------------|
|  | WESTGATE                 |  | CITRUS HEIGHTS (NORTH AND SOUTH) |
|  | HUNTER'S RIDGE           |  | BELMGROVE                        |
|  | SUMMIT HEIGHTS           |  | CENTERSTONE AT THE LANDINGS      |
|  | CALIFORNIA LANDING       |  | FONTANA STAR                     |
|  | SIERRA LAKES             |  | NORTHGATE                        |
|  | RANCHO FONTANA           |  | SUMMIT AT ROSENA                 |
|  | WEST END                 |  | ARBORETUM                        |
|  | MORNINGSIDE              |  | COYOTE CANYON                    |
|  | VENTANA AT DUNCAN CANYON |   |                                  |

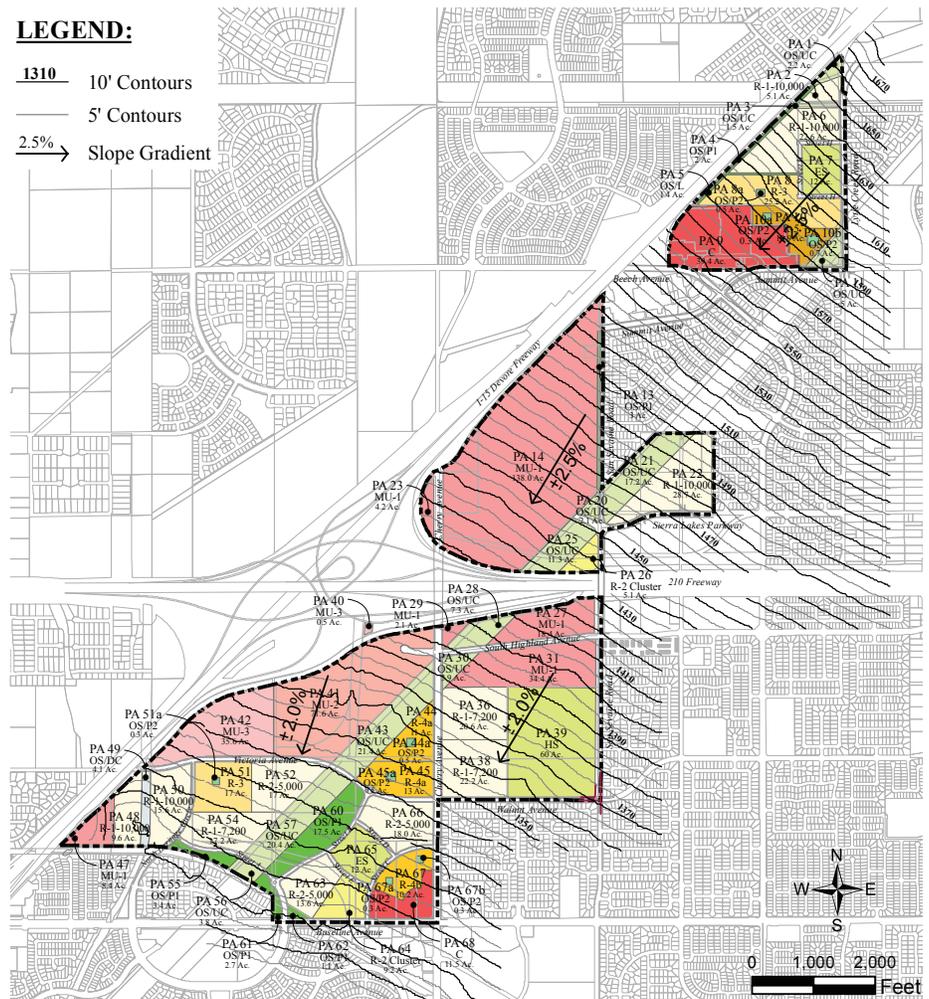


**FIGURE 2-3  
EXISTING SPECIFIC PLAN AND COMMUNITY PLANS**

## 2.3 SITE TOPOGRAPHY

The Westgate Specific Plan project area is located on a 1.5% to 2.5% gently sloping alluvial plain.

See the site topography on Figure 2-4, Topography. The property contains no significant topographical features. Parts of the site were previously utilized for agricultural purposes.



**FIGURE 2-4  
TOPOGRAPHY**

## 2.4 EXISTING LAND USES

The Falcon Ridge Town Center, with approximately 415,000 square feet of commercial space, has been completed within the Specific Plan boundaries directly north of Summit Avenue. One multi-tenant office building also exists on the site and is located along Cherry Avenue just north of Route 210 Freeway.

Between Baseline Avenue and the Route 210 Freeway, the California Department of Transportation has recently occupied a new 124,000 square feet Transportation Management Facility and Southern Regional Lab.

A Southern California Edison (SCE) Company utility corridor diagonally traverses the site in a southwesterly direction.

Parallel to and along the north side of the SCE corridor exists a Metropolitan Water District (MWD) main trunk line and right of way.

A Southern California Gas Company (SCG) main line and right of way occurs on the south side and parallel to the SCE corridor as well as a San Gabriel Valley Municipal Water District line.

A SANBAG right of way occurs contiguous to the southwest boundary of the site. Formerly the location of a railroad line, this corridor is now part of a regional trail system with the capability for a future commuter train line.

Along the southerly portion of the site just east of the I-15 Freeway, a County of San Bernardino Flood Control District dual box concrete channel collects seasonal storm flows from the Etiwanda and San Sevaine Creeks to the north.

An open earthen channel remains just east of the dual concrete channel that formerly collected the storm flows prior to the completion of the dual concrete channels and the Highland channel.

See Figure 2-5, Existing Land Uses, for the location of the above site conditions and other site elements.

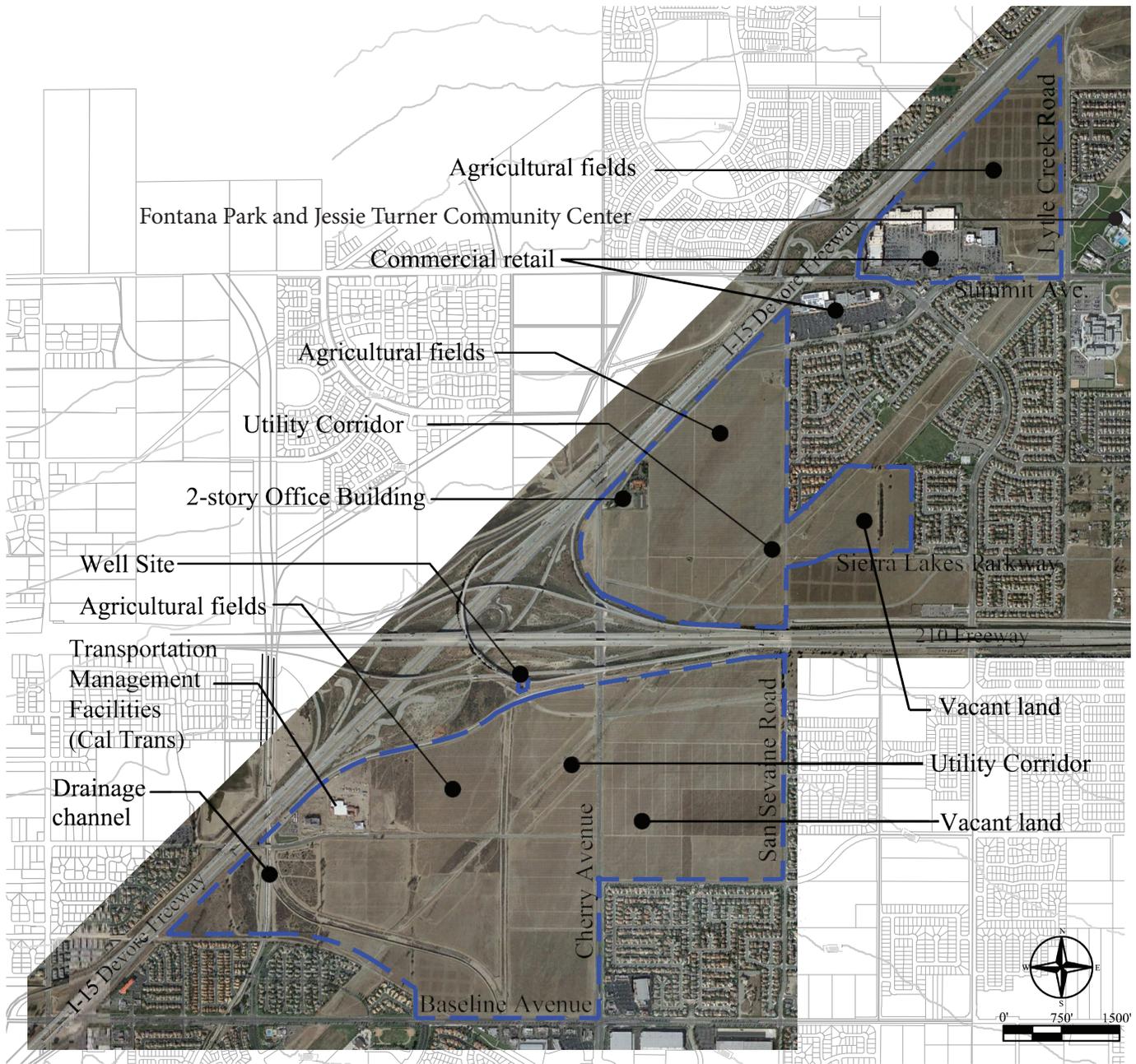
## 2.5 PROPERTY OWNERSHIP

There are eleven (11) separate property ownerships within the Specific Plan project area.

The majority of property is owned by the project proponent, Intex Properties Inland Empire Corp. Refer to Figure 2-6, Property Ownership Map.

# WESTGATE

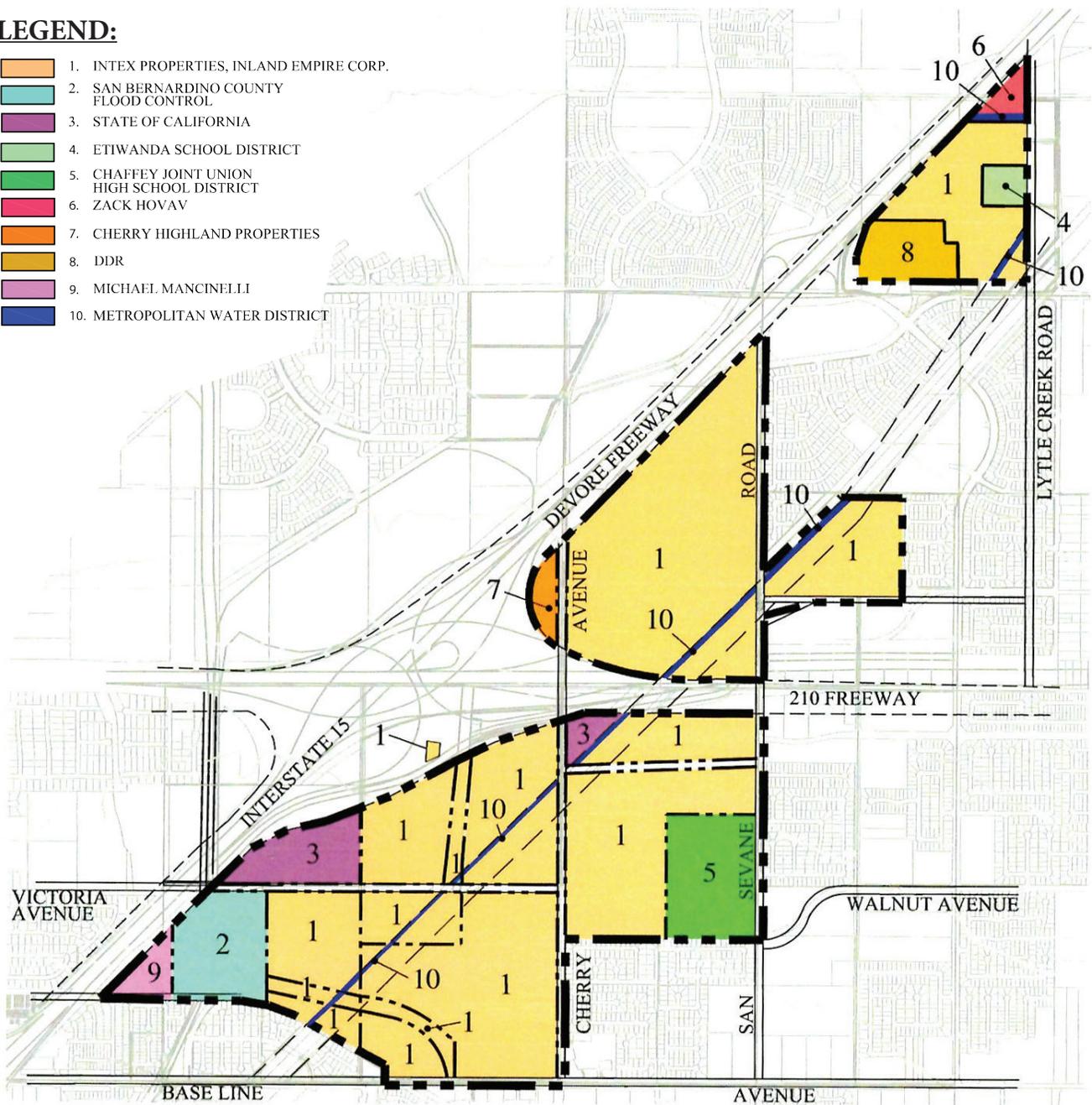
|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |



**FIGURE 2-5  
EXISTING LAND USES**

**LEGEND:**

- 1. INTEX PROPERTIES, INLAND EMPIRE CORP.
- 2. SAN BERNARDINO COUNTY FLOOD CONTROL
- 3. STATE OF CALIFORNIA
- 4. ETIWANDA SCHOOL DISTRICT
- 5. CHAFFEY JOINT UNION HIGH SCHOOL DISTRICT
- 6. ZACK HOVAV
- 7. CHERRY HIGHLAND PROPERTIES
- 8. DDR
- 9. MICHAEL MANCINELLI
- 10. METROPOLITAN WATER DISTRICT



**FIGURE 2-6  
PROPERTY OWNERSHIP MAP**

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## SECTION 3.0 ELEMENTS OF THE SPECIFIC PLAN

### 3.0 ELEMENTS OF THE SPECIFIC PLAN

#### 3.1 COMMUNITY PLANNING VISION AND GOALS

A new vision has been developed for Westgate, creating a unique opportunity to develop a landmark project within the City of Fontana. This vision is summarized as follows:

*“Create a vibrant, prosperous and sustainable community with a diversity of uses with a unique sense of place, where people can live, work, shop and play.”*

A comprehensive description of the Plan is provided starting with Section 3.2.

##### GOAL 1

*In order to create a vibrant community, incorporate a rich diversity of uses including retail, office, business park, residential, schools, parks, trails, and open space uses.*

A wide range of uses are planned for Westgate including a community and neighborhood shopping center, business parks planned for a diversity of professional and corporate offices, medical and college campuses, offices and support commercial uses, clean manufacturing and light industry, a high school site, two elementary school sites, multiple parks, trails, and a variety of housing types to appeal to a broad cross section of the market place.

##### GOAL 2

*Create organizing elements that provide a community identity and opportunity for social interaction.*

Creating an identity and places for social interaction are important components of developing a quality Plan that will endure and thrive for generations to come. Within the Westgate plan, there are three key land use elements that will establish an overall community identity and opportunities for social interaction. These

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elements include: 1) multiple active and passive park sites with an extensive trail system linking the community together, 2) three school sites – two serving kindergarten through 5th grade and one high school for 9th through 12th grade and, 3) a community and neighborhood level shopping center.

### GOAL 3

***Develop a plan that generates employment opportunities and improves the city's tax base.***

Westgate creates a variety of employment opportunities by developing a mix of land uses that include approximately 364 acres of neighborhood and community retail, office and business parks, hospitality and other complementary uses. This will create substantial future employment opportunities as well as strengthen the City's tax base.

### GOAL 4

***Develop a plan that establishes a regional destination.***

Located at the intersection of the I-15 and Route 210 freeways, with direct access from the Route 210/Cherry Avenue interchange, approximately 138 acres within Westgate Center provides an opportunity for a vibrant major regional destination. The destination use may be one, or a combination of uses including: Corporate Office Complex, Educational Campus, Medical Center, Retail Lifestyle Center, and other complementary uses. Quality design and development standards are included for all these uses to enhance the City's identity.

### GOAL 5

***Provide opportunities for pedestrian friendly connectivity to main activity nodes, including employment, shopping, schools and recreation.***

Pedestrian friendly street design, bicycle lanes and community trails interconnect all areas of the plan. e.g., residential, retail, businesses, parks and schools. Access and connectivity has been provided to the City's regional trail system, including the SANBAG right of way. These trails connect to City wide amenities such as Fontana Park and the Jessie Turner Center.

### GOAL 6

***Create a diversity of housing types within a high amenity setting.***

A diversity of housing types and sizes are planned to appeal to a broad cross section of the market place and to fulfill a variety of life stages and lifestyles for families, single professionals, first time homebuyers, those looking for move up housing, empty nesters looking to downsize and active adults. All homes, whether single-family detached or multi-family, shall be market rate, non-subsidized. Emphasis has been placed on creating high amenity neighborhoods. Multiple parks and recreational areas are located within walking distance of residential uses, including single family detached and attached homes, townhomes, and multi-family.

## WESTGATE

LIVE

WORK

SHOP

PLAY

## GOAL 7

### *Create a community structure.*

Westgate is organized into four distinct areas. Each includes their own amenities and individual character with connectivity between residential, retail, business, park and school uses. Through a comprehensive streetscape, bike and trails plan, the four communities will be linked together to create a unified plan for people of all life stages to live, work, shop and play.

## GOAL 8

### *Provide quality master planning, architectural and landscape architectural standards.*

Emphasis has been placed on human comfort and creating a sense of place that would not be possible on a parcel by parcel basis without a comprehensive Specific Plan. Within the community design standards, careful attention has been placed on the quality of the community, its architectural features and landscape character.

## GOAL 9

### *Develop a community to promote healthy neighborhoods, enhance sustainability and conserve resources.*

Each of the four community areas are interconnected by bike lanes and pedestrian walks to parks, shopping and business uses. This will promote a healthy environment by encouraging residents to be more active and to reduce their reliance on the automobile, which in turn reduces traffic and carbon emissions.

Westgate will also become one of the first large scale planned communities in the Inland Empire to meet one of the nation's first mandatory green building standards code (CalGreen). These comprehensive regulations were adopted by the State of California and went into effect as of January 1, 2011. By adhering to these regulations, Westgate will achieve significant reductions in greenhouse gas emissions, energy consumption and water use. Use of solar energy will be encouraged throughout the community to conserve energy. All public parks will be required to incorporate solar lighting.

In order to further conserve resources, Westgate is designed to use recycled water for landscaping in public parks and rights of ways. Westgate infrastructure plans include a reclaimed water "purple pipe" system that will be installed as part of the major streets for all medians, parkways and public parks.

## GOAL 10

### *Create a community with a high quality of life.*

The result of implementing the above goals will assure a high quality of life that creates a sense of place, sense of belonging and community pride for people of all life stages.

## 3.2 LAND USE PLAN & COMMUNITY STRUCTURE

Following is an overview of the community structure and summary of the land uses, parks and recreation areas, circulation, public facilities and community services elements that provide for the orderly development of the Westgate Specific Plan. A discussion of capital improvement programs and phasing is also included.

As described in the Goals above, all elements and components of the Specific Plan focus on creating a vibrant, community oriented, pedestrian friendly mixed use development.

The Plan is comprised of four distinct areas and includes a variety of residential housing types with a maximum of 3,248 dwelling units, three school sites, multiple parks, trails and open space. Commercial uses include retail, medical, entertainment, office, and business parks. While the residential uses will appeal to a broad cross section of the housing market, the commercial uses will strengthen the City's employment and tax base, establish a regional destination, and provide an opportunity for people to work and shop near where they live.

### 3.2.1 LAND USE PLAN & SUMMARY

Figure 3-1, Land Use Plan, illustrates the overall Land Use Plan for Westgate. The community is comprised of four community areas: Falcon Ridge, Westgate Center, Westgate West, and Westgate East, shown in Figure 3-2, Community Areas Map.

The land uses are divided into 68 development areas, designated as "Planning Areas" (PA's). Table 3.1, Planning Area Land Use Summary, on the following page provides a summary of the total acres for each land use type including total dwelling units planned, while Table 7.1, Planning Areas Land Use Summary, in the Appendix provides information for each individual PA.

# WESTGATE

LIVE

WORK

SHOP

PLAY

# WESTGATE

**TABLE 3.1 - PLANNING AREA LAND USE SUMMARY**

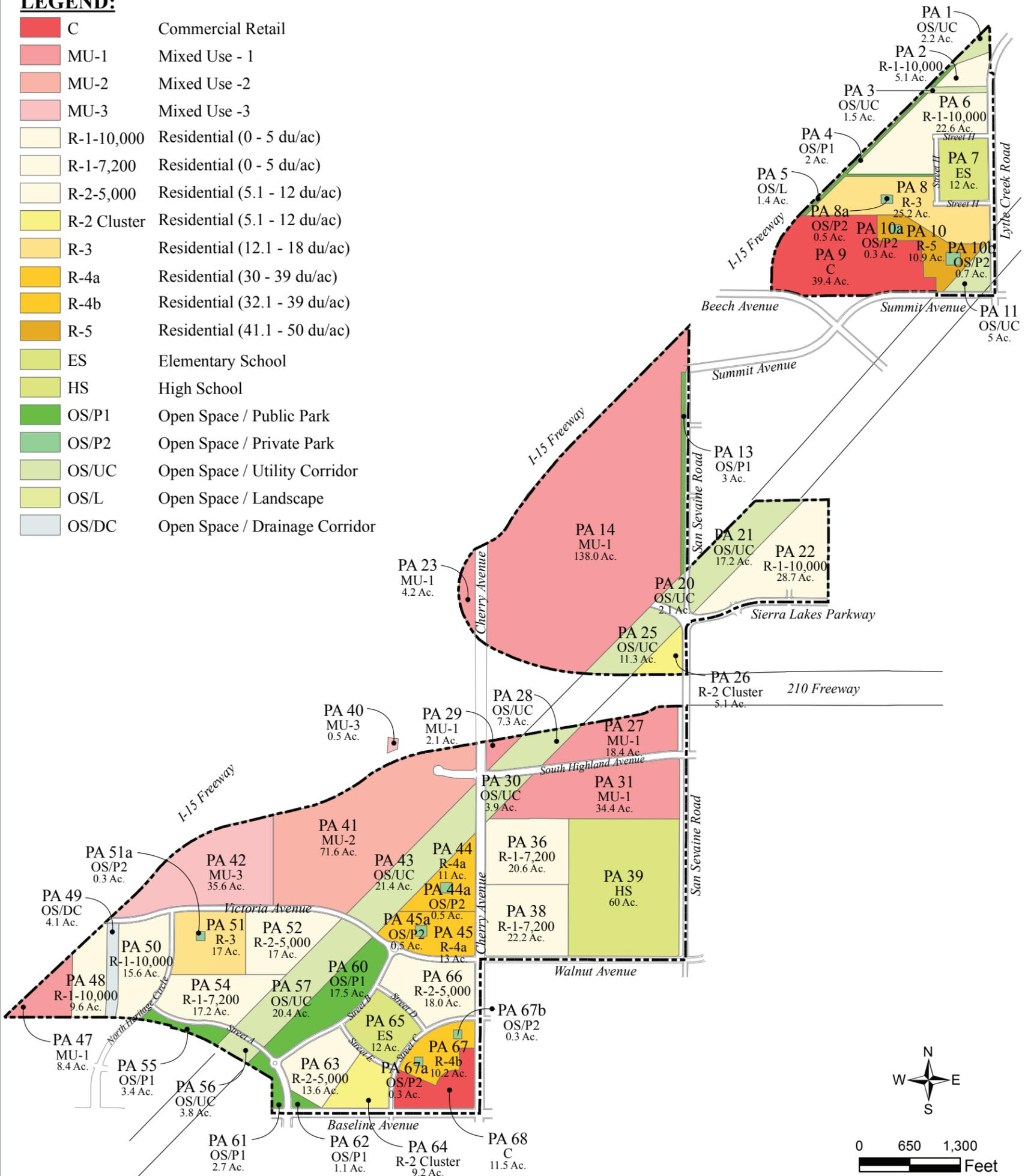
| Description                          | Acres        | Target Dwelling Units* |
|--------------------------------------|--------------|------------------------|
| Mixed Use -1 (MU-1)                  | 205.5        |                        |
| Mixed Use -2 (MU-2)                  | 71.6         |                        |
| Mixed Use -3 (MU-3)                  | 36.1         |                        |
| Commercial Retail (C)                | 50.9         |                        |
| Residential -1 (R-1)_10,000          | 81.6         | 289                    |
| Residential -1 (R-1)_7,200           | 60.0         | 270                    |
| Residential -2 (R-2)_5,000           | 48.6         | 267                    |
| Residential -2 (R-2) Cluster         | 14.3         | 129                    |
| Residential -3 (R-3)                 | 42.2         | 708                    |
| Residential -4a (R-4a)**             | 24.0         | 750                    |
| Residential -4b (R-4b)**             | 10.2         | 346                    |
| Residential -5 (R-5)**               | 10.9         | 489                    |
| Open Space/Public Parks (OS/P1)      | 29.7         |                        |
| Open Space/Private Parks (OS/P2)     | 3.4          |                        |
| Open Space/Landscape (OS/L)          | 1.4          |                        |
| Open Space/Public Utility (OS/UC)    | 96.1         |                        |
| Open Space/Drainage Corridor (OS/DC) | 4.1          |                        |
| High School Site (HS)                | 60.0         |                        |
| Elementary Site (ES)                 | 24.0         |                        |
| Other (Major road right of ways)     | 89.4         |                        |
| <b>TOTAL ACRES</b>                   | <b>964.0</b> |                        |
| <b>MAXIMUM DWELLING UNITS</b>        |              | <b>3,248</b>           |

\*Refer to Section 6.5 for discussion of Target Dwelling Units.

\*\*In order to meet State of California mandated housing requirements 1,585 multifamily units have been incorporated into Planning Areas 10, 44, 45, and 67. Of that total, 835 dwelling units are designated as senior housing. (Refer to Figure 3-1, Land Use Plan).

**LEGEND:**

|   |                                |
|---|--------------------------------|
| <span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span> C              | Commercial Retail              |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> MU-1    | Mixed Use - 1                  |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> MU-2    | Mixed Use - 2                  |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> MU-3    | Mixed Use - 3                  |
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> R-1-10,000  | Residential (0 - 5 du/ac)      |
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> R-1-7,200   | Residential (0 - 5 du/ac)      |
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> R-2-5,000   | Residential (5.1 - 12 du/ac)   |
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> R-2 Cluster | Residential (5.1 - 12 du/ac)   |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> R-3         | Residential (12.1 - 18 du/ac)  |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> R-4a        | Residential (30 - 39 du/ac)    |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> R-4b        | Residential (32.1 - 39 du/ac)  |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> R-5         | Residential (41.1 - 50 du/ac)  |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> ES      | Elementary School              |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> HS      | High School                    |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> OS/P1   | Open Space / Public Park       |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> OS/P2   | Open Space / Private Park      |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> OS/UC   | Open Space / Utility Corridor  |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> OS/L    | Open Space / Landscape         |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> OS/DC    | Open Space / Drainage Corridor |



**PROJECT SUMMARY:**

| RESIDENTIAL  | Acres        | Density     | DU           |
|--------------|--------------|-------------|--------------|
| R-1-10,000   | 81.6         | 0 - 5.0     | 289          |
| R-1-7,200    | 60.0         | 0 - 5.0     | 270          |
| R-2-5,000    | 48.6         | 5.1 - 12.0  | 267          |
| R-2-Cluster  | 14.3         | 5.1 - 12.0  | 129          |
| R-3          | 42.2         | 12.1 - 18.0 | 708          |
| R-4a         | 24.0         | 30.0 - 39.0 | 750          |
| R-4b         | 10.2         | 32.1 - 39.0 | 346          |
| R-5          | 10.9         | 41.1 - 50.0 | 489          |
| <b>Total</b> | <b>300.2</b> |             | <b>3,248</b> |

| OPEN SPACE                    |          | Acres        |
|-------------------------------|----------|--------------|
| Open Space/Public Parks       | (OS/P-1) | 29.7         |
| Open Space/Private Parks      | (OS/P-2) | 3.4          |
| Open Space/Landscape          | (OS/L)   | 1.4          |
| Open Space/Utility Corridors  | (OS/ UC) | 96.1         |
| Open Space/Drainage Corridors | (OS/ DC) | 4.1          |
| High School Site              | (HS)     | 60.0         |
| Elementary School Site        | (ES)     | 24.0         |
| <b>Total</b>                  |          | <b>218.7</b> |

| COMMERCIAL        |        | Acres        |
|-------------------|--------|--------------|
| Commercial Retail | (C)    | 50.9         |
| Mixed Use-1       | (MU-1) | 205.5        |
| Mixed Use-2       | (MU-2) | 71.6         |
| Mixed Use-3       | (MU-3) | 36.1         |
| <b>Total</b>      |        | <b>364.1</b> |

| OTHER                      | Acres        |
|----------------------------|--------------|
| Major Street Rights-of-Way | 89.4         |
| <b>GRAND TOTAL</b>         | <b>964.0</b> |

**FIGURE 3-1  
LAND USE PLAN**

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### 3.2.2 COMMERCIAL / BUSINESS LAND USES

Westgate includes 364.1 acres of Mixed Use and Retail uses. Principally located adjacent to the Route 210 and I-15 Freeway corridors, they comprise over a third of the 964 acre Specific Plan area. Areas specifically designated for Commercial Retail uses includes Falcon Ridge Town Center, a completed 39.4 acre community scale shopping center along the I-15 Freeway corridor on Summit Avenue, and an 11.5 acre neighborhood retail center planned at the northwest corner of Baseline and Cherry Avenue. The Mixed Use designation, which is divided into three sub-categories MU 1, 2 and 3, provides additional opportunities for commercial retail shopping centers, entertainment, medical facilities, professional and corporate offices, business parks, and light industrial uses.

### 3.2.3 RESIDENTIAL USES

Residential land uses are located within each of the four distinct communities. They are interconnected through pedestrian walks, off and on-street bicycle lanes. A total of 291.8 acres of residential uses are planned with 3,248 total maximum dwelling units.

### 3.2.4 OPEN SPACE, PARKS, RECREATION AND TRAILS

Westgate provides a variety of open space, public parks, an approximate 1.7-2.0 acre lake, and trails, including eight private recreation areas, which may include pools and spas. Public parks and private recreation areas total 33.1 acres, with approximately 101.6 acres of additional open space within utility corridors, flood channels and freeway landscape buffer areas.

Section 3.4 includes a comprehensive discussion of the Open Space elements, including Parks, Recreation and Bikeway Plans.

Parks and recreation areas include active uses e.g., ball fields, basketball courts, tot lots, exercise courses and passive uses for picnic stations, barbecue and other amenities. All public parks and three school sites are interconnected by on and off street bike lanes.

The City wide regional trail will be extended though Westgate within the utility corridors connecting the Village of Heritage and City areas to the north.

### 3.2.5 PUBLIC SCHOOLS

Two elementary school sites and one high school site are included in the Plan, totaling 84.0 acres. The 60 acre high school site is located within the Chaffey Joint Union High School District; the two 12 acre elementary school sites are located within the Etiwanda School District. The high school site in PA 39 and the elementary school site located within Planning Area 7 have previously been acquired in fee by the respective school districts.

## WESTGATE

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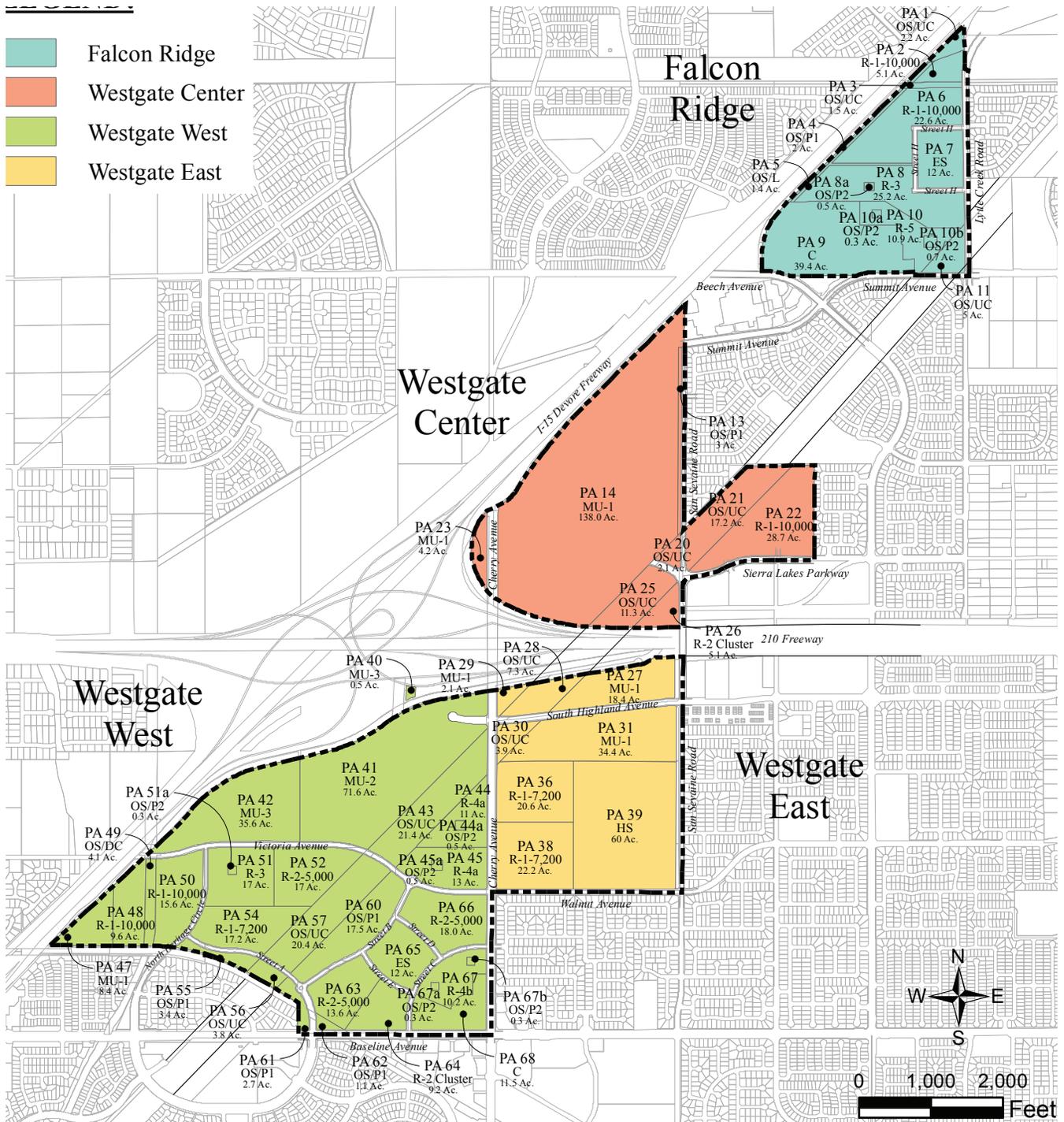


FIGURE 3-2  
COMMUNITY AREAS KEY MAP

### 3.2.6 DEDICATED PUBLIC RIGHTS-OF-WAY

Major public road rights-of-way totaling 89.4 acres are shown on Figure 3-1, Land Use Plan, and Figure 3-18, Circulation Plan, later in this Section.

### 3.2.7 COMMUNITY DESIGN

The four community areas in the Plan are shown in Figure 3-2, Community Areas Key Map. The community areas were defined based on a logical clustering of development in relationship to the overall Westgate site and context, and to meet the community vision and objectives described earlier in this text. While each Community Area will have its own unique identity and character, they have been integrated into a cohesive and unified land use plan for the entire Westgate Specific Plan area. The four community areas are shown in the following figures:

- Figure 3-3, Falcon Ridge
- Figure 3-4, Westgate Center
- Figure 3-5, Westgate West
- Figure 3-6, Westgate East

A discussion of each of the community areas follows. Refer to Sections 4.0 and 5.0, Development Regulations and Design Guidelines respectively, to implement the Community Area structure and to ensure that a pedestrian friendly, high quality development results in all aspects of community.

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## 3.3 COMMUNITY AREA DESIGN

### 3.3.1 FALCON RIDGE

Falcon Ridge, named to complement the existing 39.4 acre Falcon Ridge Town Center within the site, includes residential uses, an elementary school site, public and private parks. Refer to Figure 3-3, Falcon Ridge, for the Land Use Plan for Falcon Ridge, and major elements in the Community Area.

The elementary school site is centrally located and will provide a community hub for both Falcon Ridge and other nearby residential neighborhoods.

Residential uses include R-1-10,000 single family detached homes, as well as attached and multi-family homes, with 812 projected dwelling units. Detached single family homes are planned adjacent to Lytle Creek Road to complement the existing single family homes to the east. Sound attenuation will be provided for homes near the freeway right-of-way through a 200' setback to residential dwelling unit living areas and a combination of sound walls and/or bermed landscaped areas. Refer to Figure 3-10, Conceptual Plan PA 4, and Figure 5-23, Landscape in Setback Area, for an illustration of this landscaped treatment planned within PA 4 and PA 5.

Park and recreational amenities summarized below. Conceptual park plans for each are provided later in this Section.

- A 2.0 acre park (PA 4) with a walking / jogging path, benches, barbecues, picnic tables and an exercise course is located along the western edge of Falcon Ridge adjacent to the I-15 Freeway.
- Three private recreation areas located in Planning Area 8a (0.5 acres), PA 10a (0.3 acres), and PA 10b (0.7 acres). Refer to Table 3.6, Falcon Ridge Park and Recreation Area Amenities.

The various land uses, i.e., the Falcon Ridge Town Center, school site, residential uses, parks and recreation areas are all interconnected with off-street Class I bike paths and sidewalks. As all uses are within a 5 to 10 minute walk of one another; residents will be more likely to walk and / or bicycle, minimizing use of the automobile. For reference purposes throughout this Specific Plan, a walking speed of three miles per hour is used to estimate walking times. The Class I bike lanes provide easy access to the regional trails that extend both north and south through the City and connect to other major City amenities.

| TABLE 3.2 - FALCON RIDGE SUMMARY |                   |              |               |                |              |
|----------------------------------|-------------------|--------------|---------------|----------------|--------------|
| PA                               | Land Use          | Acres        | Density Range | Target Density | Target* DU   |
| <b>COMMERCIAL RETAIL</b>         |                   |              |               |                |              |
| 9                                | C                 | 39.4         |               |                |              |
| <b>RESIDENTIAL</b>               |                   |              |               |                |              |
| 2                                | R-1-10,000        | 5.1          | 0.0 - 5.0     | 3.5            | 20           |
| 6                                | R-1-10,000        | 22.6         | 0.0 - 5.0     | 3.5            | 80           |
| 8                                | R-3               | 25.2         | 12.1 - 18.0   | 15.0           | 453          |
| 10**                             | R-5               | 10.9         | 41.1 - 50.0   | 41.1           | 489          |
| <b>SUBTOTAL</b>                  |                   | <b>63.8</b>  |               |                | <b>1,042</b> |
| <b>PARKS / OPEN SPACE</b>        |                   |              |               |                |              |
| 1                                | OS/UC             | 2.2          |               |                |              |
| 3                                | OS/UC             | 1.5          |               |                |              |
| 4                                | OS/P1             | 2.0          |               |                |              |
| 5                                | OS/L              | 1.4          |               |                |              |
| 8a                               | OS/P2             | 0.5          |               |                |              |
| 10a                              | OS/P2             | 0.3          |               |                |              |
| 10b                              | OS/P2             | 0.7          |               |                |              |
| 11                               | OS/UC             | 5.0          |               |                |              |
| <b>SUBTOTAL</b>                  |                   | <b>13.6</b>  |               |                |              |
| <b>OTHERS</b>                    |                   |              |               |                |              |
| 7                                | Elementary School | 12.0         |               |                |              |
| <b>TOTAL***</b>                  |                   | <b>128.8</b> |               |                | <b>1,042</b> |

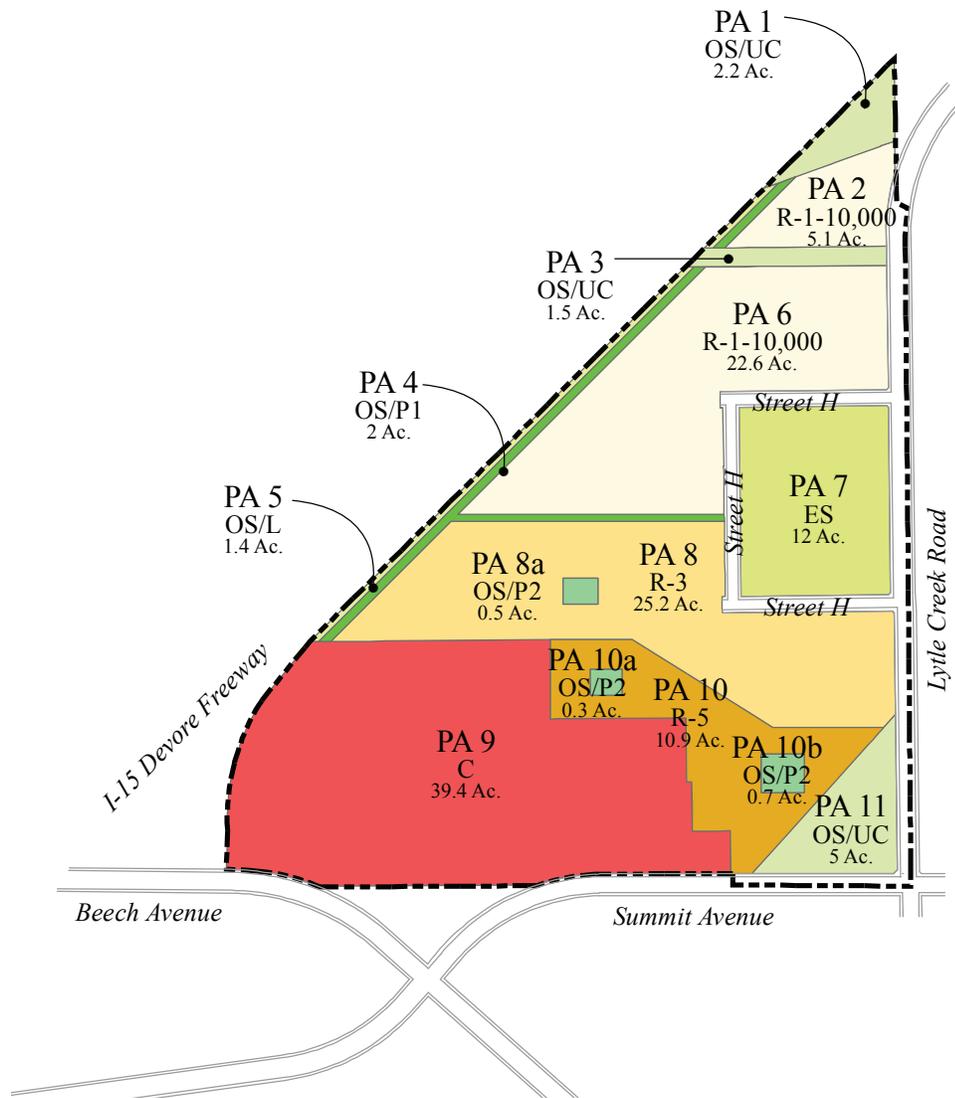
\*Refer to Section 6.5 for discussion of Target Dwelling Units.

\*\*In order to meet State of California mandated housing requirements 1,585 multifamily units have been incorporated into Planning Areas 10, 44, 45, and 67. Of that total, 835 dwelling units are designated as senior housing. (Refer to Figure 3-1, Land Use Plan).

\*\*\*Roads not included.

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- Final location of parks and the east/west segment of the trail may change subject to final site plan.
- Residential building living areas shall be setback 200' minimum to freeway right of way
- In order to meet State of California mandated housing requirements 1,585 multifamily units have been incorporated into Planning Areas 10, 44, 45, and 67. Of that total, 835 dwelling units are designated as senior housing units in Planning Area 10. (Refer to Figure 3-1, Land Use Plan)



**FIGURE 3-3  
FALCON RIDGE**

### 3.3.2 WESTGATE CENTER

Located at the crossroads of the I-15 and Route 210 freeways, with direct access from the Route 210/Cherry Avenue interchange, Westgate Center provides an opportunity for a vibrant major regional destination for such uses as Corporate Office Complex, Educational Campus, Medical Center, Retail Lifestyle Center, and other complementary uses within PA 14.

Housing opportunities, ranging from 10,000 square foot lot executive homes sites (PA 22) to single family detached cluster homes (PA 26), are also included in Westgate Center. Their close proximity to the regional destination will provide future residents opportunities to walk to restaurants, shopping, entertainment and employment areas. In lieu of regional destination uses in PA 14, 10,000 square foot lot executive home sites may be allowed provided that all of PA 14 is planned for R-1-10,000 uses and shall require a General Plan Amendment to be processed.

A 3.0 acre public linear park (PA 13) is provided between existing residential to the east, and the mixed use area to the west that will also create a landscape buffer with berms up to eight feet high. Refer to Figure 3-4, Westgate Center, and Figure 3-12, Conceptual Plan PA 13, for the location and park facilities that will be included.

Several community entry monuments are planned for Westgate Center. Refer to Figure 3-4, Westgate Center, and Figure 5-53, Entry Monument Concepts, for locations and design guidelines. Refer to Figure 5-53, Entry Monument Concepts, for entry monument guidelines for Westgate Center.

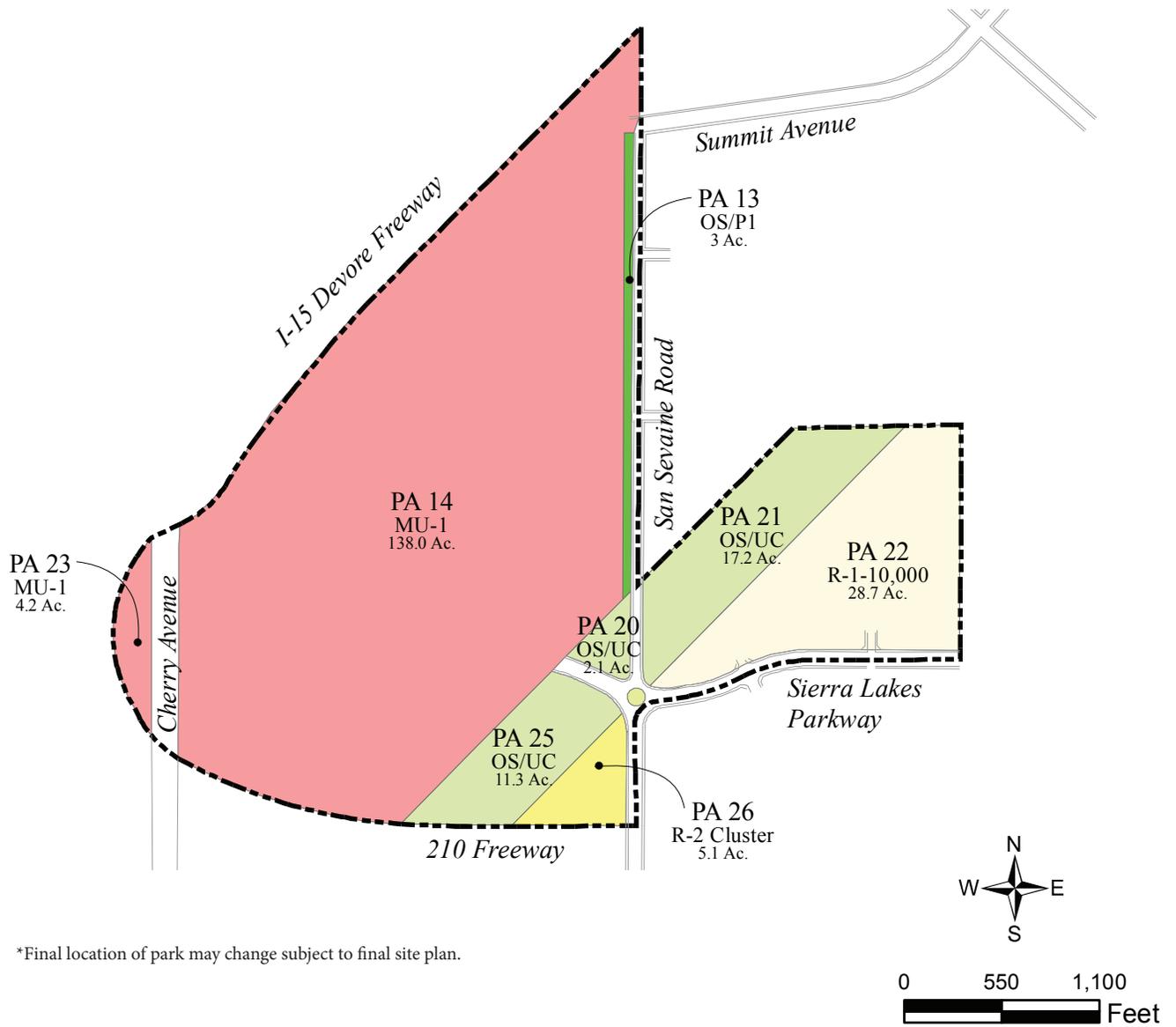
## WESTGATE

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**FIGURE 3-4  
WESTGATE CENTER**

| TABLE 3.3 - WESTGATE CENTER |              |              |               |                |            |
|-----------------------------|--------------|--------------|---------------|----------------|------------|
| PA                          | Land Use     | Acres        | Density Range | Target Density | Target* DU |
| <b>MIXED USE</b>            |              |              |               |                |            |
| 14                          | MU-1         | 138.0        |               |                | *          |
| 23                          | MU-1         | 4.2          |               |                |            |
| <b>SUBTOTAL</b>             |              | <b>142.2</b> |               |                |            |
| <b>RESIDENTIAL</b>          |              |              |               |                |            |
| 22                          | R-1 - 10,000 | 28.7         | 0.0 - 5.0     | 3.5            | 100        |
| 26                          | R-2 Cluster  | 5.1          | 5.1 - 12      | 9.0            | 46         |
| <b>SUBTOTAL</b>             |              | <b>33.8</b>  |               |                | <b>146</b> |
| <b>PARKS / OPEN SPACE</b>   |              |              |               |                |            |
| 13                          | OS/P1        | 3.0          |               |                |            |
| 20                          | OS/UC        | 2.1          |               |                |            |
| 21                          | OS/UC        | 17.2         |               |                |            |
| 25                          | OS/UC        | 11.3         |               |                |            |
| <b>SUBTOTAL</b>             |              | <b>33.6</b>  |               |                |            |
| <b>TOTAL**</b>              |              | <b>209.6</b> |               |                | <b>146</b> |

\*Refer to Section 6.5 for discussion of Target Dwelling Units.

\*\*Roads not included.

Note: Minimum 10,000 s.f. lots are permitted in MU-1 areas of Westgate Center provided that all Planning Areas in Westgate Center are changed to 10,000 s.f. lots and a General Plan Amendment is approved in one application. Based on this minimum lot size, an additional 474 DUs are permitted. The total Westgate Specific Plan maximum allowable dwelling units would increase from 3,248 DU to 3,722 DU and shall require a General Plan Amendment to be processed. This R-1-10,000 use scenario is not reflected in Table 3.3 the dwelling unit total.

# WESTGATE

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### 3.3.3 WESTGATE WEST

Westgate West provides a diversity of uses including mixed use business parks, a light industrial use for warehousing, distribution, a neighborhood retail center, residential uses and an elementary school site all within walking distance of one another. Open space includes a 17.5 acre community park with a lake, sports fields, and passive play areas. All community uses are linked together through sidewalks and nearly two miles of bikeways. Refer to Figure 3-5, Westgate West, for the land use plan and major elements in Westgate West.

A new city "gateway" is planned as part of the design for Westgate West at Cherry Avenue, the first major interchange for those arriving from the west into Fontana. Upon exiting from the freeway south to Cherry Avenue, the visitor will be greeted by an impressive entry to the City with eight rows of trees in a 110 foot wide total landscape setback area. Refer to Figure 5-54, Gateway Plan and Elevation, and Figure 5-55, Gateway Renderings, for a plan and perspective renderings of the gateway.

Along the freeway corridors principally Mixed Use-1 (MU1), Mixed Use-2 (MU-2), and Mixed Use-3 (MU-3) are planned which emphasize commercial services, professional offices and business parks. Refer to the Development Regulations for uses permitted in these designations. During the past few years the California State Department of Transportation (Cal Trans) has completed the Transportation Management Center and Regional Lab in PA 42 (MU-3), both high quality facilities. The MU-3 designation is intended to encourage other similar high quality facilities that include public, quasi-public and private users.

The MU-2 land use, adjacent to the Route 210 Freeway in PA 41, provides for warehouse and distribution uses, plus a support retail component. Section 4.0, Development Regulations, and Section 5.0, Community Design, includes site plan, architectural and landscape architectural standards to insure that large buildings will be buffered from public view. As illustrated in the Gateway rendering referenced above, only small scale retail or business uses will be permitted adjacent to Cherry Avenue.

The elementary school site is centrally located to the residential areas and will provide a community hub for Westgate West. Residential uses include 1,897 projected dwelling units with a broad range of housing types including single family homes on 10,000, 7,200, and 5,000 minimum square foot lots, single family detached garden court, patio home, courtyard, and court cluster homes, townhomes and multi-family homes. A 10.2 acre senior housing site is designated in PA 67.

Amenities for Westgate West include public and private parks linked together with sidewalks and nearly two miles of bike paths. The public parks (24.7 acres) will provide a variety of active and passive uses, such as a lake, dog parks, basketball courts, gardens, trails, exercise course, benches and picnic stations. The private parks provides pool, spa and other amenities.

- Within PA 60, a 17.5 acre public park is planned with a minimum 1.7 to 2.0 acre lake as a focal point and community gathering area. Refer to Figure 3-13, Conceptual Plan PA 60, for a more complete list of park amenities.
- Public Parks in PA's 55, 61 and 62 total 7.2 acres and include a walking / jogging / bike trail, exercise course, and picnic stations. The combined site is nearly 11 acres if the adjacent utility corridor open space in PA 56 is included. In addition to serving Westgate West residents, this park is designed to complement the regional trail adjacent in the SANBAG right of way by providing regional trail users with a resting point that includes picnic areas. It will also provide a greenbelt buffer and park amenity for the existing homes in the Village of Heritage to the south. Refer to Figure 3-14, Conceptual Plan PA 55 (3.4 Acres), PA 61 (2.7 Acres), and PA 62 (1.1 Acres).
- Five private recreation areas located in PA 44a (0.5 acres), PA 45a (0.5 acres), PA 51a (0.3 acres), PA 67a (0.3 acres), and PA 67b (0.3 acres) may include amenities such as a pool and spa, and sport courts, among other amenities. Refer to Table 3.8, Westgate West Park and Recreation Amenities PA 55 (3.4 Acres), PA 61 (2.7 Acres), PA 62 (1.1 Acres), PA 44a (0.5 Acres), PA 45a (0.5 Acres), PA 51a (0.3 Acres), PA 67a (0.3 Acres), and PA 67b (0.3 Acres).
- Class I and Class II bike paths are planned to interconnect all Westgate residential uses to parks and recreation areas, the neighborhood retail center, including the school sites in Westgate West and Westgate East. All streets will include parkways between the sidewalks and curb to provide a safe and attractive walkable community. Whether bicycling or walking, Westgate West residents will be within 10 to 15 minutes of all park and recreation amenities including the neighborhood shopping center in PA 68. Refer to Figure 5-1, Concept Looking Northwest from the Corner of Baseline and Cherry Avenues, Figure 5-2, Outdoor Common Area Concepts, Figure 5-3, Retail Site Concepts, and Figure 5-4, Retail Architecture for examples of planned character and amenities in the shopping center.

## WESTGATE

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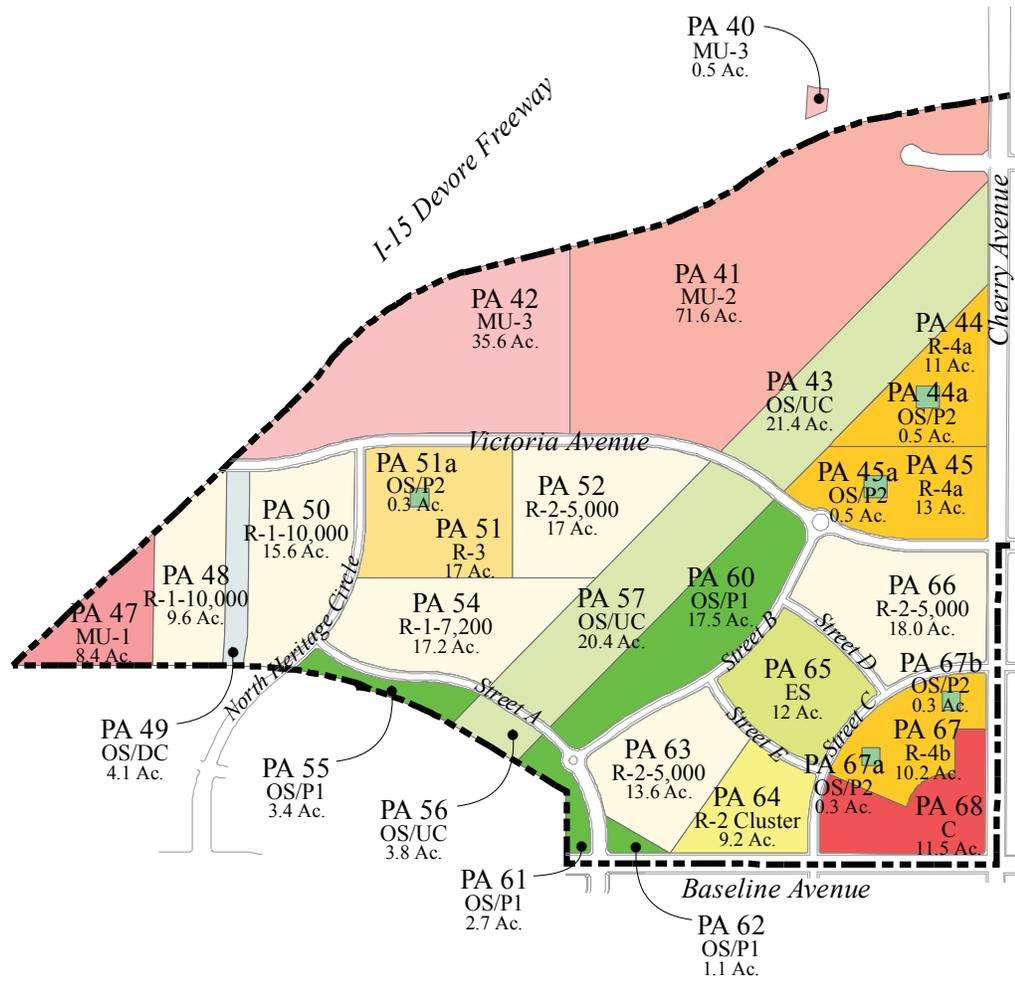
# WESTGATE

| TABLE 3.4 – WESTGATE WEST SUMMARY |                   |              |               |                |              |
|-----------------------------------|-------------------|--------------|---------------|----------------|--------------|
| PA                                | Land Use          | Acres        | Density Range | Target Density | Target* DU   |
| <b>COMMERCIAL</b>                 |                   |              |               |                |              |
| 68                                | Commercial Retail | 11.5         |               |                |              |
| <b>MIXED USE</b>                  |                   |              |               |                |              |
| 40                                | MU-3              | 0.5          |               |                |              |
| 41                                | MU-2              | 71.6         |               |                |              |
| 42                                | MU-3              | 35.6         |               |                |              |
| 47                                | MU-1              | 8.4          |               |                |              |
| <b>SUBTOTAL</b>                   |                   | <b>116.1</b> |               |                |              |
| <b>RESIDENTIAL</b>                |                   |              |               |                |              |
| 44                                | R-4a              | 11.0         | 30 - 39       | 30.0           | 345          |
| 45                                | R-4a              | 13.0         | 30 - 39       | 30.0           | 405          |
| 48                                | R-1 - 10,000      | 9.6          | 0.0 - 5.0     | 3.5            | 34           |
| 50                                | R-1 - 10,000      | 15.6         | 0.0 - 5.0     | 3.5            | 55           |
| 51                                | R-3               | 17.0         | 12.1 - 18     | 15.0           | 255          |
| 52                                | R-2 - 5,000       | 17.0         | 5.1 - 12      | 5.5            | 93           |
| 54                                | R-1 - 7,200       | 17.2         | 0.0 - 5.0     | 4.5            | 77           |
| 63                                | R-2 - 5,000       | 13.6         | 5.1 - 12      | 5.5            | 75           |
| 64                                | R-2 Cluster       | 9.2          | 5.1 - 12      | 9.0            | 83           |
| 66                                | R-2 - 5,000       | 18.0         | 5.1 - 12      | 5.5            | 99           |
| 67**                              | R-4b              | 10.2         | 32.1 - 39     | 32.1           | 346          |
| <b>SUBTOTAL</b>                   |                   | <b>151.4</b> |               |                | <b>1,867</b> |
| <b>PARK AND OPEN SPACE</b>        |                   |              |               |                |              |
| 43                                | OS/UC             | 21.4         |               |                |              |
| 44a                               | OS/P2             | 0.5          |               |                |              |
| 45a                               | OSP2              | 0.5          |               |                |              |
| 49                                | OS/DC             | 4.1          |               |                |              |
| 51a                               | OS/P2             | 0.3          |               |                |              |
| 55                                | OS/P1             | 3.4          |               |                |              |
| 56                                | OS/UC             | 3.8          |               |                |              |
| 57                                | OS/UC             | 20.4         |               |                |              |
| 60                                | OS/P1             | 17.5         |               |                |              |
| 61                                | OS/P1             | 2.7          |               |                |              |
| 62                                | OS/P1             | 1.1          |               |                |              |
| 67a                               | OS/P2             | 0.3          |               |                |              |
| 67b                               | OS/P2             | 0.3          |               |                |              |
| <b>SUBTOTAL</b>                   |                   | <b>76.3</b>  |               |                |              |
| <b>OTHERS</b>                     |                   |              |               |                |              |
| 65                                | Elementary School | 12.0         |               |                |              |
| <b>TOTAL***</b>                   |                   | <b>367.3</b> |               |                | <b>1,867</b> |

\*Refer to Section 6.5 for discussion of Target Dwelling Units.

\*\*In order to meet State of California mandated housing requirements 1,585 multifamily units have been incorporated into Planning Areas 10, 44, 45, and 67. Of that total, 835 dwelling units are designated as senior housing. (Refer to Figure 3-1, Land Use Plan).

\*\*\*Roads not included.



- Final location of parks may change subject to final site plan.
- In order to meet State of California mandated housing requirements, 1,585 multifamily units have been incorporated into Planning Areas 10, 44, 45, and 67. Of that total, 835 dwelling units are designated as senior housing units in Planning Area 67. (Refer to Figure 3-1, Land Use Plan)



**FIGURE 3-5  
WESTGATE WEST**

### 3.3.4 WESTGATE EAST

Westgate East, shown in Figure 3-6, Westgate East, includes nearly 54.9 acres of Business uses, residential uses with 193 dwelling units, and a 60 acre high school site owned by the Chaffey Joint Union High School District.

Business uses are located principally along the Route 210 Freeway. The 54.9 acre MU-1 in PA 27, PA 29, and PA 31 is planned for small scale businesses with provisions for a mini-storage use.

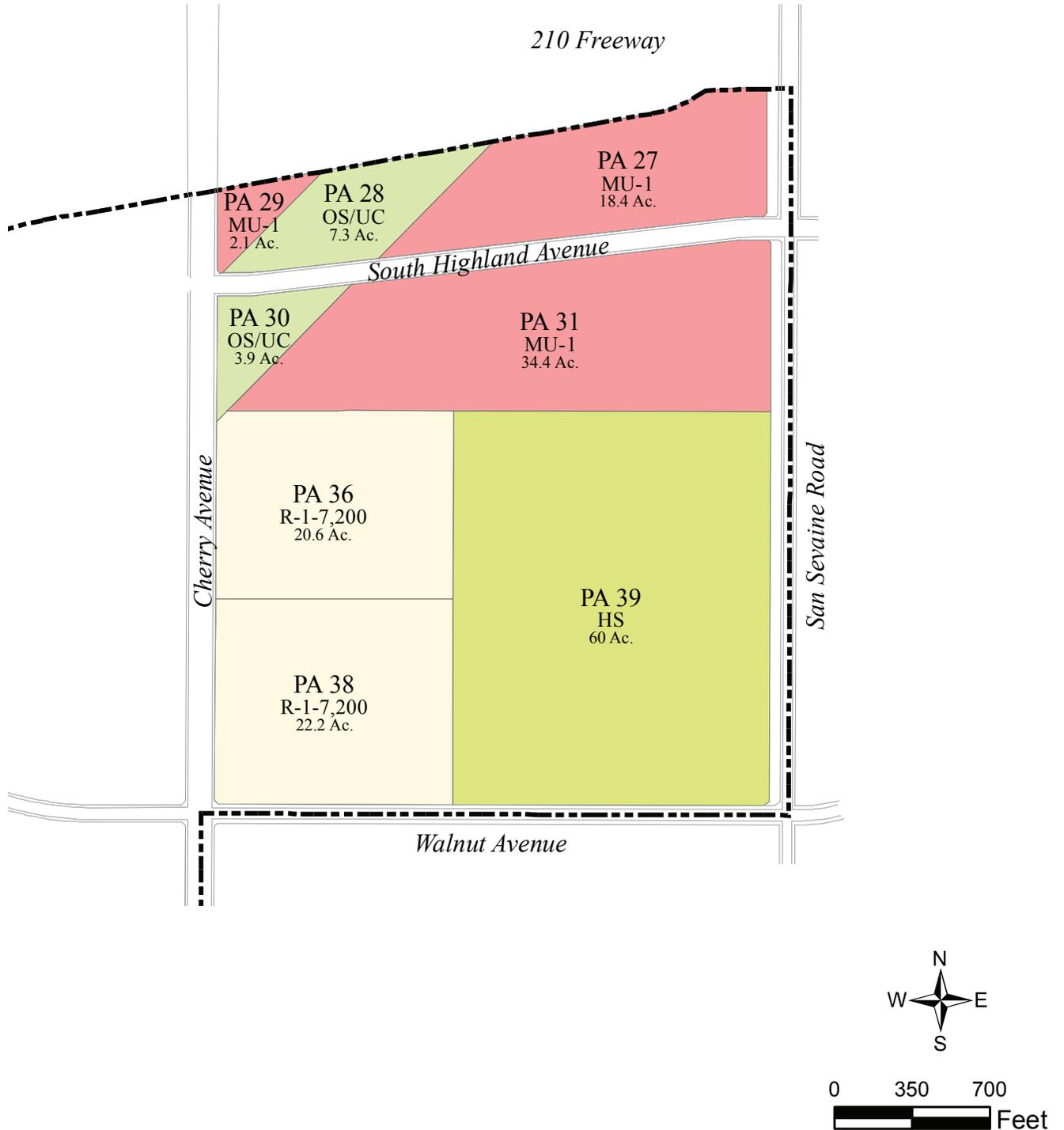
Residential uses include 7,200 square foot lot (minimum) traditional home sites. All residential uses are located within walking distance of the high school site and Westgate East park sites.

Westgate East includes both Class I and II bike lanes with connections to the city regional trail system and other community amenities in the Westgate Specific Plan as shown on Figure 3-17, Bikeway and Paseo Plan.

| TABLE 3.5 – WESTGATE EAST SUMMARY |             |              |               |                |            |
|-----------------------------------|-------------|--------------|---------------|----------------|------------|
| PA                                | Land Use    | Acres        | Density Range | Target Density | Target* DU |
| <b>MIXED USE</b>                  |             |              |               |                |            |
| 27                                | MU-1        | 18.4         |               |                |            |
| 29                                | MU-1        | 2.1          |               |                |            |
| 31                                | MU-1        | 34.4         |               |                |            |
| <b>SUBTOTAL</b>                   |             | <b>54.9</b>  |               |                |            |
| <b>RESIDENTIAL</b>                |             |              |               |                |            |
| 36                                | R-1 - 7,200 | 20.6         | 0.0 - 5.0     | 4.5            | 93         |
| 38                                | R-1 - 7,200 | 22.2         | 0.0 - 5.0     | 4.5            | 100        |
| <b>SUBTOTAL</b>                   |             | <b>42.8</b>  |               |                | <b>193</b> |
| <b>PARK AND OPEN SPACE</b>        |             |              |               |                |            |
| 28                                | OS/UC       | 7.3          |               |                |            |
| 30                                | OS/UC       | 3.9          |               |                |            |
| <b>SUBTOTAL</b>                   |             | <b>11.2</b>  |               |                |            |
| <b>OTHERS</b>                     |             |              |               |                |            |
| 39                                | High School | 60           |               |                |            |
| <b>TOTAL**</b>                    |             | <b>168.9</b> |               |                | <b>193</b> |

\*Refer to Section 6.5 for discussion of Target Dwelling Units.

\*\*Roads not included.



**FIGURE 3-6  
WESTGATE EAST**

## 3.4 PARK, RECREATION, AND TRAIL AMENITIES

### 3.4.1 PARKS & RECREATION

The four community areas in the Westgate Specific Plan – Falcon Ridge, Westgate Center, Westgate West, and Westgate East include both public parks and private recreation areas as well as bikeways and trails.

Master plans that identify Open Space and School Sites (Figure 3-7), Public and Private Parks (Figure 3-8), and Bikeways and Paseos (Figure 3-17), are shown in the pages that follow.

Public parks for the community areas total 29.7 acres and include both active and passive uses, e.g., soccer and ballfields, volleyball, basketball courts, shade structures, tot lots, exercise courses, dog parks, picnic stations, barbecue areas, and other amenities. All are located within a five to seven minute walk of the residential areas which they serve.

Private recreation areas total approximately 3.4 acres and include such amenities as swimming pool and spa, outdoor fireplace, shade structures, sport courts, tot lot, and are generally located within three to five minutes of residential areas they serve. Within all multi-family areas R-4a, R-4b and R-5 recreation amenities will be provided as part of the required site plan review process. In addition to private recreation areas, tot lots or barbecue areas are required within 800' of any dwelling unit. This equates to approximately a 3 minute walk. A summary of the amenities and facilities to be included in the various parks and recreation areas within each of the community areas is also provided below. (Refer to Tables 3-6, 3-7, and 3-8 for park amenities). The phasing of park and recreation area improvements are included in Table 3-13, Park Phasing. Maintenance of all private recreation areas shall be provided through a homeowner's association or similar entity.

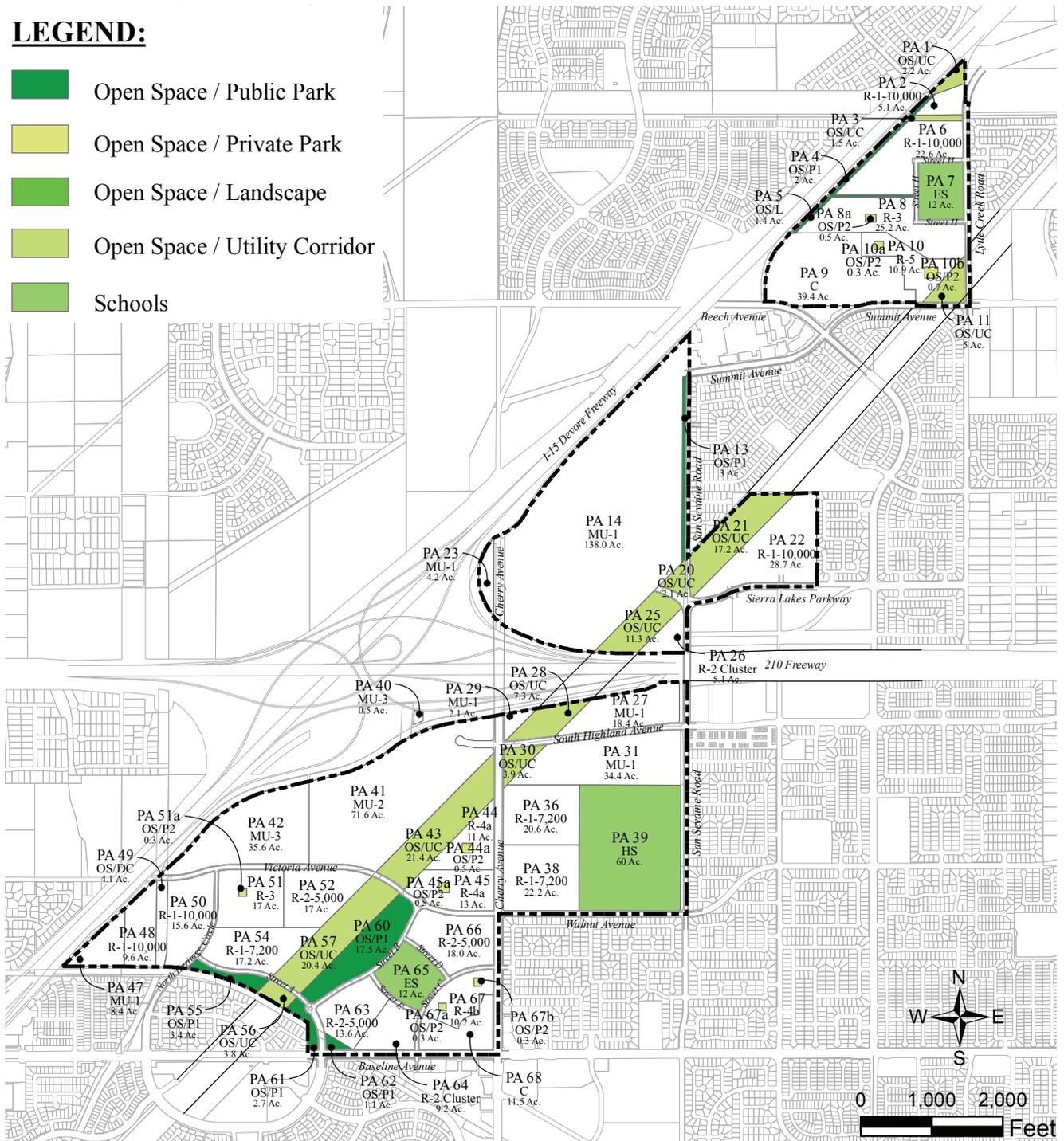
All public parks, including the three school sites within the Specific Plan, are interconnected by trails and / or Class I off-street and Class II on-street bike lanes. Refer to Figure 3-17, Bikeway and Paseo Plan.

While master plan concepts are provided in the Specific Plan for all individual park and recreation sites, the final design for each are subject to change based upon market differentiation, engineering, and input from the City Planning, Police and Public Works departments. Public park and private recreation sites that are three acres or less may shift locations or be substituted with like kind amenities as approved by the Community Development Department and in substantial conformance with this Specific Plan.

Photographs are often used in concert with the master plans and figures that follow to illustrate the types and character of amenities planned for various park, recreation areas, bikeways and trails. These are intended as a guideline for future architects and landscape architects in the preparation of their final designs. They are not intended to be interpreted literally. The design professionals are encouraged to use their creativity in creating a final design that meets the intent of this Section.

**LEGEND:**

- Open Space / Public Park
- Open Space / Private Park
- Open Space / Landscape
- Open Space / Utility Corridor
- Schools

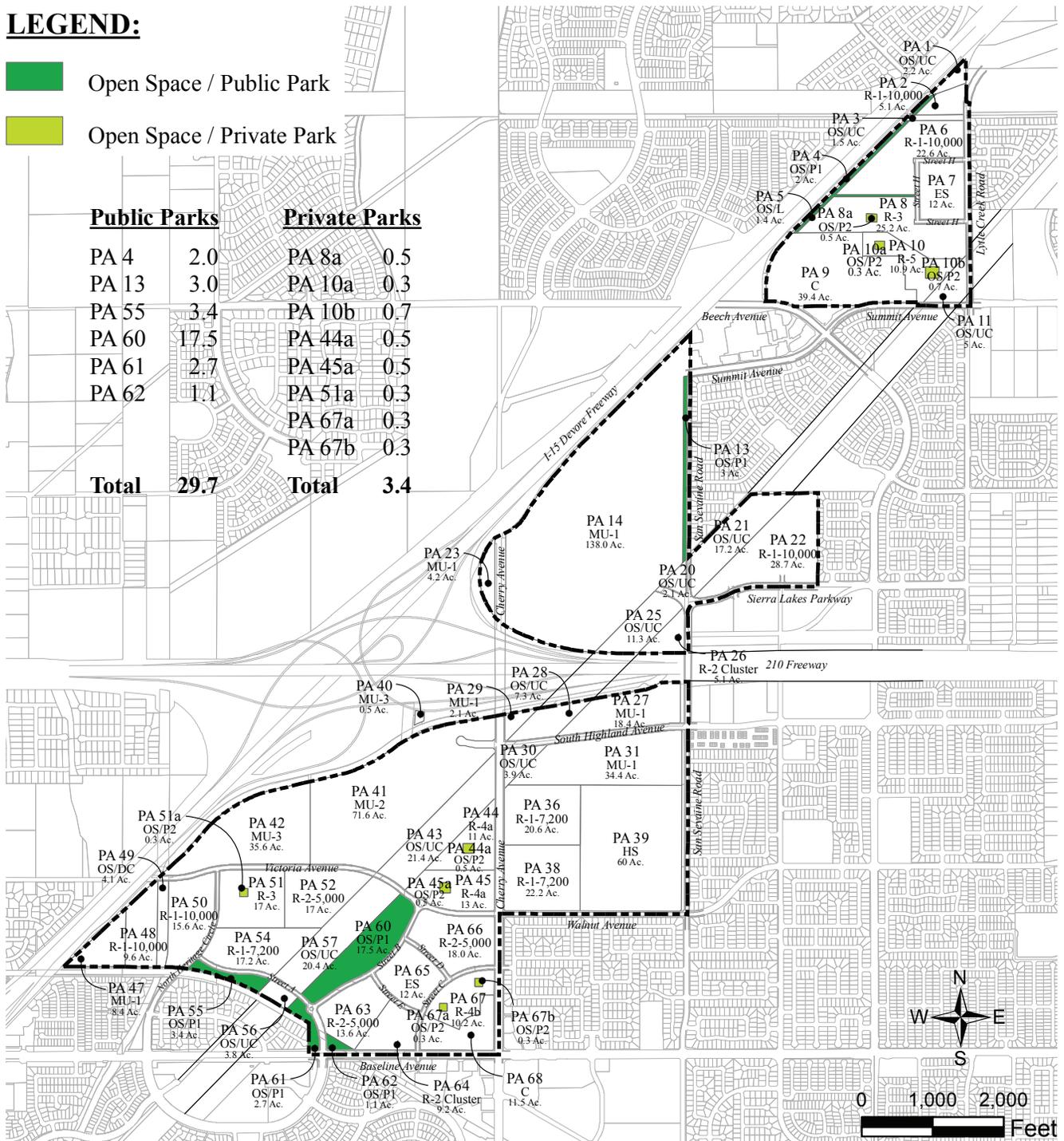


**FIGURE 3-7  
OPEN SPACE AND SCHOOL SITE LOCATION PLAN**

**LEGEND:**

- Open Space / Public Park
- Open Space / Private Park

| <u>Public Parks</u> |             | <u>Private Parks</u> |            |
|---------------------|-------------|----------------------|------------|
| PA 4                | 2.0         | PA 8a                | 0.5        |
| PA 13               | 3.0         | PA 10a               | 0.3        |
| PA 55               | 3.4         | PA 10b               | 0.7        |
| PA 60               | 17.5        | PA 44a               | 0.5        |
| PA 61               | 2.7         | PA 45a               | 0.5        |
| PA 62               | 1.1         | PA 51a               | 0.3        |
|                     |             | PA 67a               | 0.3        |
|                     |             | PA 67b               | 0.3        |
| <b>Total</b>        | <b>29.7</b> | <b>Total</b>         | <b>3.4</b> |



**FIGURE 3-8  
PUBLIC AND PRIVATE PARKS**

### 3.4.2 FALCON RIDGE

Falcon Ridge includes 2.0 acres of public and 1.5 acres of private parks. Refer to Figure 3-3, Falcon Ridge for park and recreation area locations.

PA 4, a 2.0 acre park with a walking / jogging path, benches, barbecues, picnic tables and an exercise course is located along the western edge of Falcon Ridge adjacent to the I-15 Freeway. It is located adjacent to a 1.4 acre landscape buffer area adjacent to the I-15 Freeway for a combined total of 2.4 acres of landscape buffer area between the freeway and planned homes. There is also a 200' setback from the freeway right-of-way to residential living areas. (Refer to Figure 3-9, Conceptual Plan PA 4).

PA 8a, 10a and 10b, are private recreation areas (1.5 acres total), including recreation facilities that features amenities such as a pool, spa, shade structures and outdoor fireplace, and is conveniently located within the future residential areas for which they serve. Refer to Figure 3-10, Conceptual Plan PA 8a (0.5 acres); Figure 3-11 Conceptual Plan PA 10b (0.7 acres); and Figure 3-12, Conceptual Plan PA 10a, PA 51a, PA 67a and PA 67b (0.3 acres).

Table 3.6, Falcon Ridge Park and Recreation Area Amenities, lists the facilities and amenities planned for each respective park.

| TABLE 3.6 – FALCON RIDGE PARK AND RECREATION AREA AMENITIES  |   |
|--|---|
| PA 4 - 2.0 acres<br>Figure 3-9   | *PA 8a- 0.5 acre<br>Figure 3-10   |
| <ul style="list-style-type: none"> <li>• Exercise / Par Course</li> <li>• Drinking Fountain</li> <li>• Benches / Picnic Tables</li> <li>• 8' Wide Paved Jogging Trail and Walkway</li> <li>• Trail lighting - 15' high maximum light standards that minimize glare.</li> </ul> | <ul style="list-style-type: none"> <li>• Pool</li> <li>• Spa</li> <li>• Sport Court</li> <li>• Tot Lot / Swings</li> <li>• Fireplace</li> <li>• Shade Structure</li> <li>• Restroom</li> <li>• Turf Area</li> </ul> |

# WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

**TABLE 3.6 – FALCON RIDGE PARK AND RECREATION AREA AMENITIES**

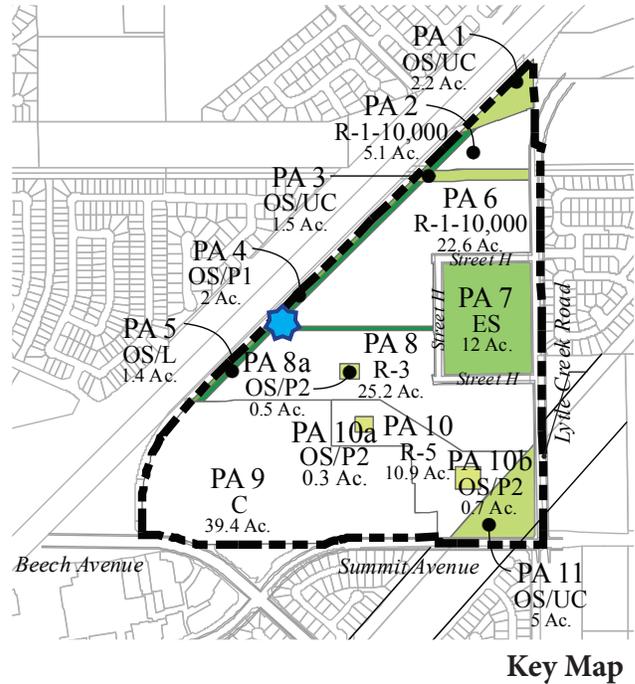
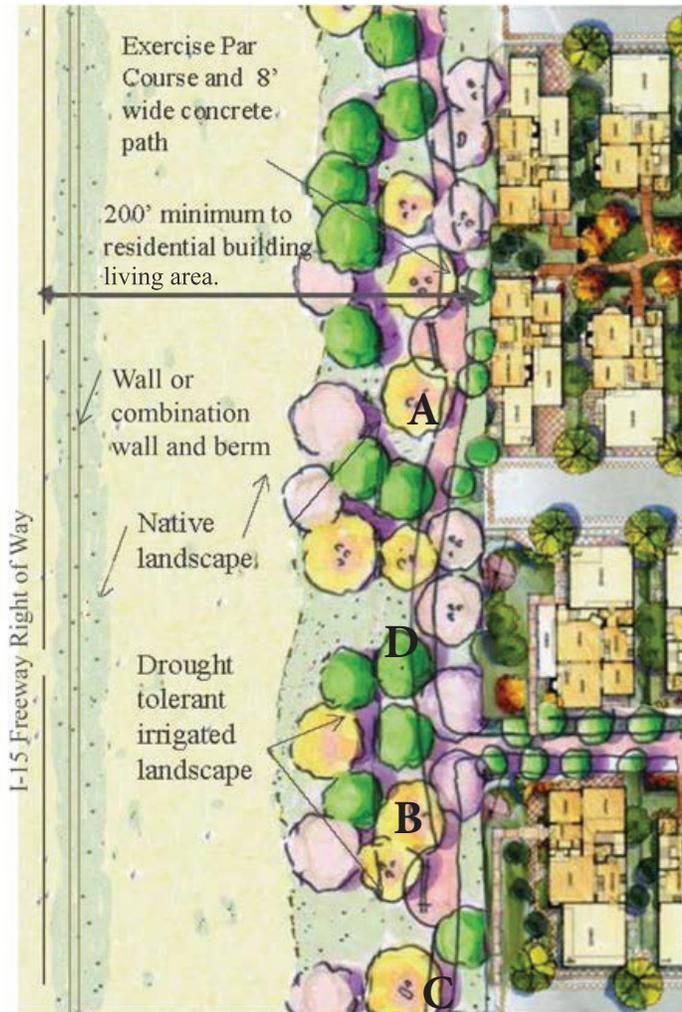
**\*PA 10a - 0.3 acres**  
Figure 3-12

- Pool
- Spa
- Fireplace
- Shade Structure

**\*PA 10b - 0.7 acre**  
Figure 3-11

- Pool
- Spa
- Sport Court
- Turf Area
- Fireplace
- Shade Structure
- Restroom

*\*Private recreation area to be maintained by a homeowners association or other similar entity.*



**LEGEND:**

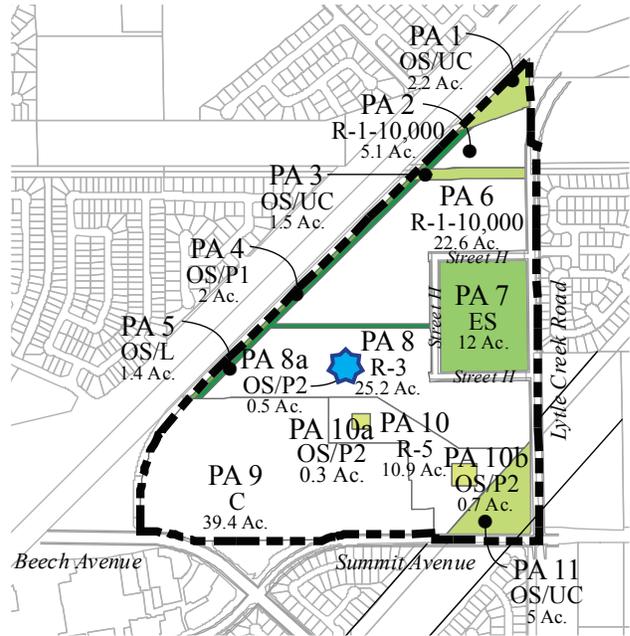
- A. Exercise / Par course  
8' Jogging Trail and Walkway
- B. Benches / Picnic Areas
- C. Trail Lighting to be provided with non-glare fixtures.
- D. Drinking Fountain

**NOTE:**

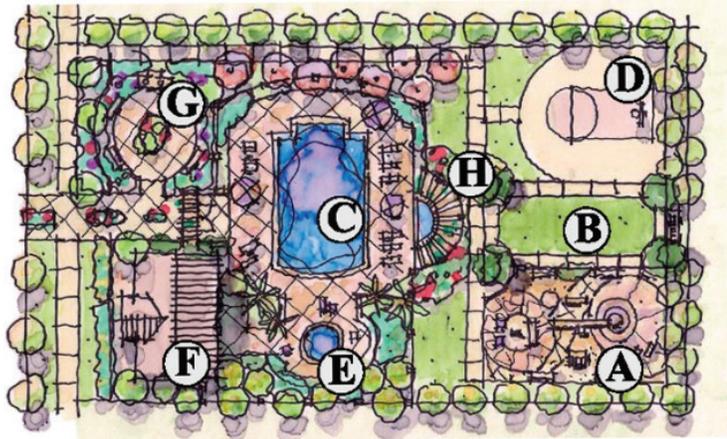
Refer also to Figure 5-71, Landscape Planting Guidelines.



**FIGURE 3-9  
CONCEPTUAL PLAN PA 4 (2.0 ACRES)**



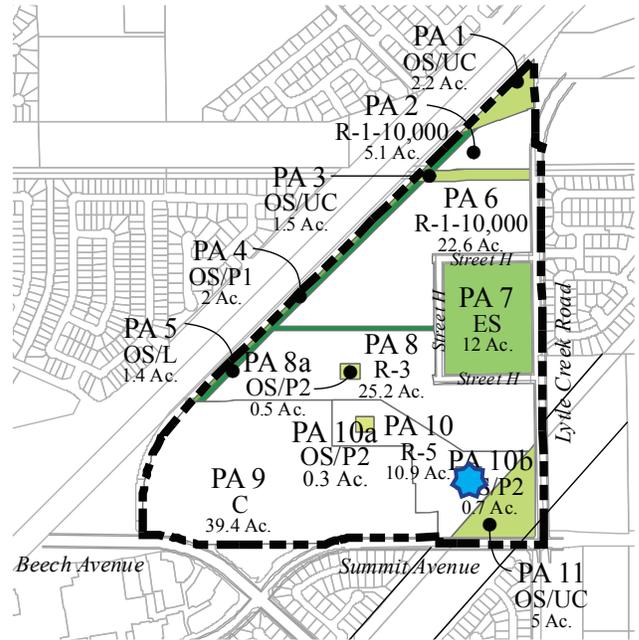
Key Map



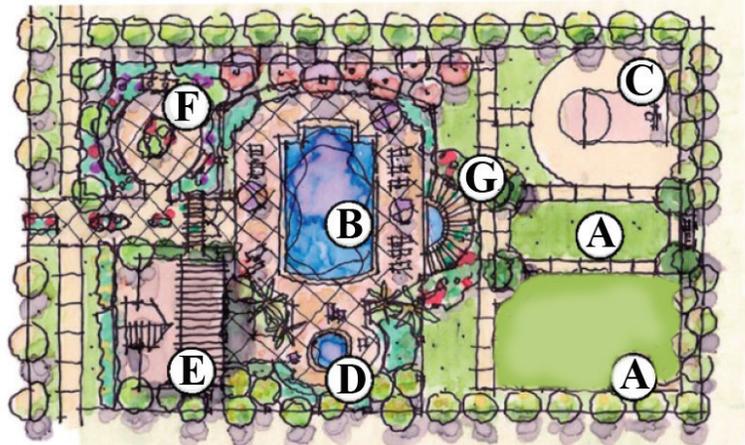
**LEGEND:**

- A. Tot Lot / Swings
- B. Turf Area
- C. Swimming Pool
- D. Basketball 1/2 Court or Sportcourt
- E. Spa
- F. Restrooms
- G. Outdoor Fireplace
- H. Shade Structure

**FIGURE 3-10  
 CONCEPTUAL PLAN PA 8A (0.5 ACRES)**



Key Map



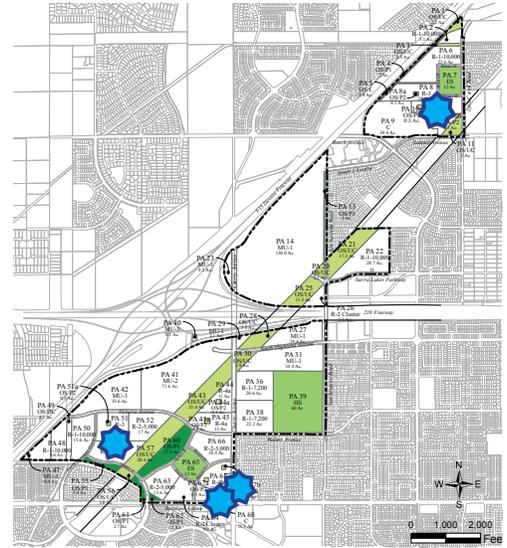
LEGEND:

- A. Turf Area
- B. Swimming Pool
- C. Sportcourt
- D. Spa
- E. Restrooms
- F. Outdoor Fireplace
- G. Shade Structure

FIGURE 3-11  
CONCEPTUAL PLAN PA 10B (0.7 ACRES)

**LEGEND:**

- A. Fireplace
- B. Spa
- C. Pool
- D. Shade Structure



**Key Map**



**FIGURE 3-12  
CONCEPTUAL PLAN PA 10A (0.3 ACRES), PA 51A (0.3 ACRES)  
PA 67A (0.3 ACRES), AND PA 67B (0.3 ACRES)**

### 3.4.3 WESTGATE CENTER

Westgate Center will include a 3.0 acre linear park, and a multi-purpose meandering trail and Class 1 bikeway. A Par Course (exercise course) traverses its entire length, with benches and rest areas. A six to eight foot high berm will also serve as a landscape buffer on the eastern edge adjacent to San Sevaine Road (Refer to Figure 3-12, Conceptual Plan PA 13).

**TABLE 3.7 – WESTGATE CENTER GREENBELT PARK AMENITIES**

| PA 13 - 3.0 acres<br>Figure 3-13   |
|--|
| <ul style="list-style-type: none"> <li>• 8' wide Meandering Trail</li> <li>• Class I Bikeway</li> <li>• Par Course</li> <li>• Benches / Rest area</li> <li>• 6'-8' High Variable Berm Landscaped Buffer</li> </ul> |

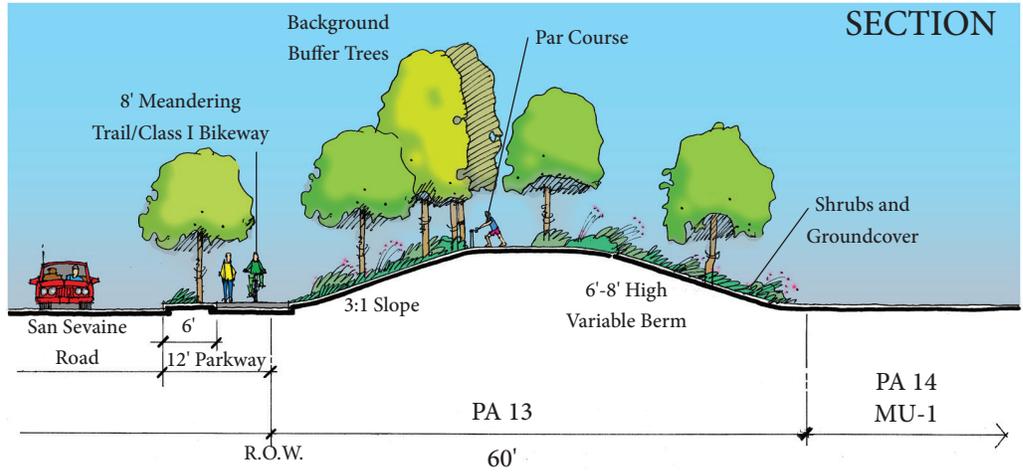
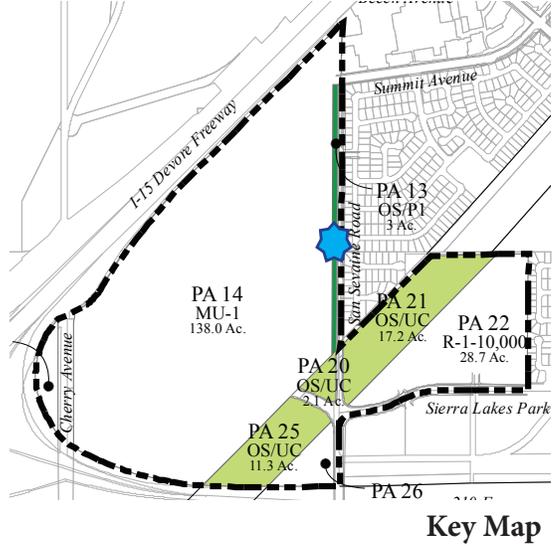
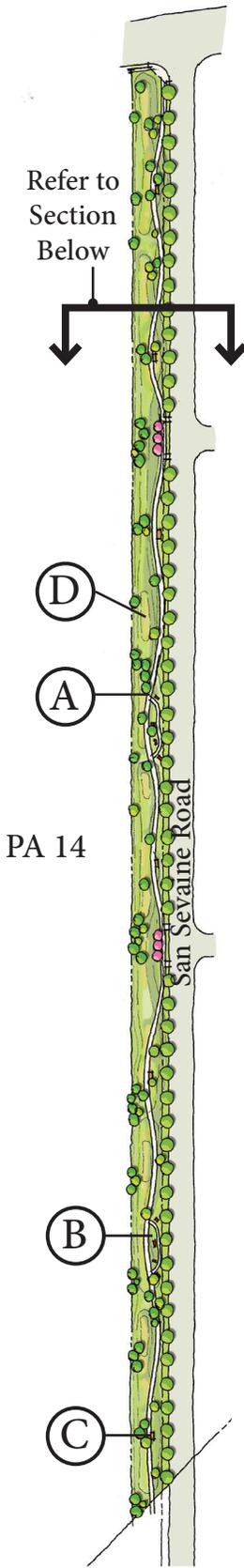
# WESTGATE

LIVE

WORK

SHOP

PLAY



- LEGEND**
- A. 8' Meandering Trail and Class I Bikeway
  - B. Par Course
  - C. Bench
  - D. 6'-8' High Variable Berm

**FIGURE 3-13**  
**CONCEPTUAL PLAN PA 13 (3.0 ACRES)**

### 3.4.4 WESTGATE WEST

Westgate West includes 24.7 acres of public parks and a 1.9 acres of private recreation areas.

PA 60, the major community gathering and focal point is the 17.5 acre community park will provide a lake (1.7 acres minimum), basketball and sport courts, two dog parks, restrooms, barbecues and picnic shelters, among other amenities listed in Table 3.8, Westgate West Park and Recreation Area Amenities. Numerous walkways and bike paths will link the park with the larger community. Refer to Figure 3-14, Conceptual Plan PA 60 (17.5 acres).

PA 55, PA 61, and PA 62, will have an 8' wide concrete trail for walking, jogging and biking and will meander through all three Planning Areas. The multi-purpose trail will provide a Par Course for various types of exercise stations along its path. The trail provides access to picnic areas. The trail will also connect to the City's main regional trail located along the southern edge of the Community Area. It will also provide a greenbelt buffer and park amenity for the existing homes in the Village of Heritage to the south. Refer to Figure 3-12, Conceptual Plan PA 55 (3.4 acres, PA 61 (2.7 acres), and PA 62 (1.1 acres).

Five private recreation areas located in Planning Areas 44a (0.5 acres), PA 45a (0.5 acres), 51a (0.3 acres) and PAs 67a (0.3 acres), and 67b (0.3 acres) will serve their respective residential community. The these private recreation areas have been conceptually planned to provide amenities such as sport courts, pool, spa, tot lot, picnic and barbecue area, open play turf area, and parking lot. Refer to Figure 3-15, Conceptual Plan PA 44a (0.5 acres) and PA 45a (0.5 acres). The park concept exhibit for private recreation areas that are 0.3 acres in size is located in Section 3.4.2, Falcon Ridge, refer to Figure 3-12, Conceptual Plan. PA 10a, which is located in Falcon Ridge, and PA 51a, and PA 67a and PA 67b which are located in Westgate West.

Table 3.8, Westgate West Park and Recreation Area Amenities below lists the park amenities planned.

## WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

**TABLE 3.8 – WESTGATE WEST PARK AND RECREATION AREA AMENITIES**

**PA 60 - 17.5 acres**

Figure 3-14

- Lake (1.7 acres minimum)
- Tot Lot with Sail Shades
- Restroom
- Shade Trellis
- Shade Pavilion
- Parking Lot
- Dog Park (2) Large Dog, Small Dog
- Basketball - Full Court
- Multi-Use / Sport Court
- Picnic Table with Barbecues
- 10' wide Walk and Bikeways
- Universal Access Play Lot
- Soccer Field
- Baseball Field

**PA 55 – 3.4 acres, PA 61– 2.7 acres & PA 62 – 1.1 acres**

Figure 3-15

- Picnic Areas
- Par Course – 7 Exercise Stations
- 8' wide Concrete Trail
- Connections to Regional Trail
- Turf / Free Play Areas
- Entry Monument (Refer to Figure 5-53, Entry Monument Concepts)

**\*PA 44a - 0.5 acres and \*PA 45a - 0.5 acres**

Figure 3-16

- Tot Lot / Swings
- Turf Area
- Swimming Pool
- Basketball Half-Court or Sport Court
- Spa
- Restrooms
- Outdoor Fireplace
- Shade Structure

*\*Private recreation area to be maintained by a homeowners association or other similar entity.*

**\*PA 51a - 0.3 acres, \*PA 67a - 0.3 acres, and \*PA 67b - 0.3 acres**

Figure 3-12 (in Section 3.4.2)

- Fireplace
- Spa
- Pool
- Shade Structure

*\*Private recreation area to be maintained by a homeowners association or other similar entity.*

# WESTGATE

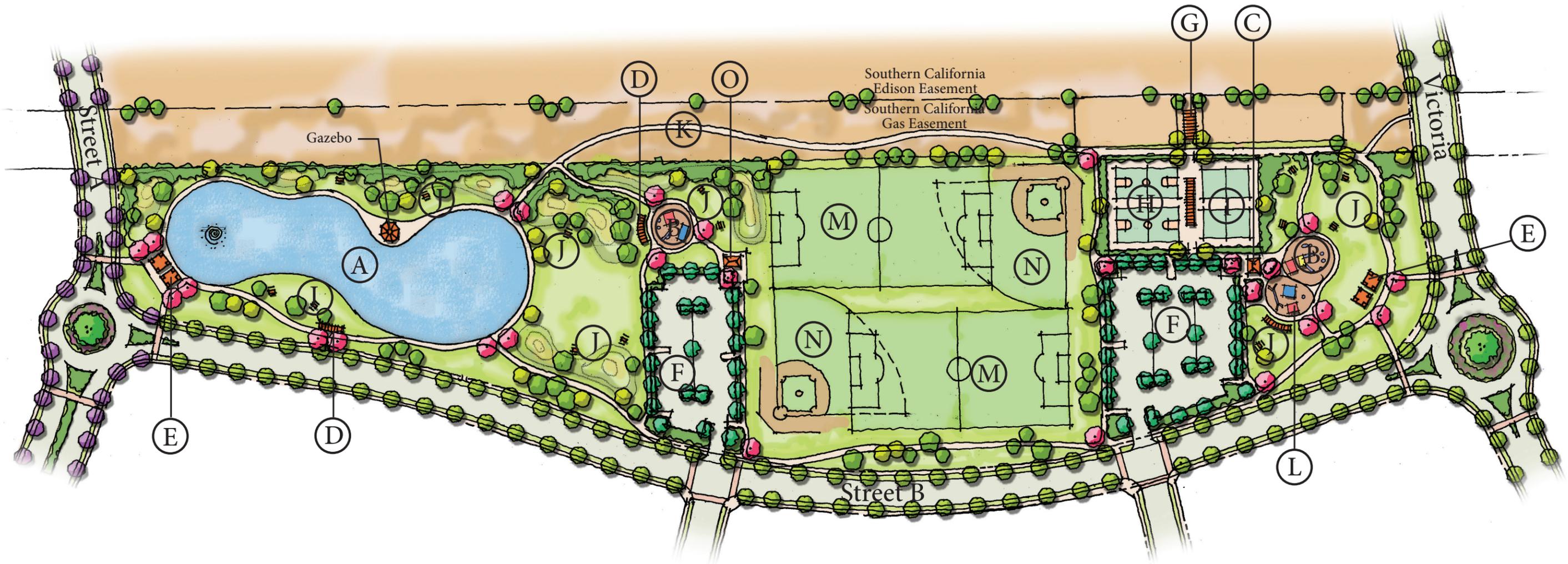
LIVE

WORK

SHOP

PLAY

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**LEGEND:**

- A. Lake 1.7 acre min.
- B. Tot Lot with Sail Overheads
- C. Restroom
- D. Shade Trellis
- E. Shade Pavilion
- F. Parking Lot
- G. Fenced Dog Park (1 large dog, 1 small dog)
- H. Basketball Full Court
- I. Multi-Use / Sport Court
- J. Picnic Tables with Barbeques
- K. 10' Wide Walk and Bikeways
- L. Universal Access Play Lot
- M. Soccer Field
- N. Baseball Field
- O. Concession/Restroom Building



**Key Map**

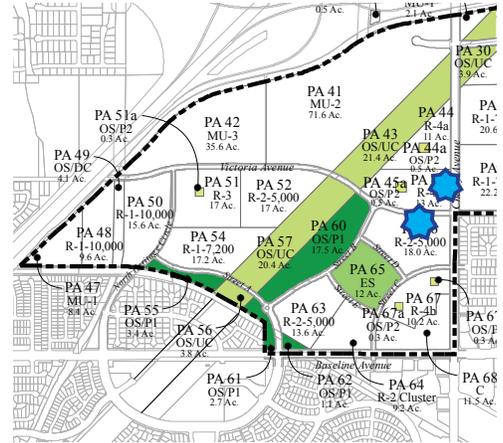
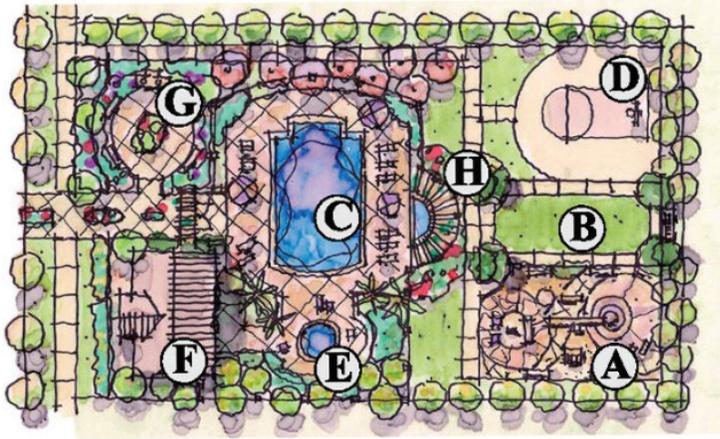
**FIGURE 3-14  
CONCEPTUAL PLAN PA 60 (17.5 ACRES)**

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**FIGURE 3-15**  
**CONCEPTUAL PLAN PA 51 (3.4 ACRES), PA 61 (2.7 ACRES),**  
**AND PA 62 (1.1 ACRES)**



**LEGEND:**

- A. Tot Lot / Swings
- B. Turf Area
- C. Swimming Pool
- D. Basketball 1/2 Court or Sportcourt
- E. Spa
- F. Restrooms
- G. Outdoor Fireplace
- H. Shade Structure

**Key Map**



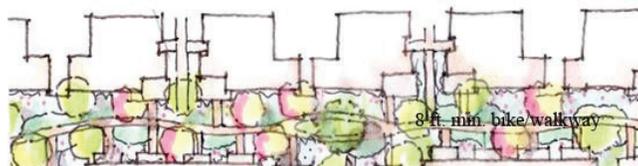
**FIGURE 3-16  
CONCEPTUAL PLAN PA 44A (0.5 ACRES) AND PA 45A (0.5 ACRES)**

### 3.4.5 BIKEWAYS AND PASEOS

The Westgate Specific Plan has a multi-faceted bike and paseo plan that links the entire community together. It also connects to the City wide regional trail system. Refer to Figure 3-17, Bikeway and Paseo Plan.

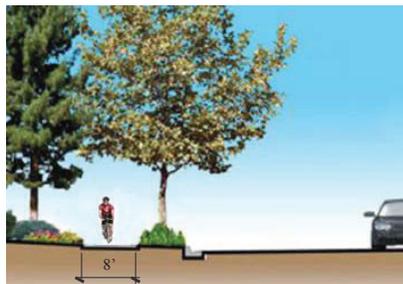
- With four public parks and three school sites, there will be a significant number of children and adults that will be walking or bicycling within the community. In addition to the bike path in the utility corridor, a Class I (off-street) bike lane will provide residents of the four community areas both pedestrian and bicycle access along landscape parkways to park and school sites.
- For those residents interested in activities beyond the four community areas, Class I bike lanes provide connections to City wide amenities, such as Fontana Park and Jessie Turner Center to the north. To the south, access to the Village of Heritage Community Center, McDermott Sports Park, the Heritage Intermediate School and the City Regional trail in the SANBAG right of way is provided. With the high school site planned in Westgate East, this Class 1 bike lane will also facilitate access for many students from Heritage and neighboring communities.
- Class II bike lanes will link the community and shall be provided on all major streets which do not include off-street bike lanes.
- Sidewalks with landscaped parkways and street trees will also be provided to link the community together. Refer to Figure 3-18, Circulation Plan, and Figures 3-19 and 3-19a, Circulation Sections, for locations and widths of all sidewalks.
- A community paseo, public landscaped corridors with 8' minimum wide combination bike and walkways shall be a minimum width of 25'.

#### Community Paseo Example

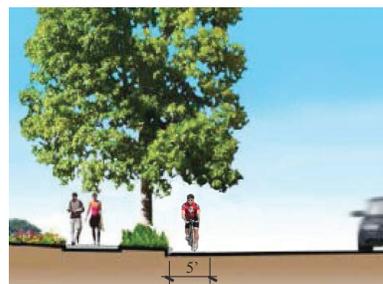


*A minimum 8' wide combination bike and walkway shall be provided in the community paseo.*

#### CLASS I AND II BIKE LANES



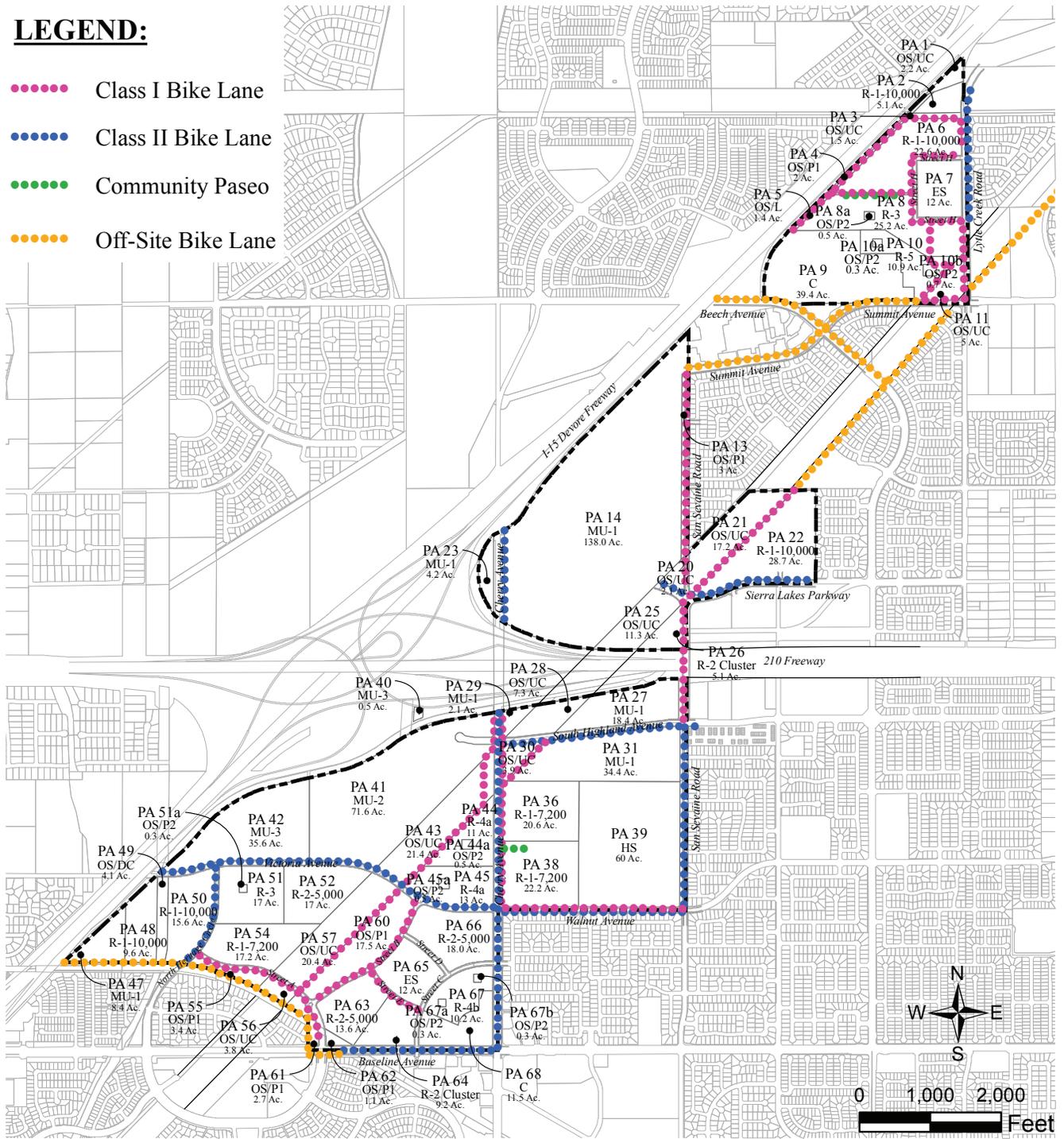
Class I Bike Lane



Class II Bike Lane

**LEGEND:**

- Class I Bike Lane
- Class II Bike Lane
- Community Paseo
- Off-Site Bike Lane



**FIGURE 3-17  
BIKEWAY AND PASEO PLAN**

## 3.5 SUSTAINABILITY

The goal of sustainability, also referred to as green development, is to create healthier communities, healthier and more energy efficient buildings, and to reduce the impact on our natural resources.

Westgate will become one of the first large scale planned communities in the Inland Empire required to implement the nation's first major mandatory green building standards code referred to as California Green Building Standards Code (CalGreen). By adhering to the mandatory requirements for residential and non-residential development regulations, Westgate will achieve significant reductions in greenhouse gas emissions, energy consumption and water use.

CalGreen, for example, requires that every new building constructed in California reduce water consumption by 20 percent, divert 50 percent of construction waste from landfills and install low pollutant-emitting materials. It also requires separate water meters for nonresidential buildings' indoor and outdoor water use, with a requirement for moisture-sensing irrigation systems for large scale landscape projects and mandatory inspections of energy systems (e.g., heat furnace, air conditioner and mechanical equipment) for nonresidential buildings over 10,000 square feet designed to ensure that all are working at their maximum capacity and according to their design efficiencies.

In order to further conserve resources, in addition to the above, Westgate is designed to use recycled water for landscape in public parks and rights of ways. The Inland Empire Utilities Agency (IEUA) is in the process of building a regional recycled water system to serve Westgate and others areas in Fontana. Westgate infrastructure plans include a reclaimed water "purple pipe" system that will be installed as part of the major streets for all medians, parkways and public parks. It will be connected to the IEUA master plan upon its completion. Refer to Section 3.8.6 for a discussion of the master planned system for Westgate.

By implementing CalGreen mandatory standards and by providing jobs near housing, with retail, parks and schools within walking distance of residential community areas, Westgate will be at the forefront of Green Development communities.

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### 3.6 CIRCULATION PLAN

A Circulation Plan shown in Figure 3-18 was prepared based upon a traffic study prepared for this Specific Plan. It identifies the major transportation corridors and street alignments required within the Specific Plan project area. Typical street cross sections for each of the major streets in the Circulation Plan and for local and private streets are provided in Figure 3-19 and Figure 3-19a, Circulation Sections. Intersection alignments for major roads in the Specific Plan are located in the Appendix.

The Westgate Specific Plan project area is located adjacent to the I-15 and Route 210 Freeways. The I-15 Freeway, a major interstate transportation corridor, connects San Diego with Las Vegas. Access to Westgate from the I-15 Freeway occurs at Baseline Avenue and Summit Avenue. The Route 210 Freeway connects from Los Angeles to the west and San Bernardino to the east. It has a High Occupancy Vehicle lane and provides excellent regional access to other nearby interstate freeways, including the 15, 215, 10 and 60 Freeways. The Cherry Avenue / Route 210 Freeway interchange provides direct access into Westgate.

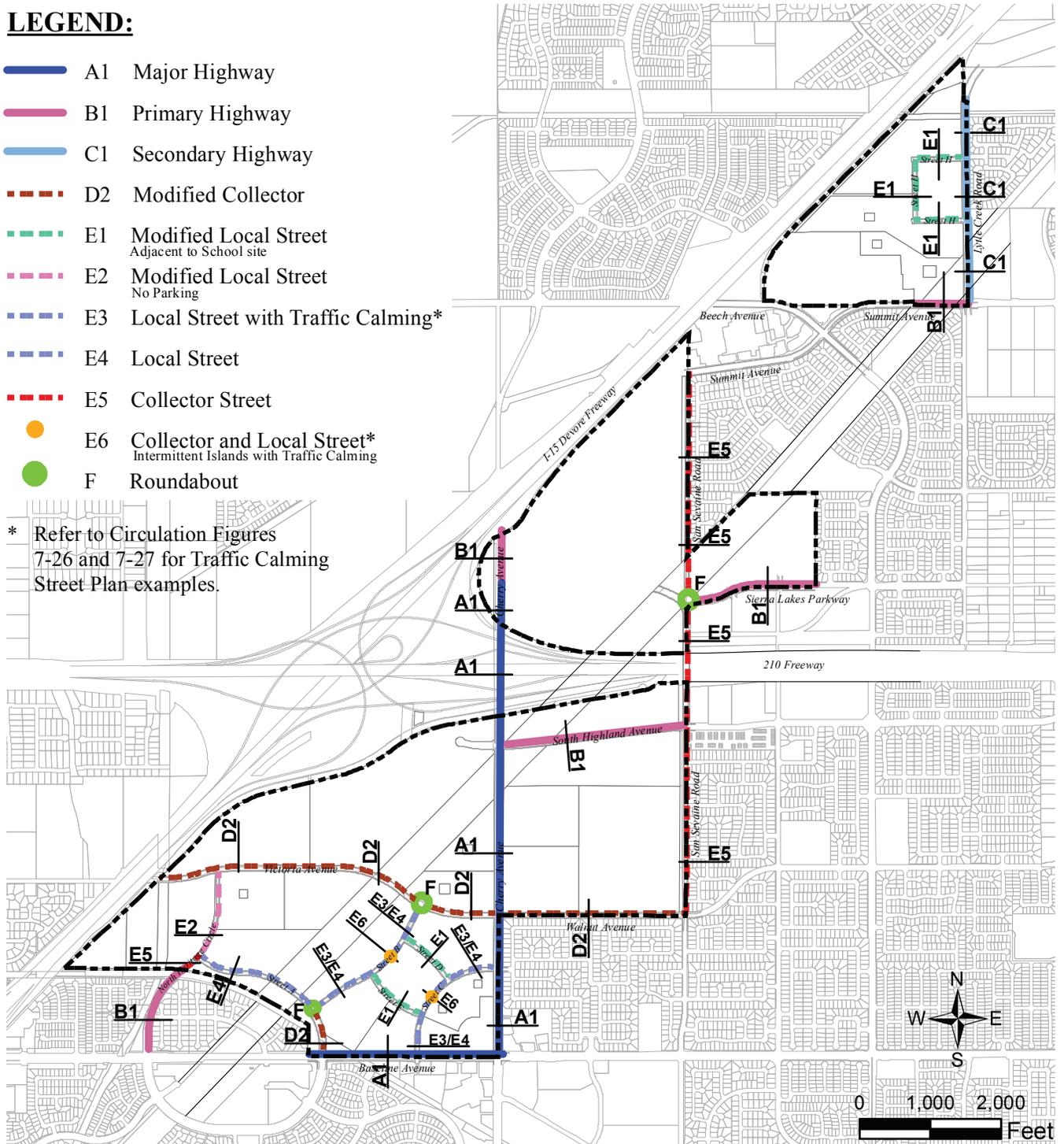
Local Streets are not shown on the Circulation Plan and will be provided on a parcel by parcel basis when applications for development occur. The Local Street classification with a 36 feet curb-to-curb section may be restricted to cul-de-sac and short local streets (public or private) no longer than 650 feet. They may exceed the 650-foot length where a “bend” exists (“U” shaped or “L” shaped streets), provided that each roadway segment does not exceed 650 feet in length. If this Local Street has parking and garage door loading from only one side of the street, then the requirements above may be exceeded to double.

The Local Street classification of 40 feet wide curb-to-curb shall be used for local collector streets or backbone streets which exceed the above standards. In both cases, both sides of the street feature a 5-foot-wide street-adjacent landscape area and a 5-foot-wide sidewalk. When there is a residential rear or side yard condition and / or a community theme wall an additional 10-foot landscape easement, as measured to back of sidewalk, shall be provided.

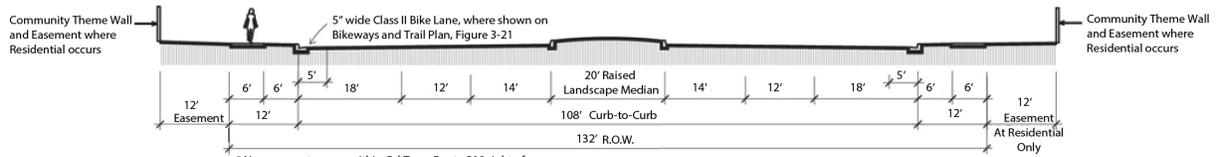
**LEGEND:**

- A1 Major Highway
- B1 Primary Highway
- C1 Secondary Highway
- - - D2 Modified Collector
- - - E1 Modified Local Street  
Adjacent to School site
- - - E2 Modified Local Street  
No Parking
- - - E3 Local Street with Traffic Calming\*
- - - E4 Local Street
- - - E5 Collector Street
- E6 Collector and Local Street\*  
Intermittent Islands with Traffic Calming
- F Roundabout

\* Refer to Circulation Figures 7-26 and 7-27 for Traffic Calming Street Plan examples.

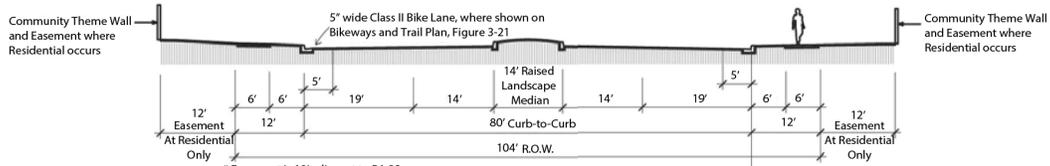


**FIGURE 3-18  
CIRCULATION PLAN**



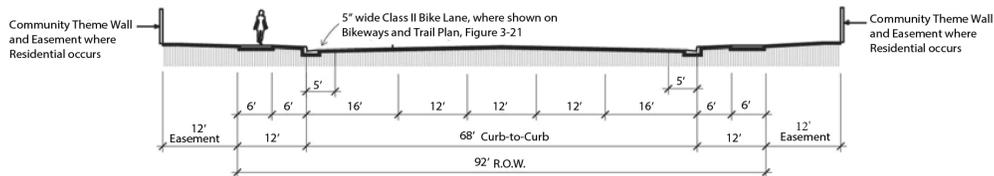
\* No easement occurs within Cal Trans Route 210 right of way. Easement width is 25' on Baseline adjacent to residential uses.

**A1**  
MAJOR HIGHWAY

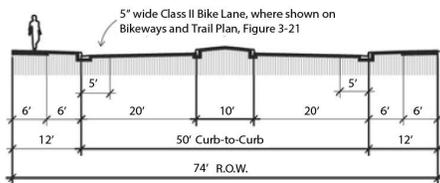


\* Easement is 10' adjacent to PA 22

**B1**  
PRIMARY HIGHWAY



**C1**  
SECONDARY HIGHWAY

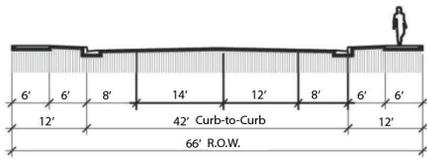


**D2**  
MODIFIED COLLECTOR (RAISED MEDIAN)  
\*Median may be wider at Street A and Baseline Avenue Entry

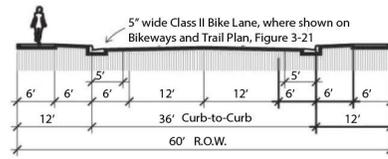
**Notes:**

1. Sidewalk widths shall increase to eight feet (8') wide for Class I bike lanes where shown on Figure 3-21, Bikeway & Paseo Plan.
2. Easements shown are required for landscaping when adjacent to residential uses only and shall be located in a lettered lot or easement.
3. Bike lanes and sidewalks may encroach two (2') into easements.

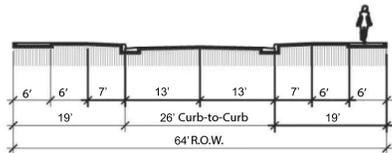
**FIGURE 3-19**  
**CIRCULATION SECTIONS**



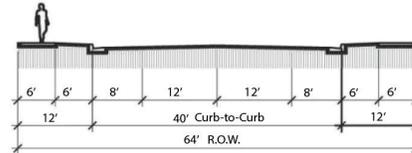
**E1**  
MODIFIED LOCAL STREET - WITH PARKING  
\* 14' located on school side



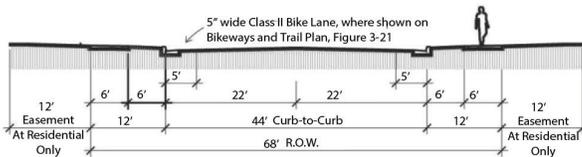
**E2**  
MODIFIED LOCAL STREET - NO PARKING



**E3**  
LOCAL STREET - With Traffic Calming



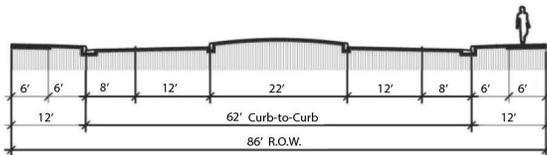
**E4**  
LOCAL STREET - WITH PARKING



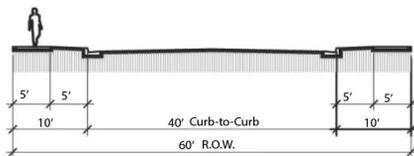
**E5**  
COLLECTOR STREET

**Notes:**

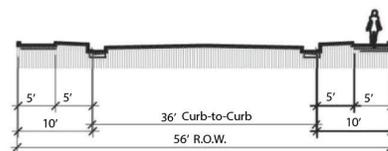
1. Sidewalk widths shall increase to eight feet (8') wide for Class I bike lanes where shown on Figure 3-21, Bikeway and Paseo Plan.
2. Easements shown are required for landscaping when adjacent to residential uses only and shall be located in a lettered lot or easement.
3. Bike lanes and sidewalks may encroach two (2') into easements.



**E6**  
COLLECTOR AND LOCAL STREET - INTERMITTENT CURB ISLANDS  
(Approximately 150-200' segments)



40' WIDE LOCAL STREET SECTION  
(Not shown on Circulation Plan)



36' WIDE LOCAL STREET SECTION  
(Not shown on Circulation Plan)

**FIGURE 3-19A**  
**CIRCULATION SECTIONS**

## **3.7 COMMUNITY SERVICES**

### **3.7.1 SCHOOLS**

Westgate is located within the Etiwanda School District for Kindergarten through 8th grades and within the Chaffey Joint Union High School District for 9th to 12th grades.

In 2007, The Etiwanda School District purchased a site of 12 acres within northern portion of the Westgate Specific plan in Falcon Ridge (PA 9) for construction of a K-5th grade school. No specific time frame has been determined regarding development of the school site.

The Etiwanda School District also requested that a second K-5th grade site of 12 acres be reserved for potential future student growth to serve the future student population. While the Land Use Plan has reserved an additional site in the southern portion of the project area, within Planning Area 65, the District has indicated this site may not be needed and will make a determination at a future date. In the event this is not acquired by the Etiwanda School District, the site shall revert to residential use with a R-3a Residential Density land use designation. In this case, all respective land use development regulations and other Sections of the Specific Plan shall apply providing the Specific Plan does not exceed a dwelling unit total of 3,248 dwelling units, or as otherwise allowed in the Specific Plan. If additional units are requested beyond the 3,248 dwelling units, or as otherwise allowed in the Specific Plan, a Specific Plan amendment shall be required.

The Etiwanda School District has indicated it has sufficient capacity for its intermediate grades six through eight.

The Chaffey Joint Union High School District also purchased a site within the Westgate Specific Plan in 2006. The 60 acre site is located within Planning Area 39 and will provide capacity for Westgate students and many of the surrounding neighborhoods.

### **3.7.2 POLICE**

Westgate will be served by the City of Fontana Police Department. The main police headquarters is located at 17005 Upland Avenue, near Sierra Avenue, approximately five miles away. Currently, a police sub-station is located nearby to the project site at 14940 Summit Avenue in a shopping center with Kohl's department store.

The police department indicates that it maintains a ratio of 1.08 sworn officers per 1,000 residents with just over 200 officers based on a population of just over 200,000 residents. As part of the ongoing commitment and dedication to the Fontana community, and in an effort to improve law enforcement service to its citizens through community oriented policing and problem solving, the Police Department has implemented the "Area Commander" Program. The program is geared for providing more effective and intensive police response to specific community needs as addressed by its citizens. This program entails police management level personnel including four patrol Lieutenants.

The Westgate site is located in two of the four policing areas of the city - Area 1 is located north of the Route 210 Freeway; and Area 2 is located south of the Route 210 Freeway and north of Foothill Boulevard. Police protection needs will be determined as part of the Environmental Impact Report process.

### 3.7.3 FIRE

The San Bernardino County Fire Department currently serves the project area. The closest fire station to the site is the Valley Division - Station #78 located at 7110 Citrus Avenue, Fontana, CA 92336. This fire station is approximately 1.5 miles from the project site. Fire protection needs will be determined as part of the Environmental Impact Report process and per any future Development Agreement.

### 3.7.4 LIBRARY

The San Bernardino County Library system recently opened the regional Fontana Lewis Library & Technology Center in the spring of 2008. This library is located within the city's civic center at 8437 Sierra Avenue, Fontana, CA 92335. This library is located approximately five miles from the project site. Additional library needs, if any, will be determined as part of the Environmental Impact Report process.

### 3.7.5 SOLID WASTE DISPOSAL AND RECYCLING

Solid waste is collected by Burrtec Waste Industries Inc., a private company under contract with the City of Fontana. Burrtec provides refuse and recycling disposal services for the entire city. The Mid-Valley Landfill, owned by San Bernardino County, currently receives solid waste for the project area.

## 3.8 PUBLIC FACILITIES

The following describes the various utilities within the Specific Plan area including: drainage, water quality, sewer, water, recycled water, electric, telephone, gas and cable television. Master plans for storm drain, sewer, and water are included. These master plans are based on implementing the standards in the City of Fontana General Plan and various City infrastructure studies. Electric, telephone, gas and cable television utilities will be connected at the most convenient existing locations and extended throughout the site during the phased construction of the project. The providers for each of these utilities are summarized as part of this section.

### 3.8.1 STORM DRAIN MASTER PLAN

The project site slopes generally southwesterly at approximately one and a half to two percent. With few exceptions, flows upstream of the site are generally intercepted by the I-15 freeway. Flows migrate through the site in a sheet flow condition. While the old San Sevaine earthen channel still exists, it no longer serves regional drainage needs and will be abandoned and filled in as development occurs.

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Storm drainage master planning is a joint responsibility of the City of Fontana and the San Bernardino County Flood Control District (SBCFCD). The SBCFCD is responsible for the regional channels, debris basins, and detention facilities. The City is responsible for the acceptance, maintenance and master plan design of the local drainage collection systems, local detention basins, and the storm drain lines carrying run-off to the County regional facilities.

The City of Fontana has adopted a Master Plan of Drainage for Fontana and the project site is within the Master Plan area. The master planned drainage facilities are designed for various design capacities. The project will be responsible to safely convey the 100-year proposed discharge to a regional or city master planned drainage facility.

The project area is served by three (3) master planned facilities. First is the Summit Avenue Storm Drain, an existing 12' x 8' reinforced concrete box that follows Summit Avenue west to the I-15 freeway, thence southwest along the south side of the I-15 freeway to Cherry Avenue where it crosses under the freeway before connecting to San Sevaine Basin #5. The second is the Highland Channel, an existing concrete open channel and reinforced concrete box. Third is the Baseline Avenue Storm Drain, an existing double 8' x 10' reinforced concrete box. The project includes various connections to these facilities. All of the regional and proposed systems can be seen on Figure 3-20, Storm Drain Master Plan.

The storm water run-off from the Specific Plan area will generally surface flow from north to south throughout the site. This water will be picked up throughout the site in the proposed system of master storm drains and local lines designed to handle project flows and off-site flows, where necessary. The drainage design for the Westgate Specific Plan will be done in a fashion that will ensure that flows from the project are within the design parameters of the downstream completed facilities.

The detailed engineering design of the storm drain system will refine the concept currently shown on Figure 3-20, Storm Drain Master Plan.

### 3.8.2 WATER QUALITY MANAGEMENT

The Westgate Specific Plan area is located within the jurisdiction of the Santa Ana Regional Water Quality Control Board and the Chino Basin Watershed Management Area. Storm flows from the project are tributary to the San Sevaine Channel, the Santa Ana River - Reach 3, and ultimately, to the Prado Flood Control Basin. The San Sevaine Channel is a hard-lined facility that is regularly maintained by the San Bernardino County Flood Control District.

Storm water runoff will be treated during and after construction in conformance with the requirements of the general permits of the Regional Board and the San Bernardino County Water Quality Management Plan. Although the project will generate a number of pollutants because of development, there will be minimal impacts to the Chino Basin Watershed Management Area because of the aforementioned treatment.

Low Impact Development (LID) principals will be integrated into the design of the project. LID is a stormwater management approach whose goal is to mimic a site's predevelopment hydrology by using design techniques that infiltrate, filter, store, evaporate, and detain runoff close to its source. Roadways present many opportunities for LID and green infrastructure application. Roadway rights of way integrated with green techniques are often called "green streets". Green streets provide a source control for a main contributor of stormwater runoff and pollutant load. Green streets can incorporate a wide variety of design elements including street trees, permeable pavements, bioretention, and swales. Although the design and appearance of green streets will vary, the functional goals are the same: provide source control of stormwater, limit its transport and pollutant conveyance to the collection system, restore predevelopment hydrology to the extent possible, and provide environmentally enhanced roads. Successful application of green techniques will encourage soil and vegetation contact and infiltration and retention of stormwater. Design techniques include drawing street run-off to landscape areas, parkway areas, greenbelts, open spaces and the use of porous pavement or pavers whenever possible and practical. Specific LID and green street measures will be addressed during project design and included into the final Water Quality Management Plan (WQMP).

The project will employ site design, source control (both structural and non-structural) and treatment control BMP's (Best Management Practices) utilizing best available technology to the maximum extent practicable (M.E.P.). In particular, the project will provide on-site infiltration devices to minimize the deleterious impacts to the watershed, locally and regionally. Among the expected pollutants in storm water runoff from the developed project; copper, lead, and pathogens are of particular concern within the Santa Ana River Reach 3 watershed. Infiltration is the preferred method for treating/removal of these pollutants from storm water.

Storm water treatment in the Westgate Specific Plan will include a variety of infiltration techniques, depending on the nature of the land use within each particular planning area. These will include infiltration basins, vegetated swales, underground infiltration, and bio-retention planters. The particular technique(s) will be determined during more detailed planning and engineering of the planning areas.

Where practical, basins (or other infiltration devices) will be located and sized to treat individual planning areas (PA's) or tracts. If it is impractical to treat an individual PA or tract within its own boundary, then a regional basin concept can be proposed. The regional basin concept provides a common treatment area that can be shared by several adjoining PA's. In such instances, the common regional basin would accommodate the excess above the capacity of the in-tract treatment facilities. It is not intended to have the regional basin(s) eliminate or reduce the number of individual basins within each PA.

Maintenance costs of regional basins that treat multiple tracts will be funded by in-lieu fees paid by the tributary PA's. The regional basins must be constructed by the master developer prior to the development of the tributary tracts / PA's. The storm drain system and water quality facilities will be designed to work in

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combination with one another. Locations and configurations of the water quality treatment facilities will be established during the site planning of the Westgate community areas and individual PA's.

Figure 3-21, Water Quality Management Plan, illustrates the conceptual locations of the treatment basins (or other devices, as may be appropriate). The commercial, business zones, schools and mixed-use zones will employ a combination of underground and open basin infiltration and other approved mechanical devices. Non-active park grounds will be utilized as water quality treatment basin locations.

Each school site within the project area will have its own Water Quality Management Plan, based on requirements of the general permits of the Regional Board and the San Bernardino County Water Quality Management Plan.

The San Bernardino County WQMP design criteria stipulates that water quality facilities be designed to have a treatment volume capacity equivalent to the volume produced from a 24-hour, 85th percentile (2-year) storm event. The city of Fontana requires fencing around basins that exceed 18" in depth. Such basins must have drawdown times not-to-exceed 72 hours. Basins should not exceed six (6) feet in height from top of slope to toe of slope, including two (2) feet of freeboard. A secondary surface drainage outlet must be provided. Basin design shall follow San Bernardino County Flood Control District standard basin design guideline criteria. The city of Fontana will accept surface swales for infiltration purposes provided the swale has a minimum flow line of 2.0%. The maximum grade accepted for water quality measures is 2.5%.

Non-active park grounds can be utilized as water quality treatment basin locations. Runoff from parking lots within parks must be treated within the park boundaries prior to release of run-off to an adjacent property or drainage facility.

To the extent necessary, runoff from the utility corridor will be treated within the corridor. Shallow trenches/swales may be utilized. However, the design and use of such trenches/swales will be subordinated to the requirements of the existing electrical transmission towers, gas mains and water mains. For example, minimum setbacks must be maintained from the electrical transmission towers. Furthermore, it will be necessary to ensure that a drivable maintenance road be preserved within the corridor. Design of the surface treatment facilities within the corridor will require close coordination with, and the consent of, the affected utility companies.

Water quality management will be enhanced by requiring that homebuilders provide LID improvements within roadway rights of way, common areas, and on each lot or parcel of development. Roadway LID improvements would include porous pavement and pavers, where practical, to provide increased infiltration surface area.

Site-specific preliminary Water Quality Management Plans will be prepared during the Tentative Tract Map or Design Review stage. Storm Water Pollution Prevention Plans will be prepared prior to grading permits. The water quality control facilities and devices will generally be maintained by community/homeowners' associations or by a maintenance district.

### 3.8.3 SEWER MASTER PLAN

The collection of sewer flow from the Specific Plan area is to be provided by the City of Fontana. Currently, sewage is collected by the City and then transported via pipelines to the Inland Empire Utility Agency (IEUA), with whom the City contracts for treatment and disposal. Ongoing construction assures the capacity needed to serve the Specific Plan area.

IEUA is the current purveyor responsible for the construction and maintenance of the wastewater treatment facilities and the sewer interceptor lines. The City of Fontana is responsible for constructing and maintaining the collection system within the City limits.

Figure 3-22, Sewer Master Plan, illustrates the existing and proposed sewer line sizes and locations. There is an existing 21-inch trunk sewer line in Cherry Avenue from Baseline Avenue to the SBCFCD Highland Channel. This reduces to an 18-inch trunk sewer line north of Highland Channel, under I-15 to Summit Avenue. There is also an existing 15-inch trunk line located at the southwestern corner of the Specific Plan area, on the west side of the Etiwanda/San Sevaine Drainage Channel. It will be necessary to construct a new sewer line under the Drainage Channel in order to connect the proposed sewer system to this 15" line. San Sevaine Road contains an existing 8, 10 and 12-inch sewer line from Walnut Avenue to Summit Avenue. The routing of the proposed sewer lines to serve the Specific Plan, as shown in Figure 3-22, Sewer Master Plan, is consistent with the sewersheds and load points shown in the City's 2013 Sewer System Master Plan.

The detailed engineering design of the sewage collection system will refine the design currently shown on the Sewer Master Plan. The facilities will be sized to meet the requirements of land owners within the project area based on proposed land uses and will meet the City of Fontana's standards.

### 3.8.4 WATER MASTER PLAN

The water service to the Specific Plan area is currently provided by two different agencies. To the east of Cherry Avenue is the Fontana Water Company and to the west of Cherry Avenue is Cucamonga Valley Water District. Initial discussions with the staff of these agencies indicate that there is adequate pressure and water flow to serve the project. Refer to the Figure 3-23, Water Master Plan.

The respective agencies' requirements shall be used in the detailed engineering design of the water distribution facilities.

The proposed CVWD water facilities will join existing water lines in Baseline Avenue, North Heritage Circle and Victoria Avenue. The proposed Fontana Water Company facilities will join existing water lines in Cherry Avenue, Summit Avenue and San Sevaine Road. The proposed line sizes and location are shown on the Water Master Plan, however, these sizes and locations will be further refined during final design.

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### 3.8.5 GRADING MASTER PLAN

The existing topography on the project site and surrounding areas slopes generally to the southwest. The slope is mild (1% to 3%), therefore, no significant grading will occur as development progresses. All grading will be done under the jurisdiction of the latest edition of the Uniform Building Code/California Building Code, and the City of Fontana, Building and Safety and Engineering divisions. Refer to Figure 3-24, Grading Master Plan.

In most areas, the proposed grades will be within 1 to 5 feet of existing ground. This may increase in commercial areas, where larger pads are typically needed. There may also be more grading needed in the vicinity of the I-210, I-15 interchange, as the adjacent sites blend with the freeway grading.

Remedial grading will be required in the area of the existing flood control earth channels. The San Bernardino County Flood Control District has relinquished to the project applicant their ownership of these channels because the function of the channels has been replaced with nearby concrete lined channels. Since these earthen channels are no longer needed, they will be filled in during grading.

It is anticipated that any alluvial soil and cobbles can be accommodated in the on-site grading. The site earthwork is expected to balance within the Specific Plan area, and no import or export is contemplated.

The Grading Plan will be further refined during final engineering design.

### 3.8.6 RECYCLED WATER MASTER PLAN

The City of Fontana's "Feasibility Study to Serve Recycled Water" draft report dated May 2006 was used as the basis for design for the recycled water system within the project. The Inland Empire Utilities Agency (IEUA) is in the process of building a regional recycled water system to provide recycled water to the City of Fontana. Figure 3-25, Recycled Water Master Plan, depicts existing and future IEUA facilities and preliminary locations of the Cucamonga Valley Water District and Fontana Water Company's recycled water system for the project.

IEUA has recently completed construction of a pipeline system near the western edge of the Specific Plan. That system now carries recycled water to the San Sevaine Basins where it is discharged for groundwater replenishment purposes. IEUA is planning to expand their system by constructing a pipeline in Baseline Avenue from their existing line at I-15 east to Cherry Avenue. IEUA has indicated that connections to this system can be made to provide recycled water service for the Specific Plan area south of I-210. At Cherry Avenue, proposed Cucamonga Valley Water District and Fontana Water Company pipelines will be constructed to extend northerly in Cherry Avenue to serve the Specific Plan areas on both sides of the street. The project developer(s) will be responsible for the construction and on-going maintenance of the recycled water distribution system lying west of the centerline of Cherry Avenue until it is accepted by the Cucamonga Valley Water District. Likewise, developer(s) will be responsible for the construction and on-

going maintenance of the recycled water distribution system lying east of the Cherry Avenue centerline until it is accepted by the Fontana Water Company. The recycled water system will be installed as development occurs.

A more detailed analysis of the size, location, and storage requirements of the recycled water system will be required as part of the final design. The recycled water pipe sizes will then be refined to meet the requirements of the project based on the proposed land use.

The goal is to serve Westgate with recycled water as it becomes available. It is expected that recycled water will be immediately available to serve the planning areas south of I-210. For the areas, north of I-210, it is estimated that offsite recycled water facilities will be constructed and recycled water supply will become available over the next five years. If development occurs prior to the availability of recycled water supply, then the system will be supplied in the interim, either with well water or with potable water.

## 3.9 UTILITIES

### 3.9.1 ELECTRIC SERVICE

Southern California Edison Company (SCE) serves the Specific Plan area. There is an existing 66kv overhead circuit that traverses the project along the south side of Baseline Avenue and serves as a substation-to-substation feed. However, if necessary this line may be tapped if SCE requires additional facilities to support requested electric load. SCE is prepared to serve the Specific Plan from three locations. 1) An existing underground 12kv backbone system on Baseline Avenue and Cherry Avenue. 2) The corner of Cherry Avenue and Sierra Lakes Parkway 12kv overhead circuit. And 3) the intersection of Summit Avenue Beech Avenue has a 12kv underground circuit.

SCE plans to expand its system to meet increased electrical demand resulting from recent and planned growth and development in the North Fontana – Rialto area. The SCE system expansion is called the Falcon Ridge Substation Project. This project includes a new 66kv substation, to be located east of Sierra Avenue and north of Summit Avenue near Fontana's east city limit, and 12 miles of new overhead 66kv subtransmission line. The new 66kv line will traverse the Westgate Specific Plan generally within the existing SCE transmission right of way / utility corridor. The subtransmission line will divert from the existing utility corridor near the 210 Freeway. Here, the proposed subtransmission line will run along the south side of the 210 Freeway (on the northern edge of PA 27) and then turn north at San Sevaine Road where it will span the Freeway at a right angle. It will continue running parallel to San Sevaine Road northward where it will return to an alignment within the utility corridor.

The developer will be required to construct all on-site underground substructures per the city's policy that meet the California Public Utility Commissions (CPUC) rule and SCE specifications.

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### **3.9.2 GAS SERVICE**

Southern California Gas Company (SCG) serves the Specific Plan area. Currently there is one eight-inch gas line in Cherry Avenue, and one eight-inch gas line in Baseline Avenue and one four-inch gas line in Summit Avenue. These three lines will provide service for the Specific Plan.

Service of SCG facilities to the project will be provided in accordance with SCG's policies and the CPUC rules governing gas distribution.

SCG requires new facilities that cross their pipelines maintain a minimum one (1) foot of vertical separation and new facilities installed parallel to their pipelines maintain a minimum two (2) feet of horizontal separation. Existing twelve (12) inch and larger gas lines require additional horizontal separation.

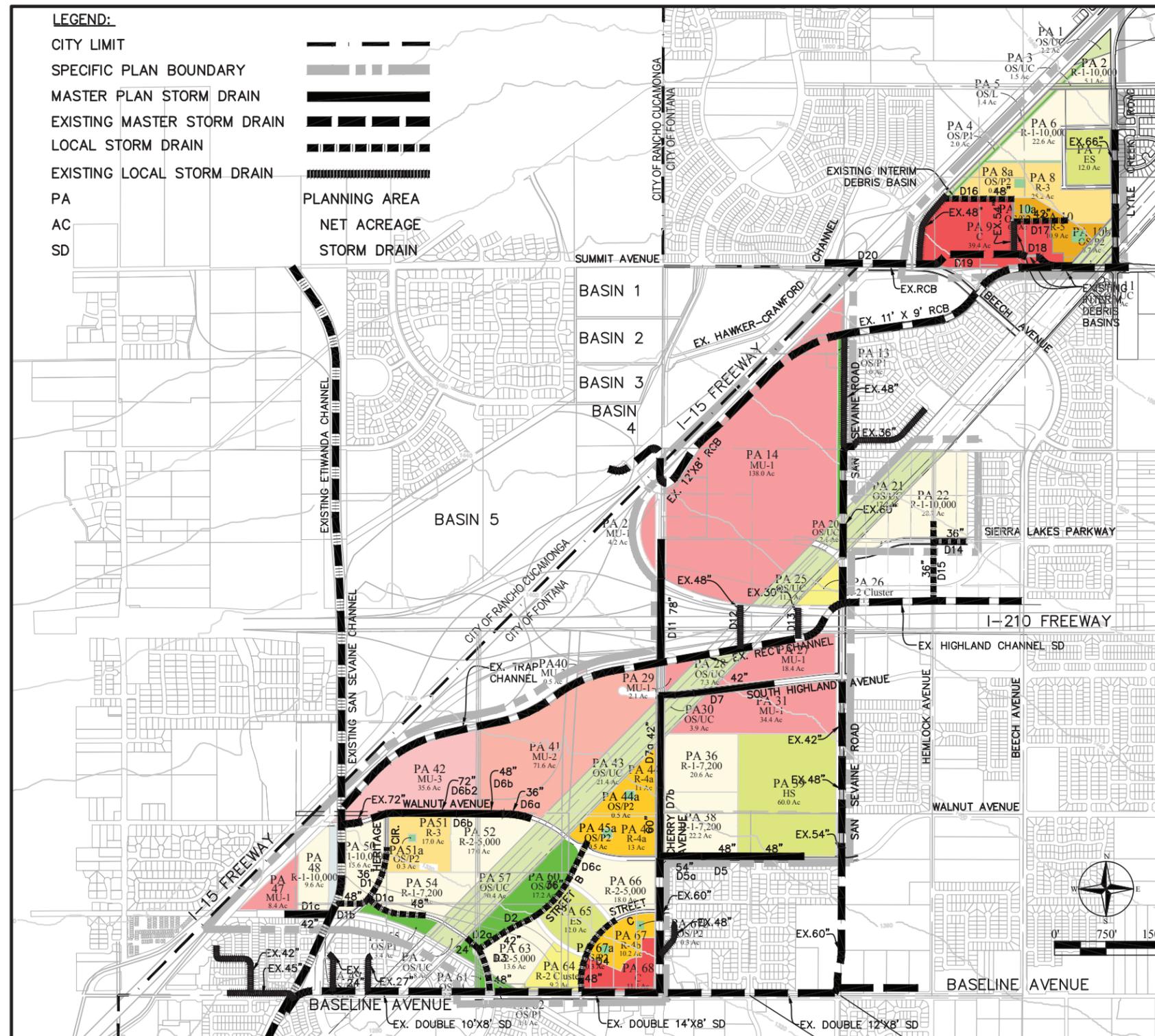
### **3.9.3 TELEPHONE SERVICE**

Two providers, AT&T and Verizon, serve the Specific Plan area. AT&T serves the area south of Sierra Lakes Parkway and east of Lytle Creek Road. Currently there are fiber-optic facilities located at Victoria Avenue and the 15 Freeway, and Victoria Avenue and Cherry Avenue. There are copper facilities at Baseline Avenue and Cherry Avenue. AT&T will service their portion of the Specific Plan from these locations. The developer will construct on-site underground conduit systems that meet with CPUC rules and AT&T standards.

The Verizon service area is north of Sierra Lakes Parkway and west of Lytle Creek Road. There are existing copper facilities in Sierra Lakes Parkway and San Sevaine Road and at Summit Avenue and Beech Avenue. These locations will serve the Specific Plan area. The developer will construct an on-site underground conduit system that meets with CPUC rules and Verizon standards.

### **3.9.4 CABLE TELEVISION SERVICES**

Time Warner Cable Company (TWC) will serve the Specific Plan area. There are existing TWC facilities on the west side of Cherry Avenue and along Summit Avenue. TWC will supply service to the Specific Plan area from these locations. The developer will be responsible for supplying trenching to install the on-site facilities per TWC specifications, as a franchise provided to the city.

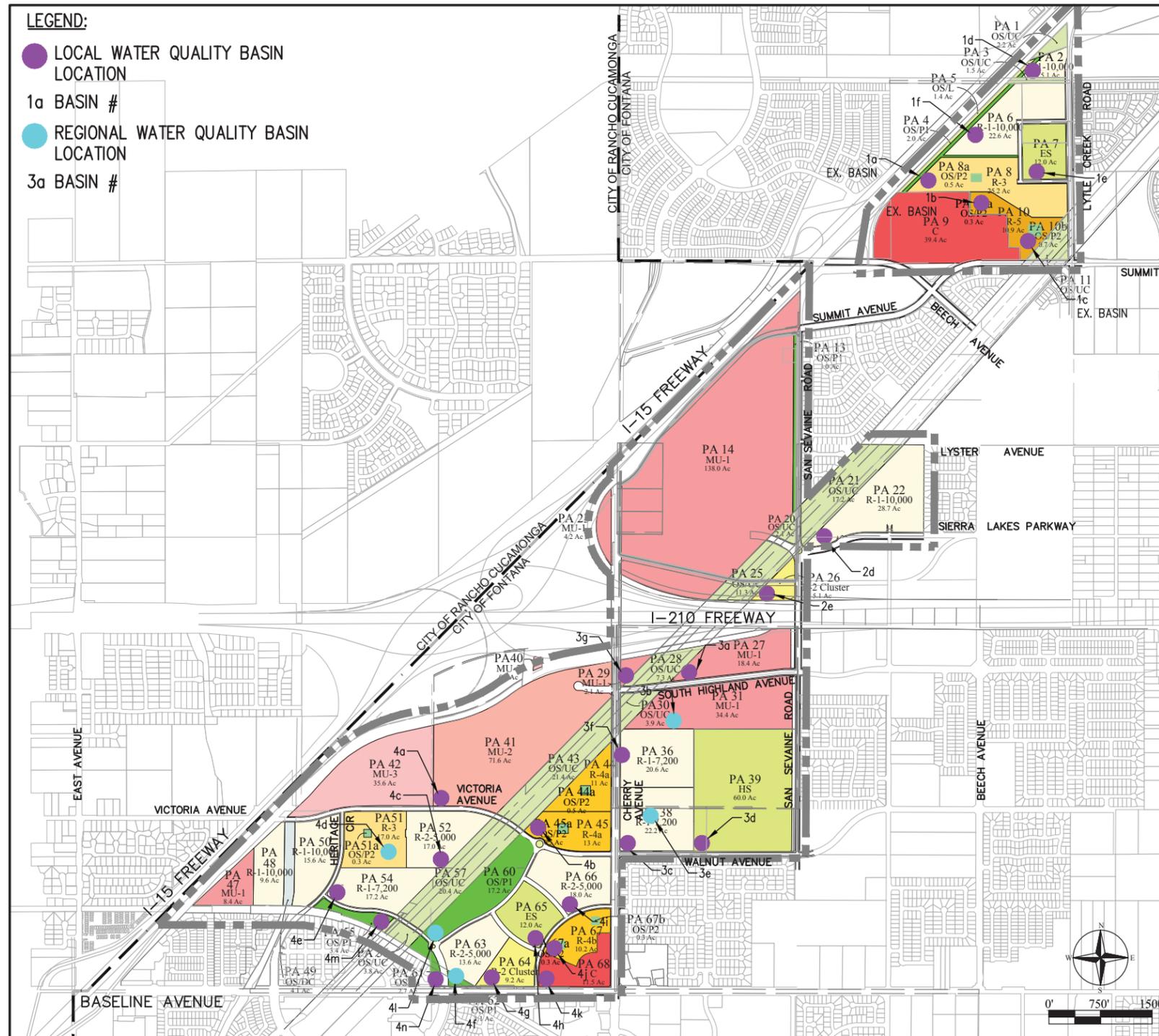


Source:  
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**FIGURE 3-20**  
**STORM DRAIN MASTER PLAN**

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Source:  
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**FIGURE 3-21**  
**WATER QUALITY MANAGEMENT PLAN**

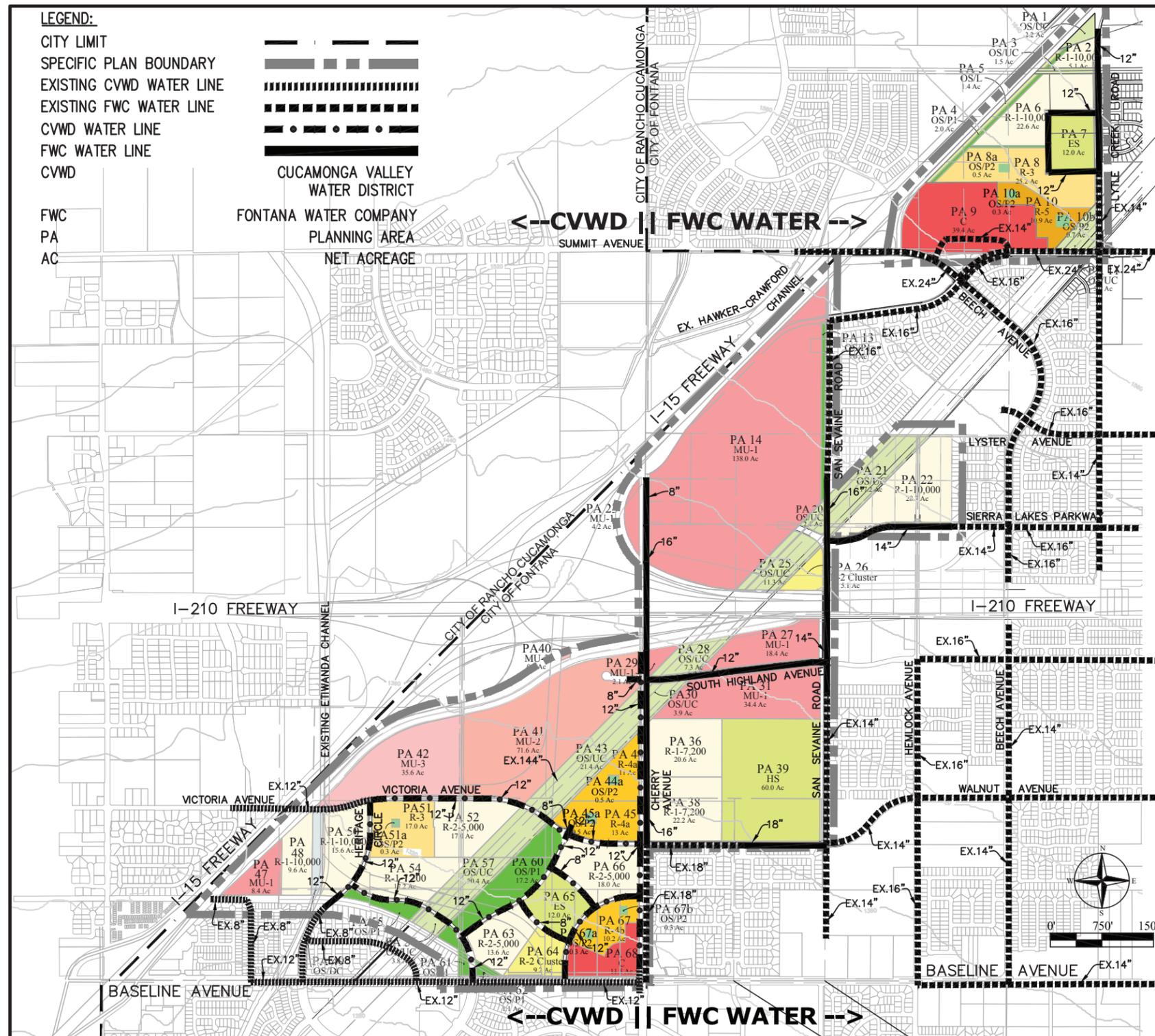
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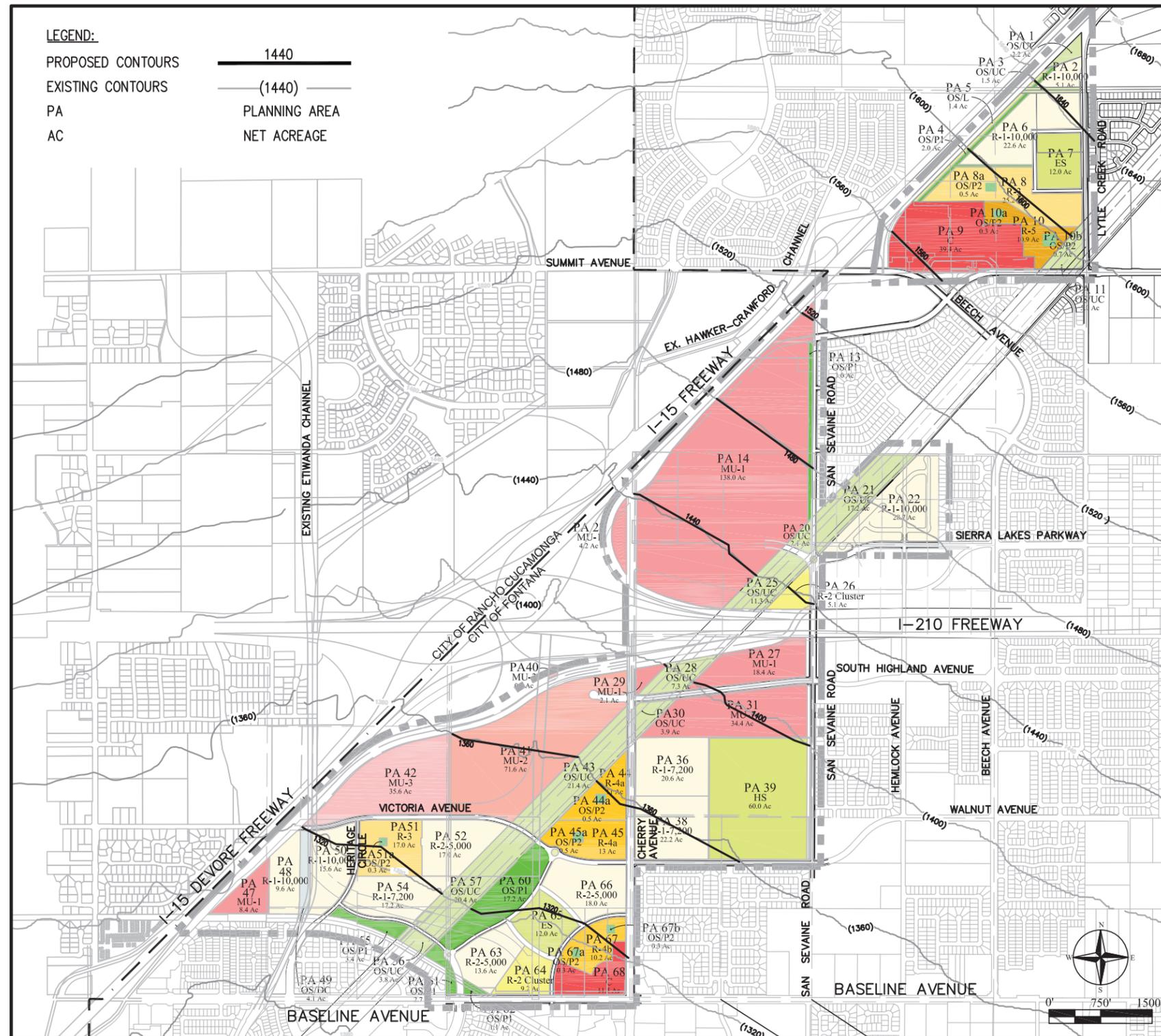


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FIGURE 3-23  
WATER MASTER PLAN

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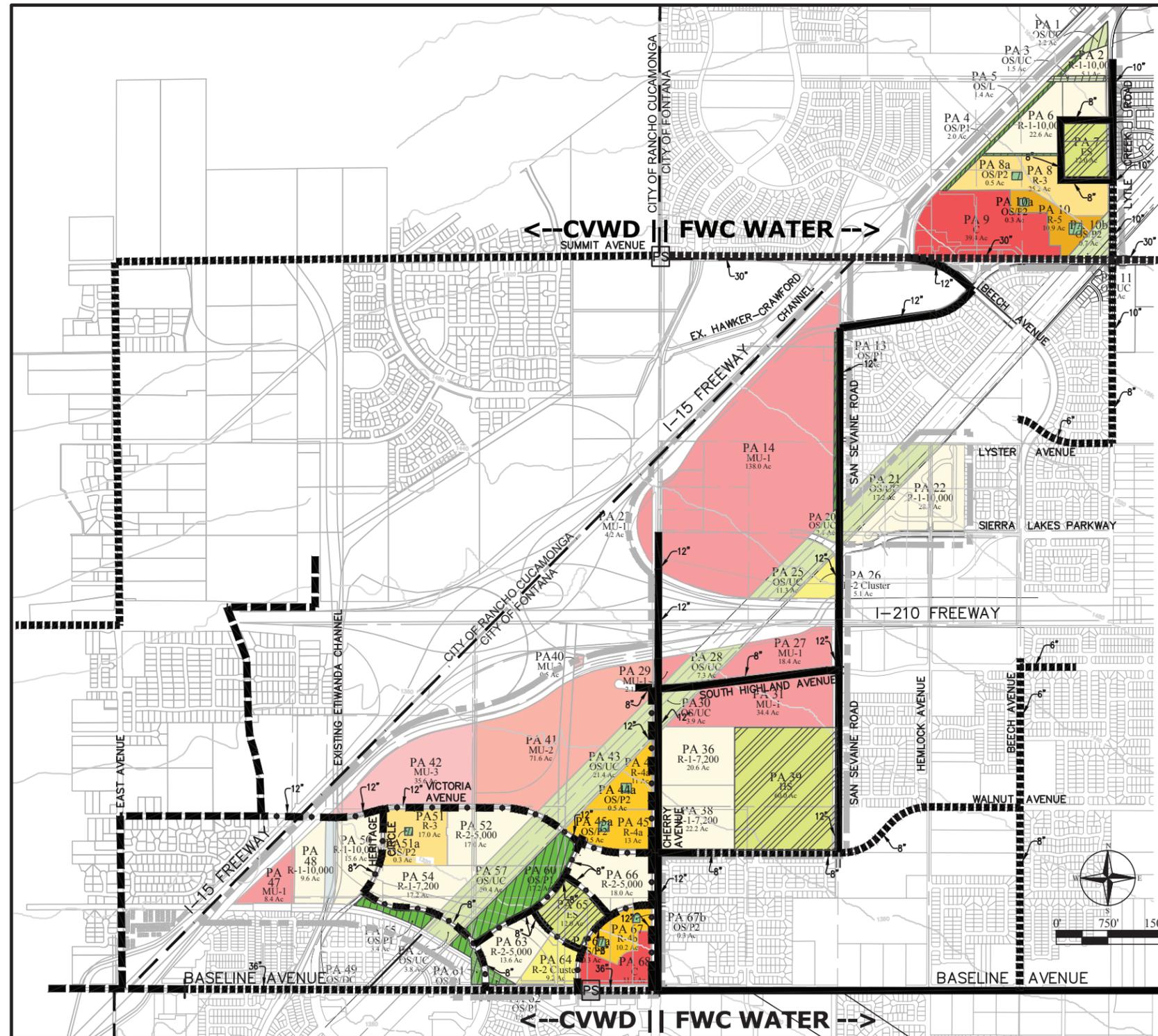
**FIGURE 3-24  
GRADING MASTER PLAN**

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- LEGEND:**
- CITY LIMIT
  - SPECIFIC PLAN BOUNDARY
  - EXISTING I.E.U.A. PIPELINE
  - FUTURE I.E.U.A./CITY PIPELINE
  - FUTURE CVWD PIPELINE
  - FUTURE FWC WATER PIPELINE
  - SPECIFIC PLAN SCHOOL
  - SPECIFIC PLAN OPEN SPACE/PARK
  - PA
  - AC
  - I.E.U.A.
  - CVWD
  - PUMP STATION

- PLANNING AREA
- NET ACREAGE
- INLAND EMPIRE UTILITIES AGENCY
- CUCAMONGA VALLEY WATER DISTRICT
- PS



Source:  
David Evans & Associates

**FIGURE 3-25**  
**RECYCLED WATER MASTER PLAN**

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### 3.10 CAPITAL IMPROVEMENT PROGRAM

Public facility and utility infrastructure not funded by Federal, State, City or local agencies will be financed by developer funds and/ or may include community facilities districts, assessment districts, Mello-Roos community facilities districts, or similar financing mechanisms. Refer to Section 6.12 for a more in depth review of financing alternatives. Following are the total projected improvement costs for the major public infrastructure. These are subject to change based on final design plans.

**TABLE 3.9 – PRELIMINARY COST ESTIMATE (AS OF 7-18-2016)\***

| <b>FALCON RIDGE</b>          | <b>SUMMIT AVE</b>  | <b>LYTLE CREEK RD</b>    | <b>STREET “H” COLLECTOR</b> |                    |          |          | <b>TOTAL</b>        |
|------------------------------|--------------------|--------------------------|-----------------------------|--------------------|----------|----------|---------------------|
| Sewer Improvements           | -                  | \$168,850                | \$231,440                   | -                  | -        | -        | \$400,290           |
| Water Improvements           | -                  | \$297,550                | \$317,350                   | -                  | -        | -        | \$614,900           |
| Recycled Water Improvements  | -                  | \$115,500                | \$86,130                    | -                  | -        | -        | \$201,630           |
| Storm Drain Improvements     | -                  | -                        | \$504,130                   | -                  | -        | -        | \$504,130           |
| Street Improvements          | -                  | \$1,599,950              | \$1,201,200                 | -                  | -        | -        | \$2,801,150         |
| Dry Utilities                | \$118,580          | \$303,160                | \$218,020                   | -                  | -        | -        | \$639,760           |
| Landscaping                  | \$149,160          | \$803,220                | \$675,620                   | -                  | -        | -        | \$1,628,000         |
| <b>TOTAL FALCON RIDGE</b>    | <b>\$267,740</b>   | <b>\$3,288,230</b>       | <b>\$3,233,890</b>          | <b>-</b>           | <b>-</b> | <b>-</b> | <b>\$6,789,860</b>  |
| <b>WESTGATE CENTER</b>       | <b>CHERRY AVE</b>  | <b>SIERRA LAKES PKWY</b> | <b>SAN SEVAINE RD</b>       | <b>SUMMIT AVE</b>  |          |          | <b>TOTAL</b>        |
| Sewer Improvements           | -                  | \$484,660                | -                           | \$431,750          |          | -        | \$916,410           |
| Water Improvements           | \$264,770          | \$635,030                | \$275,550                   | \$573,760          |          | -        | \$1,749,110         |
| Recycled Water Improvements  | \$75,240           | \$133,450                | \$256,520                   | \$122,210          |          | -        | \$587,510           |
| Storm Drain Improvements     | \$876,590          | \$868,670                | -                           | \$493,240          |          | -        | \$2,238,500         |
| Street Improvements          | \$2,279,750        | \$3,416,050              | \$2,272,710                 | \$2,277,330        |          | -        | \$10,245,840        |
| Traffic Signalization        | \$343,750          | \$343,750                | -                           | \$343,750          |          | -        | \$1,031,250         |
| Dry Utilities                | \$371,250          | \$605,000                | \$392,260                   | \$396,660          |          | -        | \$1,75,170          |
| Landscaping                  | \$479,160          | \$1,531,530              | \$1,376,430                 | \$1,187,120        |          | -        | \$4,574,240         |
| <b>TOTAL WESTGATE CENTER</b> | <b>\$4,690,510</b> | <b>\$8,018,230</b>       | <b>\$4,573,470</b>          | <b>\$5,825,820</b> |          | <b>-</b> | <b>\$23,108,030</b> |

TABLE 3.9 – PRELIMINARY COST ESTIMATE (AS OF 7-18-2016)\*

| WESTGATE EAST               | CHERRY AVE         | S HIGHLAND AVE     | SAN SEVAINE RD     | WALNUT AVE         |                    |   | TOTAL               |
|-----------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|---|---------------------|
| Sewer Improvements          | -                  | -                  | -                  | \$331,650          | -                  | - | \$331,650           |
| Water Improvements          | \$528,220          | \$330,000          | \$146,630          | \$197,780          | -                  | - | \$1,202,630         |
| Recycled Water Improvements | \$211,200          | \$85,580           | \$202,290          | \$20,240           | -                  | - | \$519,310           |
| Storm Drain Improvements    | \$828,740          | \$474,540          | -                  | \$642,290          | -                  | - | \$1,945,570         |
| Street Improvements         | \$1,923,020        | \$2,377,210        | \$1,087,020        | \$872,630          | -                  | - | \$6,259,880         |
| Traffic Signalization       | \$343,750          | -                  | \$687,500          | -                  | -                  | - | \$1,031,250         |
| Dry Utilities               | \$428,010          | \$403,260          | \$344,080          | \$245,410          | -                  | - | \$1,420,760         |
| Landscaping                 | \$1,270,390        | \$500,940          | \$406,230          | \$659,560          | -                  | - | \$2,837,120         |
| <b>TOTAL WESTGATE EAST</b>  | <b>\$5,533,330</b> | <b>\$4,171,530</b> | <b>\$2,873,750</b> | <b>\$2,969,560</b> | -                  | - | <b>\$15,548,170</b> |
| WESTGATE WEST               | CHERRY AVE         | BASELINE AVE       | VICTORIA AVE       | N HERITAGE CR      | COLLECTOR ROADS    |   | TOTAL               |
| Sewer Improvements          | -                  | \$411,620          | \$514,250          | \$209,660          | \$737,440          | - | \$1,872,970         |
| Water Improvements          | \$585,750          | -                  | \$428,670          | \$219,450          | \$2,081,420        | - | \$1,892,200         |
| Recycled Water Improvements | \$272,250          | -                  | \$159,390          | \$60,390           | \$294,690          | - | \$786,720           |
| Storm Drain Improvements    | -                  | -                  | \$1,409,320        | \$279,510          | \$1,050,830        | - | \$2,739,660         |
| Street Improvements         | \$2,488,640        | \$131,560          | \$2,509,320        | \$788,480          | \$3,396,800        | - | \$9,314,800         |
| Traffic Signalization       | \$859,430          | \$137,500          | \$687,500          | -                  | -                  | - | \$1,684,430         |
| Dry Utilities               | \$701,250          | \$546,590          | \$790,680          | \$149,160          | \$630,410          | - | \$2,818,090         |
| Landscaping                 | \$1,107,150        | \$795,190          | \$2,022,460        | \$401,280          | \$1,871,100        | - | \$6,197,180         |
| <b>TOTAL WESTGATE WEST</b>  | <b>\$6,014,470</b> | <b>\$2,022,460</b> | <b>\$8,521,590</b> | <b>\$2,107,930</b> | <b>\$8,828,820</b> | - | <b>\$27,495,270</b> |

\* Additional 10% Cost of Living Added.

### 3.11 PROJECT PHASING

Construction of the project will be phased in an orderly manner. Each of the four community areas may be developed concurrently or in any sequence providing all infrastructure required to serve each area is provided to the satisfaction of the City engineering department. The timing of each area will be subject to local, regional and national market conditions. At the discretion of the city engineer, a focused traffic study may be required for each development application to evaluate and determine required road improvements for any given phase.

### 3.12 PARK PHASING

Parks within each of the four community areas shall be substantially completed by the occurrence of the following two conditions:

1. Parks shall be substantially completed in accordance with Table 3.13, Park Phasing.
2. Private parks located within a planning area, as identified in this Specific Plan, shall have an approved residential tentative tract map (TTM) and / or Design Review by the Planning Commission.

“Substantially completed” and “substantial completion” means that such improvements are functional for their intended purposes and are approximately ninety five percent (95%) complete, based on the costs of such improvements, in accordance with the improvement plans approved by the City, notwithstanding any final “punch list” items or nonessential items still required to be completed, all as approved in writing by the City inspector, which approval shall not be unreasonably withheld, conditioned or delayed. For purposes of this definition, non-essential items with respect to such improvements shall include any replacement of miscellaneous (but not a majority of) damaged or deceased plant materials.

Any project public park that is open and formally accepted by the City (or in the case of a project private park, approved by the City for use by the project residents) shall also be conclusively deemed to be substantially complete for purposes of this definition.

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TABLE 3.10 – PARK PHASING

| Falcon Ridge    |       |                |  |
|-----------------|-------|----------------|--|
| Planning Area   | Acres | Dwelling Units | Planning Area                                    |
| <b>Private</b>  |       |                |  |
| 8a              | 0.5   | 100            | PA 8   |
| 10a             | 0.7   | 100            | PA 10  |
| 10b             | 0.5   | 200            | PA 10  |
| <b>Public</b>   |       |                |  |
| 4               | 2.0   | 200            | PA 2 & PA 6                                      |
| Westgate Center |       |                |  |
| Planning Area   | Acres | Dwelling Units | Planning Area                                    |
| <b>Public</b>   |       |                |  |
| 13*             | 3.0   | *              | PA 14  |
| Westgate West   |       |                |  |
| Planning Area   | Acres | Dwelling Units | Planning Area                                    |
| <b>Private</b>  |       |                |  |
| 44a             | 0.5   | 100            | PA 44  |
| 45a             | 0.5   | 100            | PA 45  |
| 51a             | 0.3   | 100            | PA 51  |
| 67a             | 0.3   | 100            | PA 67  |
| 67b             | 0.3   | 200            | PA 67  |
| <b>Public</b>   |       |                |  |
| 55              | 3.4   | 200            | PA 48 & PA 50 & PA 51<br>PA 44, PA 45, PA 52, PA |
| 60              | 17.5  | 500            | 54, PA 63 & PA 66                                |
| 61              | 2.7   | 200            | PA 64, PA 67                                     |
| 62              | 1.1   | 200            | PA 63  |

\* Prior to Certificate of Occupancy of the first building in PA 14

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## SECTION 4.0 DEVELOPMENT REGULATIONS

### 4.0 DEVELOPMENT REGULATIONS

#### 4.1 GENERAL PROVISIONS

**Purpose and Intent:** The Development Regulations and Standards contained in this Section are set forth to implement the Vision and Goals of the Westgate Specific Plan.

The regulations address site development standards and provide the basic criteria that govern all development within the boundaries of the Specific Plan project area. Future development within the Specific Plan project area is subject to the review processes set forth in Section 6.0 of this Specific Plan.

Any development regulation or standard contained in this Section that differs from the City of Fontana Zoning and Development Code shall take precedent over, and supercede the City Zoning and Development Code. Any regulation or standard of the Zoning and Development Code not covered by this Specific Plan shall be applicable to this Specific Plan. The Development Regulations and Standards set forth in this Section shall be applied to all properties located within the defined boundaries of the Westgate Specific Plan. Any Development Regulations and standards for PA 9 included in a Development Agreement executed by the City in 2008 shall supersede the requirements of this Specific Plan.

**Definition of Terms:** All definitions contained within the City's Zoning and Development Code Article 1, Division 1, Chapter 30, Section 30-11 are incorporated herein by reference, unless otherwise indicated herein.

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The following general regulations and standards apply to the Westgate Specific Plan:

1. The maximum number of residential dwelling units permitted by the Westgate Specific Plan is 3,248. Each residential planning area contains a target number of dwelling units listed in Table 3.2 through Table 3.5 and in Table 7.1. Upon final site plan and / or tentative map approval, the actual number of units allocated to a particular planning area may differ from the total target number. Variations are permitted within individual planning areas subject to the density transfer conditions listed in Section 6.0 and providing the total dwelling unit count in the Specific Plan does not exceed 3,248.
2. Development regulations relating to room additions, pools, and spas that are not included in this Section shall conform to the City of Fontana Zoning and Development Code.
3. Development regulations for noise, vibration, light and glare, odors or electronic interference shall comply with the City of Fontana Zoning and Development Code and any supplemental performance standards set forth in project specific Conditions, Covenants and Restrictions (CC&Rs).
4. Any private streets within the Specific Plan shall be permanently reserved and maintained for their intended purpose acceptable to and enforceable by the City of Fontana. Adequate access for emergency vehicles shall be maintained at all times. Any parking restrictions in private drives shall be included in the project's CC&Rs.
5. The Home Owner's Association (HOA), or the majority property owner, when necessary, shall petition the Fontana City Council to enforce the California Vehicle Code on private streets within The Westgate Specific Plan communities, pursuant to Fontana City Code 17-38.
6. The Fontana Zoning and Development Code shall apply regarding the keeping of animals on residential property, in addition to the project's CC&Rs.
7. Recreational vehicle and oversized vehicle parking requirements on private streets and driveways shall be as stipulated by the City of Fontana Zoning and Development Code and/or the project's CC&Rs.
8. Staggered building placement shall not encroach into the minimum required setback area for any given lot. Variations in building footprints shall be setback from the minimum front yard setback required.
9. The designations for residential uses in the Specific Plan (i.e., R-1-10,000, R-1-7,200, R-2-5,000, R-2 Cluster, R-3, and R-5) generally reflect the current density ranges listed in the current City of Fontana Zoning and Development Code. Within the R-4 category, the density range in the City Code is 24.1-39.0 dwelling units per acre (du / ac.) An R-4a and R-4b designation was added to this Specific Plan to further define densities within the 24.1-39.0 dwelling units per acre category.

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10. Temporary uses, where permitted in the development regulations or City Code, shall be limited to reduce impacts on adjacent properties and uses. Limitations may be imposed by the Director of Community Development include, but are not limited to: Number of consecutive days of use / event, location, date and time, hours of operation, requirements for additional permits or clearances, advertising displays, use of sound systems, parking and security controls, provision of sanitary facilities, surety or cleaning deposits as deemed appropriate to ensure proper clean-up of site after temporary use is completed.
11. The Community Design Guidelines in Section 5.0 complement the Development Regulations and should be referred to prior to submittal of any development application. Sketches, plans, photographs and text provided in the Community Design Guidelines identify the overall design principles for the community that are to be incorporated by the master developer and / or individual parcel developers into their project designs. The architectural and landscape architectural sections of the Design Guidelines are provided as a “palette” of design elements that shall guide the design of the all land uses e.g., residential, retail, business parks, office, public and private parks. They are not intended to represent any actual building or parcel design nor are they intended to require that all design images be incorporated into the design of the various parcels. Developers, builders, planners, architects and landscape architects are encouraged to use creativity and imagination in developing their precise design proposals.
12. Section 30-4 and 30.4.1 of the City of Fontana Zoning and Development Code includes a process for determining permitted uses in addition to those in the Specific Plan as stated below:

The Director of Community Development shall have the authority to determine other uses, in addition to those specifically listed in the Land Use Development Regulations that follow, which may be permitted or conditionally permitted in each of the various zones when, in his or her judgment supported by specific findings, such other uses are similar to and no more objectionable to the public welfare than those listed, provided that a medical marijuana dispensary shall not be permitted to pursuant to this section. This determination (with findings) shall be in writing and shall be forwarded to the Planning Commission as a Director’s report within thirty (30) calendar days of such determination. In reaching a determination that a use not specifically listed in this Specific Plan\* may be permitted or conditionally permitted in each of the various zones, the Director shall make the following specific findings in writing:

- (1) That the proposed use is consistent with the applicable general plan map and text, the zoning district, and all other provisions of the Zoning and Development Code.
- (2) That the proposed use will be compatible with other permitted and conditionally permitted uses in the zoning district and that there will be no reasonably foreseeable adverse effect to other surrounding properties or their permitted uses.

(3) That the proposed use will be organized, designed, constructed, operated and maintained so as to be compatible with the character of the zoning district and surrounding zoning districts as intended by the General Plan and Zoning and Development Code.

(4) The proposed use encompasses or incorporates similar elements of other uses that are permitted or conditionally permitted in the same zoning district in which the proposed use is being requested, or the proposed use is a new and innovative use which the proposed use is being requested, or the proposed use is a new and innovative use which does not appear to have been contemplated at the time of adoption of the Zoning and Development Code.

(5) The proposed use is not substantially similar to a use that is specifically prohibited in the Zoning and Development Code and / or can be seen with certainty as being inconsistent with the goals and policies of the General Plan.

(6) The proposed use is of a type, character, size, scale, and nature which is compatible conforming and otherwise harmonious with other like and similar uses, especially as related to operational characteristics such as services offered, goods, products, hours of operation, traffic and noise generation, indoor / outdoor configuration, and any other characteristic which by its existence provides factual information pertinent to the Director's Determination.

\* The term Specific Plan was substituted for the term Chapter to adapt to this document.

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## 4.2 LAND USE DEVELOPMENT REGULATIONS

Development regulations for all land uses included in the Westgate Specific Plan are listed below. Any standard or regulation contained in this specific plan that differs from the City of Fontana Zoning and Development Code or its planning and zoning laws shall take precedence over and shall supersede the City’s Zoning and Development Code or planning and zoning laws. Where any discrepancy occurs between this specific plan and any zoning or land use laws of the City of Fontana, the terms of this specific plan shall govern. In instances where this specific plan is silent, the provisions of the City of Fontana Zoning and Development Code shall prevail.

### 4.2.1 COMMERCIAL RETAIL (C) - PA 68

The following development regulations for Commercial Retail (C) uses apply to PA 68, the neighborhood retail center located at the corner of Baseline and Cherry Avenue. For permitted uses in PA 9, refer to the City of Fontana Zoning and Development Code for C-2, General Commercial (Section 30.202, Uses Permitted, Table 30-202.A).

#### PERMITTED USES (P), CONDITIONAL USE PERMIT (CUP), MINOR USE PERMIT (MUP) OR TEMPORARY USE PERMIT (TUP) FOR COMMERCIAL RETAIL

Refer to Table 4.1 for Permitted, Conditional, and Temporary Uses Allowed.

#### DEVELOPMENT REGULATIONS

##### BUILDING AND PARKING SETBACKS

| MINIMUM BUILDING & PARKING SETBACKS* | BUILDING               | PARKING                |
|--------------------------------------|------------------------|------------------------|
| Baseline Avenue                      | Thirty Feet (30')      | Twenty-Five Feet (25') |
| Cherry Avenue                        | Twenty-Five Feet (25') | Twenty Feet (20')      |
| Other Public Roads                   | Fifteen Feet (15')     | Fifteen Feet (15')     |
| Property Line                        | Twenty Feet (20')      | Ten Feet (10')         |
| Building Separation Requirement      | Ten Feet (10')         | N/A                    |

\*All setback dimensions from the public right-of-way or property line.

## MAXIMUM BUILDING HEIGHT

Buildings and other structures shall not exceed sixty feet (60') in height. Buildings exceeding that height are subject to approval by the Planning Commission.

Tower features, architectural features, chimneys, and other architectural projections may exceed the maximum building height by ten feet (10'). Taller features are permitted for prominent architectural features subject to the approval through the City of Fontana's Director of Community Development.

## LOT REQUIREMENTS

| LOT REQUIREMENTS TABLE    |   |
|---------------------------|---|
| Minimum Parcel Size       | One acre  |
| Minimum Lot Width         | One hundred thirty feet (130')  |
| Minimum Lot Depth         | One hundred thirty feet (130')  |
| Maximum Building Coverage | No maximum, subject to meeting all required building and parking setbacks and landscape requirements. |
| Floor Area Ratio (F.A.R.) | 1.0 Maximum   |

## PARKING AND CIRCULATION

Off-street parking within the Westgate Specific Plan area is required subject to the City of Fontana Development and Zoning Code, except as provided herein.

## WALLS AND FENCES

1. All perimeter walls and fences shall be designed to be consistent with the Westgate Specific Plan Community Design Guidelines set forth herein.
2. Walls and fences constructed on perimeter lot lines shall not exceed eight feet (8') in height except if otherwise required for noise, safety, or retaining wall conditions.
3. All service, refuse and storage areas shall be screened with a decorative block wall in conformance with Community Design Guidelines, Section 5.0. Walls shall be a minimum of six feet (6') and a maximum of seven feet (7') in height. Refuse and storage areas visible from public streets shall include a minimum eighteen inch (18") wide planting area plus curb on all sides, except where access is required for doors, gates, etc.
4. All types of chain link, barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for temporary security purposes. A time limit for temporary use shall be determined by the Director of Community Development.

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## LIGHTING

Exterior lighting plans for parking and other site areas are required at the Design Review stage that identifies the preliminary lighting fixture layout and type of fixture.

Lighting fixtures shall be properly shielded to prevent off-site glare. Spot fixtures shall be directed downward and / or upward, but not outward from the project area. Refer to Section 5.0, Community Design Guidelines, for additional standards.

## LOADING

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. Also refer to Section 30, Division IV, Loading Area Regulations of the Fontana Zoning and Development Code.

## EQUIPMENT SCREENING

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design. Refer also to Section 30-212 of the City Zoning and Development Code.

## LANDSCAPE

1. Coverage: A minimum of 15% of landscape coverage is required and shall include all landscape areas inside property lines, paved courtyards, plaza's, and fountain areas. Any enriched hardscape areas with paver or stamped concrete in front of retail buildings (at entry to stores) above 12' in width shall be included in the 15% coverage requirement. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped with plant materials in the plant palette contained in the Community Design Guidelines.
2. Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area.
3. All service, refuse and storage areas walls visible from the public shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size within a minimum eighteen inch (18") wide planting areas.
4. Parking area landscape requirements. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an attractive overhead shade canopy. Parking lot trees are required to be located every four (4) stalls on average (approximately every 36' apart) in cases where face-to-face parking stalls occur. Planting "pockets" within the parking lots shall be a minimum four feet (4') by four feet (4')

clear and may be oriented on a diagonal. At ends of parking rows landscaped “islands” a minimum six feet (6’) wide are required for the length of the parking stalls.

5. Along the perimeter of the site within building and parking setback areas, a minimum of one (1) tree per twenty five (25) linear feet of planting area is required. Trees should be grouped in informal masses.
6. All trees shall be fifteen (15) gallon minimum size. Twenty percent (20%) of all trees required on site shall be a twenty-four inch (24”) box and five percent (5%) of all trees shall be thirty six-inch (36”) box size.
7. Screening of parking lots adjacent to street public rights-of-ways is required. Along the perimeter of all parking lots facing a public street or open space, the intent is to provide screening for the first three feet (3’) above the highest point that exists on either the street right-of-way or parking lot. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be a continuous row of plants five (5) gallon minimum size equally spaced not to exceed three and one half feet (3.5’) on center. Hedges should be setback from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm.
8. Accent tree entry planting is recommended at the primary vehicular access point into retail.
9. All crosswalks at entries from public streets shall include enhanced paving, which may include stamped paving, pavers or similar materials approved by the Community Development Director.

## 4.2.2 MIXED USE -1 (MU-1)

The MU-1 designation provides for a broad range of business, commercial retail, medical, educational, entertainment, commercial services, and other complementary uses. Planning Area 14 in Westgate Center is envisioned to be a comprehensively planned, innovative and integrated mixed use “destination” development. Within Planning Area 14, the destination use may be one, or a combination of uses including: Corporate Office Complex, Educational Campus, Medical Center, Retail Lifestyle Center, and other supporting uses. A conceptual master plan of Planning Area 14 shall be submitted with any application for city review. Prior to submittal of a Site Plan for a specific property within PA 14, a conceptual master plan shall be required. The conceptual master plan shall include a general land use diagram that identifies major circulation and land uses and shall be subject to Planning Commission approval. (Refer to Section 6.4.3 Substantial Conformance for additional information regarding development processing requirement of PA 14). Commercial Retail uses in, Section 4.2.1 are also permitted in Mixed Use-1 areas in order to encourage a variety of mixed uses. Refer to Table 4.1, Commercial and Mixed Use MU-1, MU-2, and MU-3 Permitted and Conditional Uses.

In lieu of regional destination uses in PA 14, 10,000 square foot executive home sites may be allowed provided that all of PA 14 is planned for R-1-10,000 uses and shall require a General Plan Amendment to be processed.

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## 4.2.3 MIXED USE-2 (MU-2)

The MU-2 designation provides for a variety of business, retail, service and light industrial uses. Refer to Table 4.1, Commercial and Mixed Use MU-1, MU-2, and MU-3 Permitted and Conditional Uses.

## 4.2.4 MIXED USE-3 (MU-3)

The MU-3 designation provides for a range of public, quasi-public uses, business and retail uses. Refer to Table 4.1, Commercial and Mixed Use MU-1, MU-2, and MU-3 Permitted and Conditional Uses.

### PERMITTED USES (P), CONDITIONAL USE PERMIT (CUP), MINOR USE PERMIT (MUP) OR TEMPORARY USE PERMIT (TUP) FOR MIXED USE - MU-1, MU-2 AND MU-3

Refer to Table 4.1, Commercial and Mixed Use MU-1, MU-2, and MU-3 Permitted and Conditional Uses.

## DEVELOPMENT REGULATIONS

### BUILDING AND PARKING SETBACKS

| MINIMUM BUILDING SETBACKS*             | MU - 1 / MU-3          | MU-2                   | PARKING SETBACKS   |
|--|------------------------|------------------------|--------------------|
| Cherry Avenue** / Sierra Lakes Parkway | Twenty Five Feet (25') | Twenty Five Feet (25') | Twenty Feet (20')  |
| Summit Avenue                          | Twenty-Five Feet (25') | NA                     | Twenty Feet (20')  |
| Victoria Avenue                        | Forty Feet (40')       | Fifty Feet (50')       | Twenty Feet (20')  |
| Other Public Roads                     | Twenty Feet (20')      | Twenty Feet (20')      | Fifteen Feet (15') |
| Adjacent to Residential Property Line  | Thirty Feet (30')      | NA                     | Fifteen Feet (15') |
| OS/UC                                  | Ten (10')              | Ten Feet (10')         | Eight Feet (8')    |
| MU-1, MU-2, MU-3                       | None                   | None                   | None               |
| Adjacent to Highland Channel           | Ten Feet (10')         | Ten Feet (10')         | Eight Feet (8')    |
| BUILDING SEPARATION REQUIREMENT        |                        |                        |                    |
| One Story                              | Fifteen Feet (15')     | Fifteen Feet (15')     | NA                 |
| Two Story                              | Twenty Feet (20')      | Twenty Feet (20')      | NA                 |
| Three Story                            | Twenty-Five Feet (25') | Twenty-Five Feet (25') | NA                 |
| Four Story or More                     | Thirty-Five Feet (35') | Thirty-Five Feet (35') | NA                 |

\*All setback dimensions from the public right-of-way or property line.

\*\*For Warehouse / Distribution uses greater than 25,000 square feet, the building setback in the MU-2 zone from the Cherry Avenue right of way shall be three hundred fifty feet (300'). For commercial retail uses and business uses listed in Table 4.1, Commercial and Mixed Use MU-1, MU-2, and MU-3 Permitted and Conditional Uses, the building and parking setback between Route 210 and South Highland Avenue shall be fifty-five feet (55') from Cherry Avenue street right of way.

## OTHER REQUIREMENTS

| OTHER REQUIREMENTS*       |   |
|---------------------------|---|
| Minimum Lot Size          | 3/4 of an acre (32,670 sq. ft.)   |
| Minimum Lot Width         | One hundred thirty feet (130')  |
| Minimum Lot Depth         | One hundred thirty feet (130')  |
| Maximum Building Coverage | No maximum, subject to meeting all required building and parking setbacks and landscape requirements. |
| Floor Area Ratio (F.A.R.) | 1.0 F.A.R. maximum  |
| Maximum Building Height   | Subject to 1.0 F.A.R. maximum   |

\*Where retail uses are permitted, they shall conform to all development regulations listed in Commercial Retail (R) Section 4.2.1C.

## PARKING AND CIRCULATION

Except as provided herein, off-street parking within the Westgate Specific Plan area is required subject to the City of Fontana Development and Zoning Code.

## WALLS AND FENCES

1. All perimeter walls and fences shall be designed to be consistent with Section 5.0, Community Design Guidelines.
2. Walls and fences constructed on perimeter lot lines shall not exceed eight feet (8') in height except if otherwise required for noise, safety, or retaining wall conditions.
3. All service, refuse and outdoor storage areas shall be screened with landscape, split face or other decorative block walls (or combination thereof). Screening shall be a minimum of six feet (6') and a maximum of thirteen feet (13') in height. Walls visible from public streets shall include a minimum one and one half feet (1.5') wide planting area including curb on all four (4) sides, except where access is required for doors, gates, etc.
4. All types of chain link, barbed or razor wire are prohibited. Chain link fencing is only allowed as a temporary use during construction for temporary security purposes. A time limit for temporary use shall be determined by the Director of Community Development.

## LIGHTING

1. Exterior preliminary lighting plans are required at the Design Review stage that identify the layout, intensity and type of fixture. If deemed appropriate, a plan that identifies the lighting foot-candles for any given area may be requested by the Director of Community Development.
2. Lighting fixtures shall be properly shielded to prevent off-site glare. Refer to Section 5.0, Community Design Guidelines for additional standards.

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## LOADING

All loading and maneuvering shall be performed on the site. Loading platforms shall be screened from view from adjacent public streets and residential areas with landscape, split face or other decorative block walls (or combination thereof) in accordance with paragraph 3 above under Walls and Fences. Also refer to Section 30, Division IV, Loading Area Regulations of the Fontana Zoning and Development Code.

## EQUIPMENT SCREENING

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening on roofs shall be provided as an integral aspect of the building design. Refer also to Section 30-212 of the City Zoning and Development Code.

## LANDSCAPE

1. All areas of the site not occupied by buildings, parking, service and storage areas, or otherwise utilized shall be fully landscaped with plant materials identified in the plant palette contained in the Community Design Guidelines.
2. On-site detention basins, if any, shall be landscaped with naturalized native and/or drought tolerant plants that do not require automatic irrigation systems. All detention basins shall be screened from public streets with landscape, walls, or combination thereof.
3. All service, refuse and storage areas walls visible from public streets shall be screened with plant materials. Vines shall also be required and shall not exceed seven feet (7') on center spacing along required screen walls, minimum five (5) gallon size. Also see Walls and Fences, paragraph 3.
4. Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six inches (6") higher than the adjacent vehicular area.
5. Parking area landscape requirements. The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars, to create an overhead shade canopy and to create a campus atmosphere.
  - ☒ Parking lot trees are required to be located every four (4) stalls on average (approximately every 36' apart) in cases where face-to-face parking stalls occur.
  - ☒ Planting "pockets" within the parking lots shall be a minimum four feet (4') x four feet (4') clear plus curbs and may be turned on a diagonal.

- A minimum five feet wide planting island is required at the end of all parking aisles.
- 6. Adjacent to buildings where parking stalls or drive aisles occur except where building entry walks, loading docks/garage doors and service areas are located.
  - A minimum of: eight and one half feet (8.5') of clear planting area, (not including the curb width) shall occur.
  - Sidewalks, where provided, shall not encroach into the eight and one half feet (8.5') landscape area. Handicap sidewalks and ramps may occur within the eight and one half feet (8.5'), not to exceed five feet (5') in width, or the minimum width to meet ADA requirements.
  - Vehicles shall be permitted to overhang landscaped areas adjacent to buildings providing either a low growing ground cover or turf is provided within two feet (2') of the curb face.
  - A minimum of one (1) tree per twenty-five (25) linear feet average of planting area is required.
- 7. Along the planting areas on the perimeter of the site between the right-of-way or property line and the building or parking setback, a minimum of one (1) tree per twenty-five (25) linear feet average of planting area is required.
- 8. All trees shall be fifteen (15) gallon minimum size. A minimum of twenty percent (20%) of all trees required on site shall be a twenty-four inch (24") box and a minimum of five percent (5%) of all trees shall be 36" box size.
- 9. Screening of parking lots is required. Along the perimeter of all parking lots facing a public street right-of-way, a park (OS/P), or utility corridor (OS/UC) , the intent is to provide screening for the first three feet (3') above the highest point that exists on either side. A hedge, berm, decorative masonry wall, or combination of any two may be provided. If a hedge is provided, it shall be continuous row of plants (five-gallon minimum size) equally spaced not to exceed four feet (4.0') on center. Hedges or walls shall be setback from curbs to allow overhangs of parked cars. If a berm is provided, it shall not exceed a maximum of 3:1 grade on either side of the berm if planted with turf or a maximum of 2-1/2:1 if planted with shrubs and ground cover.
- 10. Provide accent tree entry planting at the primary vehicular access point.
- 11. All crosswalks at major entries from public streets shall include enhanced paving, which may include stamped paving, pavers or similar materials approved by the Community Development Director.

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**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

| <b>CORPORATE OFFICES</b>   |     |      |      |      |
|--|-----|------|------|------|
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Offices including but not limited to business professions: Law, medical, dental, architectural, engineering, real estate, escrow, title, insurance, travel agents, etc.          | P   | P    | P    | P    |
| <b>MEDICAL</b>   |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Health club/spas, athletic facilities, gymnasiums or physical culture establishments   | P   | P    | P    | P    |
| Hospitals, Care facility, convalescent nursing and residential facilities  | --  | P    | P    | CUP  |
| Individual and Family Counseling   | P   | P    | P    | P    |
| Laboratories, dental, medical, research or testing.  | --  | P    | P    | P    |
| Medical facilities and offices including medical, dental, and health related services of all types for humans, including laboratories and support housing for the aged or infirm | --  | P    | P    | P    |
| Optician Service and Optical Goods   | P   | P    | P    | P    |
| Pharmacies   | P   | P    | P    | P    |
| Weight Loss Center   | P   | P    | P    | P    |
| <b>EDUCATIONAL</b>   |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Colleges and Universities  | --  | P    | CUP  | CUP  |
| Museum or Public Library   | CUP | P    | CUP  | CUP  |
| Private schools  | MUP | P    | CUP  | MUP  |
| Private Pre-School / Day Care  | P   | P    | P    | P    |
| Schools: Dance, Art, Music, Martial Arts, Gymnastic  | P   | P    | P    | P    |
| Tutorial Services  | MUP | MUP  | MUP  | MUP  |
| <b>ENTERTAINMENT</b>   |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Amphitheater   | --  | P    | CUP  | CUP  |
| Amusement Establishment (Miniature Golf, Batting Cages, etc.)  | --  | CUP  | --   | --   |
| Arcades, Pinball and Video   | CUP | CUP  | CUP  | P    |
| Baseball; batting range  | --  | P    | P    | P    |
| Billiard and pool hall   | --  | CUP  | CUP  | CUP  |

**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

**ENTERTAINMENT (continued)**

| Use  | C   | MU-1 | MU-2 | MU-3 |
|--|-----|------|------|------|
| Bowling Alley  | CUP | P    | P    | P    |
| Conference/Convention Center   | --  | P    | CUP  | CUP  |
| Entertainment venues and night clubs.  | --  | CUP  | CUP  | CUP  |
| Golf, driving range, miniature, pitch and putt                                       | --  | P    | P    | P    |
| Movie Theater  | --  | P    | P    | P    |
| Park   | P   | P    | P    | P    |
| Performing arts theaters and centers including live music, stage productions, etc.   | --  | P    | P    | CUP  |
| Skating rink, roller or ice  | --  | CUP  | CUP  | CUP  |
| Swim Club  | --  | P    | P    | P    |
| Tennis Club  | --  | P    | P    | P    |
| Tourist Information Service  | P   | P    | P    | P    |
| <b>RESIDENTIAL</b>   |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| R-1-10,000 Single Family in PA's 14** and 23   | --  | P    | --   | --   |
| <b>GENERAL COMMERCIAL</b>  |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Art Galleries  | P   | P    | P    | P    |
| Art supply store   | P   | P    | P    | P    |
| Automatic Teller Machines (ATMs)   | P   | P    | P    | P    |
| Automobile supply store  | P   | P    | P    | P    |
| Bakery shops, including baking only when incidental to retail sales on the premises. | P   | P    | P    | P    |
| Bicycle sales and rentals.   | P   | P    | P    | P    |
| Book Store   | P   | P    | P    | P    |
| Building Materials and Garden Supplies   | --  | P    | --   | --   |
| Car Wash   | P   | P    | P    | P    |
| Ceramic Sales  | P   | P    | P    | P    |
| Clothing store   | P   | P    | P    | P    |
| Computer store   | P   | P    | P    | P    |
| Confectionery and candy store  | P   | P    | P    | P    |
| Convenience store  | P   | P    | P    | P    |
| Department store   | P   | P    | P    | P    |

**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

**GENERAL COMMERCIAL (continued)**

| Use   | C   | MU-1 | MU-2 | MU-3 |
|---|-----|------|------|------|
| Farmers Market  | MUP | MUP  | MUP  | MUP  |
| Florist shop  | P   | P    | P    | P    |
| Food and Beverage Stores, including Bakeries, Meat, Fish And Produce                                      | P   | P    | P    | P    |
| Furniture Stores - Boutique, e.g., Antiques   | P   | P    | P    | P    |
| Garden Supplies   | P   | P    | P    | P    |
| General and Specialized Retail  | P   | P    | P    | P    |
| Hardware, building materials, garden supply store   | P   | P    | P    | P    |
| Newsstands  | P   | P    | P    | P    |
| Office supplies and equipment store   | P   | P    | P    | P    |
| Outdoor storage. (Screened. Refer to the City Municipal Code, Section 30-251.)                            | P   | P    | P    | P    |
| Retail Nursery  | P   | P    | P    | P    |
| Sporting Goods Store  | P   | P    | P    | P    |
| Stores selling second hand merchandise, consignments.   | MUP | MUP  | MUP  | --   |
| Stores that sell liquor as accessory part of operations, such as convenience stores, wine tasting stores. | CUP | CUP  | CUP  | CUP  |
| Toy Stores  | P   | P    | P    | P    |
| <b>SERVICE COMMERCIAL</b>   |     |      |      |      |
| Use   | C   | MU-1 | MU-2 | MU-3 |
| Banks and Savings and Loan Institutions, including drive-thru.  | P   | P    | P    | P    |
| Barber and Beauty Shops   | P   | P    | P    | P    |
| Boats and Recreational Vehicle Repair   | CUP | CUP  | CUP  | CUP  |
| Computer Repair   | P   | P    | P    | P    |
| Copying, packaging and mailing services   | P   | P    | P    | P    |
| Financial, Brokerage Offices, Credit Union, Loan Agencies   | P   | P    | P    | P    |
| General: Computer Repair, Locksmith Shop, Plumbing Shops  | P   | P    | P    | P    |
| Locksmith Shop  | P   | P    | P    | P    |
| Mail, Cargo, Packaging Services   | P   | P    | P    | P    |
| Personal Services: Dry Cleaning, Laundry, Hair / Nail Salon, Day Spa, Tailor Shops, Shoes Repair          | P   | P    | P    | P    |
| Pet stores, Veterinary Clinics, Pet Grooming  | P   | P    | P    | P    |
| Photography Studio, Picture Framing   | P   | P    | P    | P    |
| Sales Office (Temporary)  | P   | P    | P    | P    |
| Salon and Spas  | P   | P    | P    | P    |
| Service and Gas Station, with or without automated car wash or accessory use.                             | CUP | CUP  | CUP  | CUP  |

**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

| <b>DINING</b>  |     |      |      |      |
|--|-----|------|------|------|
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Brew On-Premises Facilities  | CUP | CUP  | CUP  | CUP  |
| Catering and food service  | P   | P    | P    | P    |
| Drinking Establishments that serve liquor.   | CUP | CUP  | CUP  | CUP  |
| Food Courts  | P   | P    | P    | P    |
| Microbrewery   | CUP | CUP  | CUP  | CUP  |
| Restaurant with sale of alcoholic beverages as incidental part of permitted use.       | CUP | CUP  | CUP  | CUP  |
| Restaurant, Fast Food, Drive-thru or no drive thru.                                    | P   | P    | P    | P    |
| Restaurant, Sit Down   | P   | P    | P    | P    |
| Restaurants and Cafes with Entertainment and/or Dancing (Alcoholic beverages allowed). | CUP | CUP  | CUP  | CUP  |
| <b>LODGING</b>   |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Bed and Breakfast Lodging Facility   | --  | P    | CUP  | CUP  |
| Hotel, Motel   | --  | P    | P    | P    |
| <b>GOVERNMENTAL</b>  |     |      |      |      |
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Municipal Uses including Fire or Police Stations                                       | P   | P    | P    | P    |
| Park and Ride Lots   | --  | --   | --   | P    |
| Post office  | P   | P    | P    | P    |
| Seniors / Community Center   | --  | P    | P    | P    |
| Transportation Management and Testing Facilities                                       | --  | --   | --   | P    |

**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

**SERVICE BUSINESS**

| Use  | C  | MU-1 | MU-2 | MU-3 |
|--|----|------|------|------|
| Assembly plants and facilities   | -- | --   | P    | --   |
| Blueprinting, reproduction and copying services, photoengraving, printing, publishing and bookbinding  | -- | P*   | P    | --   |
| Businesses involved in receiving, processing and delivering orders to end customers.   | -- | --   | P    | --   |
| Construction and industries, such as general contractors and specialty contractors   | -- | CUP  | P    | P    |
| Freestanding, single user and multi-tenant office buildings, and point of sale may include warehouse/storage areas located in the rear served by alleyways for loading and unloading supplies and materials, typically with front office. Refer to Figures 5-24 and 5-25, Business Park Guidelines for examples. | -- | P    | P    | P    |
| Industries engaged in distribution, storage and warehousing  | -- | --   | P    | --   |
| Light manufacturing plants and facilities  | -- | --   | P    | --   |
| Photo finishing and photographic processing facilities   | -- | P*   | P    | --   |
| Product development facilities   | -- | P*   | P    | --   |
| Repair, maintenance or servicing of appliance, component parts   | -- | P*   | P    | --   |
| Testing shops  | -- | P*   | P    | --   |
| Tooling and small machine shops  | -- | P*   | P    | --   |

**OTHER USES**

| Use   | C   | MU-1 | MU-2 | MU-3 |
|---|-----|------|------|------|
| Christmas Tree, Pumpkin Sales / Similar Seasonal Sales (Temporary)  | TUP | TUP  | TUP  | TUP  |
| Construction trailer and Containers (Temporary)   | TUP | TUP  | TUP  | TUP  |
| Electrical substations  | --  | CUP  | CUP  | CUP  |
| Equipment Rental  | --  | P*   | MUP  | MUP  |
| Heliports   | --  | CUP  | CUP  | CUP  |
| Kiosk and Small Cart Retail   | MUP | MUP  | MUP  | MUP  |
| New Vehicular Sales, Leasing and Rental. Used vehicles are permitted if they are accessory uses to new vehicular sales. | --  | P*   | CUP  | CUP  |
| Outdoor Event (Temporary)   | TUP | TUP  | TUP  | TUP  |
| Outdoor Sales except nursery sales in association with retail store.  | MUP | MUP  | MUP  | MUP  |
| Outdoor Storage, accessory to a permitted use   | MUP | MUP  | MUP  | MUP  |
| Parking Structures  | --  | MUP  | MUP  | MUP  |
| Places of Worship and Assembly  | CUP | CUP  | CUP  | CUP  |

**TABLE 4.1**  
**Commercial and Mixed Use MU-1, MU-2, and MU-3**  
**Permitted and Conditional Uses**

| <b>OTHER USES (continued)</b>  |     |      |      |      |
|--|-----|------|------|------|
| Use  | C   | MU-1 | MU-2 | MU-3 |
| Public Utility building and facilities related to the provision of public services related to the provision of public services such as electricity, sewer, water, telephone. | --  | P*   | P    | P    |
| Recreational Vehicle Storage   | --  | CUP  | P    | P    |
| Recycling Collection Center  | MUP | MUP  | MUP  | MUP  |
| Sales or Leasing Office (Temporary)  | TUP | TUP  | TUP  | TUP  |
| Signage in conformance with this Specific Plan   | P   | P    | P    | P    |
| Storage / Mini-Storage   | --  | --   | P    | P    |
| Telecommute Centers  | --  | P*   | P    | P    |
| Testing laboratories and facilities  | --  | P*   | P    | --   |
| Vehicle Repair   | CUP | CUP  | CUP  | CUP  |
| Wireless Telecommunication Facilities (Refer to Chapter 22 in Municipal Code)  | P   | P    | P    | P    |

\* Not permitted in PA 14.

\*\*PA 14 - Residential lots (10,000 S.F. minimum) are permitted in MU-1 areas of Westgate Center, provided that all Planning Areas in Westgate Center are changed to 10,000 SF residential lots in one application provided that all of PA 14 is planned for R-1-10,000 uses and shall require a General Plan Amendment to be processed.

Any other uses may be permitted that are not specifically identified as a conditionally permitted use, deemed compatible with other permitted uses by the Director of Community Development or his / her designee.

Any other general or specialized retail uses may be permitted that are not specifically identified as a conditionally permitted use, deemed compatible with other permitted uses by the Director of Community Development or his / her designee.

Other conditionally permitted uses as determined by the Director of Community Development to be substantially compatible with permitted uses.

### **4.2.5 RESIDENTIAL R-1-10,000 (0-5.0 DWELLING UNITS PER ACRE)**

This land use category provides for executive single-family detached homes on 10,000 square feet minimum lots.

### **4.2.6 RESIDENTIAL R-1-7,200 (0-5.0 DWELLING UNITS PER ACRE)**

This land use category provides for traditional single-family detached homes on 7,200 square feet minimum lots

### **4.2.7 RESIDENTIAL R-2-5,000 (5.1-12.0 DWELLING UNITS PER ACRE)**

The housing type within this land use category includes traditional single-family detached homes on 5,000 sq. ft. minimum lots.

### **4.2.8 RESIDENTIAL R-2 CLUSTER (5.1-12.0 DWELLING UNITS PER ACRE)**

The housing type within this land use category includes single-family detached homes on such as cottage homes, paseo and court cluster homes, and other similar housing configurations.

### **4.2.9 RESIDENTIAL R-3 (12.1-18.0 DWELLING UNITS PER ACRE)**

The housing type intended for this land use category includes attached and multi-family homes. Attached single-family homes suited to this category are townhomes, triplex, or paired homes. Representative examples for these housing types are provided in Section 5.0.

### **4.2.10 RESIDENTIAL R-4a (30.0-39.0 DWELLING UNITS PER ACRE)**

The housing type for this use category is intended for a variety of multi-family homes. Multi-family homes intended for this category may include either below ground parking or other types of structured parking.

### 4.2.11 RESIDENTIAL R-4B (32.1-39.0 DWELLING UNITS PER ACRE)

The housing type for this land use category is intended for a variety of multi-family homes. This planning area is designated to be developed with senior housing which is age restricted to 55 years or older. Multi-family homes intended for this category may include either below ground parking or other types of structured parking.

### 4.2.12 RESIDENTIAL R-5 (41.1-50.0 DWELLING UNITS PER ACRE)

The housing type for this land use category is intended for a variety of multi-family homes. Planning Areas 10 and 67 are designated to be developed with senior housing which is age restricted, 55 years or older. Multi-family homes intended for this category may include either below ground parking or other types of structured parking.

#### PERMITTED USES, CONDITIONAL USE PERMIT (CUP), OR MINOR USE PERMIT (MUP) FOR R-1-10,000, R-1-7,200, R-2-5,000, R-2 CLUSTER, R-3, R-4A, R-4B, AND R-5

Refer to Table 4.2, Residential Permitted and Conditional Uses.

All homes, whether single-family detached or multi-family, shall be market rate, non-subsidized.

#### DEVELOPMENT REGULATIONS

Refer to Table 4.3, Residential Development Regulations, for density ranges, setbacks, building separations, height, parking and other development regulations. For discussion regarding Target Dwelling Units and Target Density Goals, refer to Section 6.5, Definition of Target Dwelling Units, Target Density, Density Range and Density Transfers.

WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

**TABLE 4.2  
RESIDENTIAL  
PERMITTED USES AND CONDITIONAL USES  
RESIDENTIAL USES**

| Use  | R-1-10,000 | R-1-7,200 | R-2-5,000 | R-2 Cluster | R-3 | R-4a | R-4b | R-5 |
|--|------------|-----------|-----------|-------------|-----|------|------|-----|
| Assisted living facility (senior or otherwise)   | CUP        | CUP       | CUP       | CUP         | CUP | P    | P    | P   |
| Attached homes and multi-family dwelling units.  | —          | —         | —         | —           | P   | —    | —    | —   |
| Attached homes not to exceed 18.0 dwelling units per acre.   | —          | —         | —         | —           | P   | —    | —    | —   |
| Boarding home (3 or more rooms)  | —          | —         | —         | —           | CUP | CUP  | CUP  | CUP |
| Boarding home (less than 3 rooms)  | P          | P         | P         | P           | P   | P    | P    | P   |
| Congregate care facilities.  | —          | —         | —         | —           | —   | CUP  | P    | P   |
| Convalescent or nursing home   | CUP        | CUP       | CUP       | CUP         | CUP | CUP  | CUP  | CUP |
| Group home—Licensed (seven or more persons)  | CUP        | CUP       | CUP       | CUP         | CUP | CUP  | CUP  | CUP |
| Multiple-family dwelling units including but not limited to apartments and condos                                      | —          | —         | —         | —           | P   | P    | —    | —   |
| Planned Unit Development   | CUP        | CUP       | CUP       | CUP         | CUP | —    | —    | —   |
| Residential care facility—license (six or fewer persons)   | P          | P         | P         | P           | P   | P    | P    | P   |
| Residential care facility—licensed (seven or more persons)   | CUP        | CUP       | CUP       | CUP         | CUP | CUP  | CUP  | CUP |
| Senior housing   | P          | P         | P         | P           | P   | P    | P    | P   |
| Senior Multiple-family dwelling units including but not limited to apartments and condos                               | —          | —         | —         | —           | P   | P    | P    | P   |
| Single-family attached and multi-family dwelling units, including but not limited to, townhomes and multi-family uses. | —          | —         | —         | —           | P   | P    | —    | —   |

| TABLE 4.2<br>RESIDENTIAL<br>PERMITTED USES AND CONDITIONAL USES<br>ACCESSORY USES   |            |           |           |             |     |      |      |     |
|---|------------|-----------|-----------|-------------|-----|------|------|-----|
| Use   | R-1-10,000 | R-1-7,200 | R-2-5,000 | R-2 Cluster | R-3 | R-4a | R-4b | R-5 |
| Accessory structures  | P          | P         | P         | P           | P   | P    | P    | P   |
| Animals, small—Keeping and raising  | P          | P         | P         | P           | P   | —    | —    | —   |
| Antenna, transmitter, cellular poles  | CUP        | CUP       | CUP       | CUP         | CUP | CUP  | CUP  | CUP |
| Garage, parking area  | P          | P         | P         | P           | —   | —    | —    | —   |
| Garages and garage structures, parking areas, maintenance storage buildings.  | —          | —         | —         | —           | —   | P    | P    | P   |
| Granny housing  | P          | P         | P         | P           | —   | —    | —    | —   |
| Guest house   | P          | P         | —         | —           | —   | —    | —    | —   |
| Home occupations permitted in accordance with City of Fontana standards.  | P          | P         | P         | P           | P   | P    | P    | P   |
| Monument, signage, mailboxes, walls and fences consistent with the Specific Plan design guidelines herein.  | P          | P         | P         | P           | P   | P    | P    | P   |
| Oversized vehicle parking   | P          | P         | P         | P           | P   | P    | P    | P   |
| Patio, patio covers, gazebos and other similar structures   | P          | P         | P         | P           | P   | P    | P    | P   |
| Recreational vehicle storage yard (associated with a multiple-family use)   | —          | —         | —         | —           | CUP | CUP  | CUP  | CUP |
| Satellite dishes and/or antennas shall be permitted pursuant to the City of Fontana development code or as otherwise required by the Director of Community Development.                 | P          | P         | P         | P           | P   | P    | P    | P   |
| Second dwelling units   | P          | P         | P         | P           | P   | —    | —    | —   |
| Solar panels, satellite dishes and / or antennas shall be permitted pursuant to the City of Fontana development code or as otherwise required by the Director of Community Development. | P          | P         | P         | P           | P   | P    | P    | P   |

**TABLE 4.2  
RESIDENTIAL  
PERMITTED USES AND CONDITIONAL USES**

|   |                   |                  |                  |                    |            |             |             |            |
|---|-------------------|------------------|------------------|--------------------|------------|-------------|-------------|------------|
| Swimming pools, spas, sports courts, restrooms and other similar outdoor recreational facilities.                                 | P                 | P                | P                | P                  | P          | P           | P           | P          |
| Tennis courts, private  | P                 | P                | P                | P                  | P          | P           | P           | P          |
| <b>OTHER USES</b>   |                   |                  |                  |                    |            |             |             |            |
| <b>Use</b>  | <b>R-1-10,000</b> | <b>R-1-7,200</b> | <b>R-2-5,000</b> | <b>R-2 Cluster</b> | <b>R-3</b> | <b>R-4a</b> | <b>R-4b</b> | <b>R-5</b> |
| A Fitness / Health Club.  | —                 | —                | —                | —                  | —          | P           | P           | P          |
| Clubs, civic, community or private  | —                 | —                | —                | —                  | CUP        | CUP         | CUP         | CUP        |
| Community recreation facilities including but not limited to clubhouse, swimming pools, tot lots and sport courts and fields      | P                 | P                | P                | P                  | P          | P           | P           | P          |
| Convalescent or nursing home  | CUP               | CUP              | CUP              | CUP                | CUP        | CUP         | CUP         | CUP        |
| Drop boxes for overnight delivery service providers   | —                 | —                | —                | —                  | —          | P           | P           | P          |
| Fire stations/police stations   | CUP               | CUP              | CUP              | CUP                | CUP        | CUP         | CUP         | CUP        |
| Leasing offices   | P                 | P                | P                | P                  | P          | P           | P           | P          |
| Minor communication facilities  | —                 | —                | —                | —                  | —          | MUP         | MUP         | MUP        |
| Other residential uses as determined by the Director of Community Development to be substantially compatible with permitted uses. | MUP               | MUP              | MUP              | MUP                | MUP        | MUP         | MUP         | MUP        |
| Other uses permitted in the R3 zone in the City Zoning and Development Code.  | —                 | —                | —                | —                  | P          | —           | —           | —          |
| Places of assembly and religious Facilities including place of worship and congregation   | CUP               | CUP              | CUP              | CUP                | CUP        | CUP         | CUP         | CUP        |
| Public or private parks, clubhouse and recreation buildings, greenbelts, open space, associated parking facilities.               | P                 | P                | P                | P                  | P          | P           | P           | P          |
| Public schools, educational facilities  | P                 | P                | P                | P                  | CUP        | CUP         | CUP         | CUP        |

| TABLE 4.2<br>RESIDENTIAL<br>PERMITTED USES AND CONDITIONAL USES   |            |           |           |             |     |      |      |     |
|---|------------|-----------|-----------|-------------|-----|------|------|-----|
| Personal Services: Dry Cleaning, Laundry, Hair / Nail Salon, Day Spa, Tailor Shops, Shoes Repair  | —          | —         | —         | —           | —   | P    | P    | P   |
| Retail uses compatible with a mixed use setting integrated into the multifamily building, such as coffee, juice, ice cream shops, sandwich shops, convenience store, etc., as determined by the Planning Commission on a case by case basis.  | —          | —         | —         | —           | —   | P    | P    | P   |
| Sales offices and permanent leasing offices.  | —          | —         | —         | —           | P   | P    | P    | P   |
| Small family child care / day care seven (7) or more children as permitted by the City development code.  | CUP        | CUP       | CUP       | CUP         | CUP | —    | —    | —   |
| Small family child care / day care up to six (6) children or as otherwise permitted by the City development code.   | P          | P         | P         | P           | P   | P    | —    | —   |
| Utility buildings, facilities and structures related to the provisions of public services such as sewer, water, electricity and telephone. Cell towers are subject to approval from the City of Fontana Planning Commission   | P          | P         | P         | P           | —   | —    | —    | —   |
| TEMPORARY USES  |            |           |           |             |     |      |      |     |
| Use   | R-1-10,000 | R-1-7,200 | R-2-5,000 | R-2 Cluster | R-3 | R-4a | R-4b | R-5 |
| Temporary uses such as model homes, sales offices, leasing offices, and subdivision sales trailers, temporary construction offices and facilities, real estate signs, signage indicating future development and directional signage. Other accessory uses as determined by the Director of Community Development to be substantially compatible with principal permitted residential use. | P          | P         | P         | P           | P   | P    | P    | P   |

*Other uses as determined by the Director of Community Development to be substantially compatible with permitted uses.*

TABLE 4.3

RESIDENTIAL DEVELOPMENT REGULATIONS

DC: Refer to City Zoning and Development Code, NA: Not Applicable, NR: Not Required, NP: Not Permitted

| Zone  | R-1-10,000            | R-1-7,200             | R-2-5,000            | R-2 Cluster  | R-3                                     | R-4a         | R-4b                          | R-5                           |
|---|-----------------------|-----------------------|----------------------|--|---|--------------|-------------------------------|-------------------------------|
| Density Range (DU/AC)   | 0 - 5.0               | 0 - 5.0               | 5.1 - 12.0           | 5.1 - 12.0   | 12.1 - 18.0                             | 30.0-39.0    | 32.1-39.0                     | 41.1-50.0                     |
| Housing Type  | Detached Traditional  | Detached Traditional  | Detached Traditional | Detached: Garden Court, Patio Home, Court Cluster, and Courtyard | Detached (1), Attached, or Multi-Family | Multi-Family | Multi-Family (Senior Housing) | Multi-Family (Senior Housing) |
| <b>LOT AND PARCEL SIZE</b>  |                       |                       |                      |  |   |              |                               |                               |
| Minimum Acre/SF   | 10,000 SF             | 7,200 SF              | 5,000 SF             | 3,000 SF/1 Acre (1)  | 1 Acre (1)                              | 1 Acre (1)   | 1 Acre (1)                    | 1 Acre (1)                    |
| Minimum Lot Width   | 75'                   | 60'                   | 45'                  | 35'  | NA                                      | NA           | NA                            | NA                            |
| Minimum Lot Width on Curve or Cul-de-Sac  | 50'                   | 42'                   | 42'                  | 30'  | NA                                      | NA           | NA                            | NA                            |
| Minimum Lot Depth   | 100'                  | 100'                  | 85'                  | 80'  | NA                                      | NA           | NA                            | NA                            |
| <b>EDGE CONDITIONS/MAJOR STREET BUILDING SETBACKS (2) (3) (4)</b>   |                       |                       |                      |  |   |              |                               |                               |
| Cherry Ave., Lytle Creek Rd., South Highland Ave., San Sevaime Rd, Baseline Ave, Walnut Ave., Victoria Ave. |                       |                       |                      |  |   |              |                               |                               |
| Entry Elements (9)  | DC                    | DC                    | DC                   | 5'   | 5'                                      | 10'          | 10'                           | 10'                           |
| 1 and 2 Story Building  | DC                    | DC                    | DC                   | 10'  | 10'                                     | 10'          | 10'                           | 10'                           |
| 3 Story Building  | NA                    | NA                    | NA                   | 15'  | 15'                                     | 15'          | 15'                           | 15'                           |
| Direct Access Garage  | NP                    | NP                    | NP                   | NP   | NP                                      | NP           | NP                            | NP                            |
| <b>OTHER STREETS/FRONT CONDITION BUILDING SETBACKS (2) (3) (4)*</b>   |                       |                       |                      |  |   |              |                               |                               |
| Entry Elements (9)  | DC                    | DC                    | DC                   | 5'   | 5'                                      | 10'          | 10'                           | 10'                           |
| 1, 2 and 3 Story Building (Increase each setback by 5' for Streets B and H).                                | DC                    | DC                    | DC                   | 10'  | 10'                                     | 10'          | 10'                           | 10'                           |
| Direct Access Garage (From Public Neighborhood or Local Street)   | 25'                   | 25'                   | 20'                  | 20'  | 20'                                     | 20'          | 20'                           | 20'                           |
| <b>COMMUNITY PASEO OR PARK FRONTAGE CONDITION BUILDING SETBACKS (6) (13)</b>                                |                       |                       |                      |  |   |              |                               |                               |
| Building Elements (3)(4)  | 5'                    | 5'                    | 5'                   | 5'   | 5'                                      | 10'          | 10'                           | 10'                           |
| Residential Adjacent to Active Play Area Equipment (13)   | 15'                   | 15'                   | 15'                  | 15'  | 15'                                     | 15'          | 15'                           | 15'                           |
| <b>PRIVATE DRIVE, REAR ALLEY OR COURT STREET BUILDING SETBACKS (8) (14)</b>                                 |                       |                       |                      |  |   |              |                               |                               |
| Drive Apron - Alleys (7)  | NA                    | NA                    | NA                   | 5'   | 3'                                      | 3'           | 3'                            | 3'                            |
| Building Setback to Drive Aisle Pavement (7) (8)  | NA                    | NA                    | NA                   | 5'   | 3'                                      | 3'           | 3'                            | 3'                            |
| <b>YARD AREA SETBACKS (3) (4)</b>   |                       |                       |                      |  |   |              |                               |                               |
| Rear Yard   | 20'                   | 20'                   | 20'                  | 15'  | NA**                                    | NA**         | NA**                          | NA**                          |
| Interior Side Yard  | 5'<br>(aggregate 15') | 5'<br>(aggregate 15') | 5'                   | 5'   | 10'                                     | 15'          | 15'                           | 15'                           |
| Corner Side Yard  | 10'                   | 10'                   | 10'                  | 8'   | 10'                                     | 15'          | 15'                           | 15'                           |

| TABLE 4.3<br>RESIDENTIAL DEVELOPMENT REGULATIONS   |            |           |           |             |        |        |        |        |
|--|------------|-----------|-----------|-------------|--------|--------|--------|--------|
| DC: Refer to City Zoning and Development Code, NA: Not Applicable, NR: Not Required, NP: Not Permitted |            |           |           |             |        |        |        |        |
| Zone   | R-1-10,000 | R-1-7,200 | R-2-5,000 | R-2 Cluster | R-3    | R-4a   | R-4b   | R-5    |
| <b>BUILDING SEPARATION AT PASEO BETWEEN DWELLING UNITS (3) (4) (6)</b>                                 |            |           |           |             |        |        |        |        |
| Entry Elements (9)   | NA         | NA        | NA        | 10'         | 10'    | 20'    | 20'    | 20'    |
| 1 or 2 Story to 1 or 2 Story   | NA         | NA        | NA        | 20'         | 20'    | 20'    | 20'    | 20'    |
| 2 Story to 3 Story   | NA         | NA        | NA        | 25'         | 25'    | 25'    | 25'    | 25'    |
| 3 Story to 3 Story   | NA         | NA        | NA        | 30'         | 30'    | 30'    | 30'    | 30'    |
| <b>BUILDING SEPARATION WITHOUT PASEO (3) (4) (6) (10)</b>  |            |           |           |             |        |        |        |        |
| Detached Dwelling  | DC         | DC        | DC        | 6'          | 6'     | NA     | NA     | NA     |
| Attached Dwelling  | DC         | DC        | DC        | 10'         | 10'    | 20'    | 20'    | 20'    |
| <b>OTHER BUILDING SETBACKS/SEPARATIONS (3) (4)</b>   |            |           |           |             |        |        |        |        |
| Residential Adjacent to School Use   | NA         | NA        | 10'       | 10'         | 10'    | 10'    | 10'    | 10'    |
| Residential Adjacent to Park or other Open Space Use (13)  | 15'        | 15'       | 15'       | 15'         | 15'    | 15'    | 15'    | 15'    |
| Residential Adjacent to Commercial Use   | NA         | NA        | NA        | NA          | 10'    | 10'    | 10'    | 10'    |
| <b>OPEN SPACE</b>  |            |           |           |             |        |        |        |        |
| Private Open Space Ground/patio  | NA         | NA        | NA        | 150 sf      | 150 sf | 150 sf | 150 sf | 150 sf |
| Private Open Space Upper floor/balcony   | NA         | NA        | NA        | 75 sf       | 75 sf  | 75 sf  | 75 sf  | 75 sf  |
| Common Open Space  | NA         | NA        | NA        | 15%         | 25%    | 25%    | 20%    | 20%    |
| <b>BUILDING HEIGHT (5)</b>   |            |           |           |             |        |        |        |        |
| Maximum Height   | DC         | DC        | DC        | 40'         | 50'    | 50'    | 50'    | 60'    |
| <b>BUILDING COVERAGE</b>   |            |           |           |             |        |        |        |        |
| Maximum Coverage   | DC         | DC        | DC        | 65%         | 70%    | 70%    | 70%    | 70%    |

All dimensions above are minimum unless otherwise noted.

For references in parenthesis ( ) above and other standards, see Additional Notes below and on the following two pages.

All homes, whether single-family detached or multi-family, shall be market rate, non-subsidized.

\*Refer also to Figure 4-1, Residential Building Setbacks at Streets Without Community Walls, and 4-2, Residential Building Setbacks at Streets

\*\*See EDGE CONDITIONS/MAJOR STREET BUILDING SETBACKS

**ADDITIONAL NOTES TO TABLE 4.3, RESIDENTIAL DEVELOPMENT REGULATIONS:**

1. For single family detached homes in a condominium ownership, the minimum parcel size is one acre.
2. Distance measured from community wall. If no community wall, then from the parcel boundary line or public street right-of-way.
3. Architectural features, such as, but not limited to: cornices, eaves, canopies, fireplaces, and similar features may encroach up to 2 feet into any required setback so long as building code requirements are met and a 3-foot clear space is maintained.
4. Mechanical units such as air conditioning and heat pumps may encroach up to 3 feet into a required side or rear yard setback provided adequate access/emergency egress path and a 3-foot clear space is maintained.
5. An architectural projection such as a chimney or tower may exceed maximum building height up to 5 feet.
6. A “Community Paseo” is defined as a public landscaped corridor with common path. A “Paseo” is a common private corridor with common path.
7. Alley drive apron is defined as the area between the required alley drive pavement width and the face of the dwelling unit garage door. See Figure 4-4, Residential Building Setbacks at Private Drives and Paseos /Parks / Recreation Areas.

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8. Second and third story elements may encroach up to 2 feet into required setback so long as a 3-foot clear space is maintained at ground level.
9. Entry elements include porches, covered portals, balconies or other entry enhancements.
10. Distance between adjacent buildings measured from wall plane to wall plane.
11. Distance measured from back of walk.
12. Common open space is land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner, including private drives and guest parking.
13. Distance measured from a residential building wall to the closest edge of an active play area (i.e., tot lot equipment). This requirement does not apply to passive park areas.
14. All housing shall meet the City standard for enhanced natural surveillance over the private alley, drive or drive court areas.
15. For R-2 Cluster Homes, (e.g., Garden Court, Patio Home, Court Cluster, Courtyard homes or similar housing types or configurations), the common open space for the site shall be no less than 15% of the total parcel.
16. Other R-2 Cluster, detached site layout configurations are encouraged in addition to those listed e.g. Courtyard, Garden Court, etc. In those cases, the same development regulations shall apply.
17. For R-2 Cluster land use designation, traditional single family detached homes on minimum 4,000 square foot lots are permitted. Development standards as shown on Table 4.3 in the R-2-5,000 column shall apply.
18. Streets within this Specific Plan may be public or private. All private streets shall be permanently reserved and maintained for their intended purpose by a means acceptable to and enforceable by the City of Fontana. Access for emergency vehicles shall be maintained at all times.
19. Development standards relating to parking, signage, lighting, room additions, pools, spas, and accessory structures not included in this Chapter shall conform to City of Fontana Zoning and Development Code.
20. Recreational vehicle and oversized vehicle parking requirements on private streets and driveways shall be as stipulated by the City of Fontana Zoning and Development Code and/or the project's CC&Rs.
21. A HOA, or the majority property owner, when necessary, shall petition the Fontana City Council to enforce the California Vehicle Code on private streets within The Westgate Specific Plan communities, pursuant to Fontana City Code 17-38.
22. Parking in private drives shall be restricted by the project's CC&Rs.

23. For R-2 Cluster, detached Patio Homes, wrap around porches shall be required on local street corners. Refer to photo G on Figure 5-40, Patio Homes for an example.
24. On all R-2 Cluster, detached homes where garages are located along private drives or in drive courts, a minimum of 25% of all homes oriented to local streets shall have either a porch or balcony.
25. PA 14 - Residential lots (10,000 SF minimum) are permitted in MU-1 areas of Westgate Center, provided that all Planning Areas in Westgate Center are changed to 10,000 SF residential lots in one application provided that all of PA 14 is planned for R-1-10,000 uses and shall require a General Plan Amendment to be processed.
26. Minimum lot depth requirement may be reduced on cul-de-sacs and knuckles, provided that the minimum square feet of lot is maintained.

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**PARKING REQUIREMENTS**

All required off-street parking shall be located outside the public right of way in accordance with the City of Fontana Zoning and Development Code, Chapter 30, Article XI, unless otherwise indicated herein. Required off-street parking (except for guest parking) may be satisfied in a private gated community on privately maintained streets on one side of the street as long as a minimum drive aisle is maintained as required by the Fire Department. Guest parking spaces shall be located at least ten feet from a dwelling living area. All guest parking areas shall be placed off-street unless otherwise approved by the City Council.

Parking spaces and minimum number of enclosed garages for all front loaded single-family detached homes shall be as those set forth in the City Zoning and Development code: two car garages plus one garage for every two bedrooms over three bedrooms. Tandem spaces shall be counted towards satisfying parking requirements only for the third and fourth space requirement. Three car garages are permitted. For all other housing types, including alley-loaded homes, resident parking shall be provided as follows:

| Number of Bedrooms | Required Spaces | Minimum Resident Parking Space Requirements  |
|--------------------|-----------------|--|
| 1                  | 1.5             | One space min. shall be covered or within an enclosed garage and remaining spaces may be uncovered.  |
| 2                  | 2               | One space min. shall be covered or within an enclosed garage and one space shall be in a covered space.  |
| 3 or More          | 2.5             | One space min. shall be covered or within an enclosed garage, one space shall be in a covered space, and remaining spaces may be uncovered.<br><br>Guest parking shall be provided at a ratio of one space per three dwelling units, with a minimum of three spaces and may be head-in or parallel |

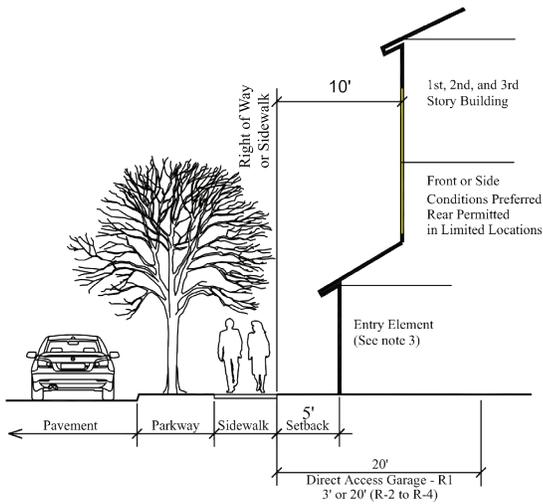
**Senior Housing**

| Required Spaces | Type of Unit              |
|-----------------|---------------------------|
| 1               | Studio/Efficiency         |
| 1               | One Bedroom               |
| 1.25            | Two or More Bedroom       |
| 1 per 8 Units   | Guest Parking Requirement |

*Note: Required Spaces for Senior Housing residents shall be covered or within an enclosed garage.*

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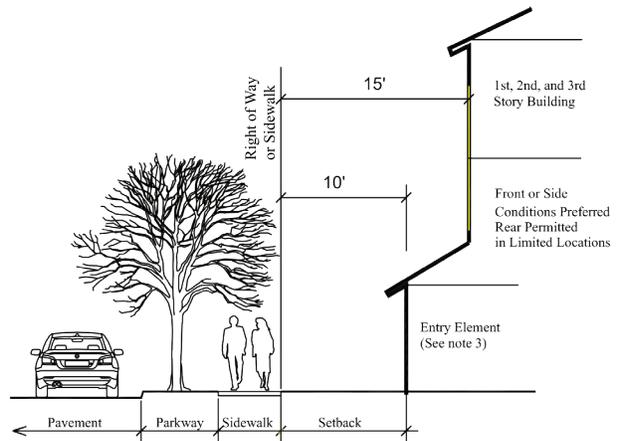
|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |



### Street Frontage Setbacks (Local or Modified Local Streets)

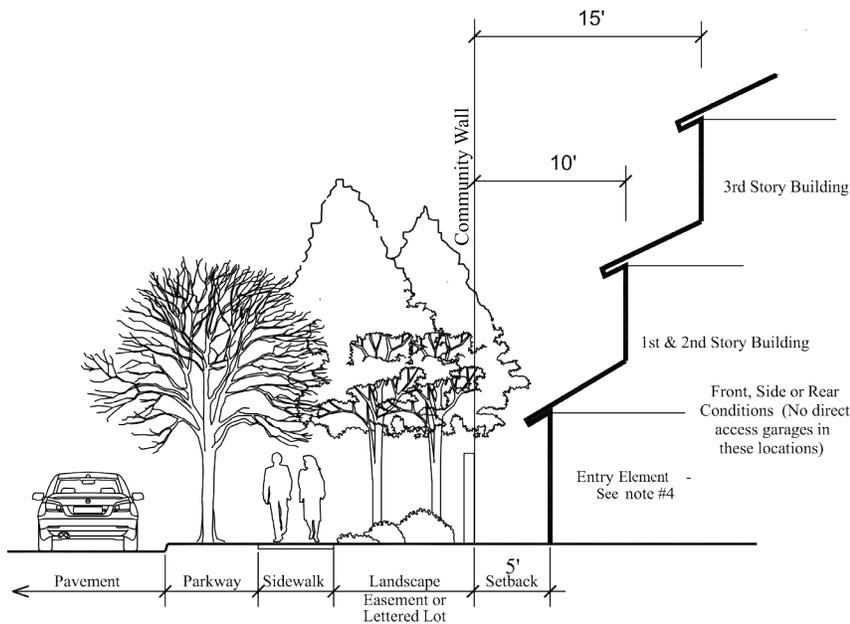
Notes:

1. Distance measured from back of walk.
2. Architectural features, such as, but not limited to cornices, eaves, canopies, fireplaces, and similar features may encroach up to two(2) feet into any required setback so long as building code requirements are met and a 3' clear space is maintained.
3. Entry elements include porches, portals, or other entry enhancements.
4. R-2 detached single-family homes shall provide a minimum 3 foot variation in the front yard setback as compared to adjacent lots. Staggering of both entry and building elements for detached homes shall be used to provide variation in building plane along street frontages. Regardless of variation, the minimum required setbacks must be maintained. No variation required for R-2, R-3, R-4 attached products.
5. No direct access garages from collector level or greater streets.



### Street Frontage Setbacks (Collector Streets) (Collector or Modified Collector Streets)

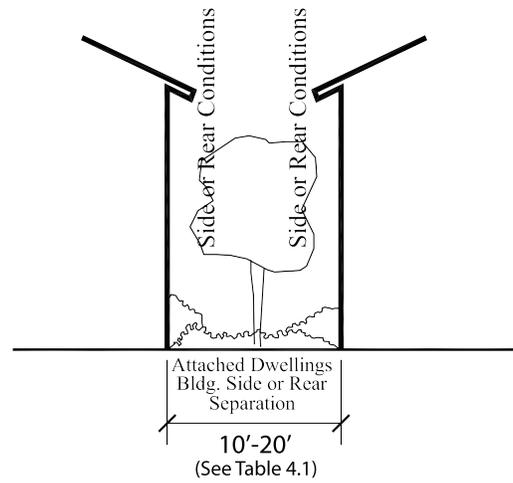
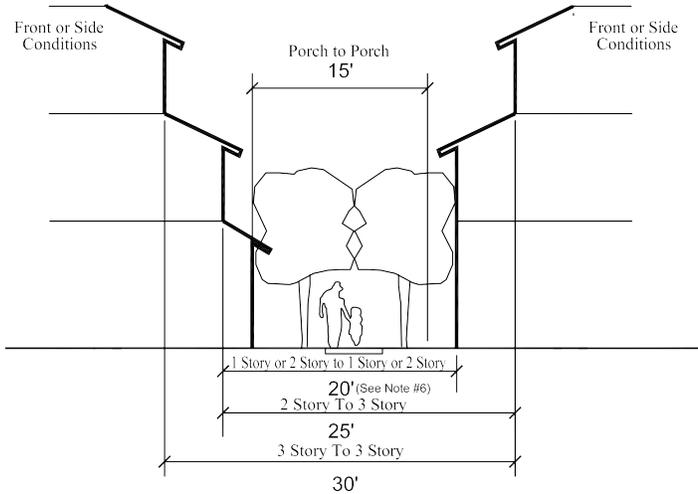
**FIGURE 4-1  
RESIDENTIAL BUILDING SETBACKS AT STREETS WITHOUT COMMUNITY  
WALLS**



Notes:

1. Distance measured from back of Landscape Easement or Community Wall.
2. Architectural features, such as, but not limited to cornices, eaves, canopies, fireplaces, and similar features may encroach up to two(2) into any required setback so long as building code requirements are met and a 3' clear space is maintained.
3. Mechanical units such as air conditioning and heat pumps may encroach up to three(3) feet into a required side or rear yard setback provided adequate access/emergency egress paths and a 3' clear space is maintained.
4. Entry elements include porches, portals, or other entry enhancements.
5. R-2 detached homes shall provide a minimum 3 foot variation in the front yard setback as compared to adjacent lots. Staggering of both entry and building elements shall be used to provide variation in building plane along street frontages. Regardless of variation, the minimum required setbacks must be maintained. No variation required for other attached homes.
6. Refer to Wall & Fence Plan, Figure 5-56, that identifies location of community walls.

**FIGURE 4-2  
RESIDENTIAL BUILDING SETBACKS AT STREETS WITH COMMUNITY WALLS**

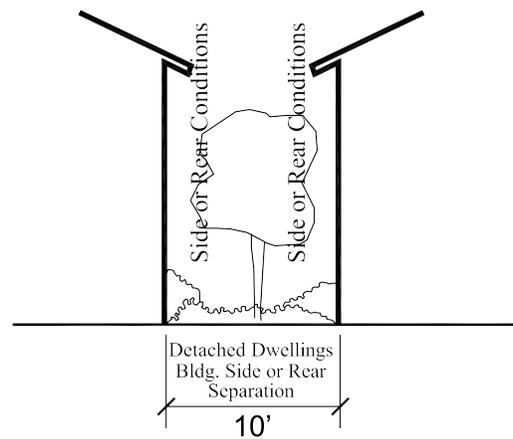


Building Edge without Paseo  
Attached Dwellings Min.

**Building to Building Separation Min.  
with Paseo (Private)**

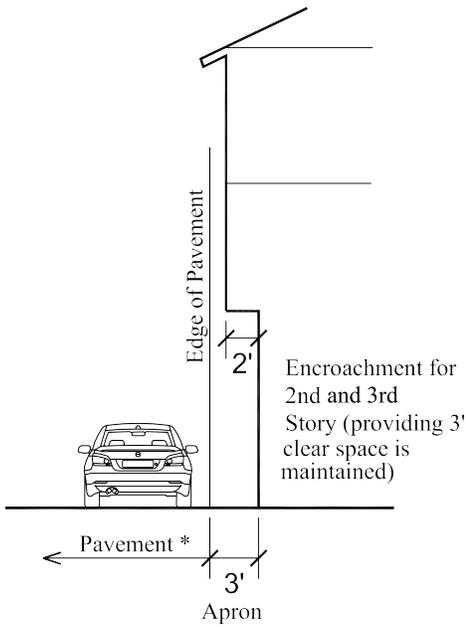
Notes:

1. Architectural features, such as, but not limited to cornices, eaves, canopies, fireplaces, and similar features may encroach up to two(2) into any required setback so long as building code requirements are met and a 3' clear space is maintained.
2. Distance between adjacent buildings measured from wall plane to wall plane.
3. Mechanical units such as air conditioning and heat pumps may encroach up to three(3) feet into a required side or rear yard setback provided adequate access/emergency egress paths and a 3' clear space is maintained.
4. Residential building to school use shall be 10'.
5. Residential building to commercial use shall be 10'



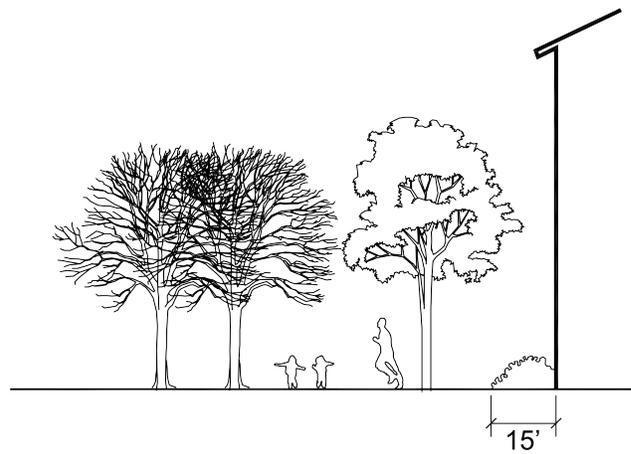
Building Edge without Paseo  
Detached Dwellings Min.

**FIGURE 4-3  
RESIDENTIAL BUILDING SEPARATION STANDARDS**



### Private Drive Setback

Note:  
 \*26' pavement section for 1 and 2-story buildings, 30' pavement section for 3rd story buildings.



### Park Frontage Setback

Note:  
 A 15-foot setback from any side of a residential building to an active play area and/or equipment shall be maintained.

**FIGURE 4-4  
 RESIDENTIAL BUILDING SETBACKS AT PRIVATE DRIVES AND PASEOS /  
 PARKS / RECREATION AREAS**

## 4.2.13 OPEN SPACE

This land use category includes all public, quasi-public and private parks and open space listed on the Land Use Plan under the following categories:

- Open Space / Public parks (OS/P1)
- Open Space / Private parks (OS/P2)
- Open Space / Landscape (OS/L)
- Open Space / Utility Corridor (OS/UC)

### PERMITTED USES

1. Public or private parks, trails, recreational facilities, community buildings, branch library, sports courts, soccer or other ball fields, health and fitness club facilities, pools and lakes.
2. Landscaped open space.
3. Accessory structures, parking lots, lighting and uses related or incidental to the above.

### OTHER USES

Other uses that the Director of Community Development determines to be consistent with Open Space uses.

### DEVELOPMENT REGULATIONS

The following development regulations are applicable to park and recreation areas within the Westgate Specific Plan. Where this Specific Plan is silent, standards, regulations and permitted uses contained in Article XV of the California Fire Code and Article VIII of the Fontana Zoning and Development Code, shall apply. For those uses within the Southern California Edison, Southern California Gas, or Metropolitan Water District utility corridors, the applicant shall obtain the respective agency design approval for any improvements prior to issuance of building permits.

### MAXIMUM BUILDING COVERAGE

All buildings, including accessory buildings and structures, shall not exceed greater than 50 percent of the planning area.

### MAXIMUM BUILDING HEIGHT

The maximum building height shall be 45 feet, with the exception of a vertical architectural component which shall be a maximum of 55 feet.

## MINIMUM BUILDING SEPARATION

There shall be no minimum building separation between primary structures other than that required by the fire department safety regulations.

## MINIMUM BUILDING SETBACKS

The minimum building setbacks from any property line shall be twenty (20').

## PARKING

Since parks are located in centralized locations, it is expected that members of the community will access parks and recreation facilities as pedestrians rather than by automobile.

Parking for all public parks shall be based upon one space per 4,000 square feet of park area.

Parking for all other private parks and recreational amenities shall be provided at one space per 6,000 square feet of the total acreage of the planning area within which the public or private community recreation centers are located and may include on street or off-street parking. This includes any associated amenities within the planning area that serve or complement the facilities. Where private clubhouses occur, additional parking shall be required as approved by the director of community development.

# 4.3 SIGN REGULATIONS

## 4.3.1 SIGN AND SIGN MONUMENTS

### PURPOSE AND INTENT

Signage is an important design element of the physical environment and an important aspect of business communication. As a planned architectural feature, a sign can be attractive and harmonize with the physical character of its environment.

The purpose and intent of the sign regulations for the Westgate Specific Plan are as follows:

1. Promote signs and sign monuments that are attractive, pleasing and harmonized with the physical character of the environment and surrounding properties, while serving the advertising needs of the business community.
2. Promote traffic safety and the smooth and efficient flow of pedestrians and vehicles to their destinations.
3. Direct persons to various activities and enterprises, in order to provide for maximum public convenience.

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## AUTHORITY AND REQUIREMENTS

The sign standards that follow shall apply to all properties located within the Westgate Specific Plan project area. The City of Fontana Zoning and Development Code shall prevail for this section, except as otherwise indicated in the standards that follow. Any changes to the Zoning and Development Code that have been incorporated are based on tailoring the signage needs to the Westgate Specific Plan area, which as a large master planned mixed use community has certain unique signage requirements.

A sign permit shall be obtained from the City prior to the construction or installation of all permanent and temporary signs within the Westgate Specific Plan project area.

## DESIGN STANDARDS FOR SIGNAGE

The design standards set forth in this section shall be adhered to for all signage within the Westgate Specific Plan Specific Plan.

## COMMUNITY MONUMENTS

Community monument signs establish the community identity at the primary entries into the Westgate Specific Plan area. Their locations are shown on Figure 5-52, Entry Monument Plan. They shall be constructed by the developer for each respective planning area in which they occur in accordance with the design concepts shown in Figure 5-53, Entry Monument Concepts, and Figure 5-54, Gateway Plan and Elevation.

## COMMERCIAL PARCEL AREA SIGNS

Within non-residential areas, additional monument signs are permitted for identification of different office, business and retail centers. It is in the interest of both aesthetics and traffic safety that sign information is kept to a minimum. Only the name of the businesses and / or the name of the shopping center shall appear on the sign. The use of subordinate information such as telephone numbers, lists of products, pictures of products, etcetera, is not permitted.

Each sign shall be designed with the intent and purpose of relating to the architectural style of the main building or buildings within each Planning Area. Signs located within non-residential planning areas but adjacent to predominantly residential areas shall consider compatibility with such residential area.

Where there is more than one monument sign located within any Planning Area, all such signs shall have designs which are well related to each other by the similar treatment including the following four design elements:

1. Type of construction materials.
2. Letter style of sign copy.
3. Illumination.

4. Type or method used for supports, uprights or structure on which sign is supported.

Each monument sign shall be located in a landscaped area which is of a shape, design and size that will provide a compatible setting and ground definition to the sign. The planted landscaped area shall be maintained on a reasonable and regular basis. Monument signs shall be non-moving stationary structures. In all components and illumination (if any) shall be maintained by artificial light (either internally or externally) which is stationary and constant in intensity and color at all times (nonflashing).

All signs shall also meet City sign standards except where specific dimensions are shown in this document in Figures or text. In those cases the dimensions in this document shall prevail.

All retail, office, and business park uses shall be considered non-residential property as relates to signage standards.

Up to two monument signs on the west side of Cherry Avenue and one on the east side of Cherry Avenue, are permitted adjacent to PA 29 and 41 within the 55' landscape setback area to provide for identification of tenants. Signs shall not exceed seven and one-half feet (7'-6") in height and twelve feet (12') in length and shall otherwise meet city sign standards.

The maximum height of a free standing sign for business park, office and retail uses shall be eight feet (8') high and sixteen feet (16') in length except for entry monuments shown on Figure 5-53, Entry Monument Concepts and Figure 5-54, Gateway Plan and Elevation where dimensions are indicated. All signs and monument signs shall otherwise meet City sign standards.

All freeway signs shall require Planning Commission approval.

## TEMPORARY COMMUNITY MARKETING SIGNS

For all residential areas, temporary signs for sales and marketing of the community shall be provided in a comprehensive sign program. Signage along perimeter and interior streets that identify the community and each of the new developments, including directional signs and other types of community information, shall be submitted for review and approval by the Director of Community Development subject to the following standards.

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## TEMPORARY REAL ESTATE SIGNS FOR RESIDENTIAL PARCELS

Temporary real estate signs advertising real property of ten (10) or more dwellings, which has been subdivided for the purposes of sale or lease, shall be subject to the following conditions:

1. The sign shall remain only as long as some portion of the property advertised for sale remains unsold, or for a period of two (2) years from the recordation of the final map, whichever period is shorter. Subject to review and approval by the Planning Commission, such time may be extended for one year, provided that there is still a bona fide offering of lots in the subdivision for sale. Not more than one (1) such extension may be granted.
2. The signs shall be located on the premises that they advertise.
3. No sign shall exceed thirty-two (32) square feet in area. No one dimension shall exceed eight (8') feet for the sign.
4. Not more than one (1) advertising sign shall be permitted in any subdivision. Additional signs for parking area identification, model home unit identification, (one (1) per model), and other model home information shall not exceed four (4) square feet per sign or a maximum single dimension of two (2) feet.
5. Temporary banners, flags and pennants may be used for advertising the sale or lease of the tract, subdivisions or development and models therein.
6. No signs shall be posted in the public right-of-way. Any sign(s) so posted shall be subject to removal with removal fees to be billed to persons benefiting from sign(s).
7. No lighted or luminous sign shall be so constructed, erected or placed so as to direct or reflect artificial light onto any structure used exclusively for residential purposes.

## TEMPORARY OFF-SITE (KIOSK)

All temporary off-site signs shall be provided in conjunction with a uniform sign program as administered by a company that provides off-site signage and is approved by the City. All sign locations shall be approved by the Director of Community Development and shall obtain the appropriate permits.

## WALL MURALS

Wall murals may be permitted in any retail planning area subject to the following conditions:

- Wall murals shall be installed directly on a building wall.
- There shall be no projection of the wall mural in any direction from the surface of the structure exceeding three (3) inches, except for a frame around the mural.
- The property owner shall give his written consent to erect and further shall agree to properly maintain and remove that mural in accordance with conditions established by the Planning Commission.
- Wall murals shall be approved by the Parks and Recreation Commission subject to:
  - Conceptual compatibility of the design with the immediate environment of the site.
  - Appropriateness of the design and size to the function of the site.
  - Compatibility of the design and location within a unified design theme.
  - Appropriateness of the design as a public work of art. The design may portray, but not be limited to, a cultural, historical or scenic subject.

The Parks and Recreation Commission shall establish a maximum time period for the existence of a wall mural. The Planning Commission may establish such further conditions, as it deems appropriate upon approval of an application for a wall mural. All applications for murals as specified shall be made on a scale rendering and / or scale model.

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## SECTION 5.0 COMMUNITY DESIGN GUIDELINES

### 5.0 COMMUNITY DESIGN GUIDELINES

#### 5.1 PURPOSE AND INTENT

The Westgate Specific Plan Community Design Guidelines provide standards for all major community design elements: site planning, architecture, monumentation, landscape, signage, lighting and other improvements in order to implement the Community Planning Vision and Goals identified in Section 3.0, Elements of the Specific Plan.

Sketches, exhibits and representative project photographs are provided throughout this Specific Plan as visual aids in conveying the basic intent. They are provided as a “palette” of design elements to guide the design of the various sites but are not intended to be interpreted literally or to depict any actual lot or building design. Architects, engineers, landscape architects, developers, builders and others involved with project design of each individual parcel are encouraged to use creativity and imagination in developing their precise design proposals and to build upon these standards and guidelines.

All project applications shall be in substantial conformance with these guidelines. As used in this section, “shall” indicates a requirement and “should” indicates a guideline that is strongly recommended and is subject to discretion by the Planning Commission during the development application review process. Also refer to Section 4.0, Development Regulations, for additional standards regarding each of the land uses and to Section 6.0, Administration, for processing requirements.

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## 5.2 DESIGN GUIDELINES OBJECTIVES

The primary objectives of these Guidelines are to:

1. Provide guidance to developers, builders, and their professional consultant teams to achieve quality design consistent with the “Vision” and overall planning criteria.
2. Provide guidance and criteria to City staff, the Planning Commission and City Council in the review of future development applications.
3. Implement the community vision, including the following:
  - Establish design elements that create a distinct environment.
  - Establish and encourage connectivity among various land uses.
  - Create a community that will add value for the property owners and the City as a whole.
  - Employ sustainable principles and practices.

## 5.3 COMMUNITY IDENTITY / DISTINCT ENVIRONMENT

Most memorable communities with a strong community identity and distinct type environment share certain common characteristics. They are pedestrian friendly, include beautiful tree shaded streetscapes with rich landscaping in residential and commercial areas, within a setting of quaint parks and site amenities. Their distinct identity is the result of a combination of design elements: quality architecture, landscape, street furnishings, and signage that are based on local historical and climatic context. There is also a timeless quality to these communities, one that improves in character and charm over time. Examples of these settings can be found in many older communities in California such as Pasadena, Claremont, and Riverside. The character of these settings are frequently described as “Early California” vernacular.

This Early California vernacular has been selected as the guiding design influence for the Westgate Specific Plan. For residential areas, it opens the door to a wide diversity of architectural influences such as Monterey, Spanish Eclectic and Craftsman styles, among others. Within the retail areas, Early California influences provides a wide range of architectural design influences, with pedestrian scaled store fronts that incorporate a rich variety of materials. For office and business parks, a distinct character can be achieved by providing a campus like setting, with tree shaded parkways in public streets and well landscaped project areas.

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The guidelines in this Section identify the quality and character envisioned for the Westgate Specific Plan to implement this Early California vernacular throughout the entire community. All projects in the Westgate Specific Plan are required to be reviewed by the City of Fontana’s Development Advisory Board (D.A.B.) and / or other review committees in accordance with City requirements for conformance with the community design guidelines and overall Specific Plan requirements.

### 5.3.1 ORGANIZATION OF DESIGN GUIDELINES

The Design Guidelines are organized under topics that follow below. Also refer to Section 3.0 and Section 4.0 for additional standards.

#### COMMERCIAL RETAIL GUIDELINES

- ☒ NEIGHBORHOOD RETAIL CENTERS
- ☒ LARGE FORMAT RETAIL CENTERS
- ☒ HOSPITALITY
- ☒ SERVICE STATIONS AND CAR WASHES
- ☒ DRIVE THRU BUSINESS

#### MIXED USE GUIDELINES

- ☒ OFFICE
- ☒ BUSINESS PARK
- ☒ WAREHOUSING AND DISTRIBUTION

#### RESIDENTIAL

#### COMMUNITY ENTRY MONUMENTS, GATEWAY, WALLS AND FENCES

#### COMMUNITY STREETScape MASTER PLAN

#### RESIDENTIAL - SITE LANDSCAPE, WALLS AND FENCES

#### LANDSCAPE PLANTING

#### OUTDOOR LIGHTING

## 5.4 COMMERCIAL RETAIL GUIDELINES

Neighborhood retail centers are generally 15 acres or smaller neighborhood serving uses. These centers typically include such uses as grocery stores, specialty foods, drug stores, dry cleaners, banks, cafes / coffee services, food services including fast food drive through and / or sit down restaurants, bakery / bagel goods, hair care, among other compatible shops. Small offices for insurance, real estate, accounting and other local serving needs also are common.

A neighborhood retail center is planned in PA 68, an 11.5 acre site. Refer to the rendering below. Additional neighborhood centers are permitted in Mixed Use areas.

### NEIGHBORHOOD RETAIL CENTER - SITE PLANNING AND LANDSCAPE GUIDELINES

In order to create a distinct atmosphere, the guidelines that follow provide for enhanced architecture, landscape, paving, street furnishings, specialty lighting and provisions for outdoor seating opportunities.

1. Provide a minimum of one common area with seating, benches, shade trees, lighting and specialty paving such as colored concrete, colored pavers, or other similar materials, organized preferably around food serving shops. See examples of the concept in Figure 5-2, Outdoor Common Area Concepts.



**FIGURE 5-1  
CONCEPT LOOKING NORTHWEST FROM THE  
CORNER OF BASELINE AND CHERRY AVENUES**

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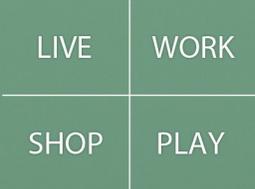
## WESTGATE

2. Provide walkways a minimum of twelve feet (12') in width along the fronts of buildings. Also provide trees in planting areas or tree wells, not less than an average of thirty-five feet (35') on center within these walkways to soften and complement the building elevations and provide shade for pedestrians. See Figure 5-3, Retail Site Concept, and Figure 5-4, Retail Architecture.
3. Provide a minimum of one pedestrian walkway that links to a public sidewalk to facilitate access between the neighborhood center and adjacent residential uses.
4. Design vehicular entrances and exits to avoid interference with traffic flow along adjacent streets and to minimize impacts on the surrounding uses while permitting ease of access to the center.
5. Design loading areas to prevent truck back-up maneuvers from or onto the public right of ways.
6. Locate refuse bins and their enclosures behind buildings and screen with walls and landscape where possible. A minimum two feet (2') wide planter area along the walls shall be planted with vines to soften the wall enclosure.
7. Locate and design loading areas to minimize direct exposure to public view and screen with landscaping to reduce visual impacts.
8. Provide lighting in parking areas and parking lots, including cross walks, to meet City engineering department requirements. Incorporate cut off type luminaries to minimize glare.
9. Provide decorative pole mounted lighting along walkways in front of shops and eateries. See Figure 5-3, Retail Site Concept.
10. Accent and enhanced landscape planting is required at all vehicular access points into the site and where site monumentation is provided.
11. Provide canopy type trees to create shade for parked cars in parking lots.
12. No service stations shall be permitted on the corner of Baseline and Cherry Avenue.



**FIGURE 5-2  
OUTDOOR COMMON AREA CONCEPTS**

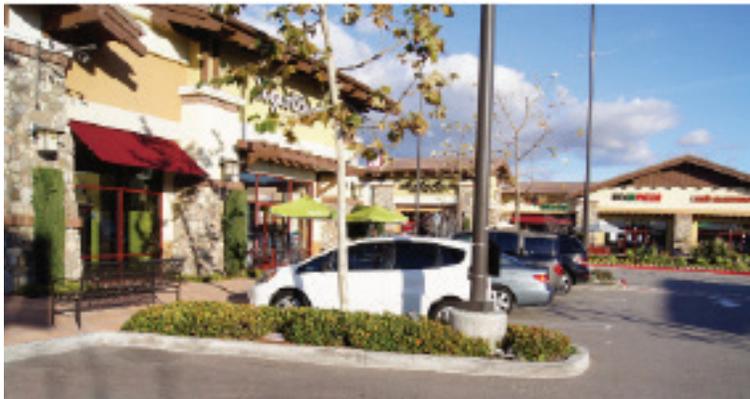
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The light fixtures above are both complimentary to the building and properly scaled to the pedestrian.



Provide trees in landscaped islands and / or in pavement areas in front of buildings.



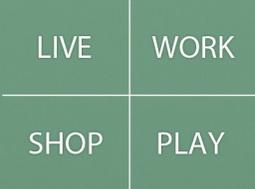
Enhanced paving is recommended for the primary pedestrian walkway in the parking lot.

**FIGURE 5-3**  
**RETAIL SITE CONCEPTS**

NEIGHBORHOOD RETAIL - ARCHITECTURAL GUIDELINES

- 1. Create architectural interest and character by varying building massing and by incorporating complimentary colors and materials. See Figure 5-4, Retail Architecture, and Figure 5-5, Retail Architecture. All buildings in a neighborhood center shall include complimentary colors and materials that are consistent with an architectural theme. Upon submittal of the first building application for any neighborhood center, an architectural theme shall be selected in conformance with all retail guidelines.
- 2. All retail buildings shall consider the characteristics of the site and relate to the surrounding built environment in scale and character.
- 3. A variety of roof planes are encouraged. Distinct and interesting rooflines are preferred. Flat roofed structures are permitted providing there is variation in heights along the length of buildings.
- 4. Provide exterior wall treatments such as large windows, colonnades, awnings, and variation in materials to mitigate the appearance of large blank walls visible from public rights-of-way.
- 5. Energy efficiency and energy conservation shall be implemented in all buildings in accordance with a State of California Green Building Standards.

WESTGATE



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The buildings above represent quality architectural form, massing, scale, use of color and materials suited to residential areas, plus effective use of trees in walkways. This style of architecture is best suited to PA 68, adjacent to residential uses.

**FIGURE 5-4  
RETAIL ARCHITECTURE**



The contemporary building designs above, include simple, clean lines, variation in building heights and large windows. This style of architecture is best suited to locations near or within office and business park areas.

**FIGURE 5-5  
RETAIL ARCHITECTURE**

## LARGE FORMAT RETAIL CENTERS – SITE PLANNING AND LANDSCAPE GUIDELINES

Large format (big box) retail development describes commercial development characterized by larger than average retail square footage under one roof. Large format retail development requires extensive parking to accommodate higher parking demand. As the retail stores in Planning Area 9 are essentially complete, the following guidelines shall apply to other sites where large format stores are permitted.

1. Ample walkways a minimum of twelve feet (12') in width shall be provided in front of all buildings to encourage pedestrian use. In order to soften and complement the building elevations and provide shade for the pedestrian, trees in planting areas, tree wells, and / or in landscape islands between parking stalls adjacent to the stores, shall be planted not to exceed an average of thirty-five feet (35') on center.
2. Incorporate such elements as seating, benches, shade trees, and specialty paving, e.g., colored concrete, colored pavers, or other similar materials, in various common areas where major foot traffic is expected and/or where people are likely to gather.
3. Pedestrian walkways shall be provided to link to the surrounding community.
4. The number of entrances and exits shall be designed and located to avoid interference with traffic flow along adjacent streets.



A walkway along the store fronts, enhanced with landscape and speciality lighting, creates an attractive pedestrian experience.

**FIGURE 5-6**  
**RETAIL LARGE FORMAT STORES**

5. Locate refuse bins and their enclosures behind buildings and screen with walls and landscape where possible. A minimum two feet (2') wide planter area shall be provided with vines to soften enclosure walls.
6. Design loading areas to prevent truck back-up maneuvers from or onto the public right of ways.
7. Design loading areas to minimize direct exposure to public view, and screen with landscaping to reduce visual impacts.
8. Provide lighting in parking areas and parking lots, including cross walks to meet city engineering department requirements. Cut off type luminaries shall be provided to avoid glare.
9. All ingress and egress into the retail center shall be designed to minimize impacts on the surrounding uses while permitting ease of access to the center. Parking areas shall be enhanced with canopy / shade trees as indicated in the Development Regulations.
10. Incorporate enhanced landscape and accent planting at all vehicular access points into the site providing direct access to the shopping center, excluding those that provide direct access to services areas.



The variation in building forms, color, and materials, plus substantial cornices and an identifiable base, create a strong composition for a large shopping center.

**FIGURE 5-7  
BUILDING ELEVATIONS**

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## LARGE FORMAT RETAIL STORES – ARCHITECTURAL GUIDELINES

1. A variety of roof types are encouraged. Distinct and interesting rooflines with variations and articulation within the front façade are recommended.
2. Provide a substantial cornice or similar architectural feature at the top of a parapet wall or roof curb.
3. Provide an identifiable base along the majority of buildings, extending two (2) or more feet up from the finished grade
4. Base materials shall be highly resistant to damage, defacing, and general wear and tear. Precast decorative concrete, stone masonry, brick, manufactured stone and commercial grade ceramic tile are examples of acceptable base material.
5. Exterior wall treatments such as colonnades, awnings, windows and variation in massing and materials shall be used to mitigate the appearance of large blank walls visible from public right of ways.



Variation in forms and massing, combined with large recessed windows, substantial cornices and enhanced building materials, create an attractive elevation for a large building with primarily flat roof lines.

**FIGURE 5-8  
LARGE FORMAT STORES**

- 6. Outdoor gardening facilities areas shall complement the architecture of the primary building as well as overall site design.

**HOSPITALITY – SITE PLANNING AND LANDSCAPE GUIDELINES**

- 1. The primary presence along the major street frontage should be the building or drive under canopy and driveway approach, not the parking lot.
- 2. Landscaping is required in all street front setback areas, along the building base, adjacent to entrances to hotels and motels, and along property lines visible from offsite or from guest access areas.



Example of creating an attractive setting and view from the street. The focus of the entry is on the hotel with parking lots screened from view.



A well-designed entry canopy visible from the street creates a sense of entry and provides shade for visitors.

**FIGURE 5-9  
HOSPITALITY USES**

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3. Short term parking spaces should be provided near the office for check-ins and checkouts.
4. Delivery and loading areas shall be screened to minimize impact on sensitive uses.
5. Mechanical equipment of all types, including swimming pool equipment, shall be screened to minimize impacts on adjacent uses and not be visible from the public right-of-way.
6. Recreational facilities such as swimming pools shall be designed to offer privacy to facility users.
7. Avoid locating driveway, garage ramps or loading and service areas where they interfere with the flow of pedestrian movement or impact the privacy of guestrooms.
8. Utilize parking lots and other open spaces on the site to help buffer the hotel / motel from the freeway.

### HOSPITALITY – ARCHITECTURAL GUIDELINES

1. Long unarticulated wall facades are discouraged and should be divided into structural bays.
2. Walkway, stairway and balcony railings and other similar details shall be visually and stylistically consistent with the basic building design.



The hotel above provides a strong elevation, with a variation in both vertical and horizontal building planes.

**FIGURE 5-10**  
**HOSPITALITY ARCHITECTURE**

- 3. Exterior corridors on multi-level buildings over two stories located adjacent to residential uses are prohibited.
- 4. For structures over two stories, all guestrooms shall be accessible from hallways within the hotel. Avoid room entrances directly adjacent to parking lots or exterior walkways.

**SERVICE STATIONS AND CAR WASHES – SITE PLANNING AND LANDSCAPE GUIDELINES**

Service Stations and Car Washes are highly utilized uses that are characterized by unique site features including: Intensive on-site vehicle utilization, on-site repair and servicing, large expanses of paving, use of equipment and machinery, and use of potentially hazardous materials. In order to complement the overall character for the Westgate Specific Plan area, the following site and landscape guidelines shall apply.

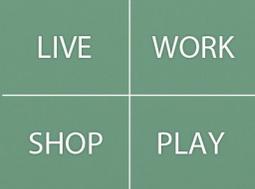
- 1. Service stations shall include a reverse frontage design, so that the front is not facing the perimeter arterial streets and instead faces internal to the site. All building sides facing the public right-of-ways shall be designed with enhanced architectural details such as cornices and relief along the walls.
- 2. Building elevations containing service or repair bays shall not face toward a public street or toward residential uses within three hundred feet (300’) of the property. Structures on a site should be grouped together and integrated into the overall design of a site.
- 3. Service bay door and car wash entry and exit openings shall be oriented to reduce visibility from public streets or screened.



Reverse frontage site design shown above focuses the building inward. The building is an example of quality form and massing, with the entry clearly defined.

**FIGURE 5-11  
SERVICE STATIONS**

**WESTGATE**



4. Landscape within required setback areas shall be consistent with the development regulations and other Sections of the Community Design Guidelines.
5. A fuel delivery truck lane should be provided through the site with minimum turning radius of forty feet (40') and provide for right side unloading of the vehicle into underground tanks.
6. Site design for projects located at street corners shall provide structural or strong design elements to anchor the corner. This can be accomplished using built elements or with attractive landscaping features.
7. Storage facilities should be enclosed within the primary structure on the site.
8. The siting of self-serve carwash bays, drying and vacuuming areas shall not conflict with on-site vehicle circulation.
9. Self-service car wash bays, and drive-through car wash facilities shall be designed to ensure all drainage is confined on-site.
10. When a service station abuts a commercial development, two-way vehicular access integrated with the adjacent development should occur.
11. Any shade canopies or structures for car washes shall require approval of the Director of Community Development. No temporary shade canopies for car washes shall be permitted, unless approved through the City Director of Community Development.
12. For drive thru car washes, a seating plaza / customer waiting area with shade trees shall be provided. This is not required for drive thru's that do not provide attendants to wash cars.



The above is an example of a well-designed canopy in a reverse design setting.

**FIGURE 5-12**  
**SERVICE STATION CANOPIES**

## CIRCULATION AND PARKING

- Fuel trucks shall be able to enter and exit a site with ease. Maneuvering to park and unload should be minimized.
- The location of filling pumps, carwash bays, or other on-site facilities shall be designed to avoid vehicle stacking or overflow onto adjacent streets. Vehicle stacking for a minimum of two vehicles per filling pump side shall be provided.
- Self-service facilities, such as water and air, or telephone shall be located so that they do not obstruct on-site circulation.
- Security fencing, in addition to required perimeter walls shall be decorative and should be consistent with adjacent architecture.
- Service bays should be provided with roll-up (or similar) doors. All operating mechanisms should be located within the interior of the structure.

## SERVICE STATIONS AND CAR WASHES - ARCHITECTURAL GUIDELINES

1. Design shall be given equal design consideration on all elevations.
2. Service station building design shall consider the context of the site and area.
3. Corporate or franchise design that does not relate to the overall community character is prohibited.
4. Pump island canopies and canopy / shade structures at car wash facilities shall be designed with a hip, gable, barrel vaulted, or other roof system to match the architecture of primary structures on the site. Continuous flat roof structures and temporary canopies are not permitted.
5. High quality, durable building materials shall be used. Service stations and car washes should incorporate façade material to produce texture design. Reflective, glossy, and fluorescent surfaces are discouraged.
6. Car wash equipment shall be enclosed within a permanent structure.
7. Car wash building design shall incorporate noise control measures that minimize noise generated by machinery, blowers, or other mechanical equipment.
8. When service stations / car washes include retail uses, a minimum of fifty percent (50%) of the storefront facing a public street should be unobstructed, clear glass.

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9. When service stations / car washes include retail uses, a clearly defined pedestrian path shall be provided from required on-site parking to the primary customer entrance.

## DRIVE THROUGH BUSINESSES - PLANNING AND LANDSCAPE GUIDELINES

Drive-through businesses include restaurants, coffee shops, banking institutions with drive up teller / ATM access, or other similar facilities. Drive-through businesses require additional site design considerations to mitigate vehicular access, on-site circulation visual and noise impacts.

The following guidelines should be incorporated into any development providing drive-through service.

1. Drive-through aisles shall be screened from the view of street frontage and adjacent parking areas. Landscaped berms, low masonry walls, or hedges shall be utilized.
2. Menu board speaker placement shall protect adjacent areas from excessive noise. Drive-through aisles should be located away from adjacent residential structures.
3. The main entrance should be sited at the maximum distance from drive-through aisles.



Automobiles are well screened by landscape in this well-designed restaurant / drive-thru.

**FIGURE 5-13  
DRIVE-THRU SITE PLANNING**

The following drive-through design features are recommended - a drive-through lane with a minimum length of one hundred sixty feet (160') including the following:

1. A distance of one hundred feet (100') from the center of the pick-up window or the pay window, whichever is first.
2. A distance of one hundred feet (100') from the order or menu board.
3. Separation of the "drive-through" traffic from pedestrian traffic, vehicular traffic and parking.
4. The drive-through lane should be a separate and distinct lane; it should be distinctly separate from the parking area.
5. Drive-through lane widths should be a minimum of ten feet (10') and twelve feet (12') at curves.
6. Driveway interference, queuing and circulation must not interfere with ingress and egress at driveways.

## DRIVE-THROUGH BUSINESSES - ARCHITECTURAL GUIDELINES

1. Building elevations facing public streets, whether such elevations function as the front, side, or rear of the building shall be architecturally detailed.
2. Building design should ensure that roof top equipment is well hidden from public view.
3. If the drive-through is pad building for a shopping center, the architecture shall be compatible with the design of the center in which it is located.
4. Franchise identifying features should only be located on the main structure.



All sides of buildings are well articulated with variation in form and color. The covered patio also adds architectural interest.

**FIGURE 5-14**  
**DRIVE-THRU BUILDINGS**

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## 5.5 MIXED USE GUIDELINES

One of the primary goals of the Design Guidelines for Mixed Use areas is to create “unity in diversity”, to encourage unique designs for individual parcels while at the same time establishing unifying elements that complement the overall community.

Additional goals include: 1) within all office and business parks, provide design solutions that over time will mature into a campus-like setting, 2) providing pedestrian and vehicular connectivity to the community, 3) accommodating the needs for functionality in order to be responsive to a broad cross-section of the market, and 4) allowing unique designs for individual parcels while at the same time establish unifying elements that complement the overall Westgate community. The following is divided into three categories: 1) Office Guidelines, 2) Business Park, and 3) Warehousing and Distribution Guidelines listed below.

### OFFICE - SITE PLANNING AND LANDSCAPE GUIDELINES

1. Pedestrian walkways shall be provided to link uses between office buildings and sidewalks within the nearest street public rights-of-way. The intent is to encourage walking to and from other uses within office parks and within the community.



2. Where two or more buildings are located on one lot, an outdoor courtyard, plaza or other usable space should be provided that accommodates shade trees, benches, tables, and / or seat walls.
3. Landscaped building setbacks from public streets are provided in the Development Regulations to provide for a campus setting. Where parking occurs adjacent to a building, a minimum of eight and one half (8.5') feet of perimeter landscape is required, except at entry walks, service doors or docks. All landscape areas shall be planted with trees, shrubs and ground covers. Trees shall average no more than thirty-five feet (35') on center in the perimeter landscape areas.
4. Parking areas shall be enhanced with canopy / shade trees. All parking areas shall be screened from public view as described in the development regulations.
5. All primary vehicular entry areas shall be enhanced with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials. Consistency between enhanced paving within each planning area shall be provided.
6. Loading docks and service areas shall be to rear of buildings and screened from public view.
7. Trash bins and their enclosures shall be located behind buildings and screened with walls and landscape. A minimum of a two feet (2') wide planting area including a raised curb is required around trash enclosures and shall be planted with vines.
8. Parking areas and parking lots, including cross walks shall be lighted in accordance with City requirements.
9. All ingress and egress into the office uses shall be designed to minimize impacts on the surrounding uses while permitting ease of access.
10. Accent landscape planting shall be provided at all vehicular access points into the site.



**FIGURE 5-15  
COURTYARDS**

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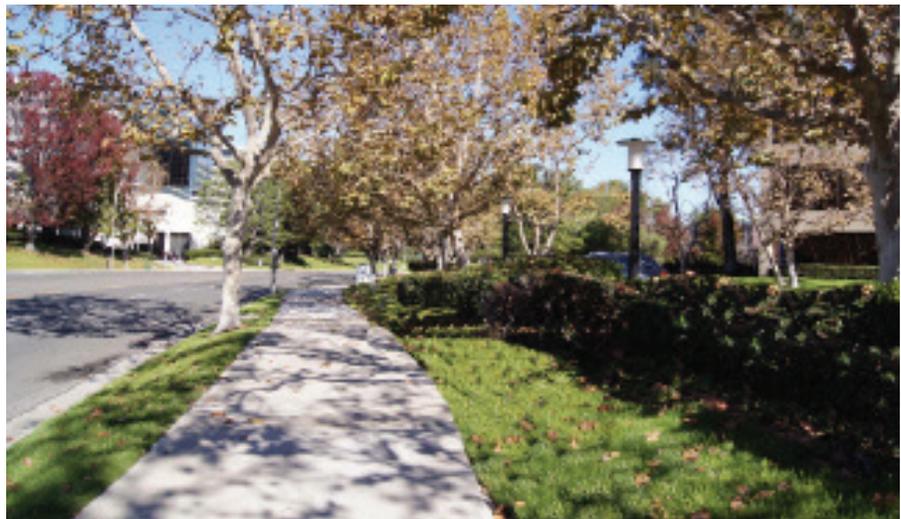
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## OFFICE - ARCHITECTURAL GUIDELINES

The examples of buildings in Figures 5-19 through 5-22, Office Architectural Guidelines, represent a range of architectural styles all suited to the Office category. The intent is to encourage flexibility and innovation to achieve a distinctive office campus setting.

1. Primary entries to buildings should be identified with a prominent architectural element such as an architectural canopy or deep building recess or other similar element and provide a sense of entry.



In order to create a campus atmosphere throughout all commercial and business uses, a parkway and sidewalk are required in all public road rights-of-ways. Where parking is adjacent to the street right-of-way, a hedge is also required in the landscape setback area.

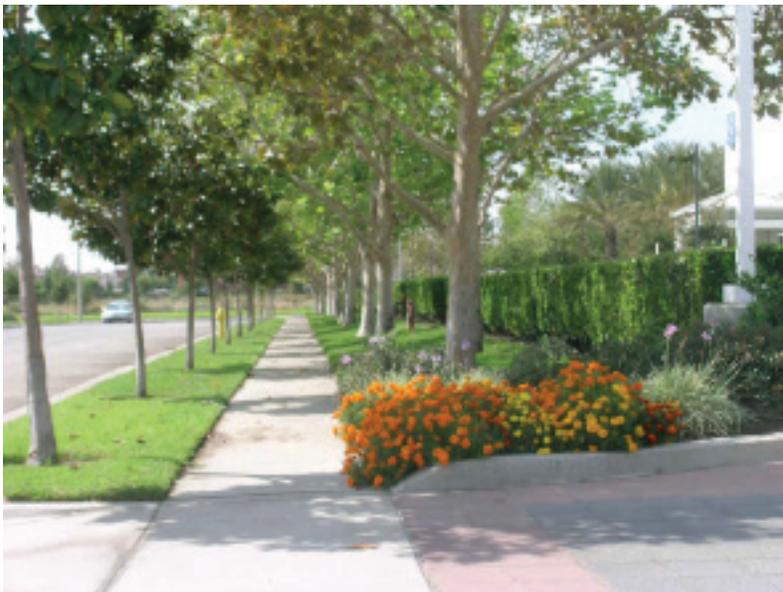
**FIGURE 5-16  
STREETSCAPES**



Canopy type trees are required to create shade.

**FIGURE 5-17  
PARKING LOTS**

2. Office buildings shall consider the characteristics of the site and relate to the surrounding built environment in scale and character.
3. Colors, materials and finishes shall be coordinated on all exterior elevations of all buildings to achieve continuity of design. Earth tones and/or white colors shall be required. Bright orange, pink or other intense colors avoided. Materials may be concrete, stone, brick. In the event stone, brick or other similar material is used, manufactured / cultured stone materials shall be permitted. Such materials shall be of high quality and durability.
4. Incorporating architectural moldings and cornices along the roof line of buildings is encouraged to add interest and to create an overall unifying theme to the community.
5. A variety of roof forms are permitted with the office uses. Gable, hip and flat roofs are all acceptable. Flat roofs should be accented or hidden by a parapet wall. Whichever roof form is selected, all roof top equipment shall be screened with a wall material and color complementary to the building material.
6. Energy efficiency and energy conservation shall be implemented in all buildings in accordance with the minimum mandatory standards of the State of California Green Building Standards Code. Voluntary green building standards are not required.



This represents the required parkways, sidewalk, and landscape setbacks with accent planting at primary entries to Business Park areas.

**FIGURE 5-18**  
**STREETSCAPES AND ENTRY AREAS**

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The examples above are all representative of quality designs that should be emulated in all office settings.

**FIGURE 5-19  
OFFICE ARCHITECTURAL GUIDELINES**



1. Along the I-15 Freeway, create a mixed use office, business park and hospitality corridor.
2. Three examples are shown of the high quality 3 to 5 story office building designs. Primary entries are clearly articulated with an arch or other prominent element, vertical and horizontal changes occur in building planes, and there is variety in window forms and placement to create interest.

**FIGURE 5-20  
OFFICE ARCHITECTURAL GUIDELINES**

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For projects with more than one building, provide tree shaded courtyards, patios, and / or plaza forecourts for use by employees and visitors.

**FIGURE 5-21**  
**OFFICE ARCHITECTURAL GUIDELINES**



Each of the examples shown represents 1 and 2 story quality office designs. Entries to buildings are identified with a prominent architectural element, color accents on building planes and window trim are well coordinated, cornices and moldings provide additional interest.

**FIGURE 5-22  
OFFICE ARCHITECTURAL GUIDELINES**

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## BUSINESS PARK SITE PLANNING AND LANDSCAPE GUIDELINES

Business Parks are defined as those projects with a variety of building types that include one and two story single user and multi-tenant buildings, incubator and flex space type buildings, all typically with front office areas and warehouse / storage areas located in the rear served by alleyways for loading and unloading supplies and materials. Site Planning and Landscape Guidelines for Business Parks follow.

1. A minimum of one (1) primary vehicular entry area shall be enhanced with special paving. Examples of enhanced paving include colored concrete with decorative score lines, colored stamped concrete or stamped AC paving, brick, masonry or other similar materials. Consistency between enhanced paving within each planning area shall be provided.
2. Provide attractive landscape areas within building and landscape setbacks adjacent to public streets that will reinforce a campus setting.
3. Provide accent landscape planting at a minimum of one primary vehicular access points into the site.
4. Locate loading docks and service areas to rear of buildings and screened from public view.
5. Provide well lighted parking areas and parking lots, including crosswalks, in accordance with City requirements.
6. Design all ingress and egress into the office uses to minimize impacts on the surrounding uses while permitting ease of access.
7. Enhance parking area with shade trees. Screen all parking areas from public view with a berm, wall, and / or hedge pursuant to the development regulations.

## BUSINESS PARK- ARCHITECTURAL GUIDELINES

1. Identify primary entries to buildings with an architectural element such as an architectural canopy or deep building recess or other similar element to provide a sense of entry.
2. Simple, clean forms and lines are recommended for all sides of building and roofs.
3. Coordinate colors, materials and finishes on all exterior elevations of all buildings to achieve continuity of design. Bright orange, pink or other intense colors are not permitted. Such materials shall be of high quality and durability.
4. All building elevations along drive aisles with garage doors shall maintain the same color palette as occurs along the front and sides of buildings.
5. Accent or hide flat roofs with a parapet wall. Screen all roof top equipment with a wall material and color complementary to the primary building material.
6. Energy efficiency and energy conservation shall be implemented in all buildings in accordance with the minimum mandatory standards of the State of California Green Building Standards Code. Voluntary green building standards are not required.



**FIGURE 5-23**  
**LANDSCAPE IN SETBACK AREA**

# WESTGATE

LIVE

WORK

SHOP

PLAY

## WAREHOUSING AND DISTRIBUTION - SITE PLANNING AND LANDSCAPE GUIDELINES

Warehouse and Distribution for purposes of this Section are buildings, with one or more users / tenants, devoted principally to warehousing of products for distribution to other business and retail users. Buildings include multiple docks for unloading and loading of goods and materials. While the main building area is generally one story, office areas may be one or two story. Since this use is only permitted in PA 41, the following guidelines have been tailored to that site area.

To maintain the character of the gateway planned along Cherry Avenue near the Route 210 Freeway shown in Figure 5-29, View From Route 210 Freeway Concept, and in Figure 5-55, Gateway Renderings, all warehouse and distribution buildings shall be setback from the Cherry Avenue right-of-way a minimum of 250'. Refer to Figure 5-52, Entry Monument Plan, for the gateway location and to Figure 5-53, Entry Monument Concepts, Figure 5-54, Gateway Plan and Elevation, and Figure 5-55, Gateway Renderings, for gateway concept plans and renderings. Only buildings types as described in Business, Office and Neighborhood Retail uses shall be permitted along the Cherry Avenue frontage and PA 41.

1. At the major entry to PA 41 along Cherry Avenue, provide a primary entry monument and accent landscape planting as shown in Figure 5-27, Major Entry Concept. Refer also to Figure 5-54, Gateway Plan and Elevation.
2. Along Victoria Avenue, provide a continuous massing of evergreen trees in the landscape setback area to screen buildings and parking lots. For Westgate, turf shown in the example above will be changed to ground cover to achieve greater drought tolerance in setback areas. A combination of berms, walls, shrubs and trees may be used to achieve the parking lot screening intent. See Figure 5-28, Victoria Avenue Streetscape Concept, for the design intent.



Simple clean lines with variation in building massing creates a pleasing and attractive Business Park.

**FIGURE 5-24**  
**BUSINESS PARK GUIDELINES**



**FIGURE 5-25  
BUSINESS PARK GUIDELINES**

# WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

# WESTGATE

3. All ingress and egress from Victoria Avenue O/S restrict truck access to minimize impacts on the surrounding uses.
4. Along the Route 210 Freeway corridor, a large landscaped area ranging from 500' to over 1,000' exists in the Cal Trans right-of-way. In addition to this area a continuous massing of evergreen trees along the north property line of PA 41 shall be provided in a minimum 8' wide planting area to create a green buffer and to screen buildings from public view. The rendering in Figure 5-29, View From Route 210 Freeway Concept illustrates the design intent.
5. Loading docks and service areas shall be located to the rear of buildings and screened from public view with landscaped berms, walls, hedges, or combination thereof.



**FIGURE 5-26  
CHERRY AVENUE STREETScape**



**FIGURE 5-27  
MAJOR ENTRY CONCEPT**

- 6. Trash bins and their enclosures shall be located behind buildings and screened with walls and landscape. A minimum of a two feet (2') wide planting area including a raised curb is required around trash enclosures and shall be planted with vines.
- 7. Parking areas and parking lots, including crosswalks shall be well lighted in accordance with City requirements.
- 8. Enhance parking areas with shade trees.
- 9. Screen all parking areas from public view with a berm, wall, hedge or combination thereof pursuant to the development regulations.

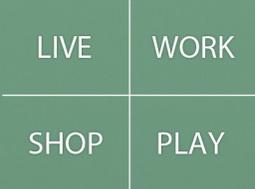


**FIGURE 5-28  
VICTORIA AVENUE STREETScape CONCEPT**



**FIGURE 5-29  
VIEW FROM ROUTE 210 FREEWAY CONCEPT**

**WESTGATE**



## WAREHOUSING DISTRIBUTION - ARCHITECTURAL GUIDELINES

1. Identify primary entries to the office areas of buildings with an architectural element such as an architectural canopy, deep building recess, projection, additional glass or other building detailing.
2. Incorporate simple, clean architectural forms along all elevations, with prominent architectural elements at corners and / or the mid-section of all buildings. Provide variation along front and sides of buildings through use of windows and / or variation in building planes or colors as shown in Figure 5-30, Warehouse/Distribution Architecture.
3. Colors, materials and finishes shall be coordinated on all exterior elevations of all buildings to achieve continuity of design. Bright orange, pink or other intense colors are not permitted. Such materials shall be of high quality and durability.
4. Flat roofs shall be accented or hidden by a parapet wall. All roof top equipment shall be screened with a wall material and color complementary to the primary building material.
5. Energy efficiency and energy conservation shall be implemented in all buildings in accordance with the minimum mandatory standards of the State of California Green Building Standards Code. Voluntary green building standards are not required.



# WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

**FIGURE 5-30**  
**WAREHOUSE / DISTRIBUTION ARCHITECTURE**

## 5.6 RESIDENTIAL GUIDELINES

### OBJECTIVES

As described in the community vision, one of the primary objectives for the residential neighborhoods is to create an attractive environment with the charm and character of many older California communities. The guidelines below and exhibits that follow provide the methods to accomplish these objectives.

### RESIDENTIAL - SITE PLANNING AND GENERAL DESIGN GUIDELINES

#### RESIDENTIAL R-1-10,000, R-1-7,200, R-2-5,000, AND R-2 CLUSTER

1. Refer to the City of Fontana Planning Division “Plotting and Design criteria for single-family homes.”

#### RESIDENTIAL - R-3, R-4a, R-4b, and R-5

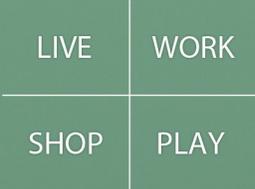
1. Orient living areas to face streets and open spaces with garages located behind homes in alley ways or motor courts where possible. In addition to creating an attractive street scene, this promotes a safe setting where children can walk along neighborhood streets without the concern of automobiles backing in and out of garages and driveways. It also provides “eyes on the street” that enhances community security.
2. Create a pedestrian scaled setting along streets by varying building setbacks and providing relief in the massing. For detached homes, staggering of building setbacks or inclusion of porches or setting back 2nd story elements from the 1st story achieves these objectives. For attached homes, variation can be achieved through variation of architectural design techniques, by including such design elements as porches, entry portals, balconies and varying building massing.
3. In common areas, provide a layering of landscape materials with trees, large and small shrubs and ground covers to enhance each home and the community as a whole. Refer to Section 5-9 for landscape guidelines.
4. Along residential uses adjacent to parks, create a front forward character by facing homes toward the parks, whether parks are located along local streets or directly adjacent homes.
5. Where 3 story multi-family homes occur, consideration should be applied when adjacent to lower density residential uses with two stories or less, either through the use of building design and / or landscape buffers.



The above photos reflect pedestrian scaled and walkable neighborhoods, by orienting homes to parks and paseos and incorporating parkways in all streets.

**FIGURE 5-31  
RESIDENTIAL SITE PLANNING**

**WESTGATE**



6. Whenever possible, interior buildings should be configured around courts, gathering areas and open spaces. Amenities should be provided appropriate to different age groups.
7. Energy efficiency and energy conservation shall be implemented in all buildings in accordance with the State of California Green Building Standards Code.

## RESIDENTIAL – ARCHITECTURAL GUIDELINES

The residential guidelines are intended to promote diversity within the context of an Early California character. Diversity of styles has several advantages: 1) will benefit the community by adding architectural richness and interest, and, 2) provides flexibility to home builders as they will have many architectural options to choose from and will not be constrained by any one particular style.

The examples provided and the guidelines that follow shall be used as the design criteria for all residential architecture.

## ARCHITECTURAL STYLES

A variety of architectural styles are included in Figure 5-32 to Figure 5-35 that complement the Early California theme including Monterey, Craftsman, Tuscan, Spanish Eclectic, and Cottage Styles.

Other Early California styles not described in the following Design Guidelines are permitted providing they are true to their origins and incorporate design features of the period. If a style is requested that is not included in these guidelines, the applicant shall provide exhibits that include the same information as occurs within the architectural styles mentioned above. The exhibits shall include color photographs of representative homes / buildings that incorporate the style, along with a summary of the appropriate building and roof form, colors, and details for review and approval of the Director of Community Development. Modern or High tech or similar styles not consistent with an Early California heritage shall be avoided.



**ARCHITECTURAL STYLES - MONTEREY**

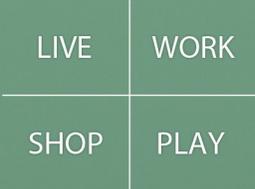
The Monterey style is characterized by simple forms with extensive use of second story balconies, wood shutters and exposed wood rafter tails.

|                |   |
|----------------|---|
| <b>Form</b>    | Simple forms with use of second story balconies.                        |
| <b>Roof</b>    | Low pitch, generally gabled.  |
| <b>Windows</b> | Generally unadorned, paired. Shutters with deep rich colors are common. |
| <b>Colors</b>  | Contrasting shades of white, light and darker.                          |
| <b>Details</b> | Cast iron railings, wood accents.                                       |



**FIGURE 5-32  
MONTEREY ARCHITECTURAL STYLES**

**WESTGATE**



## ARCHITECTURAL STYLES - SPANISH ECLECTIC

A blend of Mission and Spanish revival periods, the Spanish Eclectic style is characterized by low pitched hip or gabled roofs, usually with little or no overhangs, and red tile roofs with light colored stucco walls, typically white. The design elements are often asymmetrical and include arches, balconies, patio's, and wood, wrought iron or stone decorative elements.

|                |  |
|----------------|--|
| <b>Form</b>    | Strong and simple massing, often asymmetrical.                                   |
| <b>Roof</b>    | Low pitched, hip or gable.   |
| <b>Windows</b> | Combination of arched and rectangular, some with shutters.                       |
| <b>Colors</b>  | Typically white stucco facade with red tile roofs.                               |
| <b>Details</b> | Wood and wrought iron/grills and pot shelves, use of decorative patterned tiles. |



FIGURE 5-33  
SPANISH ECLECTIC ARCHITECTURAL STYLES

## ARCHITECTURAL STYLES - COTTAGE STYLE

Cottage is a picturesque style based on medieval Tudor and Norman domestic architecture. The cottage style became popular nationwide when stone and brick veneer techniques became practical.

|                |  |
|----------------|--|
| <b>Form</b>    | Rectangular form massing, often asymmetrical.                                |
| <b>Roof</b>    | Main roof hip or gable with intersecting gable roofs.                        |
| <b>Windows</b> | Combination of arched and rectangles, some with shutters..                   |
| <b>Colors</b>  | Typically white, light tinted colors or light earth tones.                   |
| <b>Details</b> | Entry accents with stone or faux stone, shutters, smooth stucco wall finish. |



**FIGURE 5-34  
COTTAGE STYLE ARCHITECTURAL STYLES**

# WESTGATE

LIVE

WORK

SHOP

PLAY

## ARCHITECTURAL STYLES - CRAFTSMAN

Inspired by the English Arts and Crafts Movement of the late 19th century, the Craftsman Style was focused on artful details and generous use of wood and stone and brick.

|                |  |
|----------------|--|
| <b>Form</b>    | Rectangular form massing, often asymmetrical.  |
| <b>Roof</b>    | Low pitched, hip or gable.   |
| <b>Windows</b> | Combination of arched and rectangular, some with shutters.   |
| <b>Colors</b>  | Field are light to dark earth tones, trim is light to dark earth tones contrasting with field areas.   |
| <b>Details</b> | Entry porches with square columns or posts on stone or brick piers. Shaped wood header trim at windows and doors. Wood and I or stucco siding. |



FIGURE 5-35  
CRAFTSMAN STYLE ARCHITECTURAL STYLES

## ARCHITECTURAL DESIGN PRINCIPLES

The following summarizes the major design principles and standards that shall be incorporated into each floor plan and all building elevations. Examples of residential building types and architectural details that display many of these principles and standards are shown in Figure 5-32 through Figure 5-51.

**Massing and Scale:** The articulation of building facades and variation in rooflines increases the attractiveness in residential architecture. The location of certain building elements also improves massing and scale. On single-family homes, placing one-story elements on two-story houses at street corners effectively steps down the scale and massing, providing a more pedestrian friendly street scene. Therefore, on corner lot conditions for the single-family homes, it is encouraged to provide single story elements such as entry canopies, trellises, porches, or other single story architectural enhancements.

In the case of townhomes and multi-family structures, placing a one or two-story building element at the ends of a three-story structure accomplishes the same objective. This is most needed when these structures are adjacent to or facing single-family detached homes of smaller scale. Single-story elements such as entry canopies, trellises, porches, or other single-story architectural enhancements are examples of architectural features to “step down” the scale. Continuous three-story structures are appropriate when adjacent to business park or retail uses or where live-work homes occur. In these cases, the continuous two or three-story elements may complement the scale of the massing and scale of the commercial uses and create a more urban character. The development’s building height should create a transition from the heights of adjacent existing residential development, rather than abrupt height changes

To create a unified appearance, all support buildings in apartment developments, (e.g., laundry facilities, recreation buildings, carports, garages, and the management / leasing office) should be compatible in architectural design with the rest of the development.

In cases such as multi-family apartment buildings with large building mass, substantial groupings of trees along the perimeter of a site adjacent to major arterial roads can be an effective method to soften the scale of the development as a whole. In cases where buildings face a public park or open space and there is a benefit to have the architecture visible from the public domain, then adding variation in vertical and horizontal building form is desirable and recommended.

Building Materials and Colors play an important role enhancing each neighborhood and the community in general. While earth tones are preferred to complement the early California theme, a variety of color palettes are recommended in order to avoid a monotonous or continuous appearance of buildings. Contrasting of a dark trim against a light house color is one example. Examples of preferred color palettes that blend with the community theme are provided in the photographs in the Figures that follow. Bright orange, pink or other intense colors shall be avoided.

## WESTGATE

LIVE

WORK

SHOP

PLAY

Window Details differentiate architectural styles and provide a high level of architectural enrichment. The selection and proportion of the windows to the façade should be responsive to the architectural style of the building. Size and shape should be considered to assure a balanced relationship with the surrounding roof and walls. Accent shutters are ways to further enhance the architecture and should be in keeping with the scale of the windows. In general, windows should enhance rather than dominate the overall architectural character.

**Porches and Balconies:** Another way to add to the architectural interest and functionality of a building is to incorporate porches and balconies. They help add depth to a building façade and break up large wall masses. Front porches and balconies also provide a pedestrian friendly scale and opportunity for social interaction. The design of the porch or balcony shall be consistent with the architectural style.

**Columns and Posts:** Whether serving as structural or aesthetic elements, columns and posts can reinforce the theme and character of a particular architectural design. The size and scale of columns and posts will vary depending upon the architectural style and should convey a solid, durable image. They may be freestanding or used as a support.

**The Articulation of Rear and Side-Building Facades,** where homes are visible from streets or alleys, is an important consideration to ensure a quality community. Therefore, the architectural treatments for these conditions shall incorporate architectural enhancements such as enhanced window treatments, moldings, balconies and other appropriate details.

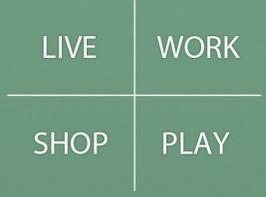
**Floor Plans and Elevations:** For planning areas that include single-family detached homes, a range of floor plans and elevations shall be provided. A minimum of three (3) different floor plans is required for each planning area with a minimum of three (3) elevations required for all detached homes. Matching elevations should not be repeated adjacent to one another or opposite one another. For attached homes, a minimum of three (3) distinct architectural elevations are required for duplexes and triplexes. A minimum of two (2) elevations are required for four-plex or greater buildings unless approved by the Director of Community Development due to unique design conditions.

WESTGATE



Estate homes will be developed on residential lots that are a minimum of 10,000 square feet in area. These examples show custom home character with front elevations that successfully integrate driveways and minimize garage entrances that face the street.

**FIGURE 5-36**  
**SINGLE FAMILY DETACHED EXECUTIVE HOMES**



## WESTGATE



This photo illustrates a well designed single story home. A “side-on” garage with windows and shutters creates the impression of a much larger home. Excellence in design is achieved through the variation of the rooflines including dormers to add interest, the variation in the ground floor building planes, provision of a covered porch, and complementary building colors.



The massing and proportion between first and second story elements, variation of building planes and rooflines, and window detailing with shutters, provides an excellent example of a two story home with a three car garage.

**FIGURE 5-37**  
**SINGLE FAMILY DETACHED HOMES**

WESTGATE

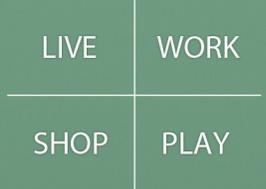


The varied rooflines and building planes, with well balanced one and two story elements creates an attractive elevation. The use of the deep earth tone color on the garage doors lets them recede rather than overwhelm the home. Stone accents placed in a prominent location on the home further add to its appeal.



The massing of this two-story home is well articulated in roof details, windows and trim. The earth tone color palette and contrasting trim colors enhances its overall appeal.

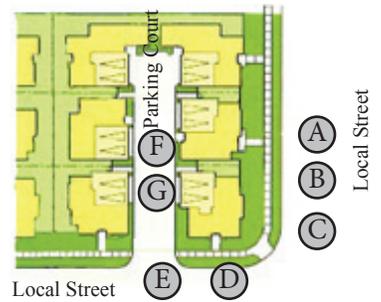
**FIGURE 5-37a**  
**SINGLE FAMILY DETACHED HOMES**



# WESTGATE



A



B



C



D



E



F



G

### Legend

- A-E Homes and main entries face local streets or parking courts and include variation of building massing, form, materials and color. Parkway and sidewalks occur on all local streets as shown in Photo A.
- A-D Use of balconies and porches along local streets enhances the neighborhood setting and provides outdoor living space.
- F-G Within parking courts, homes are enhanced to create architectural interest and to identify each homes main entry.

**FIGURE 5-38  
GARDEN COURT HOMES**



WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

**Legend**

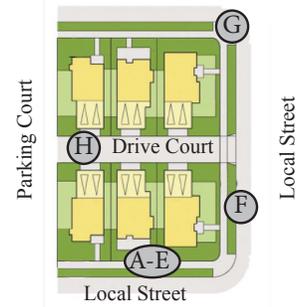
- A Homes and main entries face local streets with garages located in drive courts. Parkways and sidewalks occur on all local streets as shown in photo A.
- B-E Representative building examples demonstrating variation of building massing, form, materials, and colors plus use of awnings, balconies and porches, creates an attractive street scene.
- F Courtyards entries are enhanced with low walls and /or trellises.
- G Interior courtyard walkway and entry to courtyard homes includes variety of trees, shrubs and ground covers.
- H-I Drive court homes include varied roof forms and enhanced landscape.

FIGURE 5-39  
COURTYARD HOMES

# WESTGATE



A



B



C



D



E



F



G



H

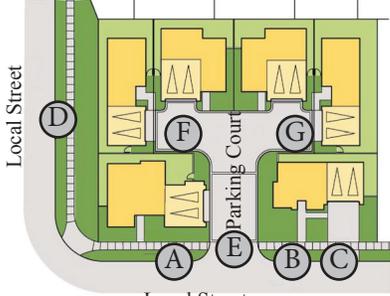
## Legend

- A Homes and main entries face local streets, with garages located off-street along drive courts. Parkway and sidewalks occur on all local streets as shown in Photo A.
- B-F Variation of building massing, form, materials and color, plus use of awnings, balconies and porches, creates an attractive street scene.
- G Wrap-around porches on corners create inviting street scenes and outdoor living space.
- H Varied roof forms and landscape create enhanced drive courts.

**FIGURE 5-40  
PATIO HOMES**



A



WESTGATE



B



C



D



E



F

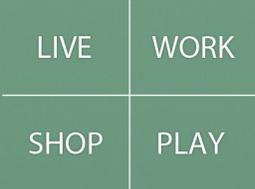


G

**Legend**

- A- G Homes and main entries all face local streets or parking courts and include variation of building massing, form, materials and color. Parkway and sidewalks occur on all local streets as shown in Photo A.
- B-C Use of balconies and porches along local streets enhances the neighborhood setting and provides outdoor living space.
- D-E The front elevation is orientated to the street while the garage is orientated to the parking court.
- F-G Within parking courts, homes are enhanced with porches, covered portals or other architectural features to create architectural interest and to identify each homes main entry.

**FIGURE 5-41  
COURT CLUSTER HOMES**



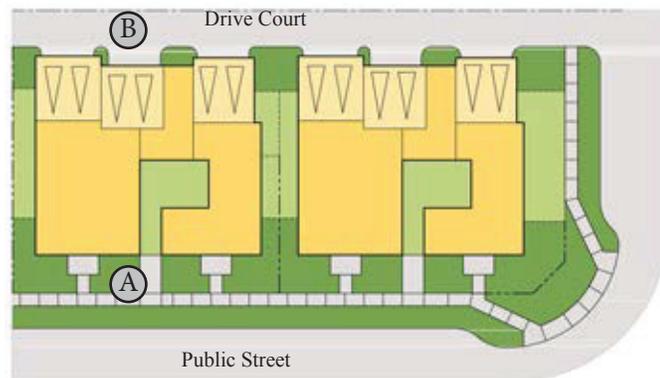
# WESTGATE



A



B



### Legend

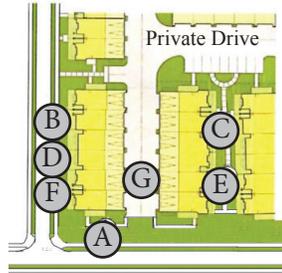
- A Clean and simple architectural lines creates an appealing elevation for this triplex home. Important details include the balcony, colored shutters, recessed first story windows, decorative chimney and moldings around doors.
- B Variation in the building massing, a balcony, wood accents and tan colored garage doors all create a harmonious rear elevation.

**FIGURE 5-42**  
**ATTACHED HOMES**

# WESTGATE



A



B



C



D



E



F



G

**Legend**

- A- F Attached townhomes above represent various architectural styles that incorporate strong design elements, especially with horizontal and vertical changes in the building massing. Balconies and/or porches further enhance the architectural character and provide outdoor living space.
- C & E Well landscaped interior paseo's provide green space in addition to parks and recreation centers.
- G Within private drives, balconies and/or covered porches add private useable space and promote natural surveillance.

**FIGURE 5-43  
ATTACHED HOMES**

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

# WESTGATE



A



B



C



D



E



F

The above examples A-F illustrates attached homes with front or side elevations that create an estate-home character. This is achieved through the use of centrally located architectural elements, such as a covered entry, and/or building projection. Balconies, porches and other architectural enhancements further reinforce the estate character.

All homes adjacent to San Sevaine Road in PA's 16 and 19 shall incorporate the above design guidelines to complement the existing homes on the east side of the road.

**FIGURE 5-44  
RESIDENTIAL BUILDING ELEVATIONS WITH  
ESTATE-HOME CHARACTER**

# WESTGATE



A



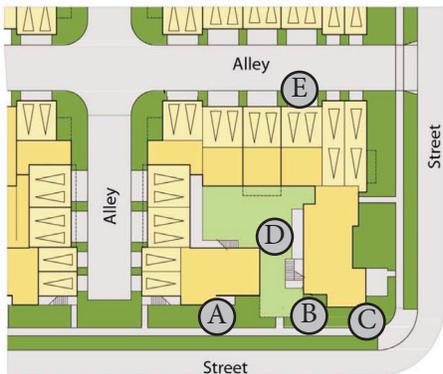
B



C



D



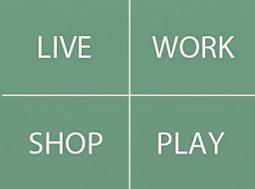
A-C Monterey style elevation with excellent use of forms, materials, color, layering of landscape. Elevations include varied vertical and horizontal planes, roof line variation accents of manufactured or natural stone balconies and/or porches.

D Courtyard entry provides min. 3 feet wide planters.

C Building setback 10' minimum from back of sidewalk to building face.

Most garages oriented away from streets.

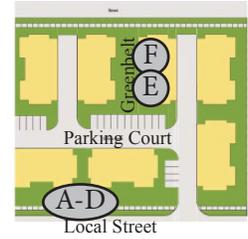
### FIGURE 5-45 MULTI-FAMILY



# WESTGATE



A



B



C



D



E



F

## Legend

- A-D Variation in vertical and horizontal planes reduces massing while changes in color and materials adds depth and interest. These design elements apply in traditional architectural forms shown in photo's A & C, or contemporary style design solutions shown in B and D.
- E-F Well landscaped interior greenbelts and paseo's with shaded seating areas create an inviting setting.

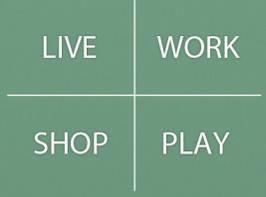
**FIGURE 5-46  
MULTI-FAMILY**

# WESTGATE



The above provides examples of the types of clubhouse building facilities, quality and amenities for clubhouses in Planning Areas 18, 36 and 51.

### FIGURE 5-47 CLUBHOUSE BUILDINGS



# WESTGATE



Two upscale senior facilities are planned for 55+ and older seniors in Planning Areas 10, and 67. Examples of the character and amenities are shown above. During the conditional use permit process, final architectural and interior amenities will be determined.

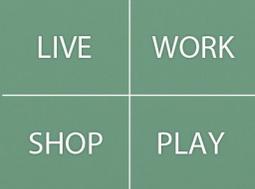
**FIGURE 5-48**  
**SENIOR HOUSING FACILITIES**

WESTGATE

Window details are an important feature in any quality home design. As shown below, they should complement the architectural theme and take into consideration the function and hierarchy within the composition of the building's elevation.



FIGURE 5-49  
WINDOW GUIDELINES - ALL RESIDENTIAL



# WESTGATE

Porches and balconies add to both of the functionality and beauty of a house and provide a sense of enclosure and protection from the climate.



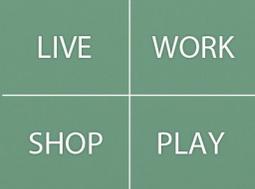
**FIGURE 5-50  
PORCHES AND BALCONIES GUIDELINES -  
ALL RESIDENTIAL**

# WESTGATE

Columns and posts can be functional, create interest. And reinforce the style of a home. As seen below, scale and size can vary and by doing so differentiate the appearance of each home.



**FIGURE 5-51  
COLUMNS AND POSTS GUIDELINES -  
ALL RESIDENTIAL**



## 5.7 COMMUNITY ENTRY MONUMENTS, GATEWAY, WALLS AND FENCE GUIDELINES

### 5.7.1 ENTRY MONUMENT GUIDELINES

Community entry monument features are planned at several key locations to reinforce the community identity. The intent is to create a consistent theme and vocabulary of materials for all monuments, whether for residential or commercial areas. Each monument will also include the community name or logo. Refer to Figure 5-52, Entry Monument Plan, for locations of each of the monuments. Sketches and examples for each of the entry monument concepts are located in Figure 5-53, Entry Monument Concepts.



### 5.7.2 COMMUNITY GATEWAY

Traveling from the west along the Route 210 Freeway, the first major interchange and major road into the City of Fontana that greets residents and visitors is Cherry Avenue. A wide landscaped “gateway” feature is planned to create a sense of arrival into both the City and Westgate. Renderings and plans shown in Figure 5-53, Entry Monument Concepts, Figure 5-54, Gateway Plan and Elevation, and Figure 5-55, Gateway Renderings, illustrate the design intent.

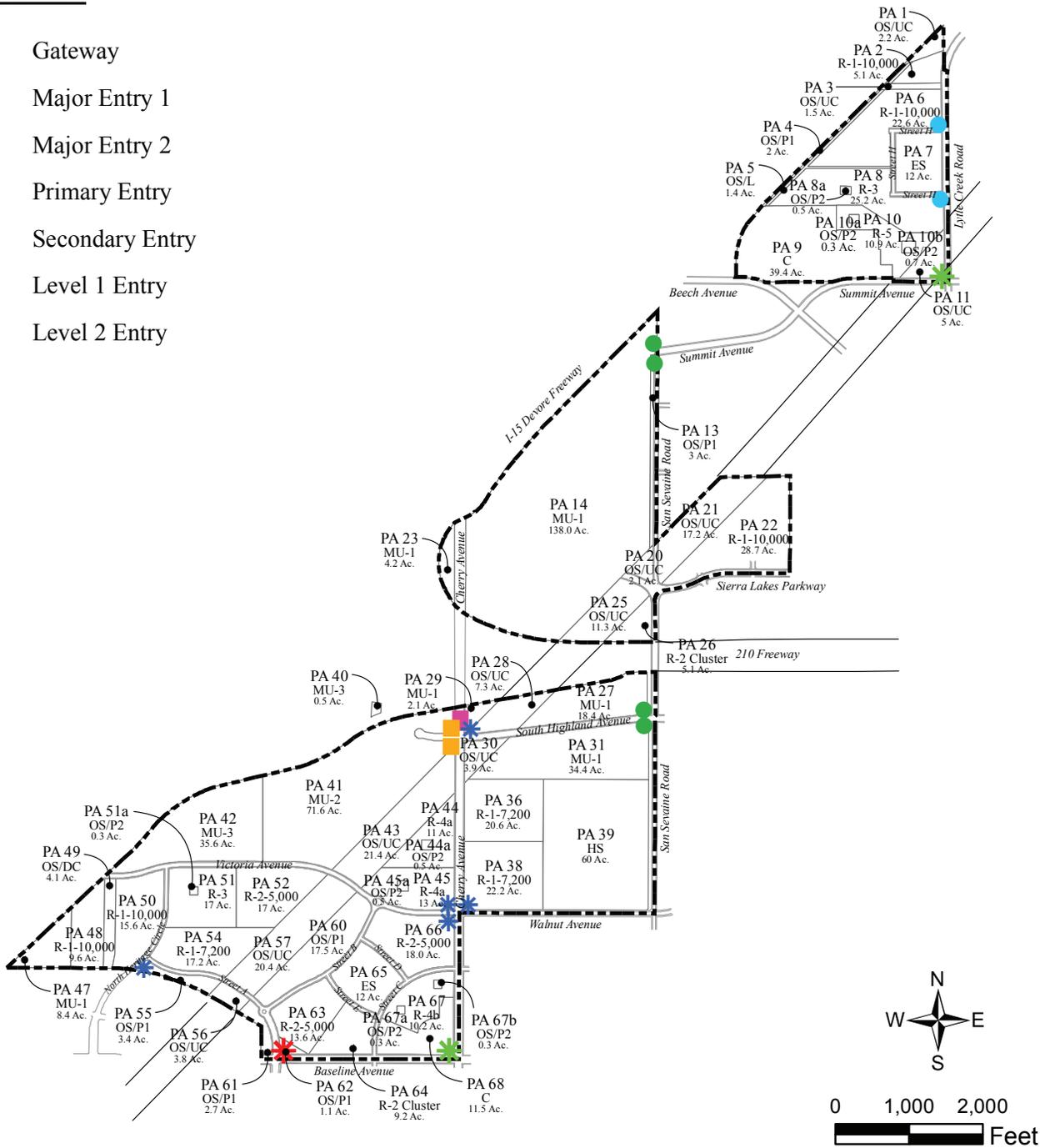
### 5.7.3 COMMUNITY WALL AND FENCE GUIDELINES

As is the case with community entry monuments, a well defined program for community walls and fences will reinforce the community identity. Guidelines are as follows:

Refer to Figure 5-56, Community Wall and Fence Plan, for locations of community walls and fences. Figure 5-57, Wall and Fence Elevations, includes examples of the character of the walls and fences. Walls shall be a tan colored split face block. The height of walls and fences should generally be a maximum six feet (not to exceed 6’-6” where wall requires a stepped condition to accommodate a slope). Walls may exceed this height where required for noise attenuation, subject to an acoustical study. All walls facing the public side of a street shall be planted with vines such as Boston Ivy to soften its effect and to provide a graffiti resistant surface. Vine spacing shall not exceed twenty feet on center. Split face surfaces on walls are not required between adjacent commercial or business uses and in any location not facing public areas.

**LEGEND:**

- Gateway
- ✱ Major Entry 1
- Major Entry 2
- ✱ Primary Entry
- ✱ Secondary Entry
- Level 1 Entry
- Level 2 Entry



**FIGURE 5-52  
ENTRY MONUMENT PLAN**

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Major Entry 1



Major Entry 2  
(Cherry Avenue)



Primary Entry



Level 1 Entry



Secondary Entry



Level 2 Entry



Major Entry 2  
(Sierra Lakes Parkway)

Note:  
All dimensions shown are maximum. Exact dimensions will be determined during final design.  
Where dimensions are not shown above, the maximum height shall be five feet (5').

FIGURE 5-53  
ENTRY MONUMENT CONCEPTS

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Elevation of Gateway Looking West on Cherry Avenue



Gateway Plan View

**FIGURE 5-54**  
**GATEWAY PLAN AND ELEVATION**

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View entering City and looking South on Cherry Avenue near 210 Freeway



View looking North on Cherry Avenue through Utility Corridor

**FIGURE 5-55**  
**GATEWAY RENDERINGS**

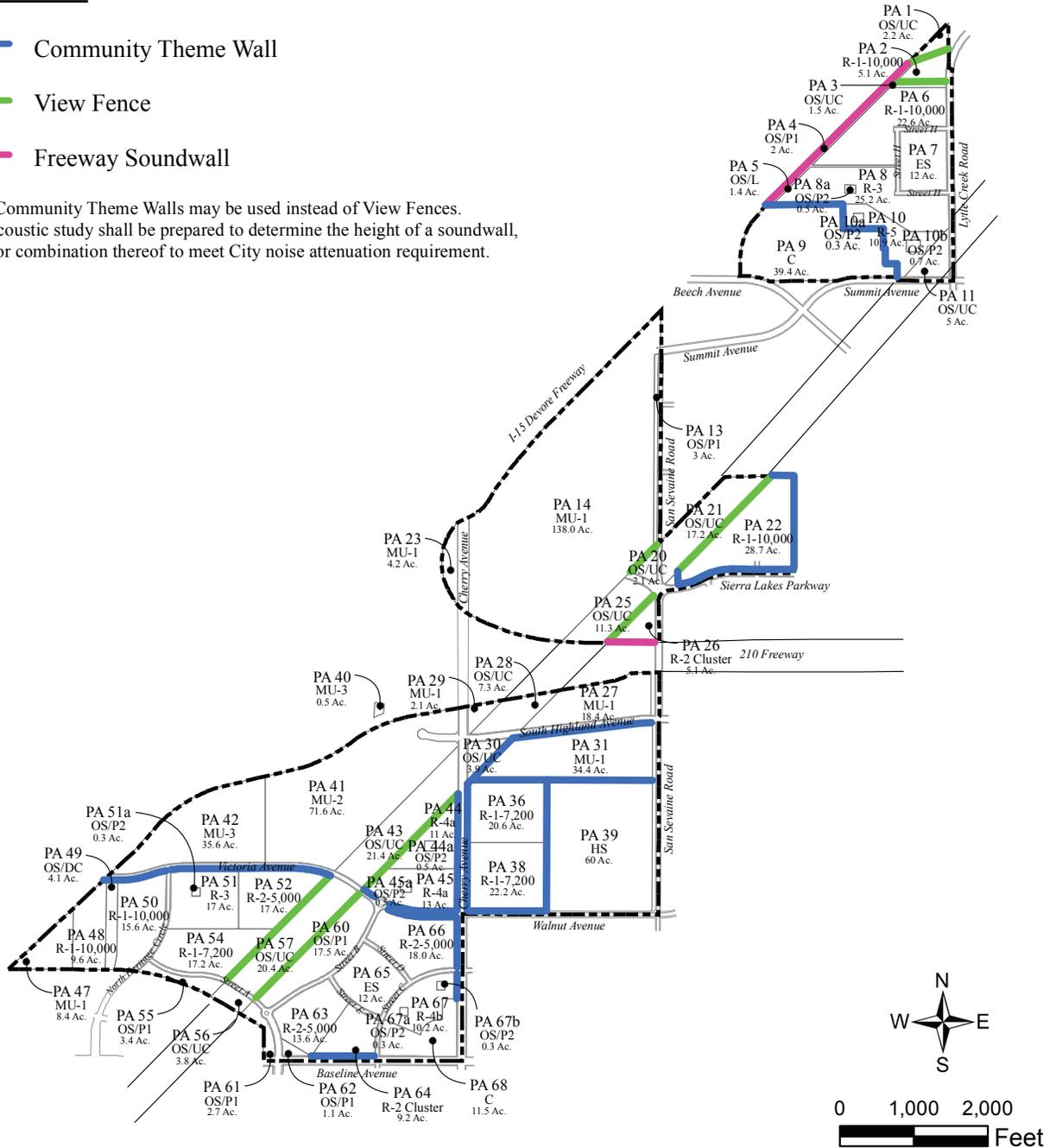
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**LEGEND:**

- Community Theme Wall
- View Fence
- Freeway Soundwall

Note: Community Theme Walls may be used instead of View Fences.  
 \* An acoustic study shall be prepared to determine the height of a soundwall, berm, or combination thereof to meet City noise attenuation requirement.



**FIGURE 5-56  
 COMMUNITY WALL AND FENCE PLAN**

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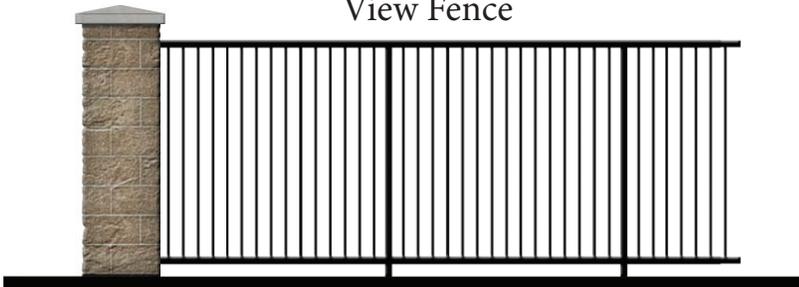
### Community Theme Wall



#### 1. Split-Face Blockwall with Split-Face Block Pilasters

Vines are required every twenty feet as indicated on Page 5-89, paragraph 2.

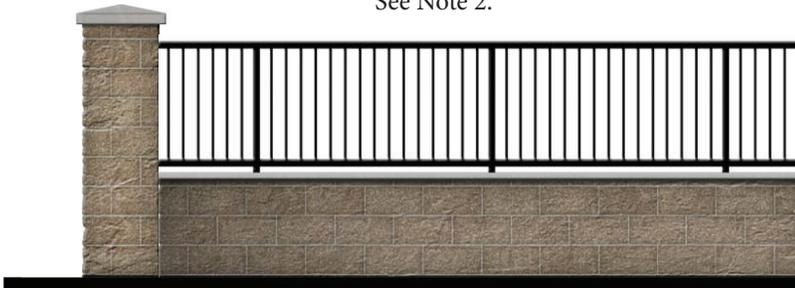
### View Fence



#### 2. Tubular Steel View Fence with Split-Face Block Pilasters

### Combination Wall and Fence

See Note 2.



#### 3. Combination Tubular Steel View Fence with Split-Face Blockwall

##### Notes:

- 1) The maximum spacing between pilasters shall be 100'.
- 2) The combination wall / fence shall be permitted only with city police department approval.
- 3) The Split Face Blockwall is permitted in lieu of the View Fence above.
- 4) All Split Face Blockwalls shall be tan in color. Caps on wall shall also be tan, min. 2" high.
- 5) No wood or chain link fences are permitted within the residential uses of the Westgate Specific Plan.
- 6) Sound walls shall be tan color Split Face Block. Wall design shall be similar to the community theme wall unless otherwise approved by the Director of Community Development. Refer to Figure 5-56, Community Wall and Fence Plan.
- 7) Proto II walls are permitted in accordance with City Engineering requirements.
- 8) Slumpstone walls of similar color bay be used instead of split face block

**FIGURE 5-57  
WALL AND FENCE ELEVATIONS**

## 5.8 COMMUNITY STREETScape MASTER PLAN AND GUIDELINES



Streetscapes play an important part in developing a distinctive community. Trees, shrubs and groundcovers within parkway, medians, and landscaped setback areas adjacent to the public right of ways all contribute to creating a unified and beautiful community. The streetscape design elements for the primary streets within the Westgate Specific Plan are described and illustrated. Trees recommended in the primary streetscapes are described below. In the event alternate tree selections occur, they shall be similar in form and character to those described below. All street trees within the parkways (between sidewalks and curbs) are required to be planted with equidistant, uniform spacing. All trees within landscape easement areas, between the sidewalk and community theme walls in residential areas, shall be planted in informal groupings in order to create a buffer between homes and major streets.

### Cherry Avenue Gateway:

The Gateway is located on Cherry Avenue between existing Highland Channel and the north boundary of the utility corridor. The location is graphically shown on Figure 5-52, Entry Monument Plan. Refer also to Figure 5-54, Gateway Plan and Elevation, and Figure 5-55, Gateway Renderings, for an elevation, landscape plan, and renderings.

A 55' landscape setback plus 6' wide side walk and 6' wide parkway are planned on each side of Cherry Avenue. Three rows of Jacarandas and one row of palm trees are planned with drought tolerant shrubs and ground covers beneath.

Cherry Avenue: The Tipu tree will be planted in the parkway with the Southern Magnolia in the median. The Tipu tree provides a shade canopy for hot summer months. In residential areas, evergreen pines will be provided in the landscaped setback areas along Cherry Avenue to form a year round evergreen backdrop.

Baseline Avenue: The median landscape along Baseline Avenue has been completed and will remain. London Plane trees with a stately upright form will be planted in the parkways to complement the existing street scene and Westgate.

Victoria Avenue: The London Plane Tree will be planted in the parkways. African Sumac, a small scale evergreen tree will be provided in the medians. Evergreen pines will be planted in the landscaped setback areas adjacent to residential uses along Victoria Avenue to form a year round evergreen backdrop.

## WESTGATE

|      |      |
|------|------|
| LIVE | WORK |
| SHOP | PLAY |

# WESTGATE

Walnut Avenue: Camphors, evergreen broad dome trees, will be planted in the parkways with African Sumac planted in the median. Evergreen pines will be planted in the landscaped setback adjacent to residential uses areas along Walnut Avenue to form a year round evergreen backdrop.

South Highland Avenue: Parkways will be planted with Magnolias to provide a year round evergreen attractive shade canopy. The median will be planted with the deciduous Chinese Flame Tree to provide a seasonal accent.

Sierra Lakes Parkway: The Pistachio tree, which forms a broad dome shade canopy, with leaves that turn a vibrant burgundy during the fall season, will be planted in the parkways. Evergreen Magnolias will be planted in the medians and evergreen pines will be planted in the landscaped setback adjacent to residential uses areas to form a year round evergreen backdrop.

Summit Avenue: Summit is a divided road and is located within the mixed use commercial areas. Evergreen Ash trees will be planted in the parkways with Camphors in the median.

San Sevaine Road: The parkway for this half street will be planted with Crape Myrtle, a flowering deciduous tree that provides a color accent. Evergreen pines will be planted in the landscaped setback adjacent to residential uses areas to form a year round evergreen backdrop.

North Heritage Circle: The parkways for this street will be planted with Tipu tree, a flowering tree with a broad dome canopy.

Lytle Creek Road: This street is planned for Japanese Zelkova trees that provide excellent summer shade and fall color.

Street A: The parkways will be planted with London Plane, a deciduous tree with fall color. Evergreen pines will be planted in the landscaped setback adjacent to residential uses areas to form a year round evergreen backdrop.

Street B: The parkways for this street will be planted with Evergreen Elms, which forms a flowering broad shade canopy. Evergreen pines will be planted in the landscaped setback adjacent to residential uses areas to form a year round evergreen backdrop.

Street C: The parkways for this street will be planted with the Tipu tree, a broad dome canopy tree. Evergreen pines will be planted in the landscaped setback adjacent to residential uses areas to form a year round evergreen backdrop.

Street D / E: Street D and E are local streets on three sides of the elementary school site in PA 7. The parkways for this street will be planted with the deciduous London Plane tree that will provide a shade canopy.

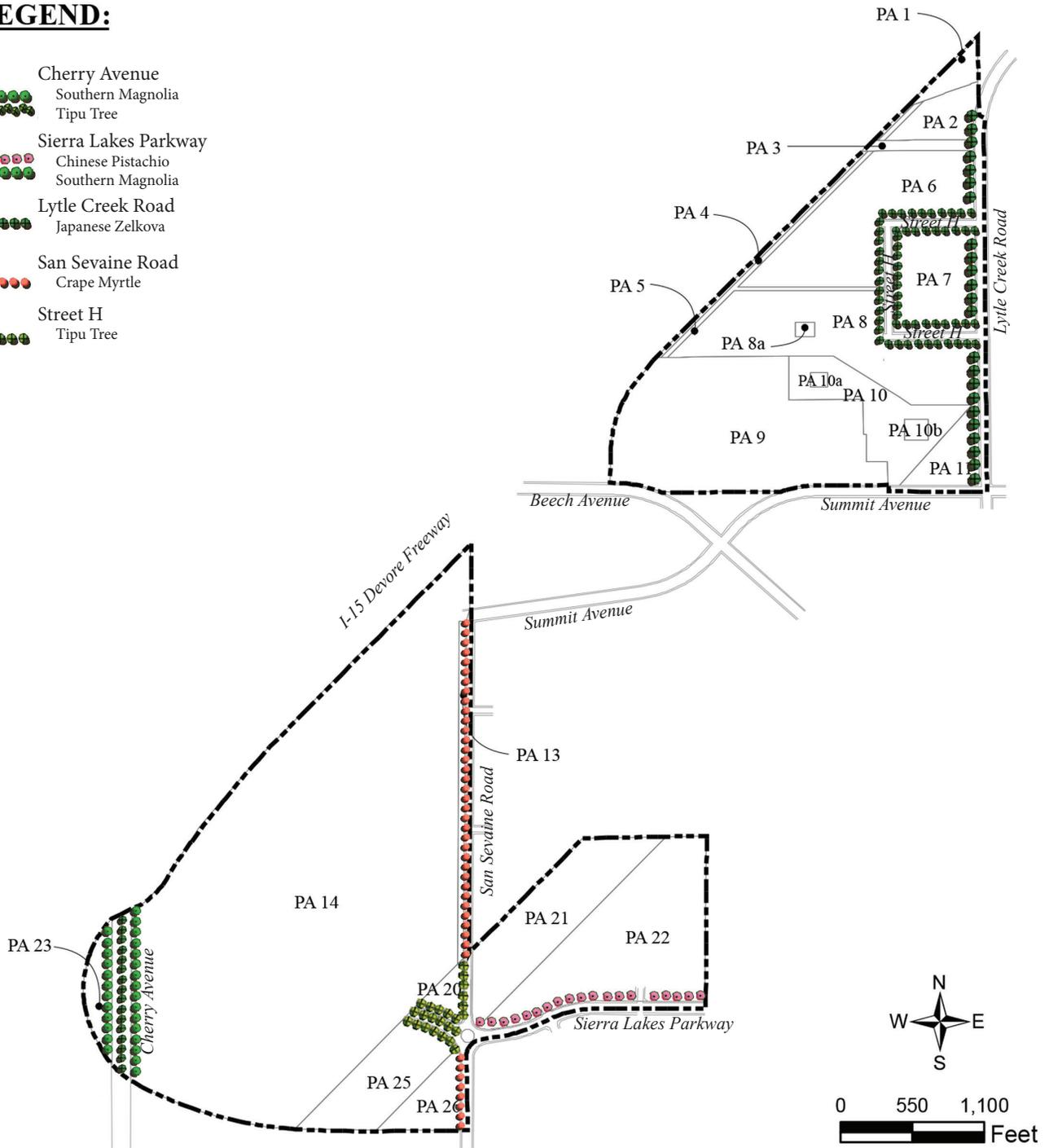
Street F: This street is planned for Japanese Zelkova trees that provides excellent summer shade and fall color.

Street G: London Plane trees are designated for this local street which provide both summer shade and fall color.

Street H: This street borders three sides of the future elementary school site and will be planted with the Tipu Tree, a broad dome tree that provides an excellent shade canopy during hot summer months.

**LEGEND:**

- Cherry Avenue
  -  Southern Magnolia
  -  Tipu Tree
- Sierra Lakes Parkway
  -  Chinese Pistachio
  -  Southern Magnolia
- Lytle Creek Road
  -  Japanese Zelkova
- San Sevaine Road
  -  Crape Myrtle
- Street H
  -  Tipu Tree



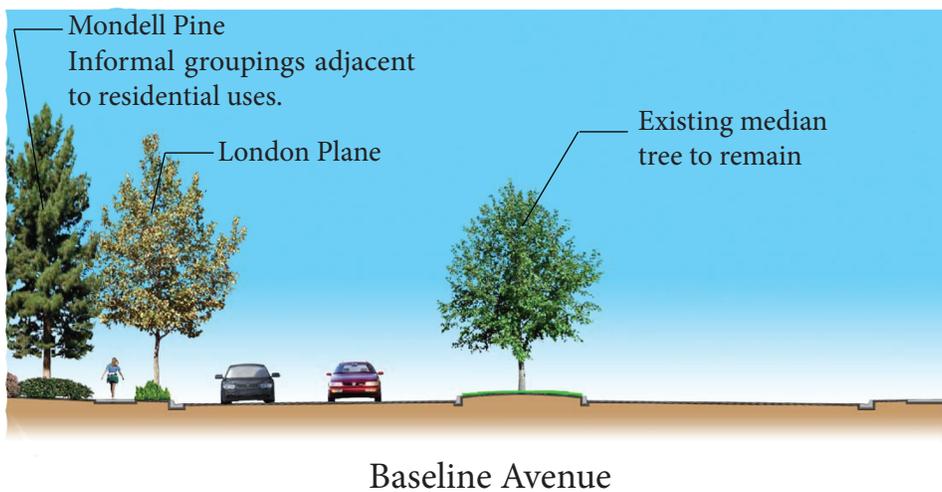
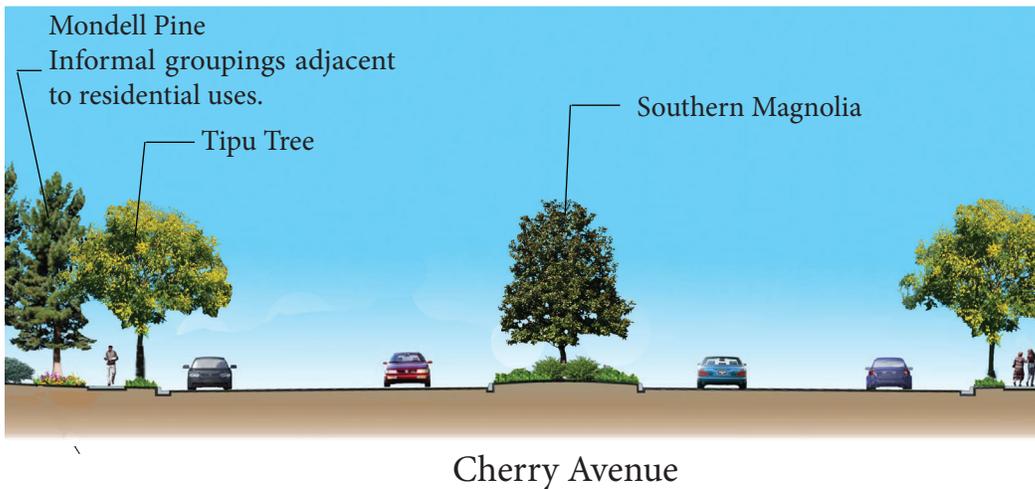
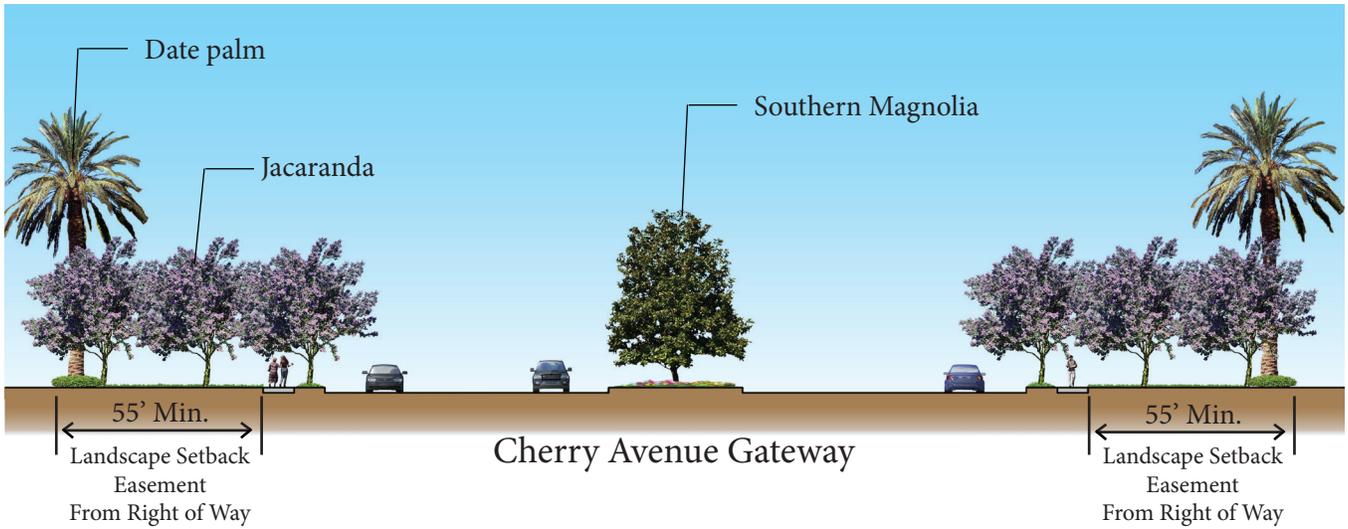
**FIGURE 5-58**  
**WESTGATE CENTER AND FALCON RIDGE STREETScape MASTER PLAN**

**LEGEND:**

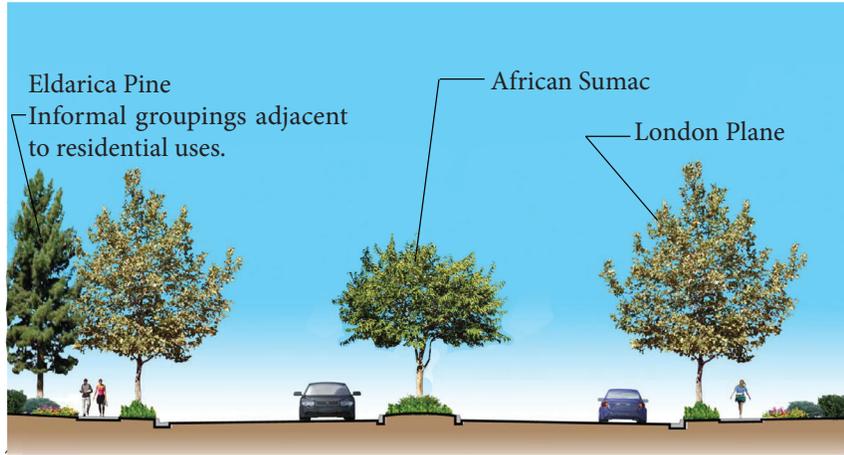
- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>●●● Baseline Avenue</li> <li>● London Plane</li> <li>●●● Cherry Avenue</li> <li>● Southern Magnolia</li> <li>● Tipu Tree</li> <li>●●● Cherry Avenue Gateway</li> <li>● Date Palm</li> <li>● Jacaranda</li> <li>●●● Victoria Avenue</li> <li>● London Plane</li> <li>● African Sumac</li> <li>●●● Walnut Avenue</li> <li>● Camphor Tree</li> <li>● African Sumac</li> <li>●●● South Highland Avenue</li> <li>● Southern Magnolia</li> <li>● Chinese Flame Tree</li> <li>●●● San Sevaine Road</li> <li>●●● Cape Myrtle</li> </ul> | <ul style="list-style-type: none"> <li>●●● Street A - North of roundabout</li> <li>● London Plane</li> <li>●●● Street A - South of roundabout</li> <li>● London Plane</li> <li>●●● Cape Myrtle</li> <li>●●● Street B</li> <li>● Evergreen Elm</li> <li>●●● Street C</li> <li>● Tipu Tree</li> <li>●●● Street D &amp; E</li> <li>● London Plane</li> <li>●●● North Heritage Circle</li> <li>● Tipu Tree</li> </ul> |
|--|---|



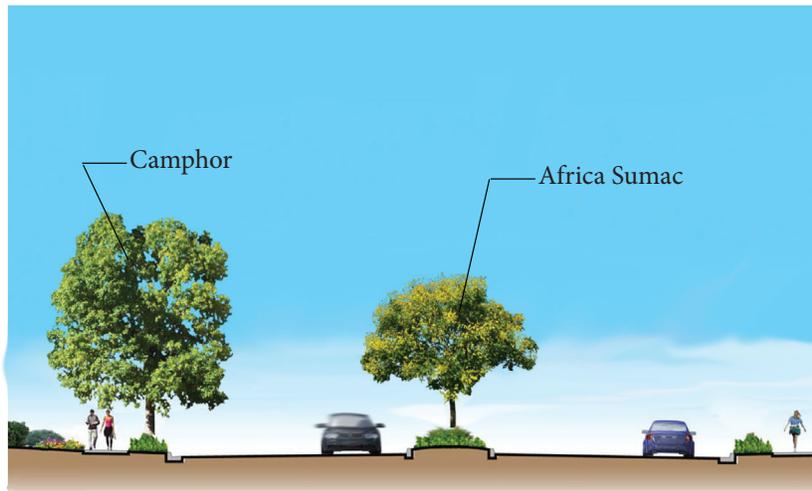
**FIGURE 5-59  
WESTGATE WEST AND WESTGATE EAST STREETScape  
MASTER PLAN**



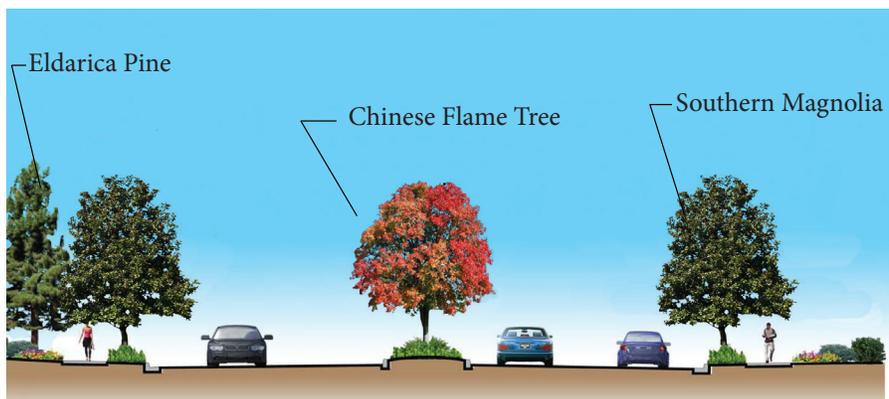
**FIGURE 5-60**  
**STREETSCAPE SECTIONS**



Victoria Avenue

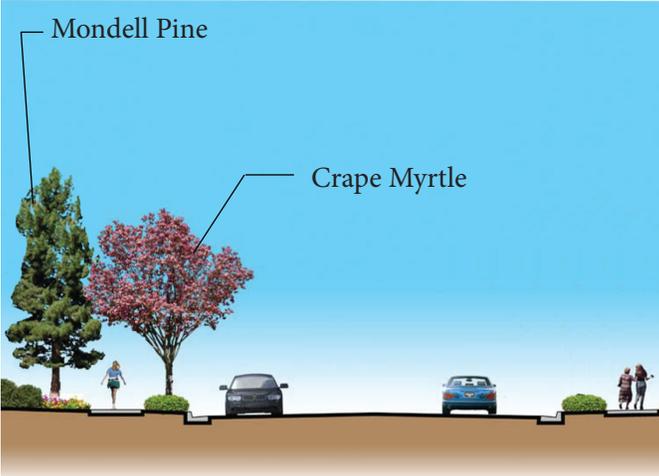


Walnut Ave

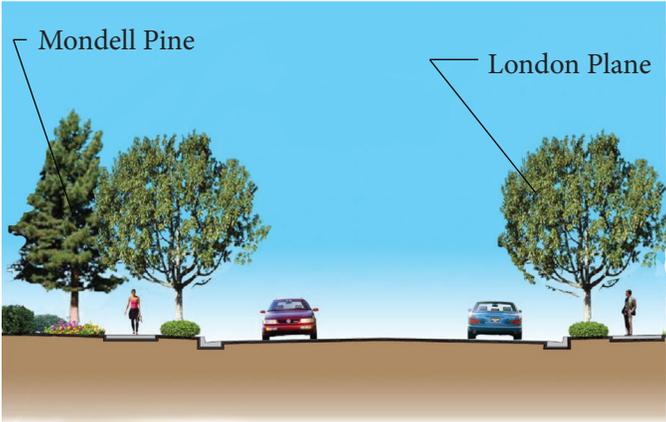


South Highland Avenue

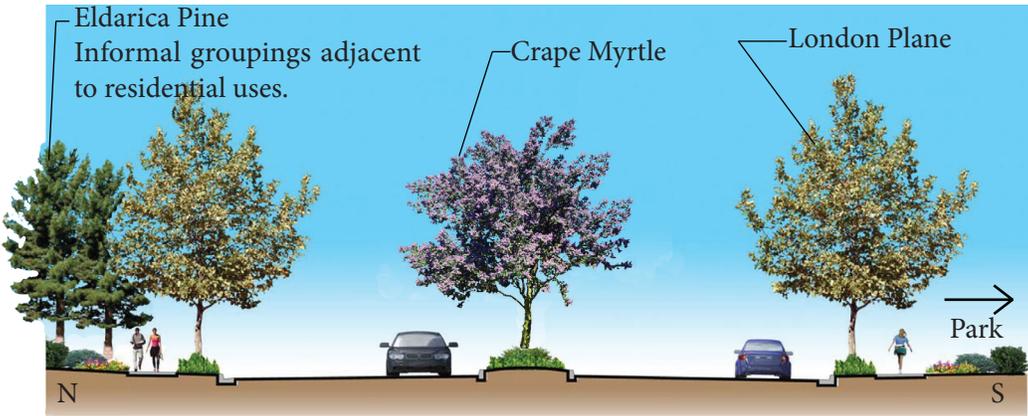
FIGURE 5-61  
STREETSCAPE SECTIONS



San Sevaine Road



Street A - North of Roundabout

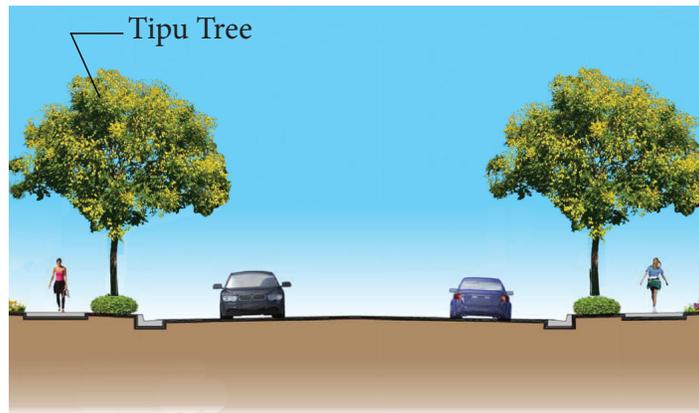


Street A - South of Roundabout

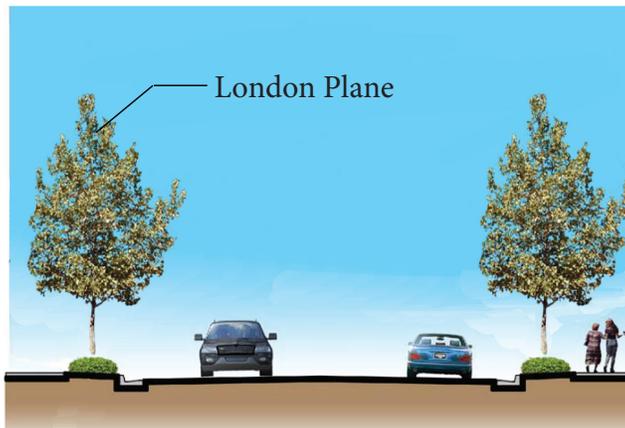
**FIGURE 5-62  
STREETSCAPE SECTIONS**



Street B

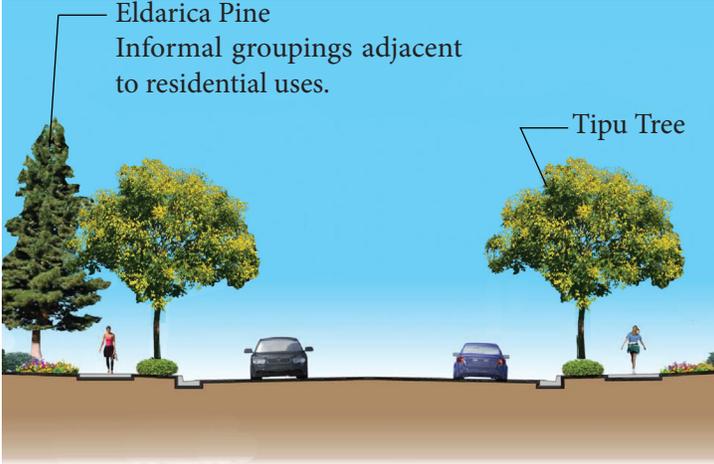


Street C

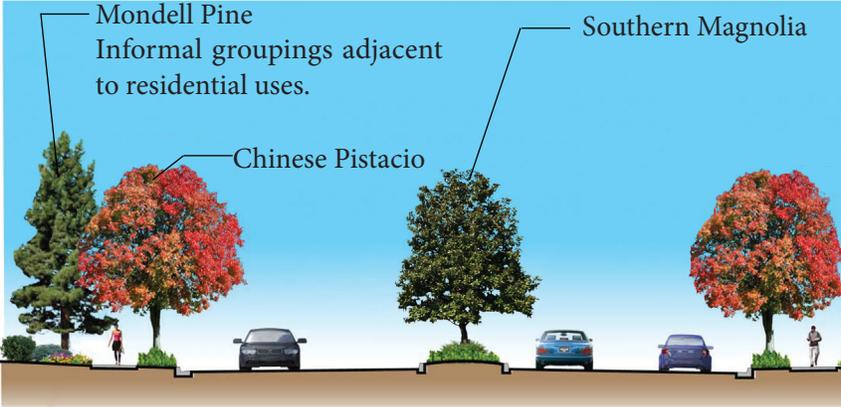


Street D & E

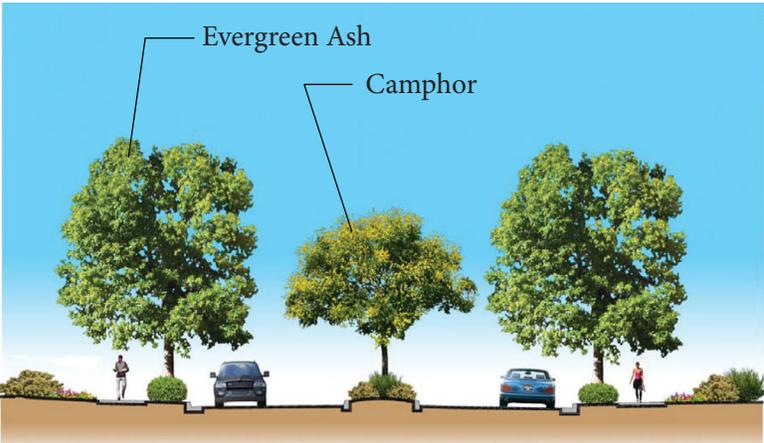
**FIGURE 5-63  
STREETSCAPE SECTIONS**



North Heritage Circle

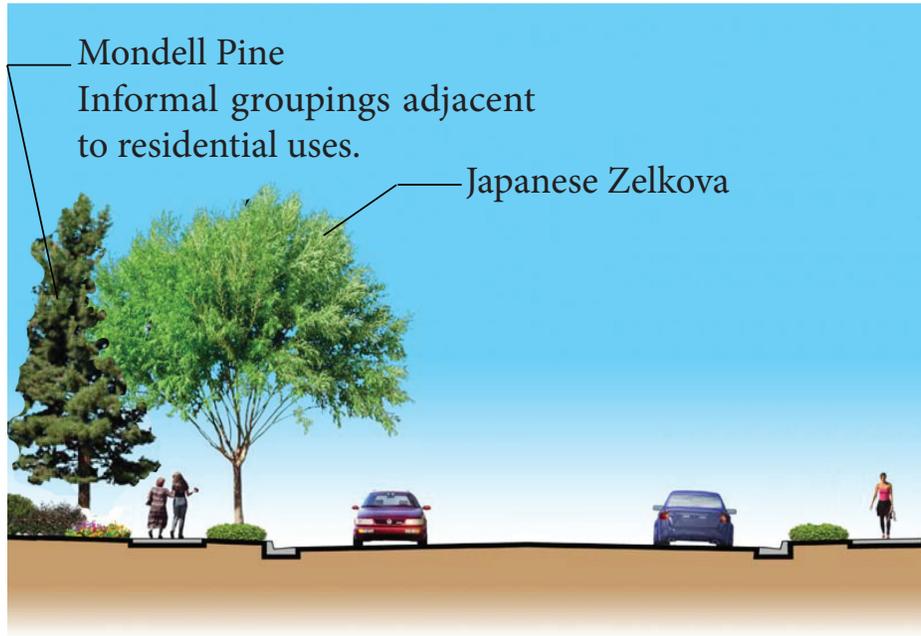


Sierra Lakes Parkway

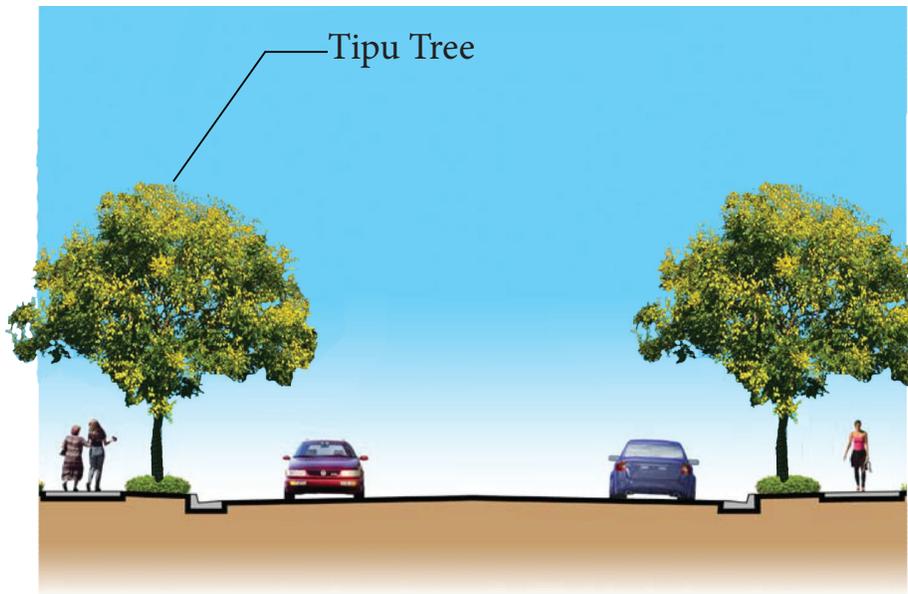


Summit Avenue

FIGURE 5-64  
STREETSCAPE SECTIONS



Lytle Creek Road

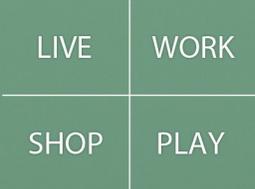


Street H

FIGURE 5-65  
STREETScape SECTIONS

WESTGATE

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## 5.9 RESIDENTIAL - SITE LANDSCAPE, WALL AND FENCE GUIDELINES

Each residential site shall be required to adhere to the minimum following guidelines and standards and other Sections of the Westgate Specific Plan.

1. The builder or developer shall be responsible for landscaping all public and private common homeowner association maintained areas.
2. Private use areas enclosed by five to six feet high privacy walls or separated by other similar architectural elements shall not be required to be landscaped by the builder or developer.
3. All plant materials for common areas shall be selected from the Landscape Palette located in the Community Design Guidelines. Additional plant material may be selected if approved by the Director of Community Development.
4. Refer to Table 4.3, Residential Development Regulations, for minimum landscape coverage requirements. All landscaped and private recreation areas shall be counted towards the common area landscape percentage requirements, including tot lots, private pool complexes within or adjacent to the residential parcel, walkways and landscaped parkways not part of public right of way dedications.
5. Street trees in public right of ways and all parkways shall be selected that are consistent with Figure 5-58, Streetscape Master Plan, and Figure 5-59 through Figure 5-65, Streetscape Sections.
6. All areas used for private patios may be screened with up to six feet (6') high masonry wall or combination fence and wall material pursuant to the Community Design Guidelines. However, if less than eight feet (8') in depth occurs between sidewalks and a wall where there are fronts of homes adjacent to a public or private street, then the maximum wall height shall be three feet (3'). There shall be no less than two feet (2') of planting area depth between the face of any fence or wall of any height to a sidewalk or other paved surface, in order to allow for plant materials such as vines and hedges to be planted.
7. No wood fences are permitted within the Westgate Specific Plan project area. No chain link fences are permitted except during construction periods on a temporary basis.
8. Where walls open to public view are provided for privacy between homes, along private drive courts, alleyways, or corner lots, they shall be a masonry material that complements the building architecture. This includes slump stone, split face block, stucco finished masonry walls or similar. All walls shall have minimum two inch high caps. Refer to Figure 5-57, Wall and Fence Elevations, for examples of a split-face block wall.

9. For R-2 to R-4 residential areas within individual parcels refer to Figure 5-66 through Figure 5-71 for planting design standards. These standards are provided as a “palette” to guide the landscape design of the various sites. They are not intended to be interpreted literally or to depict any actual lot or design. Refer to Figure 5-58 through Figure 5-65 for landscape requirements for areas within the public right-of-way and for parkways in private streets.
10. For detached homes in the R-2 zone the following are minimum requirements for homes facing a public or private street: Two plantings, in addition to street trees, with one minimum 24” box tree and one minimum 15 gallon small tree or medium size shrub. These shall be placed in informal groupings in addition to the smaller scale shrubs and ground covers identified in Figure 5-66 through Figure 5-71. All shrubs shall be minimum 40% five gallon and 60% one gallon.
11. For all other attached or multi-family residential housing types in the R-2 to R-4 zones, excluding interior private drive courts and alleyways, common landscape area trees shall be planted in informal groupings with 20% minimum 24” box size trees and 80% minimum 15-gallon size. All shrubs shall be minimum 40% five gallon and 60% one gallon.
12. In-between detached dwelling units where garages are located along private drives, parking courts and alleyways, a minimum 15-gallon small tree is required.
13. In attached dwelling units along private drives, drive courts and alley ways, where garages are adjacent to one another, a minimum two (2) feet wide planting area is required. Within each planting area, a minimum 15 -gallon small tree, large growing shrub or vine is required.
14. All common privacy walls between homes facing the public realm including on street side corner lots, shall be planted with minimum one gallon vines not to exceed four feet on center.
15. For common refuse enclosures, they shall provide a separate gate with sign for recycled materials.
16. Landscape shall be provided where residential uses occur along the I-15 Freeway corridor. Refer to Figure 5-71, Landscape Planting Design Guidelines, for a cross section of the intended landscape character.

## WESTGATE

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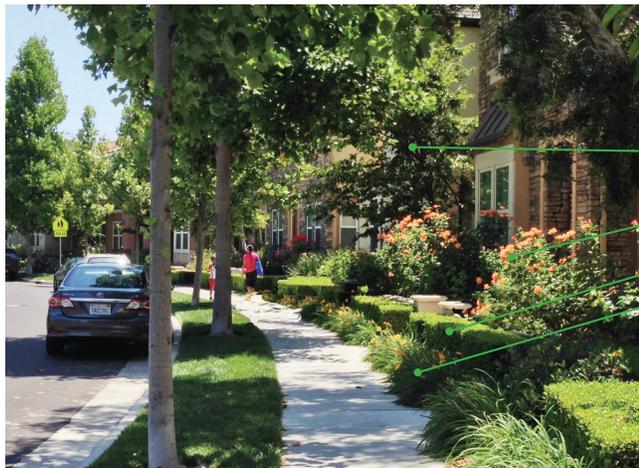
# WESTGATE



- Tree (Tier 1)
- Medium Shrub (Tier 2)
- Low Shrub (Tier 3)
- Ground cover (Tier 4) or small shrub.



- Tree (Tier 1)
- Medium Shrub (Tier 2)
- Low Shrub (Tier 3)
- Ground cover (Tier 4) or small shrub.



- Tree (Tier 1)
- Medium Shrub (Tier 2)
- Low Shrub (Tier 3)
- Ground cover (Tier 4) or small shrub.

The objective is to create a series of “landscape tiers” for front yards in common H.O.A. maintained areas shown above and on the following pages for detached homes in the R-2 zone. These tiers will insure the design quality represented above is provided in all R-2 residential areas. Refer to the following page for additional examples and plant sizing requirements.

**FIGURE 5-66**  
**LANDSCAPE PLANTING GUIDELINES**



### Landscape Tiers

The above are additional examples of landscape tiers shown on Figure 5-67. The intent illustrated in all these examples is to create an individualized front yard appearance based on the architectural style and layout of each home. Landscape designs for adjacent lots/front yards should differ

For landscape areas 7' wide or greater a minimum of 4 landscape “tiers” are required for each home facing a local street that will obtain an ultimate maintained height (through trimming if necessary) as shown below. For landscape areas less than 7' wide a minimum of 2 tiers are required. Refer to Page 5-81 and below for plant size requirements.

Ultimate

| Height:    | Tier:                                |
|------------|--------------------------------------|
| 15'-25'    | Tier 1 – Tree*                       |
| 4'-5'      | Tier 2 – Medium shrub                |
| 2'-3'      | Tier 3 – Low shrub                   |
| Up to 1.5' | Tier 4 – Ground cover or small shrub |

\* A Tier 1 tree may be a columnar form, such as shown in the photos on top of this page, for up to 25% of all front yards providing a street tree is located in the parkway in front of the same home.

**FIGURE 5-67  
LANDSCAPE PLANTING GUIDELINES**



The same landscape tier requirements described in Figure 5-67, Landscape Planting Guidelines, also apply to Multi-Family and Attached Homes.

## MULTI-FAMILY AND ATTACHED HOMES

**FIGURE 5-68  
LANDSCAPE PLANTING GUIDELINES**



The same required landscape tiers described in Figure 5-67, Landscape Planting Guidelines, also apply to Paseo's and Courts within R-2 through R-4 uses

**PASEOS and COURTS**

**FIGURE 5-69  
LANDSCAPE PLANTING GUIDELINES**



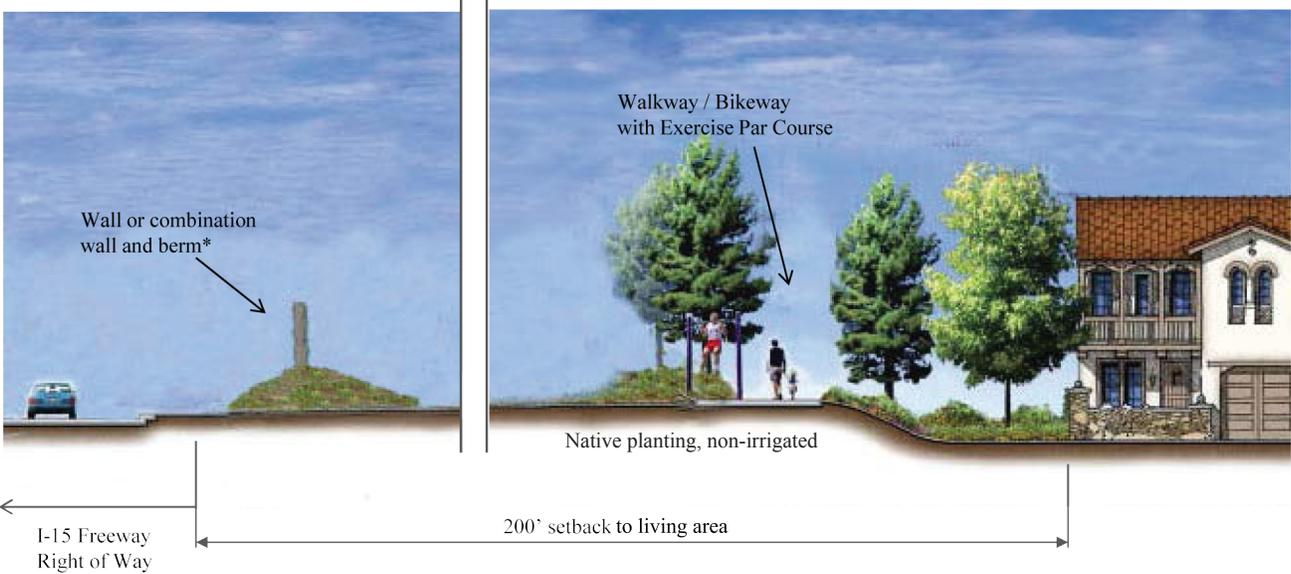
Within drive courts, trees, shrubs and vines enhance the character. A minimum of one tree (15 gal. min) between each set of garage doors is required. Refer to page 5-81, paragraph 10 and 11 for landscape requirements.



Privacy walls are softened with vines and are required where walls face local streets.

## DRIVE COURTS AND WALLS

### FIGURE 5-70 LANDSCAPE PLANTING GUIDELINES



Refer also to Figure 3-11, page 3-30.  
\* Height subject to preparation of an acoustical study to meet EIR noise attenuation mitigation measures.

**Conceptual Cross Section Along I-15 Freeway Corridor, PA's 2, 6 AND 8.**



**Par Course and Pathway**



**Landscape Character**



\* An acoustic study shall be prepared to determine the height of a sound wall, berm or combination thereof to meet City noise attenuation requirements.

**FIGURE 5-71  
LANDSCAPE PLANTING GUIDELINES**

- A. Screen all parking lots from public street views with hedge.
- B. Provide tree groupings within the required landscape setback area.
- C. Provide parking lot trees to create shade.

Refer to pages 4-21 through 4-24 for required landscape setbacks along parking lots and other landscape requirements.



**FIGURE 5-72  
PARKING LOT LANDSCAPE GUIDELINES**

## 5.10 LANDSCAPE PLANTING GUIDELINES - STREETSCAPES

### 5.10.1 PLANT SIZING GUIDELINES

Landscape material sizes shall meet the following minimum criteria:

| MAJOR STREET                                  | TREES IN PARKWAYS   | TREES BETWEEN<br>COMMUNITY WALLS<br>AND SIDEWALK* |
|---|---|---|
|   | 40' on center average<br>spacing, minimum   | 35' on center average<br>spacing, minimum         |
| Baseline Avenue                               | 24" box min.  | 24" box min.                                      |
| Cherry Avenue                                 | 24" box min.  | 24" box min.                                      |
| Victoria Avenue                               | 24" box min.  | 24" box min.                                      |
| Walnut Avenue                                 | 24" box min.  | 24" box min.                                      |
| South Highland Avenue                         | 24" box min.  | 24" box min.                                      |
| Sierra Lakes Avenue                           | 24" box min.  | 24" box min.                                      |
| San Sevaine Avenue                            | 24" box min.  | 24" box min.                                      |
| Lytle Creek Road                              | 24" box min.  | 24" box min.                                      |
| Summit Avenue                                 | 24" box min.  | 24" box min.                                      |
| Streets A-F                                   | 24" box min.  | 24" box min.                                      |
| Local Street Parkways in<br>Residential Areas | In front and along street corner side yards, trees shall be equally spaced a maximum of 35' on center and shall be 24" box minimum. |   |

\* In residential areas only.

Additional Requirements:

1. In street medians provide a combination of 24" box and 36" box tree minimums with 36" box size not less than 20% of total.
2. Vines, minimum size 1 gallon and located 20' maximum on center, shall be planted on public facing side of all community walls that parallel streets.
3. Additional trees beyond those above may be 15 gallon size.
4. Where shrubs and spreading evergreen groundcovers are located between community walls and sidewalks, and in all medians, provide 1 gallon minimum.
5. Parkways for publicly maintained streets may include turf, in accordance with City of Fontana landscape ordinances for public rights of ways.

# WESTGATE

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6. Linear root barriers shall be provided adjacent to all trees less than 5' to any hardscape e.g., curb, sidewalk, wall.
7. A minimum 10' landscape area (easement or lettered lot) is required in all residential uses between sidewalks and walks or property lines adjacent to Streets A-F and 7' on any local street where there is a side or rear yard adjacent. They shall be maintained by a homeowners association, a landscape maintenance district, or similarity.
8. Major, Primary and Secondary entries shall include a minimum of 20% of 36" box trees, 20% of 24" box trees and 60% of 15 gallon size trees.
9. Refer to Section 4.2.1, Commercial Retail (C) - PA 68 for additional landscape and plant sizing requirements for Retail and Business uses. Also refer to Figure 5-72, Parking Lot Landscape Guidelines, for parking lot standards.

## 5.10.2 PLANT MATERIAL GUIDELINES

The quality and long-term appearance for all landscaped areas will depend on many factors including the initial selection of the plant materials, soil preparation and installation, irrigation management and care and maintenance. These guidelines apply to all public areas that will be maintained by a landscape maintenance district or similar entity.

### GENERAL LANDSCAPE REQUIREMENTS

1. All areas required to be landscaped should be planted with turf, groundcover, shrub and / or trees selected from the plant palette contained in these guidelines or as supplemented by the City of Fontana Director of Community Development. In general, the plant materials designs should provide a layered appearance, with lower growing plants in the foreground and larger growing plants in the background.
2. Cut slopes equal to or greater than eight feet (8') in vertical height and fill slopes equal to or greater than five feet (5) in vertical height shall be planted with a ground cover to protect the slope from erosion and instability. Slopes exceeding fifteen feet (15') in vertical height shall be planted with shrubs spaced not more than ten feet (10') average on center, or trees spaced not to exceed thirty feet (30') average on center, or a combination of shrubs and trees at equivalent spacing, in addition to the groundcover. The plants selected and planting methods shall be suitable for the soil and climatic conditions.
3. Reference should be made to the City of Fontana Standards for erosion control methods for slopes and other landscaped areas.

## CLIMATE

The Plant material palette has been selected based on compatibility with the climatic conditions among other considerations discussed below.

## HORTICULTURAL SOILS TEST REQUIREMENTS

Soil characteristics within the site may be variable. The developers / builders for parcels that require landscape development within public areas shall procure a horticultural soils report in order to determine proper planting and maintenance recommendations for proposed plant materials. Soils testing shall be performed by a qualified agricultural laboratory and shall include a soil fertility and agricultural suitability analysis with pre-planting and post-planting recommendations.

## INVASIVE SPECIES

Non-native invasive plant species identified below shall not be used in landscape plans.

| INVASIVE SPECIES                                       |
|--|
| Non-native Acacia's (Acacia spp.)                      |
| Tree of Heaven (Ailanthus altissima)*                  |
| Giant reed (Arundo donax)*                             |
| Hottentot-fig (Carpobrotus edulis)*                    |
| Garland chrysanthemum (Chrysanthemum coronarium)*      |
| Pampas grass (Cortaderia atacamensis)*                 |
| French broom (Cytisus monspessulans)                   |
| Scotch broom (Cytisus scoparius)*                      |
| Crystal ice plant (Mesembryanthemum crystallinum)*     |
| Small-flowered ice plant (Mesembryanthemum nodiflorum) |
| Bermuda buttercup (Oxalis pes-caprae)*                 |
| German ivy (Senecio mikanoides)*                       |
| Pink periwinkle (Vinca major)*                         |
| Tamarisk (Tamarix spp.)*                               |
| Gorse (Ulex europaeus)                                 |

\* Indicates a species that may not be used in any plant palettes, regardless of location in the development, due to its ability to readily spread via airborne seed, rather than vegetatively.

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## PLANT PEST AND DISEASE CONTROL

Diseases and pests can have deleterious effects on one or many plants, whether native or ornamental in origin. Recent pest and disease problems include oleander scorch blight and several eucalyptus problems, requiring that these specific varieties should be avoided. Other plants that today are without known problems may develop problems in the future. While there is no way to predict the occurrence of new pests or diseases there are useful methods to limit the impact of outbreaks and should be incorporated into final design plans for each project. These include the following:

1. Maintain optimum plant health through soil preparation, water management, and nutrient monitoring.
2. Review community plant material on a regular basis to observe health problems due to disease or pest infestation and take appropriate action.
3. Place plant material in appropriate planting areas and provide proper spacing consistent with the requirements of the plant species.
4. Place plants in similar hydro zone grouping to maximize efficient water use.

### 5.10.3 PLANT PALETTE

The plant palette below has been selected to create a unified and cohesive design theme for the community. They have also been selected for their appropriateness to climatic conditions, soil conditions, and concern for maintenance and water conservation.

Plant selections should take into consideration grouping of plants with similar cultural requirements in order to minimize water use and to provide conditions where plant material will thrive. In the streetscape sections of the design guidelines, specific trees have been identified. In those cases, the intent is to illustrate the intended form and character that fulfill the design intent, i.e., evergreen versus deciduous, upright or vertical in form versus dome shaped.

Should alternate selections be desired for any given street subject to approval by the Director of Community Development or his/her designee, they should reflect the same form and character as those included in the streetscape sections. If alternates are selected for a particular street, the change shall apply to the entire streetscape for the area the change occurs and shall be approved by the Director of Community Development.

| COMMUNITY PLANT PALETTE          |                      |
|----------------------------------|----------------------|
| TREES                            |                      |
| BOTANICAL NAME                   | COMMON NAME          |
| <i>Acacia subporosa</i>          | Weeping acacia       |
| <i>Arbutus unedo</i>             | Strawberry tree      |
| <i>Betula albo</i>               | White birch          |
| <i>Brachychiton populneus</i>    | Bottle tree          |
| <i>Cedrus deodora</i>            | Deodar cedar         |
| <i>Cinnamomum camphora</i>       | Camphor tree         |
| <i>Cupaniopsis Anacardioides</i> | Carrot Wood          |
| <i>Cupressus sempervirens</i>    | Italian cypress      |
| <i>Eucalyptus spp.</i>           | Eucalyptus           |
| <i>Fraxinus uhdei</i>            | Evergreen ash        |
| <i>Koelreuteria spp.</i>         | Flame tree           |
| <i>Lagerstroemia spp.</i>        | Crape myrtle         |
| <i>Liquidambar styraciflua</i>   | Liquidambar          |
| <i>Liriodendron tulipifera</i>   | Tulip tree           |
| <i>Magnolia grandiflora</i>      | Magnolia             |
| <i>Olea europaea</i> (fruitless) | Fruitless olive tree |
| <i>Pinus spp.</i>                | Pine                 |
| <i>Pistacia chinensis</i>        | Chinese pistache     |
| <i>Platanus acerifolia</i>       | London plane tree    |
| <i>Platanus racemosa</i>         | Sycamore             |
| <i>Podocarpus gracilior</i>      | Fern pine            |
| <i>Prunus spp.</i>               | Flowering peach      |
| <i>Pyrus spp.</i>                | Ornamental pear      |
| <i>Quercus agrifolia</i>         | Coast live oak       |
| <i>Quercus spp.</i>              | Oak spp.             |
| <i>Rhus lancea</i>               | African sumac        |
| <i>Robinia pseudoacacia</i>      | Locust               |
| <i>Salix babylonica</i>          | Weeping willow       |
| <i>Schinus molle</i>             | California pepper    |
| <i>Tipuana Tipu</i>              | Tipu tree            |
| <i>Ulmus parvifolia</i>          | Chinese elm          |
| <i>Zelkova serrulata</i>         | Sawleaf zelkova      |

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| SHRUBS                  |                         |
|-------------------------|-------------------------|
| BOTANICAL NAME          | COMMON NAME             |
| Abelia spp.             | Abelia                  |
| Agapanthus sp.          | Lily of the Nile        |
| Arctostaphylos sp.      | Manzanita               |
| Baccharis sp.           | Desert broom            |
| Ceanothus sp.           | California lilac        |
| Cistus spp.             | Rockrose                |
| Cotoneaster species     | Cotoneaster             |
| Dietes Veseta           | Fortnight lily          |
| Elaeagnus pungens       | Silver berry            |
| Escallonia fradesii     | Pink escallonia         |
| Euryops pectinatus      | No Common Name (NCN)    |
| Feijoa sellowiana       | Pineapple guava         |
| Grevillea Noelli        | No Common Name (NCN)    |
| Grewia caffra           | Lavender starflower     |
| Hemerocallis species    | Daylily                 |
| Heteromeles arbutifolia | Toyon                   |
| Iris douglasiana        | Douglas iris            |
| Juniperus torulosa      | Hollywood juniper       |
| Juniperus h. Bar Harbor | Bar Harbor true juniper |
| Lavandula spp.          | Lavenders               |
| Ligustrum spp.          | Privet                  |
| Moraea bicolor          | Fortnight lily          |
| Myrtus communis         | True myrtle             |
| Nandina spp.            | Heavenly bamboo         |
| Ornamental grasses      | Fountain grass          |
| Phormium tenax          | New Zealand flax        |
| Photinia fraseri        | Photinia                |
| Pittosporum tobira      | Mock orange             |
| Plumbago auriculata     | Cape plumbago           |
| Pyracantha species      | Firethorn               |
| Rhapiolepis spp.        | India hawthorn          |
| Rosa californica        | California wildrose     |
| Salvia spp.             | Sages                   |
| Taxus baccata           | English yew             |
| Tulbaghia Violacea      | Society garlic          |
| Xylosma congestum       | Shiny xylosma           |

| VINES                        |                           |
|------------------------------|---------------------------|
| BOTANICAL NAME               | COMMON NAME               |
| Distictis buccinatoria       | Blood red trumpet vine    |
| Ficus repens*                | Creeping fig              |
| Grewia caffra                | Lavender star flower vine |
| Mac Fadyena unguis-cati*     | Cat's claw vine           |
| Parthenocissus tricuspidata* | Boston ivy                |
| Wisteria floribunda          | Wisteria                  |

\*One of these vines shall be used on the masonry walls of trash enclosures.

| GROUND COVERS                        |                                    |
|--------------------------------------|------------------------------------|
| BOTANICAL NAME                       | COMMON NAME                        |
| Acacia redolens 'desert carpet'      | Dwarf trailing acacia              |
| Arctostaphylos 'John Dourley'        | John Dourley manzanita             |
| Ceanothus griseus hor 'yankee point' | California lilac                   |
| Fragaria chiloenses                  | Wild strawberry                    |
| Gazania rigens                       | Clumping gazania                   |
| Hypericum Calycinum                  | Hypericum                          |
| Lonicera Japonica                    | Halls Honeysuckle                  |
| Myoporum species                     | Myoporum                           |
| Rosemarinus officinalis species      | Rosemary                           |
| Turf grasses                         | Various drought tolerant varieties |

Other plants compatible with the above may be included with approval of the Director of Community Development.

## 5.10.4 IRRIGATION

All landscaped areas should be watered with a permanent underground irrigation system, designed in a manner to ensure a minimum of 100% water coverage.

The combined summer elements of heat and wind should be taken into account to assure proper irrigation design and equipment selection.

Irrigation controllers should have a minimum time setting of one minute and be capable of providing multiple repeat start times. All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type unless otherwise required for water conservation measures.

Irrigation backflow prevention devices and controllers should be located with minimum public visibility or screened with appropriate plant materials.

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## WATER CONSERVATION MEASURES

All landscape and irrigation shall comply with City, local and state ordinances, including, but not limited to the following:

1. Drip and / or bubbler irrigation should be utilized where appropriate.
2. Use of moisture sensors and / or central control irrigation system should be incorporated where appropriate and feasible.
3. For all areas to be publicly maintained, irrigation systems will be designed per City guidelines.

## GENERAL REQUIREMENTS

Irrigation systems and plans will be prepared pursuant the respective landscape maintenance district guidelines and / or City of Fontana ordinances.

## 5.11 OUTDOOR LIGHTING GUIDELINES

All commercial and residential development shall have uniform lighting standards with regard to style, materials, and colors in order to ensure a consistent and unified design. Lighting within each land use type, e.g., retail, office, business park and residential, shall create a unified theme. Figure 5-73, Lighting Guidelines, provides examples of lighting fixtures that establish an overall hierarchy and visual palette that is consistent with design theme of the Westgate Specific Plan.

All lighting fixtures shall comply with the following regulations and provisions:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other of illumination for signs, structures, landscaping, parking, loading, unloading and similar areas shall be focused, directed, and arranged to minimize or adjoining property.
2. Lights shall be break resistant plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures. Fixtures shall be vandal proof.
3. Neon and similar types of lighting are prohibited in all areas except in Retail areas in conjunction with an entertainment center unless otherwise approved by the Planning Commission.
4. Community entry monuments, commercial and residential entry monuments, may be creatively lit to develop a sense of place and arrival.
5. All exterior lighting designs shall address the issue of security. Parking lots and commercial building entrances shall be well lighted for security reasons.

6. All exterior lights shall be shielded where feasible and focused to minimize spill light into the night sky or adjacent properties.
7. No freestanding lighting fixtures shall exceed forty feet (40') in height, unless approved by the Director of Community Development.
8. Service area lighting shall be contained within the service yard boundaries and enclosure walls.
9. All electrical meter pedestals and light switch / control equipment shall be shall be underground or placed within the structure(s) they serve. If these options are prohibited due to any building, safety or utility company requirements, then all pedestals and equipment shall be screened with appropriate plant materials, subject to approval by the respective utility agency.
10. The level of on-site lighting as well as lighting fixtures shall comply with any and all applicable illumination requirements and policies of the City of Fontana. Energy conservations, safety and security should be emphasized when designing any light system.
11. All community landscape common areas, private facilities, streetscapes, and other use areas may contain accent or other night lighting elements subject to approval of the Director of Community Development.

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Residential Streets



Retail



Business Park/  
Office



Parking Lots

**FIGURE 5-73  
LIGHTING GUIDELINES**

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## SECTION 6.0 ADMINISTRATION

### 6.0 ADMINISTRATION

This Specific Plan represents a framework of development for the Westgate community. Implementation of the project requires the approval of numerous additional discretionary entitlements over the life of project build-out. This chapter sets forth the procedures needed to implement the approved Specific Plan and the procedures required for amendment of the Specific Plan, if necessary. The methods and procedures for implementation and administration of this Specific Plan document are contained in this chapter.

#### 6.1 SPECIFIC PLAN ADOPTION

The Westgate Specific Plan serves as an implementation document for the General Plan. The City of Fontana Zoning and Development Code Section 30-15 states that a specific plan may be adopted when it is deemed necessary or desirable to establish a specific plan of land uses and development standards for an area to assist with the implementation of general plan goals.

Government Code Section 65453(a) states that:

“A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

The Westgate Specific Plan will be adopted by Ordinance in accordance with City policy and will supersede the original Westgate Specific Plan in its entirety.

#### 6.2 RESPONSIBILITY

The City’s Director of Community Development shall be responsible for administering the provisions of The Westgate Specific Plan in accordance with the State of California Government Code, Subdivision Map Act, and the City of Fontana General Plan and Municipal Code.

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## 6.3 INTERPRETATIONS

When there is a question or ambiguity regarding the interpretation of any provision of this Specific Plan, the Director of Community Development has the authority to interpret the intent of such provision. The Director of Community Development may, at his/her discretion, refer interpretations to the Planning Commission for its consideration and action. Such a referral shall be accompanied by a written analysis of issues related to the interpretation. The Planning Commission action may be appealed to the City Council. All interpretation made by the Director of Community Development may be appealed to the Planning Commission in accordance with the appeal procedures set forth in the Zoning and Development Code.

Any standard or regulation contained in this specific plan that differs from the City of Fontana Zoning and Development Code or its planning and zoning laws shall take precedence over and shall supersede the City's Zoning and Development Code or planning and zoning laws. Where any discrepancy occurs between this specific plan and any zoning or land use laws of the City of Fontana, the terms of this specific plan shall govern. In instances where this specific plan is silent, the provisions of the City of Fontana Zoning and Development Code shall prevail.

## 6.4 IMPLEMENTATION

The Westgate Specific Plan will be implemented through the processing of tract maps, parcel maps, and site plans. The implementation process provides the mechanism for reviewing precise development plans and ensuring development consistency with the Specific Plan objectives. The process to amend this Specific Plan and items subject to the Substantial Conformance process are also outlined in this section. All development within Westgate is subject to the implementation procedures described herein.

### 6.4.1 DESIGN REVIEW OR ADMINISTRATIVE SITE PLAN (ASP)

The purpose of this section is to provide a process for the implementation and review of all site plans that will be required to implement the development and construction of this Specific Plan. An application for design review or ASP is required prior to the issuance of any residential or commercial building permit within the Specific Plan area.

### PREAPPLICATION CONFERENCE

Prior to the filing of a design review application, Tentative Tract Map, Tentative Parcel Map, and / or amendment to the Specific Plan, the applicant or the applicant's representative shall file an application with the Planning Division and review the procedures and criteria for the design review process.

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## APPLICATION

An application for a design review shall be filed with the Planning Division in a manner prescribed by the Director of Community Development, including but not limited to, plans and elevations. Further, any improvements that are depicted on any design review colored rendering, elevation, or drawing which is presented to the planning commission in conjunction with a development application, shall be installed to meet the intent of that colored rendering, elevation, or drawing.

## DEVELOPMENT ADVISORY BOARD

Design and Site Plan Review applications shall be considered by the Development Advisory Board (D.A.B.), which is the reviewing body for such applications. The D.A.B. shall review the application and make a recommendation to the Planning Commission, which is the final authority under this process, unless an appeal to the City Council is timely filed and considered. The D.A.B. shall review each development proposal in an expeditious manner to determine if the application is complete. To recommend that development project be forwarded to the Planning Commission, the D.A.B. must find from the facts presented that the following conditions exist:

1. The design and layout of the proposed development is consistent with the applicable elements of the general plan, and the proposal is consistent with the City of Fontana General Plan and this Specific Plan.
2. The design and layout of the proposed development will not interfere with the use and enjoyment of neighboring developments, or pedestrian and vehicular circulation.
3. The architectural design of the proposed development is aesthetically pleasing while enhancing the character of the surrounding neighborhood and will promote quality development envisioned by this Specific Plan.
4. The design of the proposed development would provide a desirable environment for its tenants and neighbors through use of materials, texture, and color in an aesthetically pleasing manner.
5. The proposal meets or exceeds the special requirements of this Specific Plan and the applicable standards of the City's Zoning and Development Code.
6. The proposed project is in compliance with all applicable federal, state, county, and city laws and regulations.
7. The design and layout of the proposed development shall be consistent with the approved alignment study and design engineering practices.

## NOTICE

Notice of hearings for design review, administrative site plan review or conditional use permit, shall be as set forth in the City of Fontana Zoning and Development Code.

## APPEALS

Appeals shall be made as specified by the City of Fontana's Zoning and Development Code.

## TIME LIMITATIONS

Each design approval granted through the Design and Site Plan Review process shall become null and void two years after the date of approval, unless:

1. Building permits have been obtained and successful completion of the first building and safety division inspection has commenced within this period.
2. Any valid design review in effect at the date of adoption or amendment of this Specific Plan shall remain valid for a period of two years from the date of that design review approval.
3. Extensions of time may be granted per the requirements in the City's Development Code for Design Review Applications.

## AMENDMENTS TO DESIGN REVIEW

Any non-expired approved design review site plan is eligible to apply for an amendment pursuant to the amendment process outlined in the City of Fontana's Zoning and Development Code.

### 6.4.2 ADMINISTRATIVE SITE PLAN REVIEW

The Director of Community Development has the authority to administratively approve and condition applications for community recreational amenities as long as the amenities proposed comply with the provisions and intent of the Specific Plan. The decision of the Director of Community Development shall be final after a written determination is made, unless a written appeal to the Planning Commission is filed by the applicant, property owners subject to the Development Plan, or any member of the City Council or Planning Commission.

## AMENDMENTS TO ADMINISTRATIVE SITE PLAN REVIEW

Any nonexpired approved administrative site plan review is eligible to apply for an amendment pursuant to the amendment process outlined in the City of Fontana's Zoning and Development Code.

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### 6.4.3 SUBSTANTIAL CONFORMANCE

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Westgate Specific Plan. It is anticipated that certain modifications to the Specific Plan text, exhibits, and / or project may be necessary over the lifetime of the project. Any major modifications to the Specific Plan that may occur shall be subject to the Specific Plan Amendment process herein. However, minor modifications to the Specific Plan shall not require a Specific Plan Amendment and may be processed through a Substantial Conformance application that is submitted to the City for review and approval by either: A) the Director of Community Development, or B) by the Planning Commission and City Council:

A) Minor modifications to the Specific Plan text, graphics, and/or project design that do not change the meaning or intent of the Specific Plan may be found to be in substantial conformance with the provisions of this Specific Plan and may be administratively approved, conditionally approved or denied by the Director of Community Development without a public hearing. The decision of the Director of Community Development shall be final after a written determination is made, unless a written appeal to the Planning Commission is filed by the applicant, property owners subject to the Development Plan, or any member of the City Council or Planning Commission.

The following are examples of issues that may be considered for Substantial Conformance with administrative approval by the Director of Community Development.

1. Adjustment of planning areas so long as the total acreage of that planning area does not decrease or increase by more than 15 percent of that stated within this Specific Plan.
2. Decrease in project density below ranges listed in the permitted density for each respective residential land use.
3. Realignment or modifications of streets serving the project, lot lines, easement locations, and grading adjustments, if also approved by the City Engineer.
4. Modification of design criteria such as paving treatments, architectural details, landscape treatments, sidewalks, fencing, lighting, and entry treatments.
5. Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the City Engineer.
6. Implementation of the following landscape treatments:
  - a. Street Furniture – portals in the right of way

- b. Neighborhood Parks within neighborhoods
  - c. Private Recreation Areas within neighborhoods
7. The final location of parks 2.0 acres or less may vary up to 300' from the location in the Specific Plan.
  8. Final facility sizing and precise location of water, sewer, and storm drainage improvements when directed by the City Engineer.
  9. Change in utility and / or infrastructure servicing agency.
  10. Collector or other public road alignment revisions when the centerline moves by less than 50 feet.
  11. Landscape, wall material, wall alignment, and streetscape design modifications that are consistent with the design guidelines contained in this document as determined by the Director of Community Development.
  12. Modifications to wall type, including, but not limited to changes between community theme walls and combination wall and tubular steel fencing.
  13. Minor changes to or substitutions of types of recreation facilities and ancillary recreational amenities so long as they are consistent with the overall intent of the Specific Plan.
  14. Modifications to Architectural Design Guidelines, such as variations of materials within the particular architectural style and minor variations in colors.
  15. Revisions to project graphics that do not substantially change the intent of the graphics in the Westgate Specific Plan.
  16. Modifications to architecture, plotting, and unit size that have been previously reviewed and approved through the design review process.
  17. Specific modifications of a similar nature to those listed above, which are deemed minor by the Director of Community Development, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.
  18. Any other proposed changes that are determined by the Director of Community Development to be minor modifications.
  19. In order to allow for innovative and integrated planning solutions and to create a vibrant, pedestrian friendly mixed use community all land use planning areas and roads within PA 14 shall be permitted flexibility in terms of their location, providing the total 85.0 Mixed Use acres are not reduced in the Plan. In the event there are changes with greater than a 15% variation to the acres of any one planning area, a master plan of all

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affected planning areas shall be submitted for city review. All master plans are subject to Planning Commission approval. If approved by the Planning Commission, such changes shall be considered to be in Substantial Conformance and shall not require a Specific Plan amendment. Additional environmental studies for traffic and other purposes may also be required, subject to determination by the Director of Community Development. In addition to the above, all areas within Utility Corridors (OS/UC) are exempt from the 15% variation.

B) The following are examples that may be considered for Planning Commission and/or City Council approval. In the event of a denial by the Planning Commission the applicant may file an appeal to the City Council

1. A portion of PA 6, up to 17 acres on the westerly portion, (10,000 square foot lots) may be relocated to other residential Planning Areas within the Specific Plan as a reciprocal transfer subject to Planning Commission approval.
2. For PA's 41, 44 and 45, greater synergies may be encouraged by combining residential and non-residential uses. A master plan shall be required to demonstrate the intent. Any increase in the total acres of non-residential uses (e.g., retail, office, business park) may require a focused traffic study and other environmental reviews as determined by the Community Development Director. Any combining of uses shall require Planning Commission approval and may be appealable to City Council.
3. All areas designated for senior housing may be changed to non-senior housing provided the change meets the City's General Plan Housing Element requirement and is approved by the Planning Commission and City Council.

## 6.4.4 SPECIFIC PLAN AMENDMENTS

All Specific Plan modifications that do not fall under the umbrella of items addressed under the Substantial Conformance process above shall require a Formal Amendment. Formal Amendments constitute the second category mentioned above of modifications to the Specific Plan. This Specific Plan was prepared pursuant to California Government Code 65450 et. seq. Amendments to the Specific Plan shall be processed in accordance with applicable requirements of law that include Sections 65450 et. seq. of the California Government Code. Formal Amendments are subject to the review and approval of the City Council. The Planning Commission shall first hear and consider all applications for Formal Amendments to the Specific Plan and shall prepare a recommendation and findings to the City Council. In all

cases amendments must be found to be in substantial conformance with the goals and standards of the Westgate Specific Plan. As required by the California Government Code, all agencies significantly affected by the Formal Amendment shall be notified of the proposed action prior to the approval of the Formal Amendment. In addition, and as required by the California Environmental Quality Act (CEQA), Formal Amendments to the Specific Plan shall be appropriately reviewed in accordance with the State CEQA Guidelines, with the City of Fontana serving as lead agency. Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If the Amendment is deemed major by the Director of Community Development, it will be processed in the same manner as the original Specific Plan. Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to CEQA, Section 15162. The decision of the Director of Community Development shall be final after a written determination is made, unless a written appeal to the Planning Commission is filed by the applicant, property owners, or any member of the City Council or Planning Commission.

### APPLICANT INITIATED AMENDMENT

Any Formal Amendment to this Specific Plan initiated by an applicant shall require preliminary review by the City of Fontana Director of Community Development, filing of a preapplication, followed by an official application and required materials supporting the amendment, submittal of a fee deposit, Planning Commission review and recommendation if required, and City Council review and final decision.

### EFFECTIVE DATE

All Formal Amendments to this Specific Plan shall be adopted by ordinance and shall take effect 30 days after final adoption by the City Council.

## 6.5 DEFINITION OF TARGET DWELLING UNITS, TARGET DENSITY, DENSITY RANGE AND DENSITY TRANSFER

### TARGET DWELLING UNITS

For each residential planning area, a specific number of dwelling units (du) is shown in Section 3.0, Tables 3.2 through 3.5 and in Section 7.0, Table 7.1. This is referred to as the Target Dwelling Unit number. When all Target Dwelling Unit numbers for all residential planning areas are added together, they total 3,248.

### TARGET DENSITY

For each residential planning area, a Target Density is also shown in the same Tables referenced above. The Target Dwelling Units for each planning area is reached by multiplying the Target Density by the total acres of each planning area.

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In planning area 44 for example, there is a Target Density of 15 dwelling units per acre (du/ac.) with a total of 11 acres. The 165 total Target Dwelling Units was reached by multiplying 15 du/ac. by 11 acres.

## DENSITY RANGE

There are a total of eight Specific Plan residential land use categories i.e., R-1-10,000, R1-7,200, R-2-5,000, R-2-Cluster, R3, R-4a, R-4b, and R-5. Each of these is assigned a permitted density range in order to create a diversity of housing types within the Specific Plan.

In order to insure that the total allowable number of dwelling units in the Specific Plan does not exceed 3,248 du, the Target Density and Target Dwelling Units for each residential planning area may only be exceeded if certain conditions are met as described in Density Transfer below.

## DENSITY TRANSFER

In order to exceed either the Target Density or Target Dwelling Units listed for each respective planning area, certain procedures shall be followed as described below. The purpose of this process is to insure that the total 3,248 allowable number of dwelling units in the Specific Plan is not exceeded.

The Master Developer\* for residential uses shall maintain an on-going summary of all residential planning areas. This summary shall include a list of all residential planning areas, the total Target dwelling Units, Target Density, and Density Range for each respective planning.

- A letter signed by the Master Developer requesting a transfer shall be submitted to the Community Development Director. If a property owner is other than the Master Developer, then both the property owner and Master Developer shall sign the request. In addition to providing the summary listed above, this letter shall indicate the total number of dwelling units that are being requested for each respective planning area, the total increase above the Target Dwelling Units for that respective planning area, and identify another planning area or areas with a commensurate decrease in Target Dwelling Units. This process will insure that the total maximum 3,248 dwelling units permitted in the Specific Plan is not exceeded. Upon review of the information, the Community Development Director shall grant the Density Transfer within 30 calendar days of the submittal date of the letter, providing the total requested dwelling units for the planning areas remain in their respective permitted density range and the planning areas where a transfer is occurring do not result a net increase in the total Target Dwelling Units for the Specific Plan.

\* The Master Developer shall be defined as the majority property owner for residential properties in the Westgate Specific Plan.

## 6.6 GENERAL

Residential elevators contained entirely within a single residential structure may be permitted. Elevator shafts shall comply with the setback requirements for the main building and shall conform to the architectural style of the residential dwelling. The design, construction, installation, alteration, repair and maintenance of residential elevators and their components shall comply with the requirements of the 2001 California Elevator Safety Construction Code, Title 24, Part 7.

In the event of a power outage, all entryway gates shall be programmed to automatically open, and remain open, to allow access to the area.

Supplemental acoustical analysis shall be submitted in conjunction with the design review application to verify that adequate structural noise protection will be provided in residences adjoining arterial roadways to meet the 45 dBA CNEL interior standard and that exterior noise levels for private open space as specified in the City's General Plan are met.

As specified in Section 5.0, all residential development with densities of 5.1-50.0 shall be within a three minute walk (800 feet assuming a walking pace of 3 miles per hour) of a barbecue or tot lot facility. The Director of Community Development may approve a change in this distance by 50 feet.

## 6.7 SCHOOL SITES

Three school sites have been reserved for the development of schools. Two of the sites, a 60 acre site in planning area 39 and a 12 acre site in Planning Area 7, have previously been acquired by the Chaffey Joint Union High School District and the Etiwanda School District, respectively. An additional 12 acre site has been reserved for the Etiwanda School District in Planning Area 65. The Developer and the Etiwanda Unified School District agree to use their reasonable efforts to negotiate and execute a Mitigation Agreement for the 12 acre site within five years after the effective date of the ordinance adopting this Specific Plan's Development Agreement and EIR Certification. Should the District choose not to purchase the site or, following good faith negotiations with the developer, choose not to enter into a Condemnation Agreement within the time frames identified above (unless an extension has been negotiated with the District and developer) the master developer will provide written notice to the City and the District. The school sites owned by the master developer may then be made available for residential development within the R-3 (12.1 to 18.0 du / ac. with a target density of 15 du / ac. and 180 dwelling units) zoning category providing that, in combination with the remaining planning areas within the Specific Plan boundaries, shall not exceed 3,248 dwelling units - the maximum number permitted by the Specific Plan.

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## **6.8 SEVERABILITY**

If any section, subsection, sentence, clause, or phrase of this Specific Plan, or future amendments or additions hereto, is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this plan.

## **6.9 SPECIFIC PLAN TERMINATION**

Unless a development agreement is approved for the Westgate Specific Plan that states otherwise, if after a period of 60 months from the effective date of this Specific Plan, no actions have been taken by the applicant to develop in accordance with the provisions of this plan, the city, after publishing a concurrent 30-calendar-day notice and mailing a 30-calendar-day notice to the applicant, property owner(s), and property owners within 660 feet of the Specific Plan boundaries, may declare the plan null and void. Actions that would demonstrate that the applicant is in the process of developing a plan are the recording of a final tract map or parcel map or the securing of a valid grading or building permit and initiating actual construction such as to qualify vested rights.

## **6.10 PUBLIC AND PRIVATE IMPROVEMENTS - MAINTENANCE RESPONSIBILITY**

The public and private improvements constructed within the Westgate Specific Plan will be maintained through a combination of public and private entities, as described below.

### **6.10.1 PUBLIC MAINTENANCE**

All streets within the specific plan area that are dedicated as public streets to the City will be maintained by the City. All regional trails will be maintained by the City. Public streets within Southern California Edison–owned property will be maintained by the City. Landscape improvements within the public street rights-of-way and all public streetlights will be installed by the developer and maintained through a landscape and lighting district or some other special maintenance district established by the City. On-site infrastructure improvements such as water, sewer, and storm drain facilities within the public streets or easements dedicated to the City shall be constructed by the developer and, upon acceptance, maintained by the designated utility provider. Off-site infrastructure improvements such as water, sewer, and storm drain facilities shall be constructed by the developer and maintained by the designated utility provider. All proposed lettered lot dimensions are subject to Planning and Engineering review.

### **6.10.2 HOMEOWNERS ASSOCIATION MAINTENANCE**

A master’s homeowner association (HOA) and sub-associations will be established for the maintenance of areas and improvements designated as private. All streets,

drives, and alleys that are dedicated as private ownership within the specific plan area will be maintained by a homeowners association. Landscaping of front yard areas for detached and attached residential cluster products (excluding private patio and porch areas) shall be maintained by the HOA. Conventional front-loaded lots are excluded from this requirement. All community trails on site will be constructed by the developer and maintained by a homeowners association. Community trails within Southern California Edison, Southern California Gas, Metropolitan Water District and /or other utility owned property, will be constructed by the developer and maintained by a homeowners association or the City. Landscape improvements within right-of-way areas designated as private such as streets, drives, alleys, private parks, and common areas (e.g. courts, landscaping, sidewalks) will be maintained by a homeowners association.

All private neighborhood parks and their associated landscaping, hardscape, (e.g. sidewalks, curb and gutter) and recreational facilities will be maintained by a homeowners association. The applicant shall employ a certified professional manager or management company to provide maintenance, security, and other services. The professional manager or management company shall be California Association of Community Managers (CACM) certified or equivalent. All proposed lettered lot dimensions are subject to Planning and Engineering review.

### 6.10.3 UTILITY EASEMENT / CORRIDOR MAINTENANCE

All areas within Southern California Edison (SCE), Southern California Gas, Metropolitan Water District or other utility owned property that does not include any project improvements (e.g., roadways, landscaping, trails) will be maintained by the respective agency.

## 6.11 DEVELOPMENT AGREEMENTS

A development agreement is a tool for establishing a vested right to proceed with development in conformance with the policies, rules, and regulations in effect at the time of approval (California Government Code Section 65864). Development agreements provide a developer with assurances for a specified length of time that his/her project may proceed as originally approved, and not be affected by future changes in land use regulations. A specific plan facilitates the administration of a development agreement by separating the development policies and regulations applied to a project site from those of the jurisdiction as a whole. This enables a local agency to revise its jurisdiction-wide plans and ordinances without affecting the policies and regulations “frozen” by an agreement. A specific plan adopted with an associated development agreement would only be amended when corresponding changes are made to the agreement. To achieve the timely and successful implementation of the Westgate Specific Plan, a Development Agreement may be prepared that incorporates the phasing of the Specific Plan and provides for the financing of infrastructure. The Development Agreement, if any, be forwarded to City Council for approval along with The Westgate Specific Plan.

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## 6.12 FINANCING MECHANISMS

Various techniques are available for financing the required improvements for the Westgate Specific Plan project. A detailed financing plan is required in order to successfully implement the improvements and programs proposed by the Specific Plan. Along with establishing specific goals and policies, the financing plan analyzes a series of methods to finance infrastructure and other improvements, recommend preferred alternatives, and develop a process for enacting financing methods. The appropriate mechanism for each particular improvement shall be tied to the phasing, established Conditions of Approval and site plan/design review approval. The following is a summary of methods that will be used to finance Specific Plan improvements.

### 6.12.1 PUBLIC FINANCING

Typically, financing of project improvements is based upon a combination of public and private methods. Public funds are used to finance community-wide public improvements such as urban arterial, major and collector streets, schools, parks, and other infrastructure elements. Private funds are generally used to finance facilities or infrastructure within the project boundaries that serve the commercial or residential uses proposed as part of the project development. It is intended that public financing be used to fund infrastructure improvements through such mechanisms as Special Assessment Districts or Community Facilities Districts (CFDs). By using public conduit financing, typically no burden will be placed upon existing development within the City of Fontana to fund improvements in the Westgate Specific Plan project.

#### MELLO-ROOS COMMUNITY FACILITIES DISTRICT (CFD)

A Mello-Roos Community Facilities District (CFD) may be created to fund infrastructure and other public improvements of a much broader type than those that can be funded by traditional Special Assessment Districts. Not only improvements that have direct benefit, but improvements that have general benefit such as schools, police stations, fire stations, and libraries can be constructed with proceeds from CFD bonds as well as streets, water lines, and other traditional types of public improvements.

Additionally, CFDs can be formed for the purpose of public facility maintenance. When a CFD is formed, bonds may be issued that are sold to private investors who purchase them for tax-free interest income. A CFD can be formed and either the property owners or registered voters (depending upon the type of CFD created) authorize bonds to be sold to generate capital for the initial infrastructure improvement costs. The money raised through the bond sale becomes the debt obligation of the CFD. That debt service on the bonds is repaid by the levy of a special tax on property within the CFD. Those bonds are sold to private investors who purchase them for tax-free interest income and the money raised through the bonds becomes a debt obligation of the CFD. The usual term for such bonds may run anywhere from 20 to 40 years.

## SPECIAL ASSESSMENT DISTRICT

A Special Assessment District is a type of benefit district that may be formed by the City to encompass a defined and limited geographic area. The City may form a Special Assessment District under one of several different statutory acts to construct public improvements such as streets, storm drains, sidewalks, streetlights, sewers, parks, landscape, and other similar capital facilities. The Special Assessment District can then issue bonds to finance those improvements and to levy a special assessment to pay debt service on those bonds. A Special Assessment District may fund improvements within the entire Specific Plan area or within smaller Planning Areas in the Specific Plan where special improvements directly benefiting only certain property owners are constructed. Special Assessment Districts may only be used to pay for projects that are of specific and direct benefit to the property owner being assessed. The amount of the assessment must directly relate to the amount of benefit received by the property owner.

## LANDSCAPE AND LIGHTING DISTRICTS

Landscaping and Lighting Districts (LLD) may be used for installation, maintenance, and servicing of landscaping and lighting, through annual assessments on benefiting properties. LLDs also may provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. They also may be used to fund and maintain parks above normal park standards maintained from general fund revenues.

### 6.12.2 SURFACE TRANSPORTATION PROGRAM (STP) FUNDS

The passage of the Intermodal Surface Transportation Efficiency Act of 1991 provides funding to strengthen the national transportation system through enhancement projects. Transportation enhancement activities include: pedestrian and bicycle facilities, acquisition of scenic and historic sites, scenic and historic highway programs, landscaping, rehabilitation of historic transportation facilities, preservation of abandoned transportation corridors, archeological planning and research, control and removal of outdoor advertising, and mitigation of water quality impacts from roadway runoff.

### 6.12.3 COMMUNITY DEVELOPMENT BLOCK GRANTS (CDBG)

These grants, issued from the Federal Housing and Urban Development Department (HUD), are available to areas in which at least 50 percent of the households have a low to moderate income.

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#### **6.12.4 GENERAL OBLIGATION BONDS**

In 1986, California voters approved Proposition 46, restoring the ability of local governments and school districts to issue general obligation (G.O.) bonds. G.O. bonds require approval by 2/3 of the jurisdiction's voters and are used to finance the acquisition and construction of public capital facilities and real estate (see §§29900 et seq., 43600 et seq., and Education Code §§15100 et seq.). G.O. bonds are repaid through an increase in the ad valorem property tax levied by the issuing jurisdiction. G.O. bonds may be used to fund such things as schools, libraries, jails, fire protection, and capital improvements.

#### **6.12.5 DEVELOPER FUNDING**

In many cases, certain on-site facilities are tied directly to individual projects. In these cases, it is reasonable to expect the developer (or property owner) to pay the entire costs of the facility in order to secure development rights. On-site local streets, utility connections from main trunk lines, and drainage facilities are good examples of facilities that are normally required concurrent with development of an individual parcel funded by the developer.

#### **6.12.6 OTHER FUNDING SOURCES**

There may be other sources available to finance improvement projects, such as special assessment districts, government grants, or various types of bonds not listed above that may be used to fund improvements.

## 7.0 APPENDIX

### 7.1 GENERAL PLAN PROJECT CONSISTENCY

The Vision and Goals for the Specific Plan described above identify the broader intent for the Community. The following describes how they reinforce and are consistent with the City of Fontana General Plan.

#### LAND USE ELEMENT

##### GOAL:

The General Plan Land Use seeks a community that is “balanced between residential, commercial, industrial, open space and recreation land uses” with high standards of quality and provide diverse economic, social and cultural opportunities for our citizens and those who wish to invest here”.

##### POLICIES:

Development shall be consistent with our land use plan and contribute to the maintenance of an economic base that provides high quality jobs for those who choose to both live and work in Fontana.

Activity centers identified conceptually on the Land Use Plan shall be the preferred form of development for residentially serving retail, services and entertainment uses, and shall incorporate open spaces for public gathering as well.

##### CONSISTENCY:

The Westgate Specific Plan sets forth a balance between residential, retail, office, light industry, and mixed uses and provides for diverse economic, social and cultural opportunities. It will result in a diversity of commercial uses that contributes to the City’s economic base, provide a wide variety of tax generating uses, jobs and a variety of housing types to appeal to a broad range of the market. The design

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standards included in the Specific Plan will ensure a high quality community develops.

#### **GOAL:**

Quality of life in our community is supported by development that avoids negative impacts on residents and businesses and is compatible with, and enhances, our natural and built environment.

#### **POLICIES:**

New development with potentially adverse impacts on existing neighborhoods or residents such as noise, traffic, emissions and storm water runoff, shall be located and designed so that quality of life and safety in existing neighborhoods are preserved.

#### **CONSISTENCY:**

The Westgate Land Use Plan has been designed to complement the existing uses in the project area. In general, new residential uses have been located adjacent to existing residential uses. Community retail, office and business uses and located long freeway corridors to minimize noise and traffic within the community. The significant amount of office, business and retail uses incorporated into the plan will also reduce area wide traffic and air pollution emissions by locating jobs close to where people live. Storm water runoff from the project area has been addressed to meet all local and State requirements and all new development will comply with Best Management Practices .

#### **GOAL:**

Our community is developing in a unified, orderly, logical, environmentally sound manner, which ensures that the City is unified and accessible to all residents, and results in economically sound commercial areas, vibrant neighborhoods, and jobs rich centers.

#### **POLICIES:**

Areas adjacent to freeway and major arterial corridors shall be given special land use and development standards guidance.

Land uses within freeway and arterial corridors shall be arranged around focal points of varied sizes and configurations to convey a sense of distinctiveness.

Improvements shall be made to transportation corridors that promote physical connectivity and reflect consistently high aesthetic values.

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## CONSISTENCY:

The Westgate Specific Plan represents a unified, orderly, logical and environmentally sound development within a designated growth area. Retail, office and business uses have been located near major freeway interchanges and high use arterial highways that will be accessible to all residents and will enhance the jobs housing balance and tax base in the City. The Specific Plan sets forth land use design and development standards that will result in a distinctive and high quality community.

## CIRCULATION ELEMENT

### GOAL:

A balanced transportation system for Fontana is provided that meets the mobility needs of current and future residents and ensures the safe and efficient movements of vehicles, people and goods throughout the City.

### POLICIES:

Limit direct access from adjacent private properties to arterials to maintain an efficient and desirable quality of traffic flow.

Locate new development and their access points in such a way that traffic is not encouraged to utilize local residential streets and alleys for access to the development and its parking.

Require street dedications from adjacent properties when the land is necessary for additional transportation capacity and enhanced mobility for the welfare of the community.

Require new streets to comply with adopted geometric standards for major, primary and secondary arterials at intersections.

## CONSISTENCY:

Westgate provides a balanced transportation system and will comply with standards set forth in the Circulation Element of the General Plan. Westgate will provide additional rights of ways and complete many of the major road segments that are needed to support the current and future traffic needs in the area.

## COMMUNITY DESIGN ELEMENT

### GOAL:

Our City has a unified overall community image and appearance with distinct districts and neighborhoods.

### POLICIES:

Major entry points or gateways into the City, especially along arterial corridors,

shall be marked with City identification and with enhanced landscaping and streetscape to highlight Fontana’s identity.

Development in north Fontana should be designed to incorporate elements consistent with a Mediterranean design theme.

#### **CONSISTENCY:**

The Westgate Specific Plan establishes design standards to create a unified community image with distinct districts and neighborhoods. Community design standards have been created for entry ways with monumentation for residential retail and business use areas, streetscapes and parks.

#### **GOAL:**

The major arterial thoroughfares of the City contribute to the overall image and diverse character of the community.

#### **POLICIES:**

Major arterial highways shall be improved according to customized design guidance within and adjacent to public rights-of-way.

Adopt design guidelines for the review of projects along the I-10, I-15 and I-210 Freeway corridors.

#### **CONSISTENCY:**

Entry treatments, landscape and hardscape treatments and other right-of-way improvement features that contribute to the quality image of the new developments are provided within the Specific Plan. Specific treatments are proposed for the City designated entry monumentation along the I-15 and I-210 Freeway corridors.

#### **GOAL:**

Existing and new development reflects extensive use of high-quality, contemporary design, incorporating unifying, community-wide design elements.

#### **POLICIES:**

Citywide landscape standards shall continue to be applied in new and revitalized development throughout the City.

#### **CONSISTENCY:**

The Westgate Specific Plan incorporates high-quality design features that will unify the community and create a distinctive design theme and identity for this area of the City. Architectural, landscape and site design standards are all planned to reinforce the overall community theme and are incorporated into the design guidelines.

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## **GOAL:**

Activity centers, including shopping centers, contain a high level of pedestrian amenities, distinct and varied architectural details, and careful integration into surrounding residential areas.

## **POLICIES:**

Architectural interest and variety shall be maintained through varied rooflines and detailed façade treatments.

The size and design of signs shall be related to the scale of the building or development and its relation to the street.

## **CONSISTENCY:**

Westgate will create a vibrant people oriented place with a diversity of uses that includes shopping, restaurants, corporate offices and residences within an attractive environment. Architectural features and signage will be scaled and designed to complement the adjacent streets and community as a whole.

## **ECONOMIC DEVELOPMENT ELEMENT**

### **GOAL:**

A sustainable balance of residential, commercial and industrial uses supports our City's economy.

### **POLICIES:**

The City's pattern of development should balance revenue-consuming uses with revenue-generating uses.

Land uses should be sought that can adapt to emerging market and fiscal conditions throughout the plan time horizon.

The City should achieve a mix of land uses that capitalizes on transportation corridors, stimulates employment, offers a variety of housing types / lifestyle choices and can respond to market opportunities.

### **CONSISTENCY:**

The Westgate Specific Plan sets forth a balance of retail, office, business and mixed uses that supports the City's economic vitality, will enhance the City's tax base and create new jobs. Westgate will benefit from its strategic location at the crossroads at the I-15 Freeway and I-210 Freeways, stimulating employment opportunities in this area of Fontana.

**GOAL:**

Expanded commercial development at key locations throughout the City serves the needs of the community and captures revenue losses to surrounding areas.

**POLICIES:**

A full range of retail uses that support the local and specialty consumer, without creating adverse impacts on other nearby uses, should be supported.

The Boulevard Overlay District and Activity Center Overlay Districts should stimulate commercial development at key locations in the City instead of marginal commercial strips.

**CONSISTENCY:**

The mixed use master planned will retain revenues currently being lost to surrounding communities by providing new retail uses. The plan envisions a full range of retail uses that support both local and specialty consumers that will have a positive effect on other nearby uses.

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## 7.2 PLANNING AREA LAND USE SUMMARY

| TABLE 7.1 - PLANNING AREA LAND USE SUMMARY |                   |       |               |                |                       |
|--|-------------------|-------|---------------|----------------|-----------------------|
| PA#  | Land Use          | Acres | Density Range | Target Density | Target Dwelling Units |
| 1  | OS/UC             | 2.2   | -             | -              | -                     |
| 2  | R-1-10,000        | 5.1   | 0.0 - 5.0     | 3.5            | 20                    |
| 3  | OS/UC             | 1.5   | -             | -              | -                     |
| 4  | OS/P1             | 2.0   | -             | -              | -                     |
| 5  | OS/L              | 1.4   | -             | -              | -                     |
| 6  | R-1-10,000        | 22.6  | 0.0 - 5.0     | 3.5            | 80                    |
| 7  | Elementary School | 12.0  | -             | -              | -                     |
| 8  | R-3               | 25.2  | 12.1 - 18.0   | 15.0           | 453                   |
| 8a   | OS/P2             | 0.5   | -             | -              | -                     |
| 9  | Commercial Retail | 39.4  | -             | -              | -                     |
| 10   | R-5               | 10.9  | 41.1 - 50.0   | 41.1           | 489                   |
| 10a  | OS/P2             | 0.3   | -             | -              | -                     |
| 10b  | OS/P2             | 0.7   | -             | -              | -                     |
| 11   | OS/UC             | 5.0   | -             | -              | -                     |
| 12   | <i>not used</i>   | -     | -             | -              | -                     |
| 13   | OS/P1             | 3.0   | -             | -              | -                     |
| 14   | MU-1              | 138.0 | -             | -              | -                     |
| 15   | <i>not used</i>   | -     | -             | -              | -                     |
| 16   | <i>not used</i>   | -     | -             | -              | -                     |
| 17   | <i>not used</i>   | -     | -             | -              | -                     |
| 18   | <i>not used</i>   | -     | -             | -              | -                     |
| 19   | <i>not used</i>   | -     | -             | -              | -                     |
| 20   | OS/UC             | 2.1   | -             | -              | -                     |

TABLE 7.1 - PLANNING AREA LAND USE SUMMARY

| PA# | Land Use        | Acres | Density Range | Target Density | Target Dwelling Units |
|-----|-----------------|-------|---------------|----------------|-----------------------|
| 21  | OS/UC           | 17.2  | -             | -              | -                     |
| 22  | R-1 - 10,000    | 28.7  | 0.0 - 5.0     | 3.5            | 100                   |
| 23  | MU-1            | 4.2   | -             | -              | -                     |
| 24  | <i>not used</i> | -     | -             | -              | -                     |
| 25  | OS/UC           | 11.3  | -             | -              | -                     |
| 26  | R-2 Cluster     | 5.1   | 5.1 - 12.0    | 41.1           | 46                    |
| 27  | MU-1            | 18.4  | -             | -              | -                     |
| 28  | OS/UC           | 7.3   | -             | -              | -                     |
| 29  | MU-1            | 2.1   | -             | -              | -                     |
| 30  | OS/UC           | 3.9   | -             | -              | -                     |
| 31  | MU-1            | 34.4  | -             | -              | -                     |
| 32  | <i>not used</i> | -     | -             | -              | -                     |
| 33  | <i>not used</i> | -     | -             | -              | -                     |
| 34  | <i>not used</i> | -     | -             | -              | -                     |
| 35  | <i>not used</i> | -     | -             | -              | -                     |
| 36  | R-1 - 7,200     | 20.6  | 0.0 - 5.0     | 4.5            | 93                    |
| 37  | <i>not used</i> | 0.0   | -             | -              | -                     |
| 38  | R-1 - 7,200     | 22.2  | 0.0 - 5.0     | 4.5            | 100                   |
| 39  | High School     | 60.0  | -             | -              | -                     |
| 40  | MU-3            | 0.5   | -             | -              | -                     |
| 41  | MU-2            | 71.6  | -             | -              | -                     |
| 42  | MU-3            | 35.6  | -             | -              | -                     |
| 43  | OS/UC           | 21.4  | -             | -              | -                     |
| 44  | R-4a            | 11.0  | 30.0 - 39.0   | 30.0           | 345                   |
| 44a | OS/P2           | 0.5   | -             | -              | -                     |
| 45  | R-4a            | 13.0  | 30.0 - 39.0   | 30.0           | 405                   |
| 45a | OSP2            | 0.5   | -             | -              | -                     |
| 46  | <i>not used</i> | -     | -             | -              | -                     |
| 47  | MU-1            | 8.4   | -             | -              | -                     |
| 48  | R-1 - 10,000    | 9.6   | 0.0 - 5.0     | 3.5            | 34                    |
| 49  | OS/DC           | 4.1   | -             | -              | -                     |
| 50  | R-1 - 10,000    | 15.6  | 0.0 - 5.0     | 3.5            | 55                    |
| 51  | R-3             | 17.0  | 12.1 - 18.0   | 15             | 255                   |
| 51a | OS/P2           | 0.3   | -             | -              | -                     |
| 52  | R-2 - 5,000     | 17.0  | 5.1 - 12.0    | 5.5            | 93                    |
| 53  | <i>not used</i> | -     | -             | -              | -                     |
| 54  | R-1 - 7,200     | 17.2  | 0.0 - 5.0     | 4.5            | 77                    |

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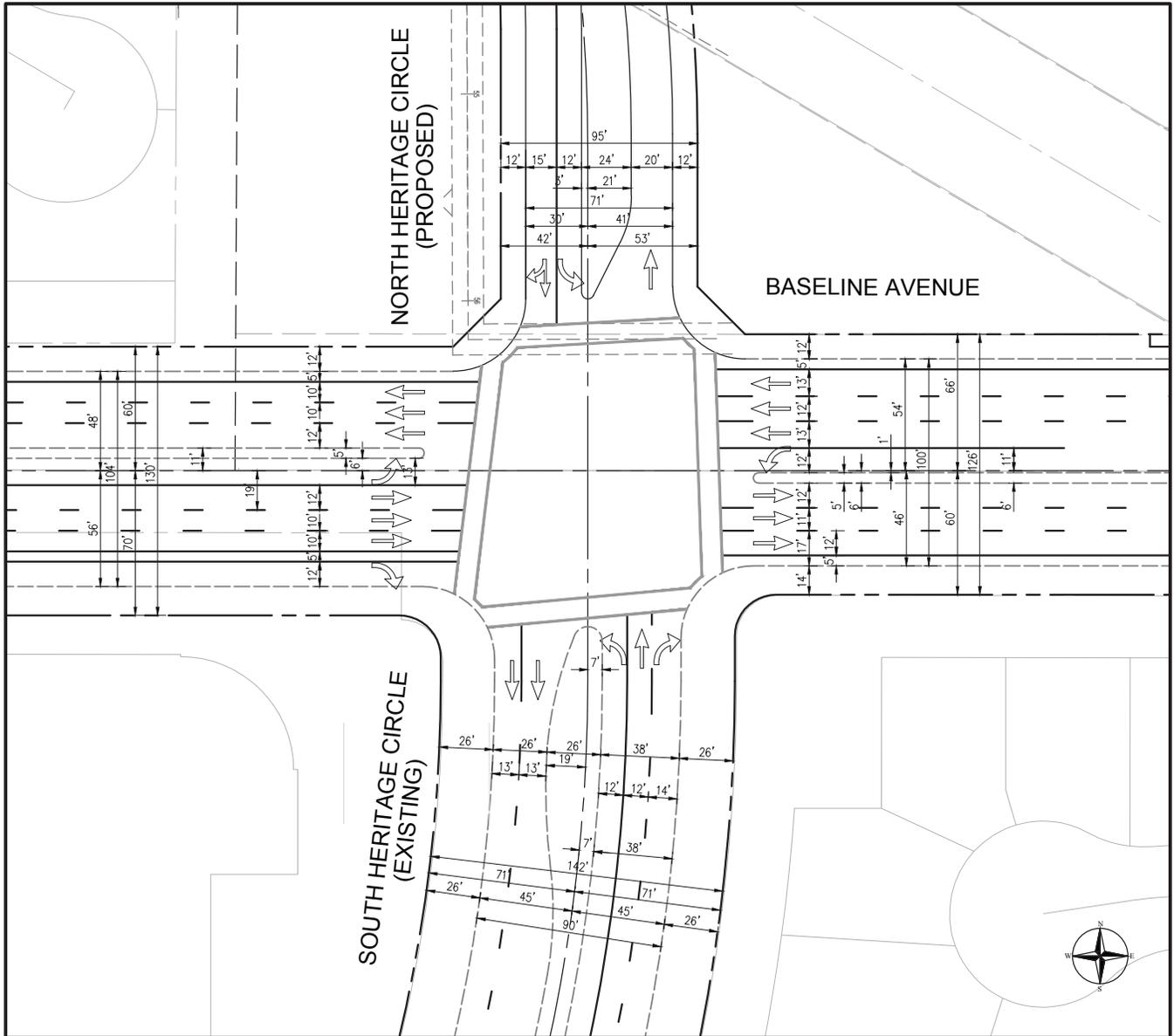
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TABLE 7.1 - PLANNING AREA LAND USE SUMMARY

| PA# | Land Use           | Acres        | Density Range | Target Density | Target Dwelling Units |
|-----|--------------------|--------------|---------------|----------------|-----------------------|
| 55  | OS/P1              | 3.4          | -             | -              | -                     |
| 56  | OS/UC              | 3.8          | -             | -              | -                     |
| 57  | OS/UC              | 20.4         | -             | -              | -                     |
| 58  | <i>not used</i>    | 0.0          | 5.1 - 12      | 9.0            | 0                     |
| 59  | <i>not used</i>    | -            | -             | -              | -                     |
| 60  | OS/P1              | 17.5         | -             | -              | -                     |
| 61  | OS/P1              | 2.7          | -             | -              | -                     |
| 62  | OS/P1              | 1.1          | -             | -              | -                     |
| 63  | R-2 - 5,000        | 13.6         | 5.1 - 12.0    | 5.5            | 75                    |
| 64  | R-2 Cluster        | 9.2          | 5.1 - 12.0    | 9.0            | 83                    |
| 65  | Elementary School  | 12.0         | -             | -              | -                     |
| 66  | R-2 - 5,000        | 18.0         | 5.1 - 12.0    | 5.5            | 99                    |
| 67  | R-4b               | 10.2         | 32.1 - 39.0   | 32.1           | 346                   |
| 67a | OS/P2              | 0.3          | -             | -              | -                     |
| 67b | OS/P2              | 0.3          | -             | -              | -                     |
| 68  | Commercial Retail  | 11.5         | -             | -              | -                     |
|     | Major Street ROW's | 89.4         | -             | -              | -                     |
|     | <b>TOTAL</b>       | <b>964.0</b> | <b>-</b>      | <b>-</b>       | <b>3,248</b>          |



**FIGURE 7-1  
CIRCULATION FIGURES**

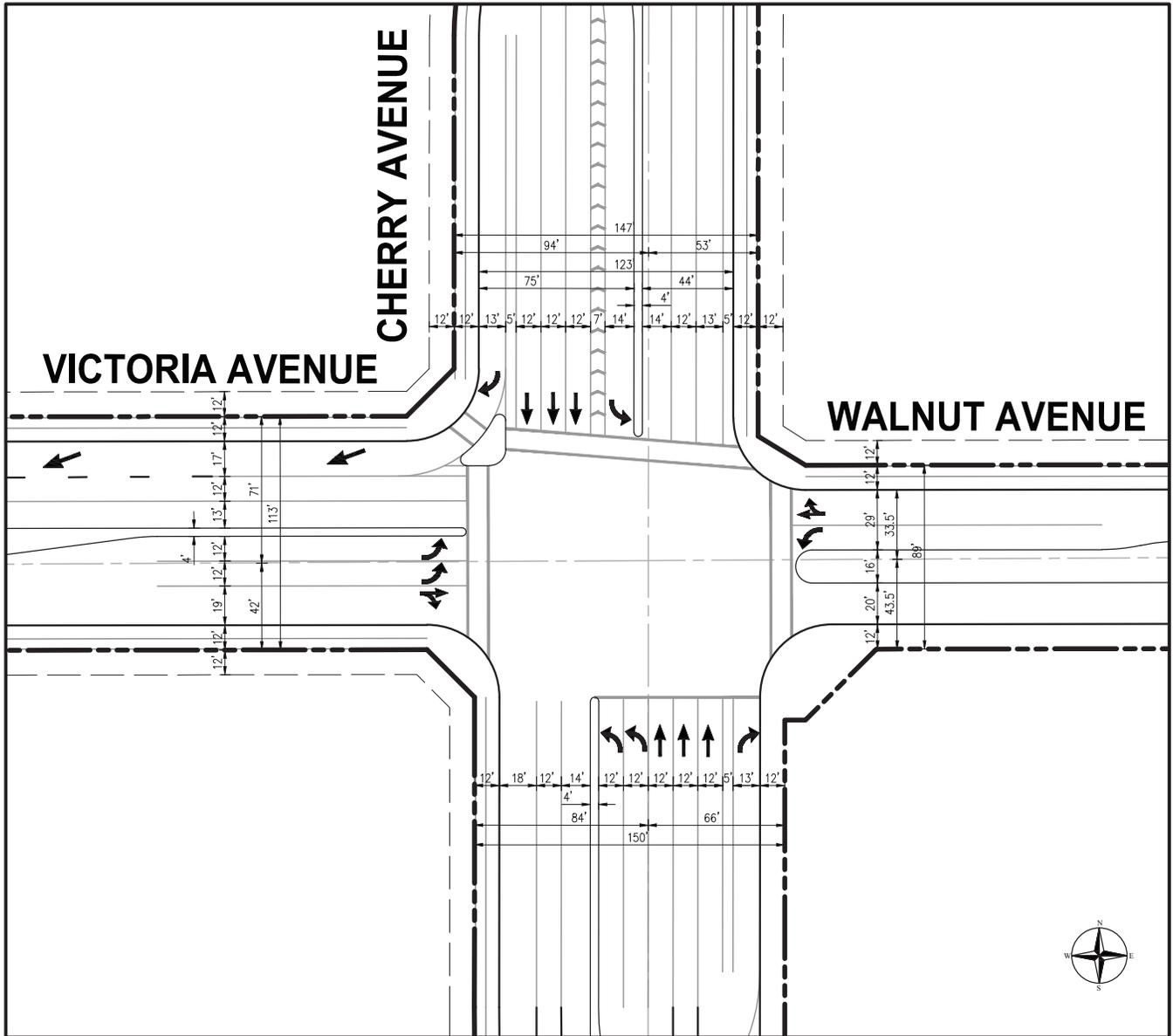
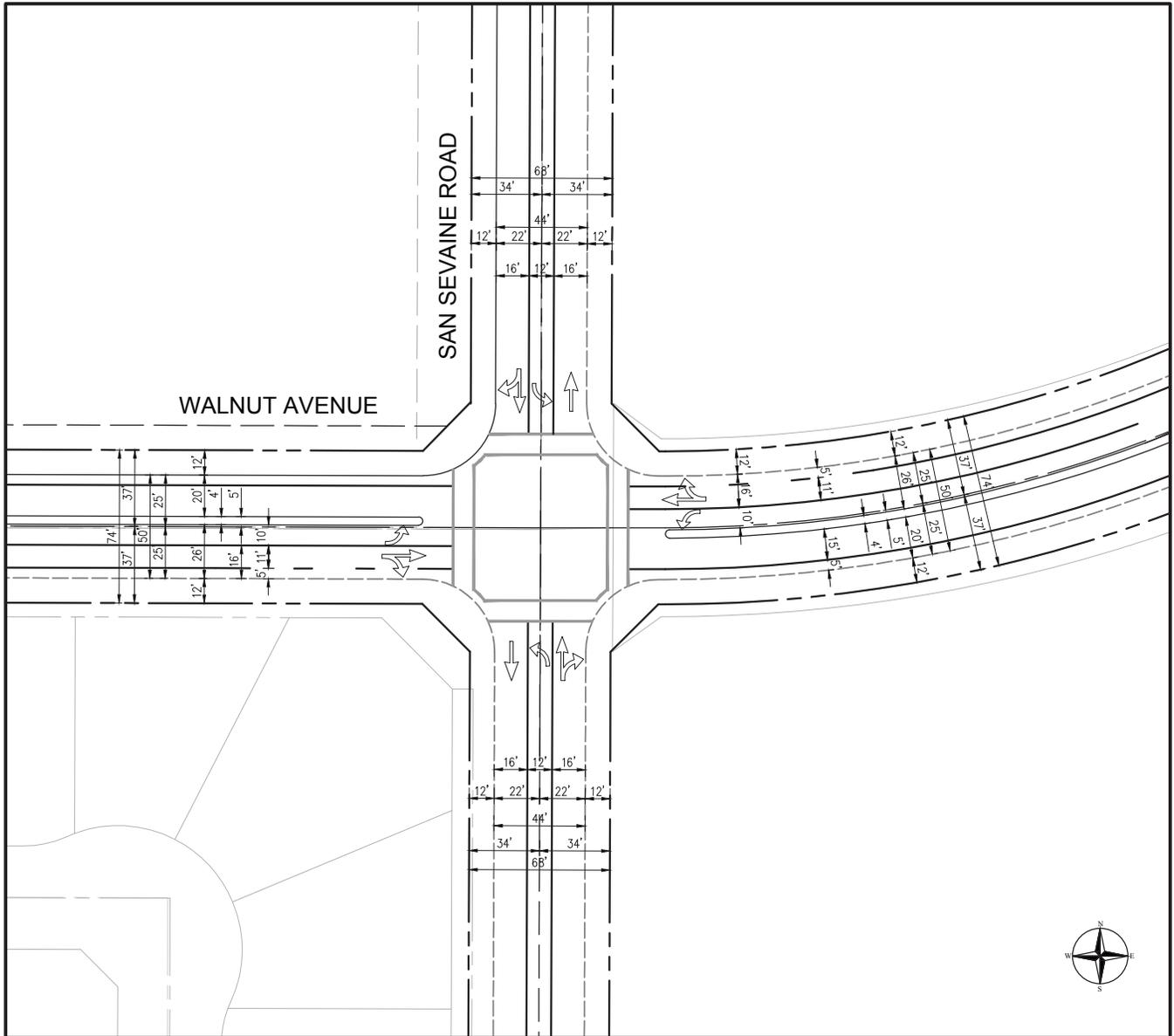


FIGURE 7-2  
CIRCULATION FIGURES



**FIGURE 7-3  
CIRCULATION FIGURES**

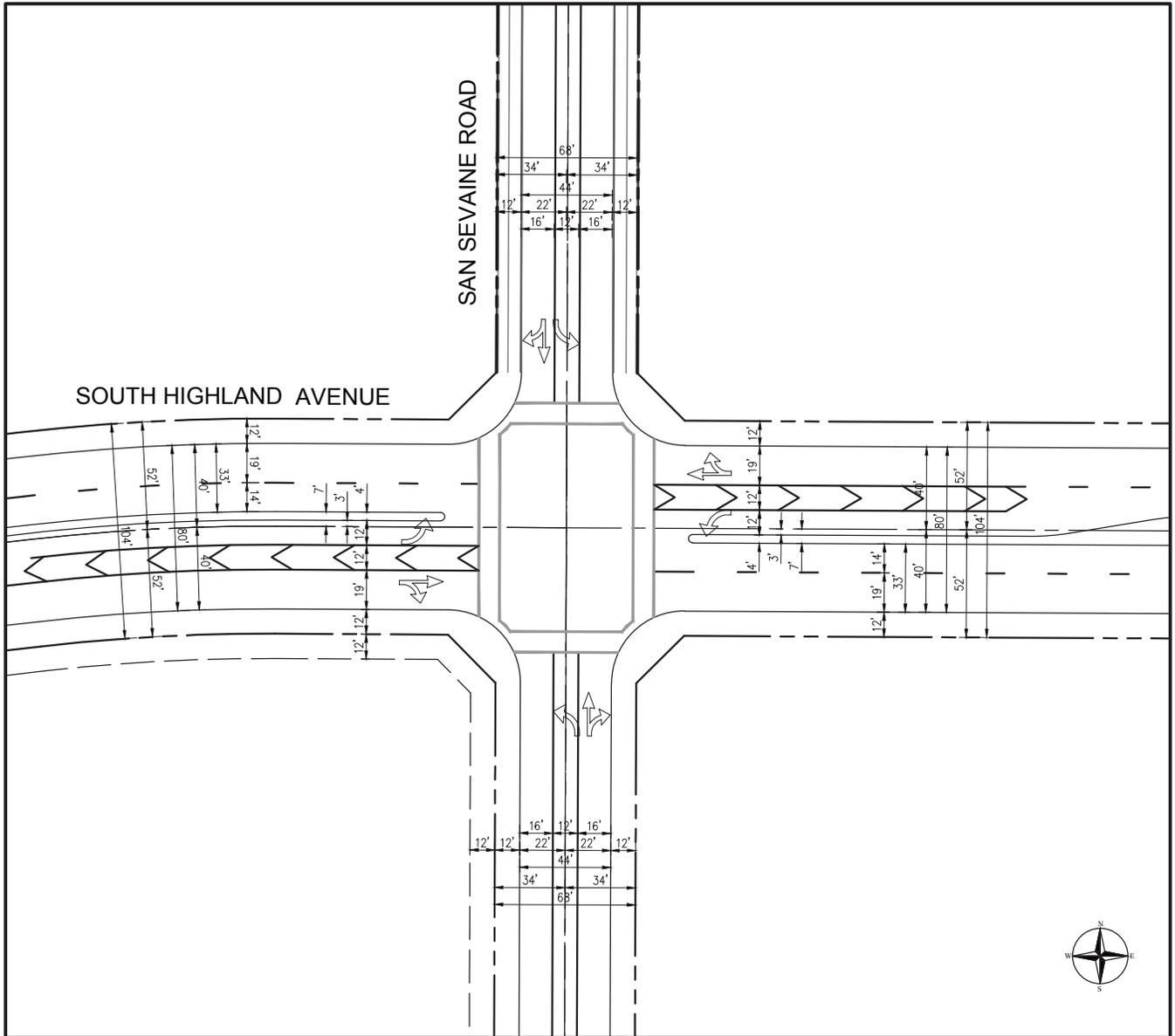


FIGURE 7-4  
CIRCULATION FIGURES











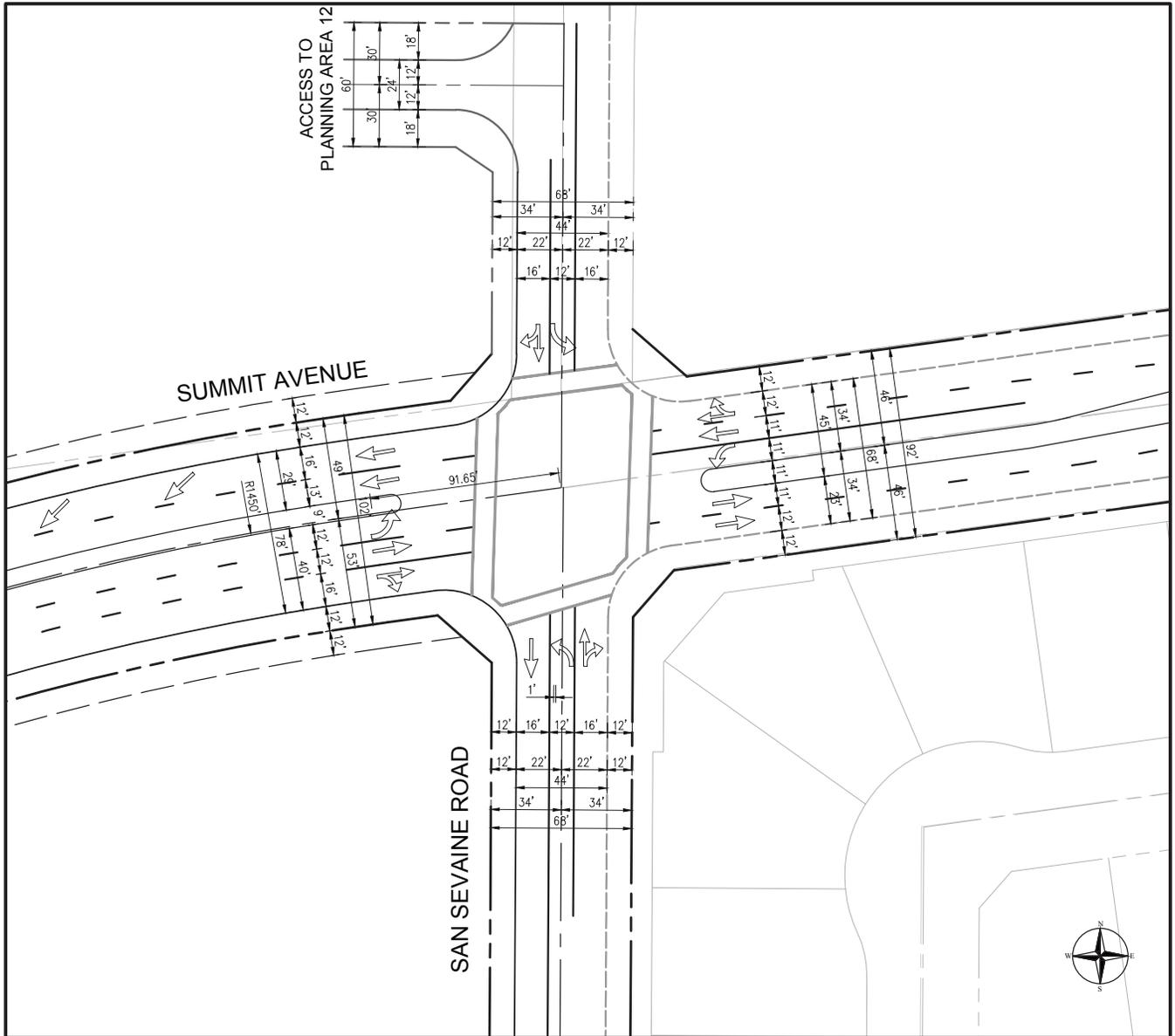
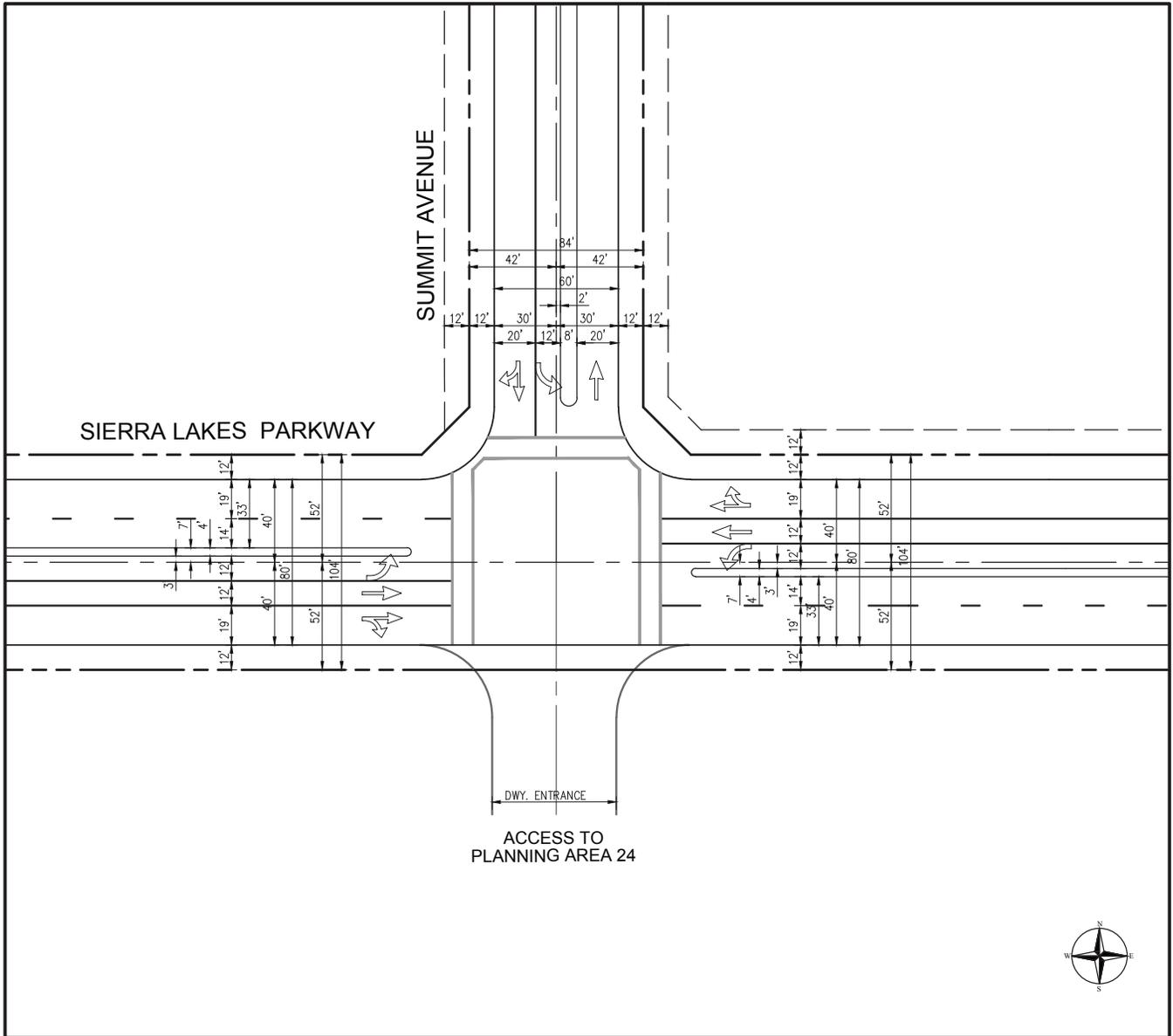
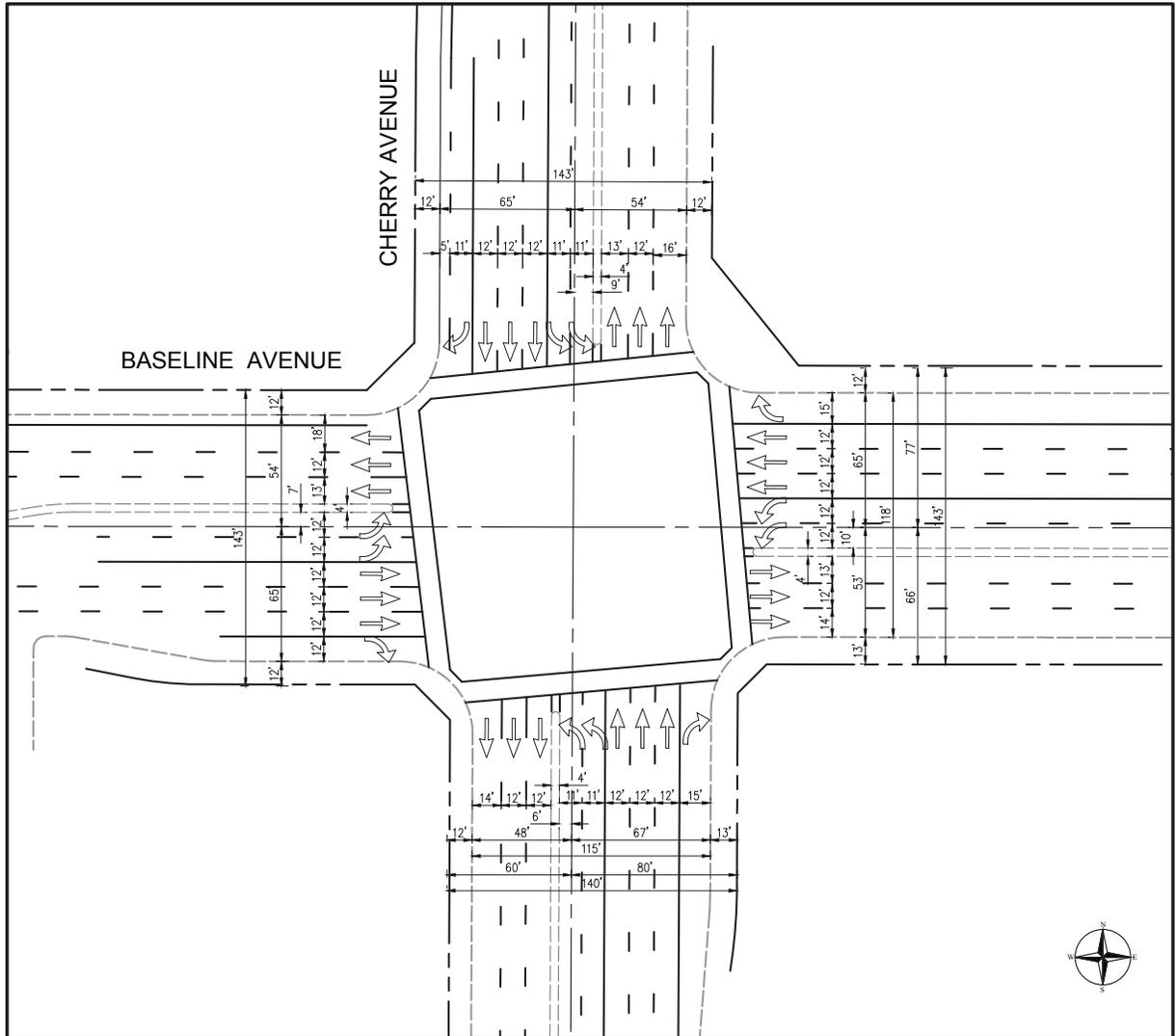


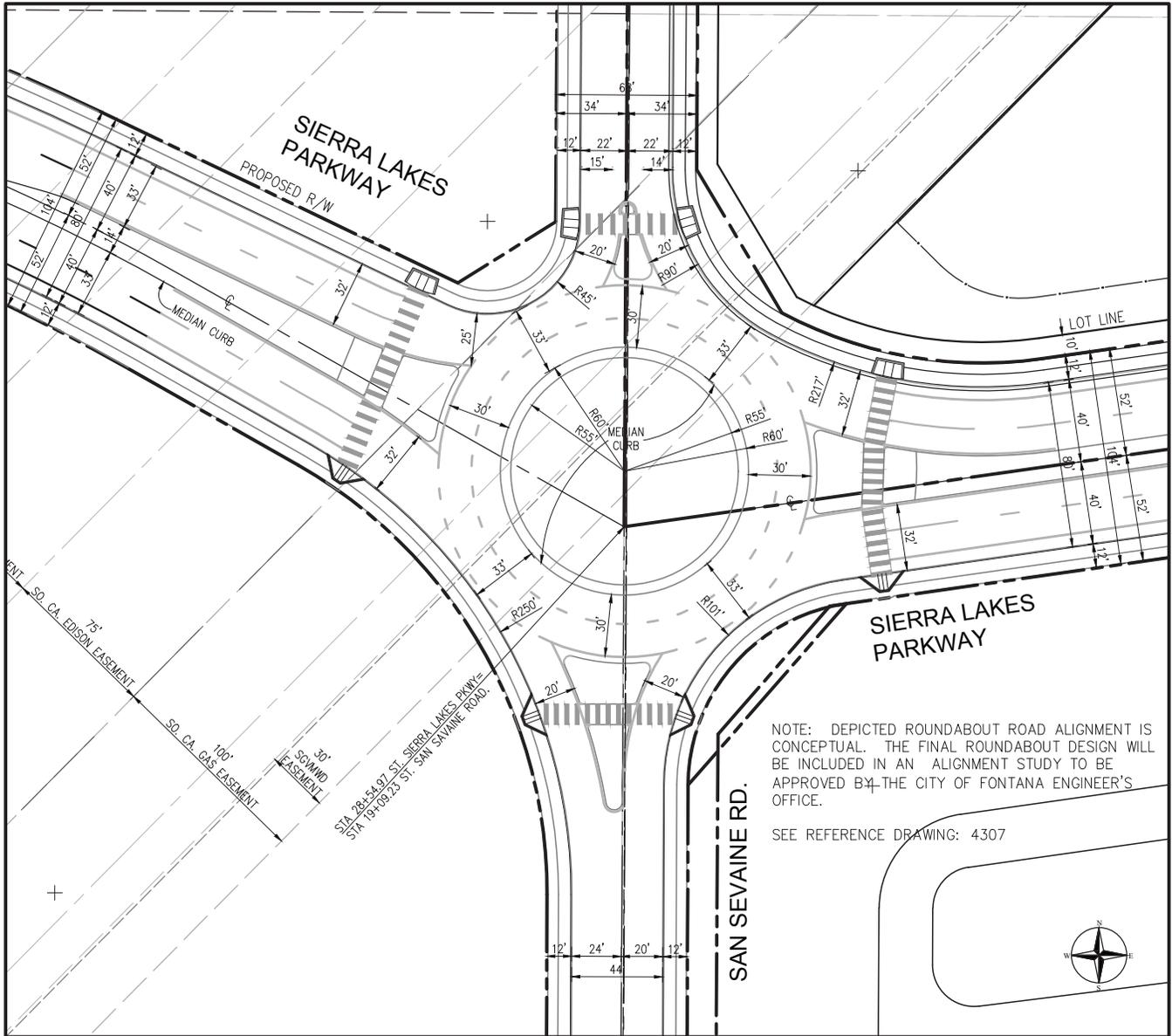
FIGURE 7-10  
CIRCULATION FIGURES



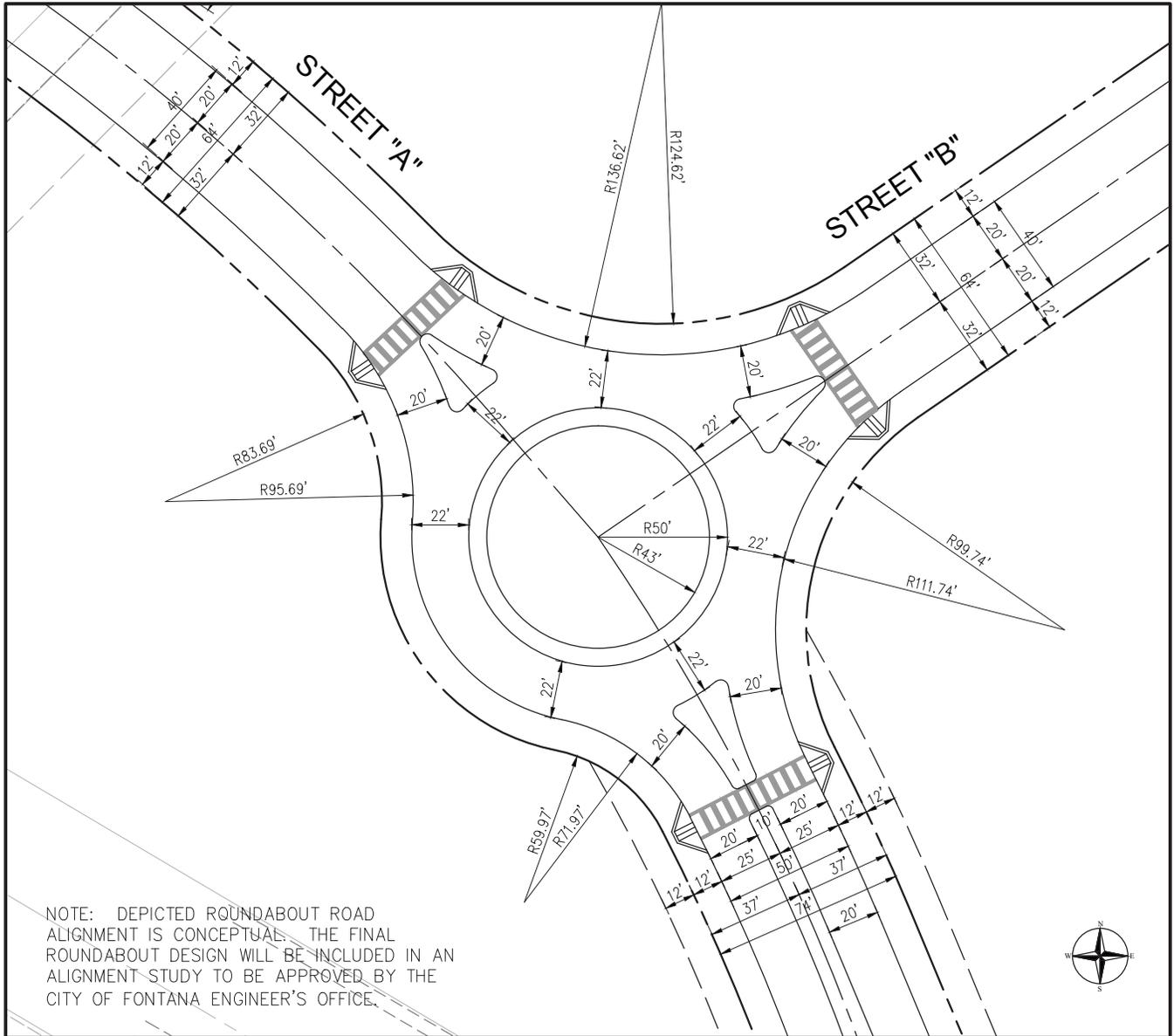
**FIGURE 7-11  
CIRCULATION FIGURES**



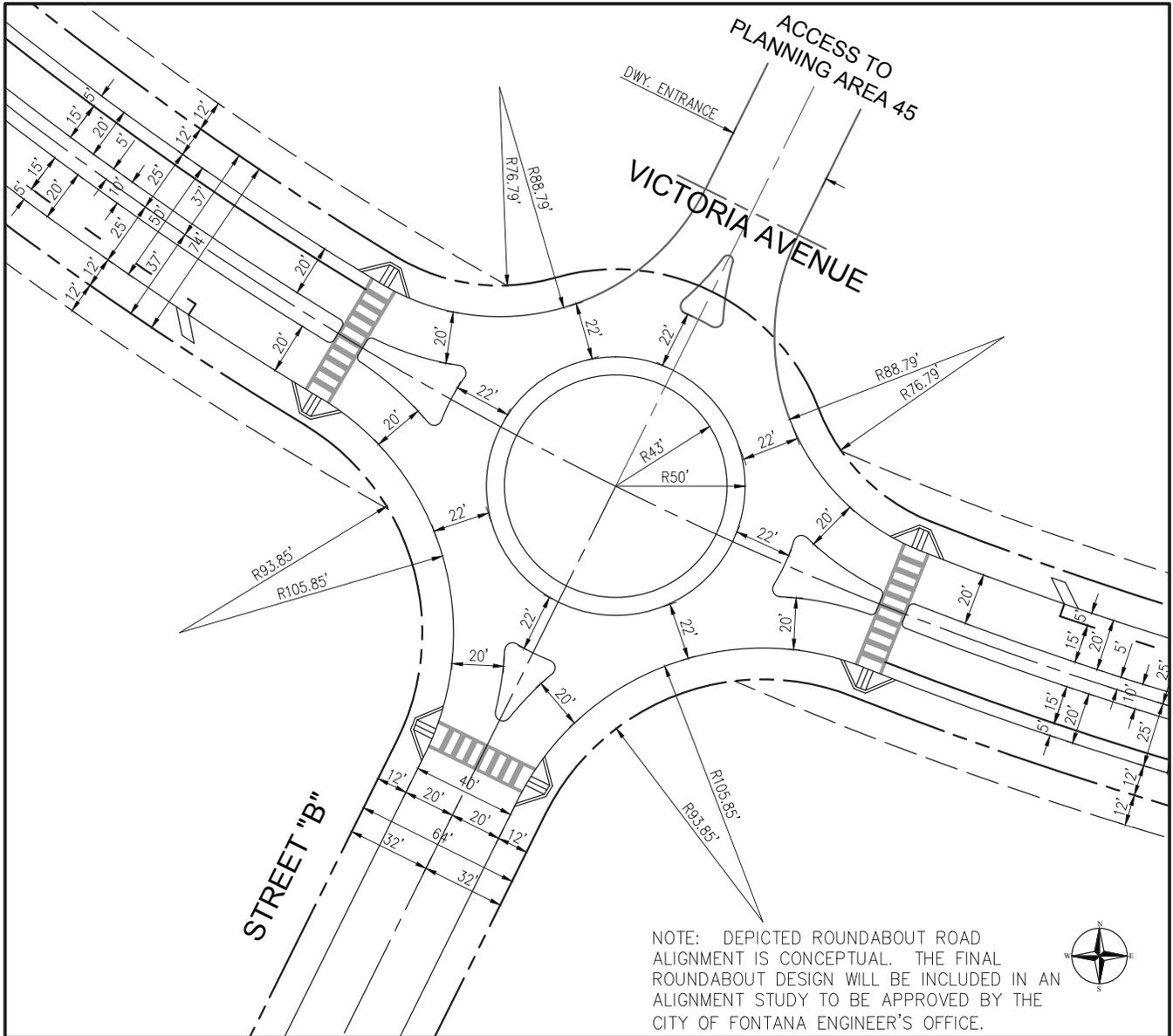
**FIGURE 7-12  
CIRCULATION FIGURES**



**FIGURE 7-13  
CIRCULATION FIGURES**



**FIGURE 7-14  
CIRCULATION FIGURES**



**FIGURE 7-15**  
**CIRCULATION FIGURES**

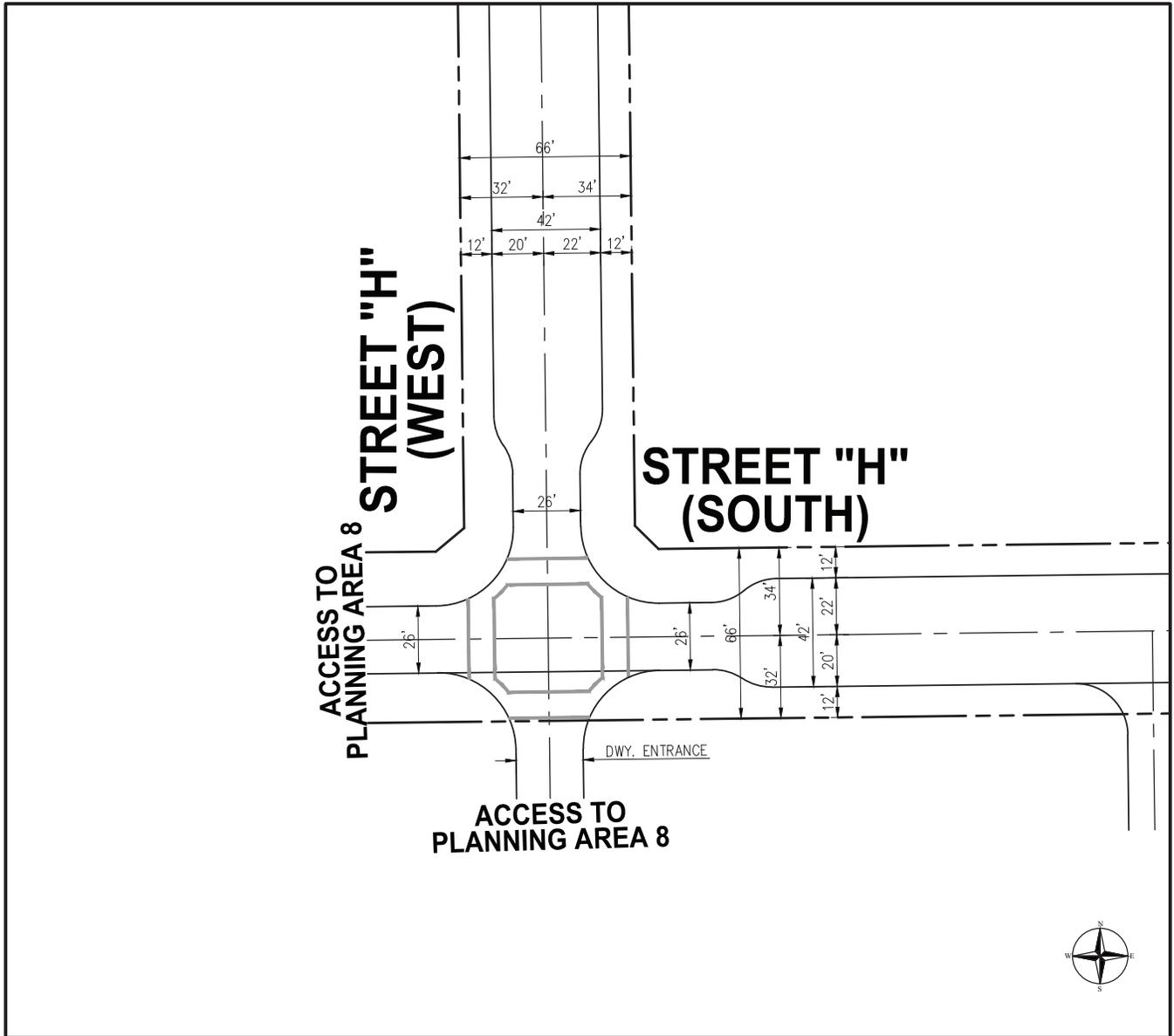


FIGURE 7-16  
CIRCULATION FIGURES

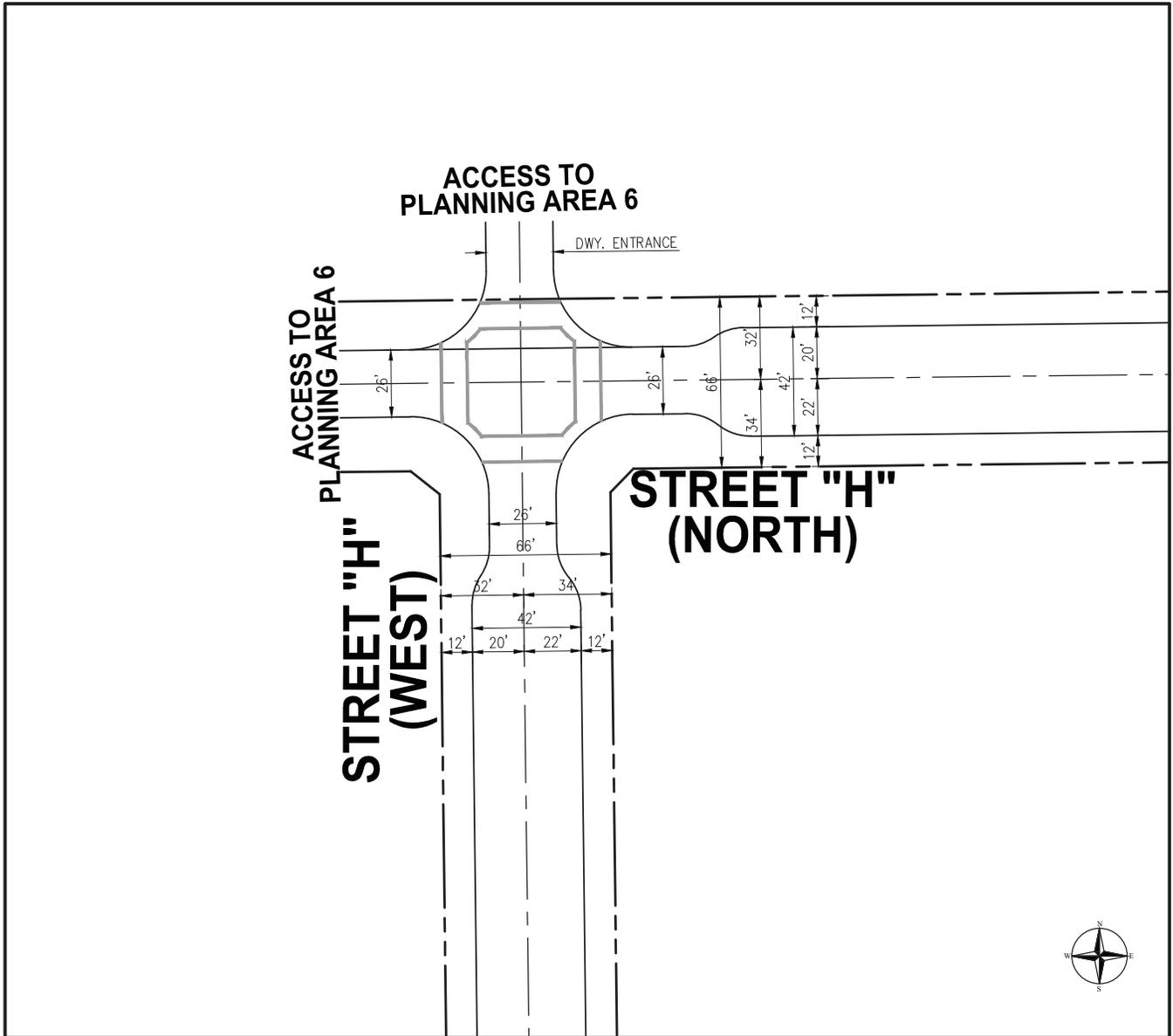
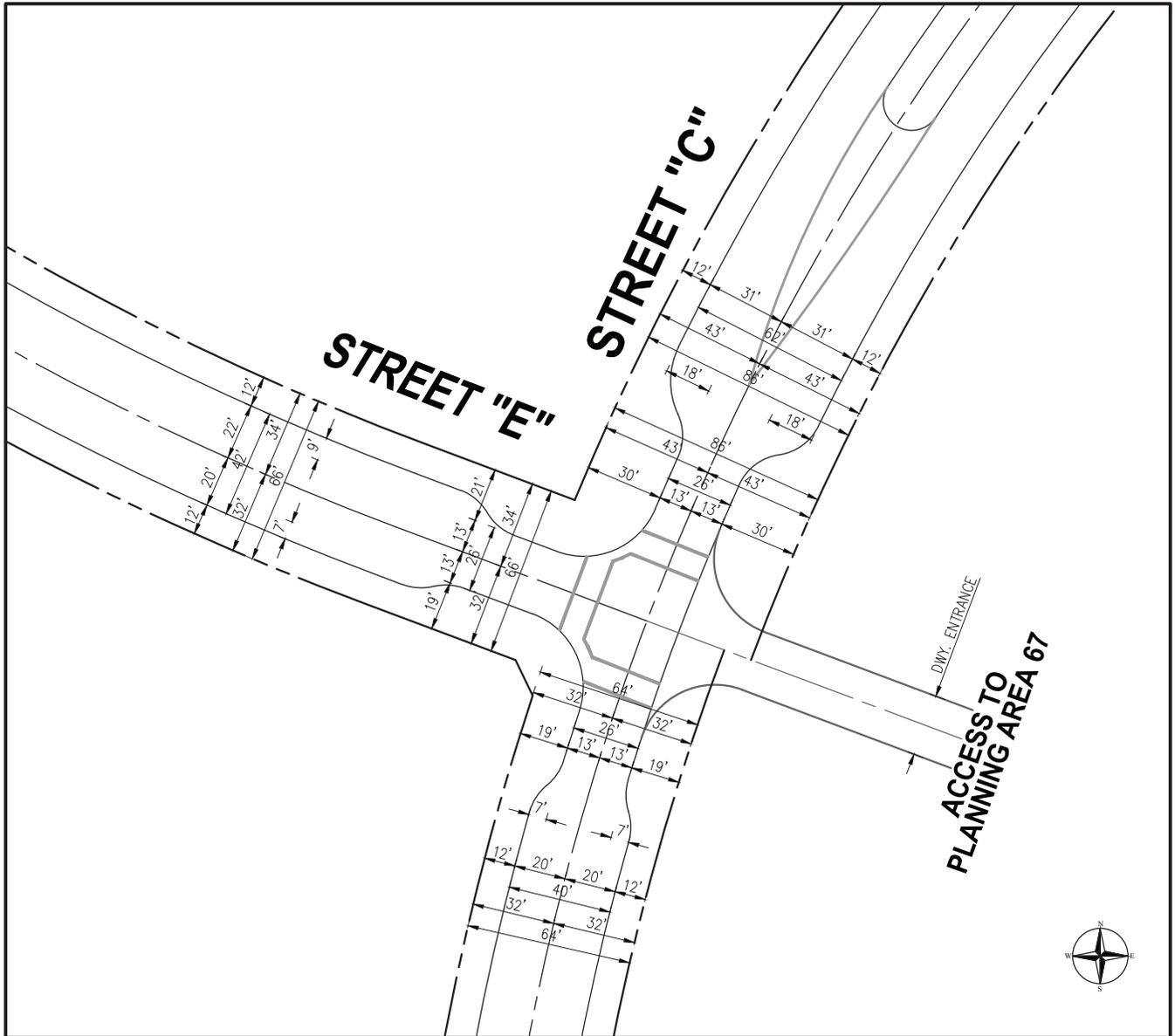


FIGURE 7-17  
CIRCULATION FIGURES



**FIGURE 7-18  
CIRCULATION FIGURES**

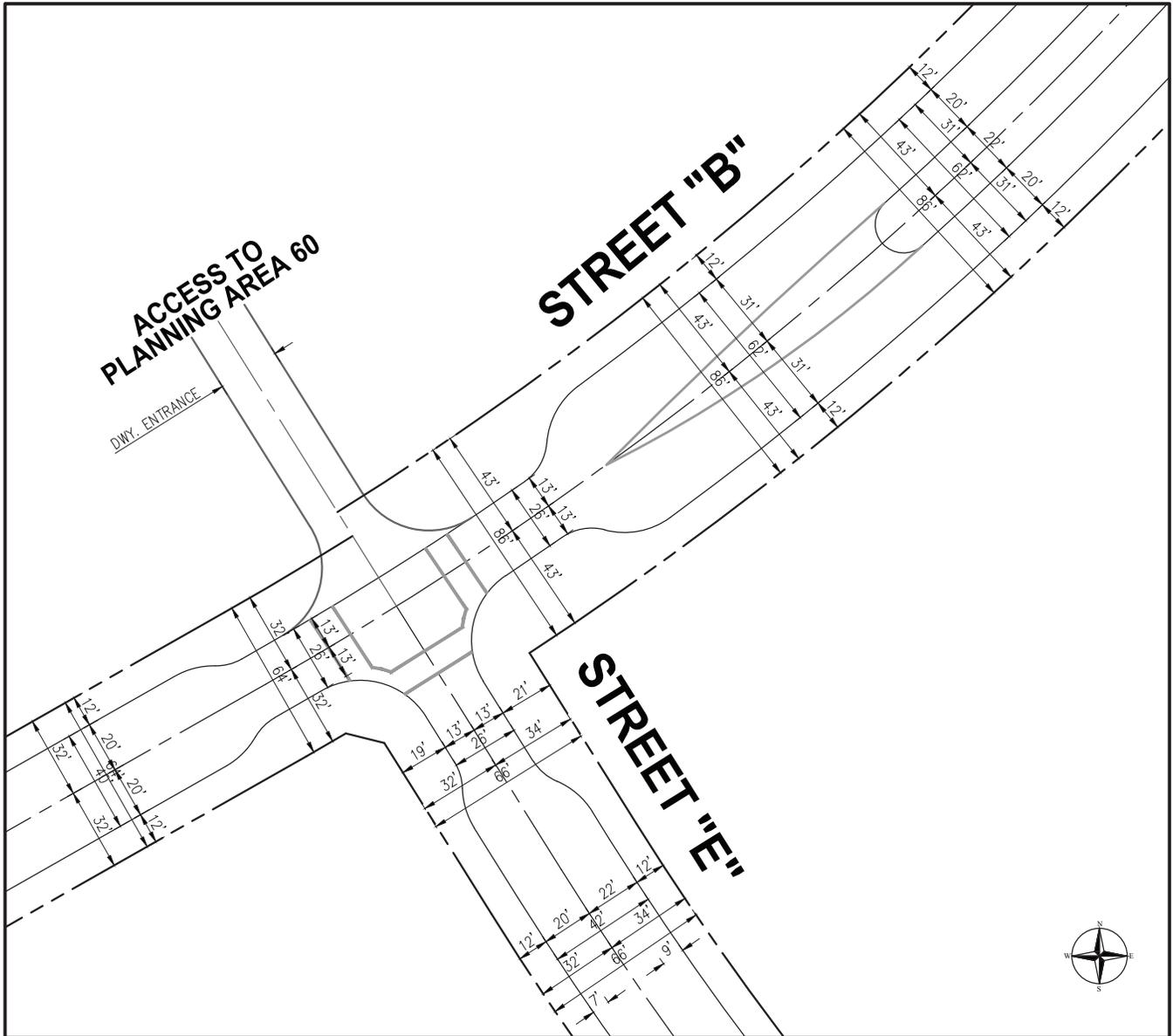


FIGURE 7-19  
CIRCULATION FIGURES

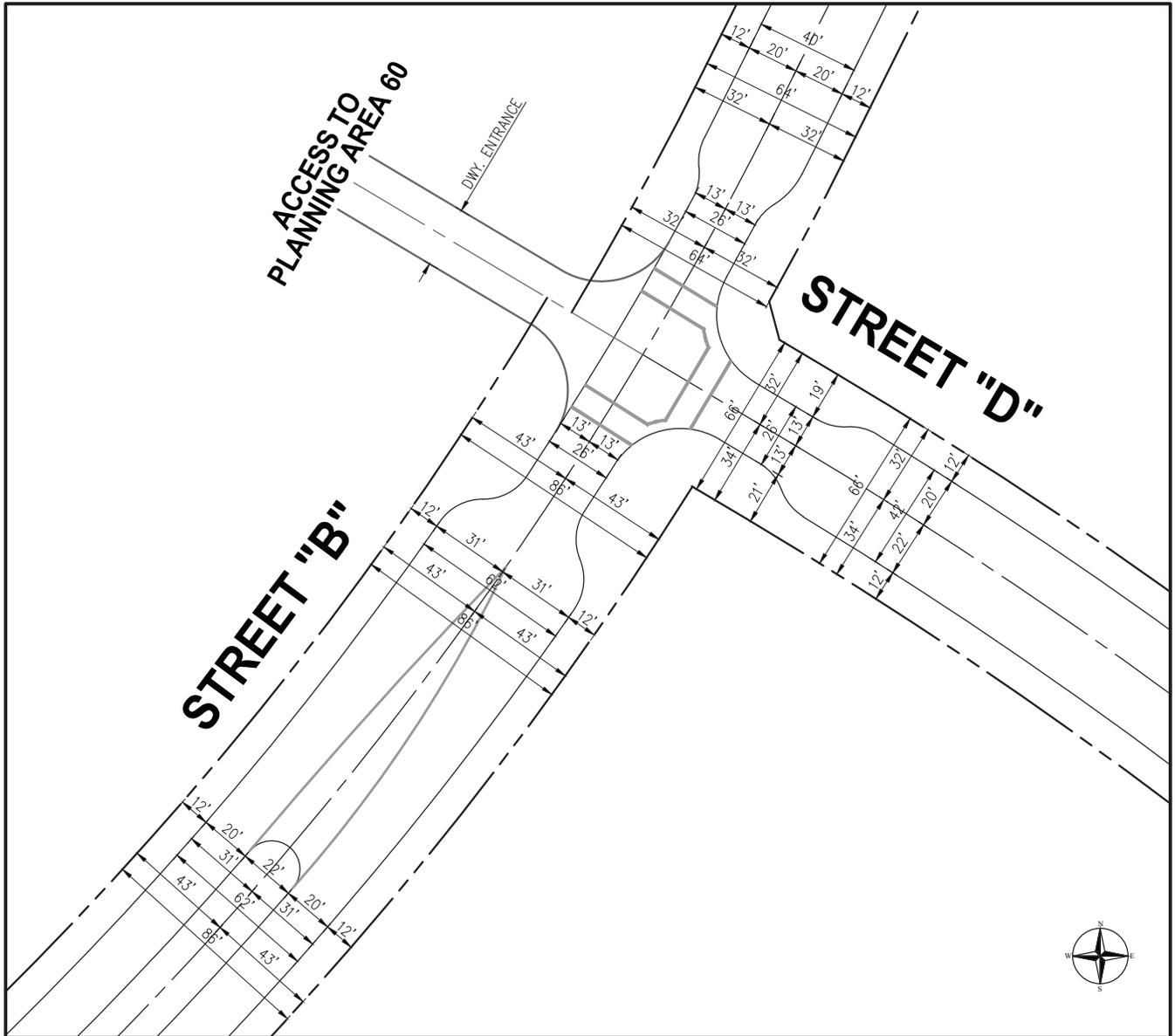


FIGURE 7-20  
CIRCULATION FIGURES

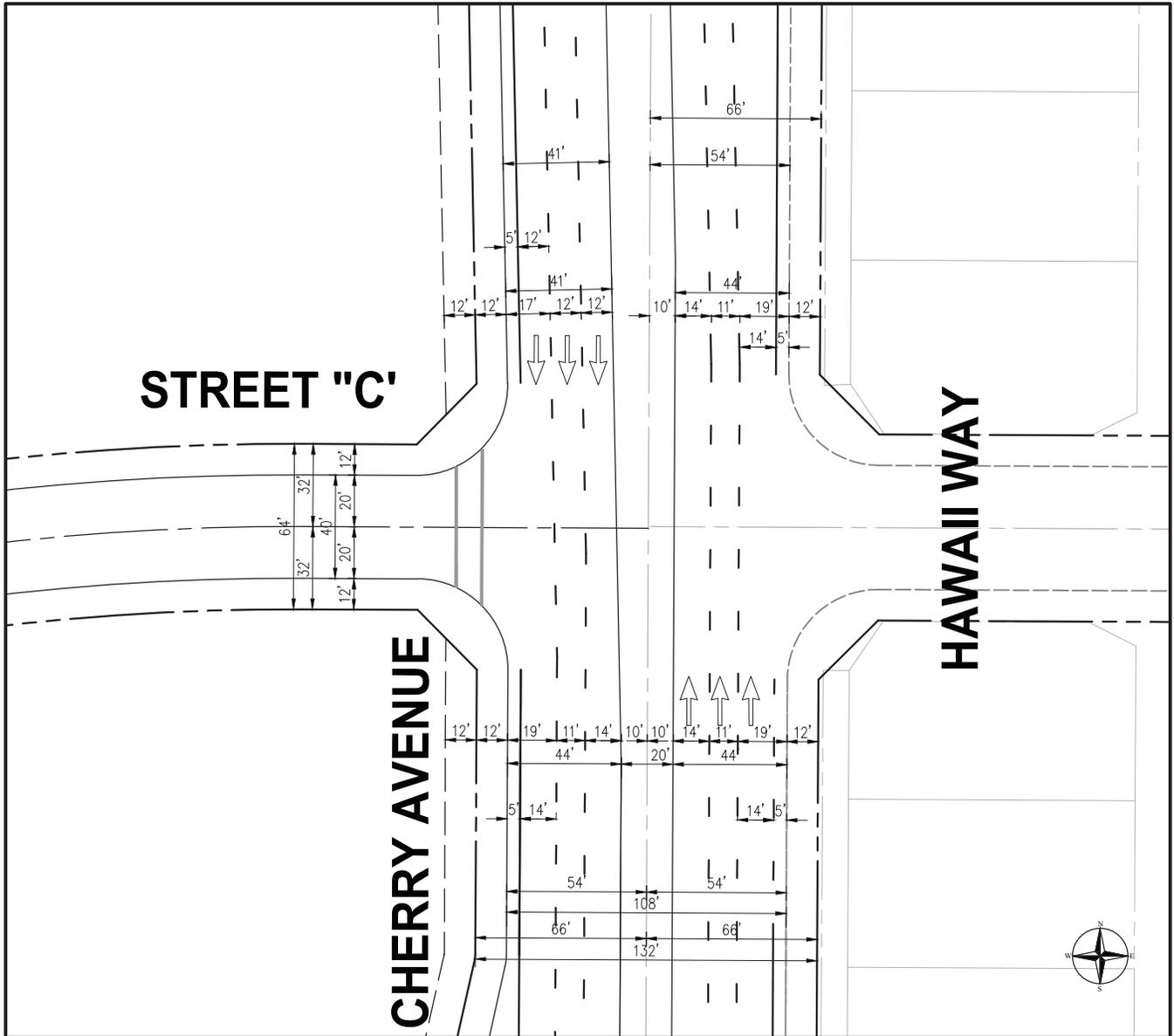


FIGURE 7-21  
CIRCULATION FIGURES

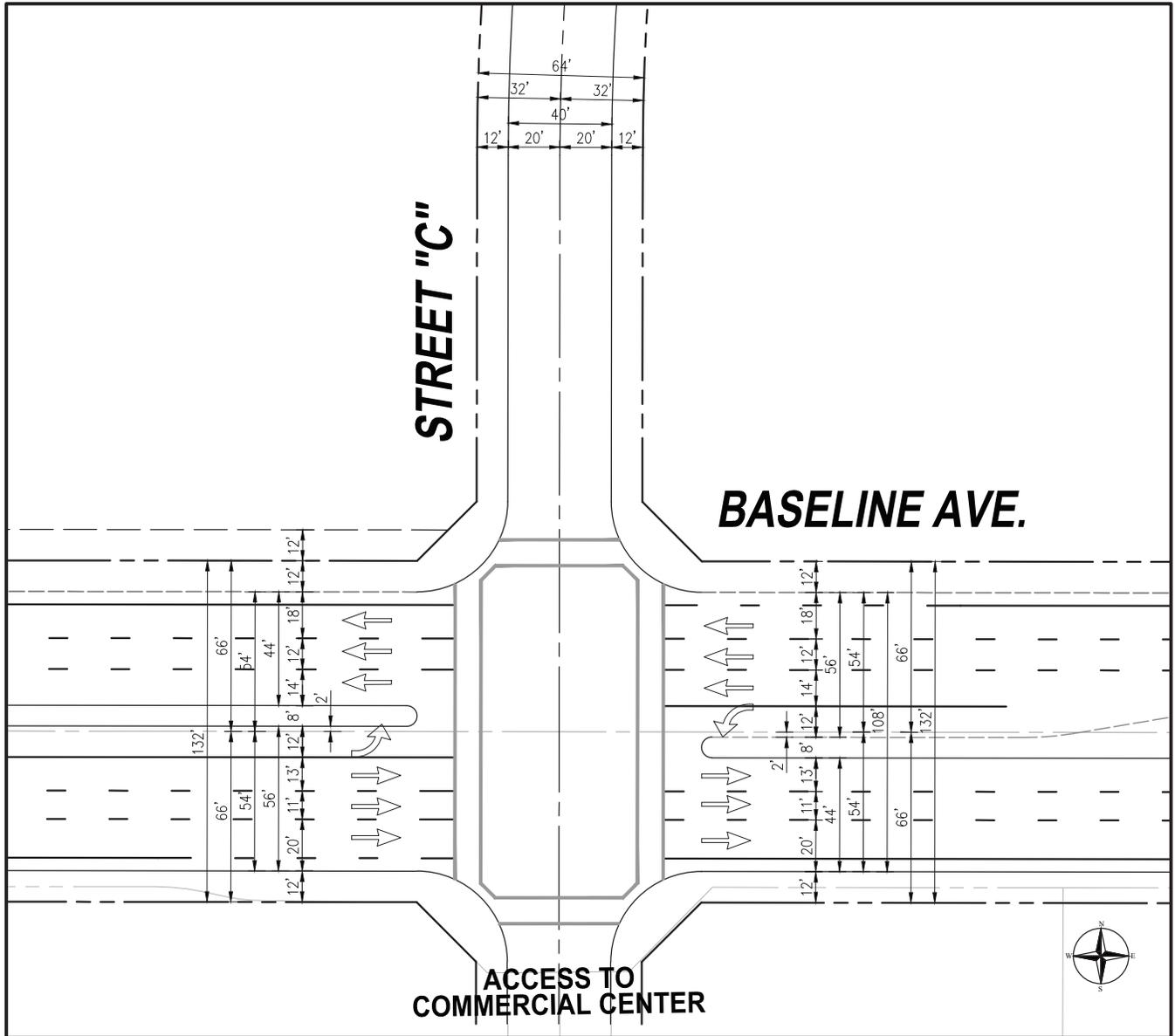
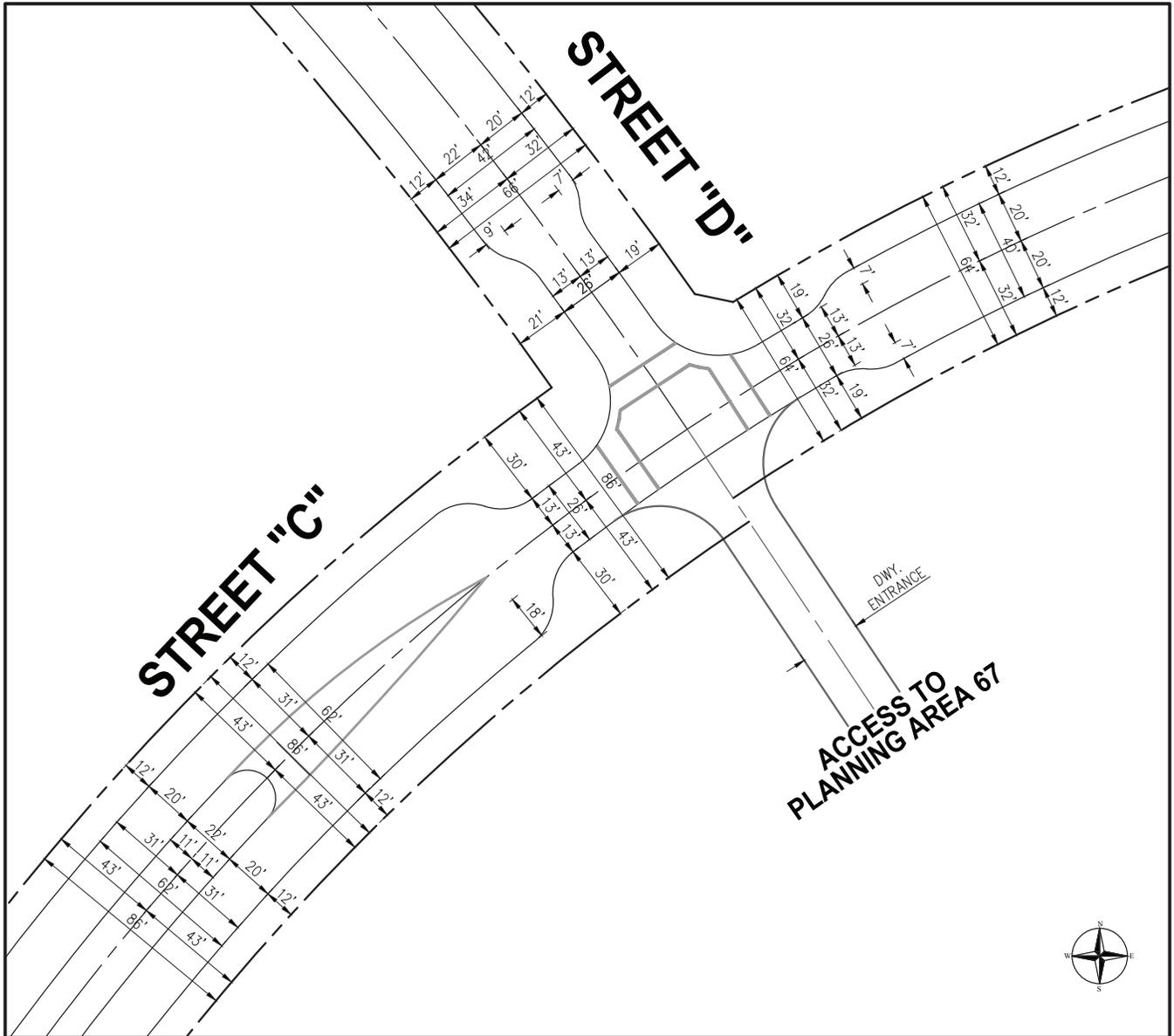


FIGURE 7-22  
CIRCULATION FIGURES



**FIGURE 7-23  
CIRCULATION FIGURES**

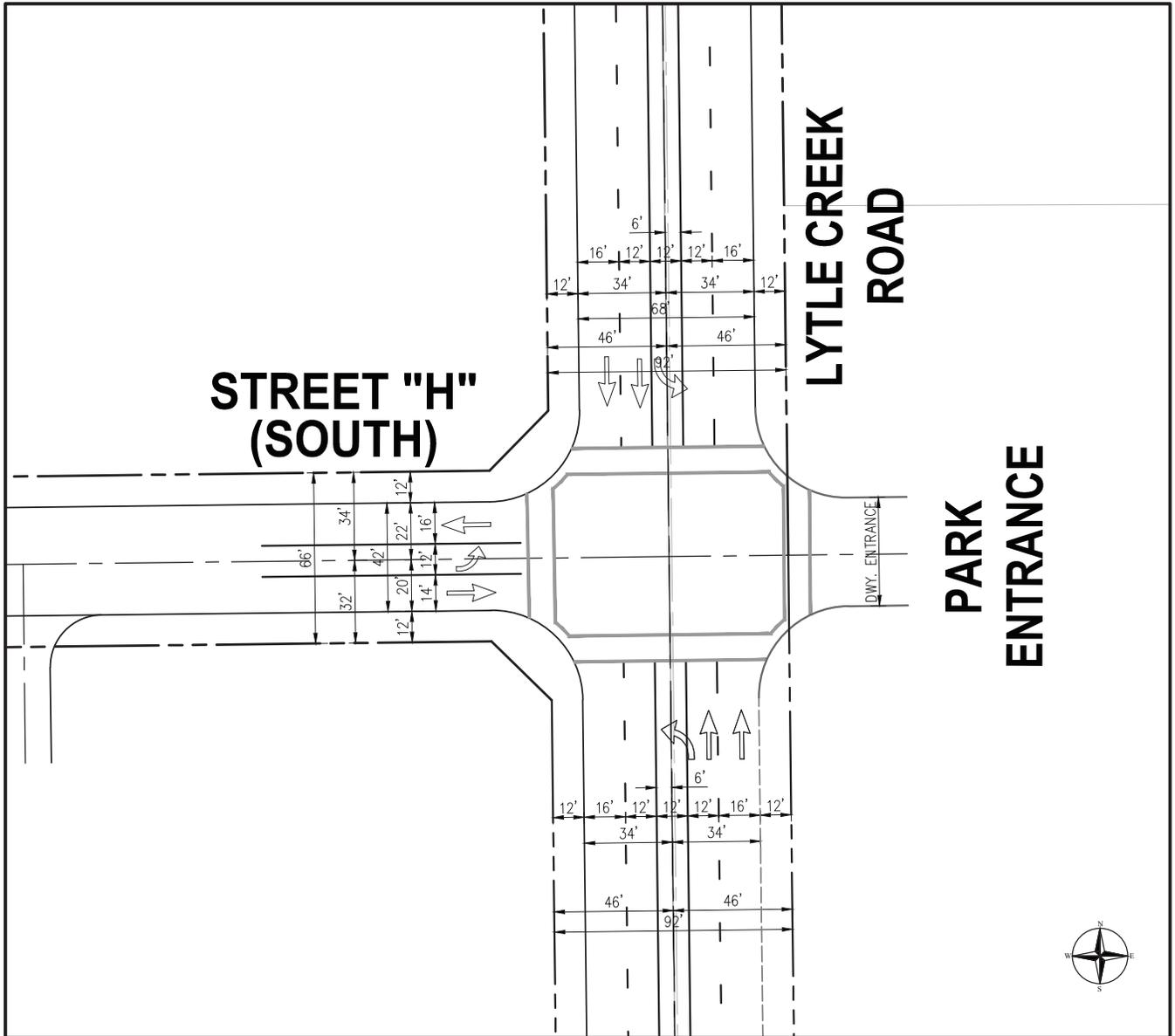


FIGURE 7-24  
CIRCULATION FIGURES

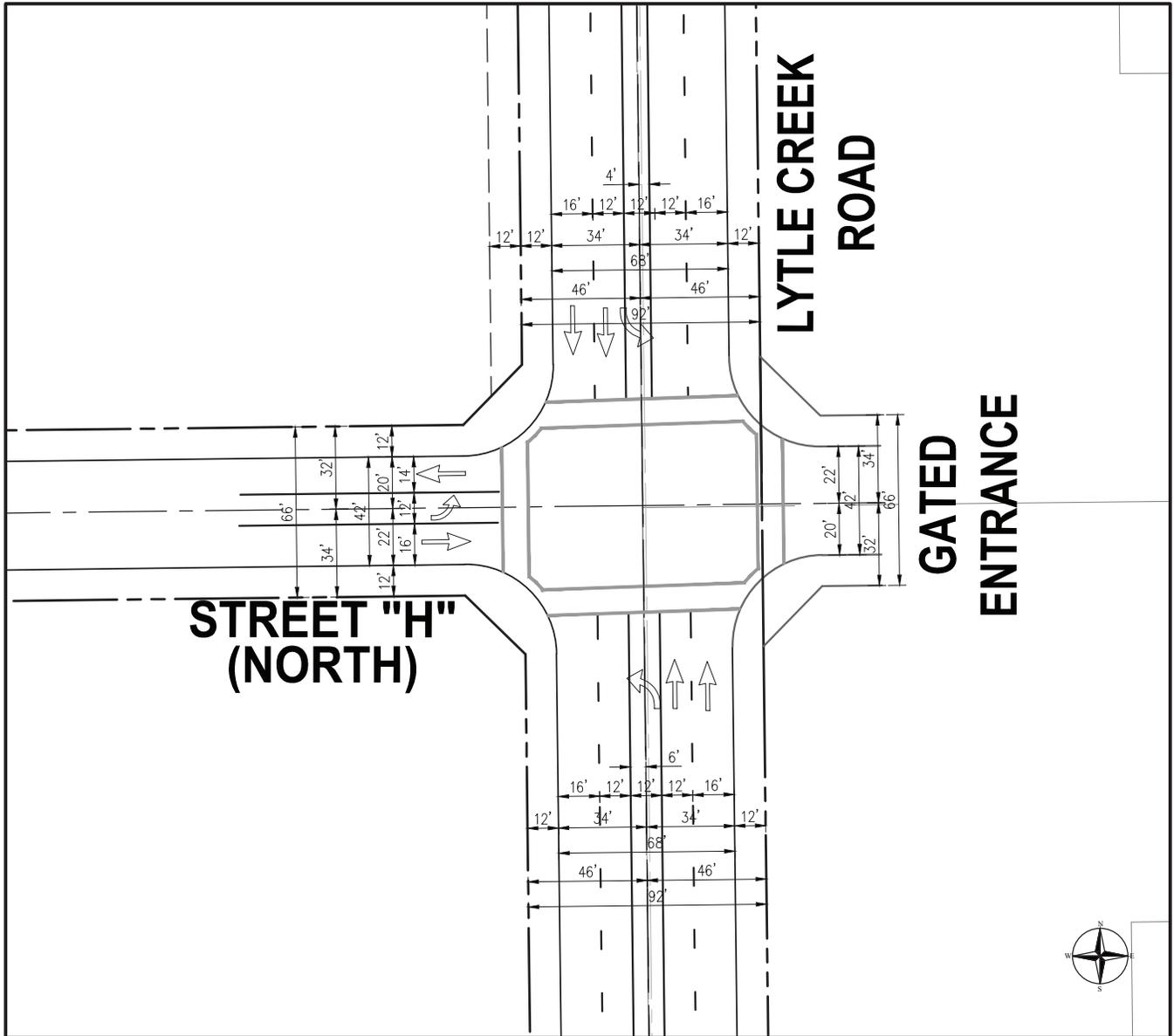
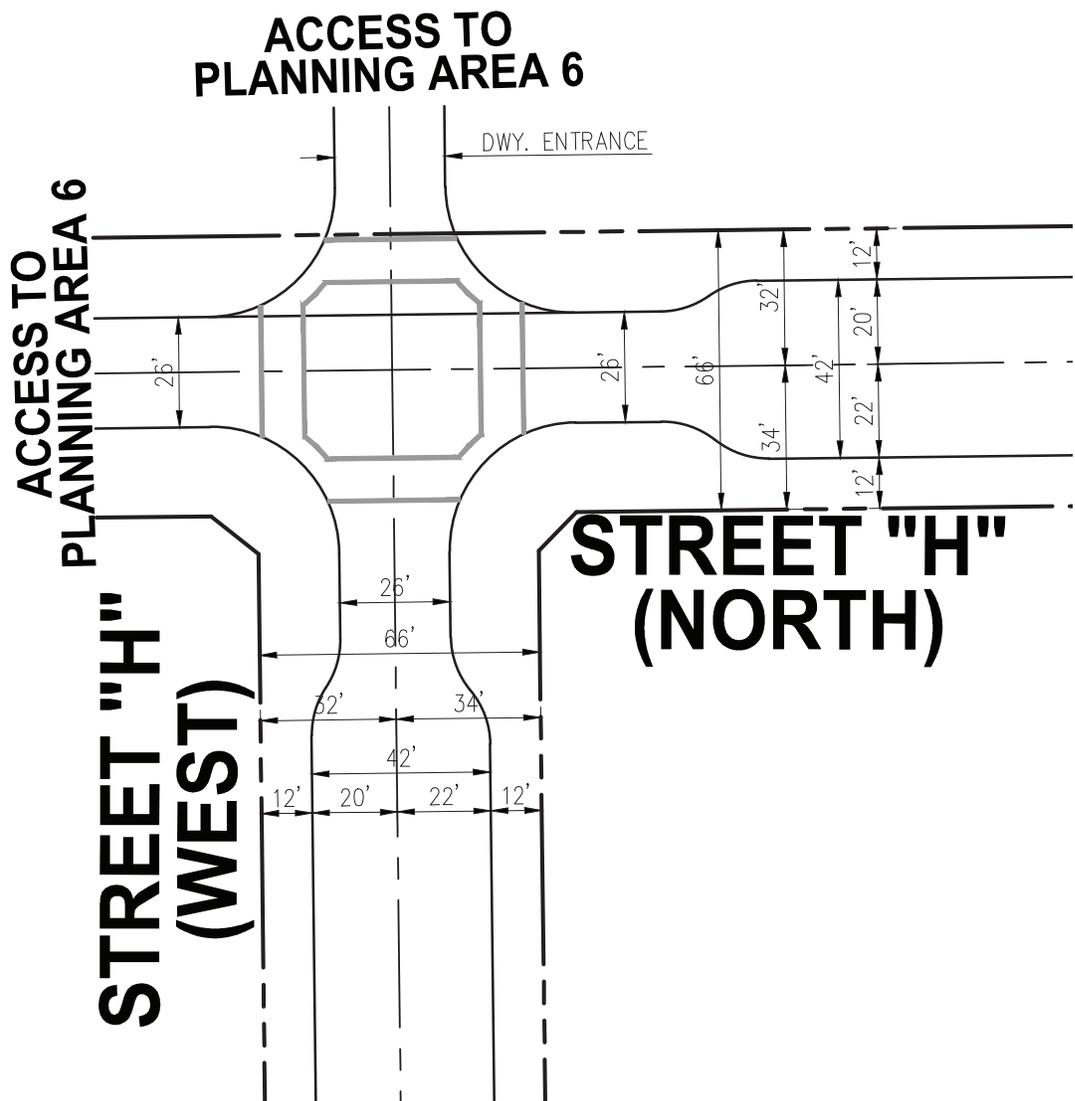
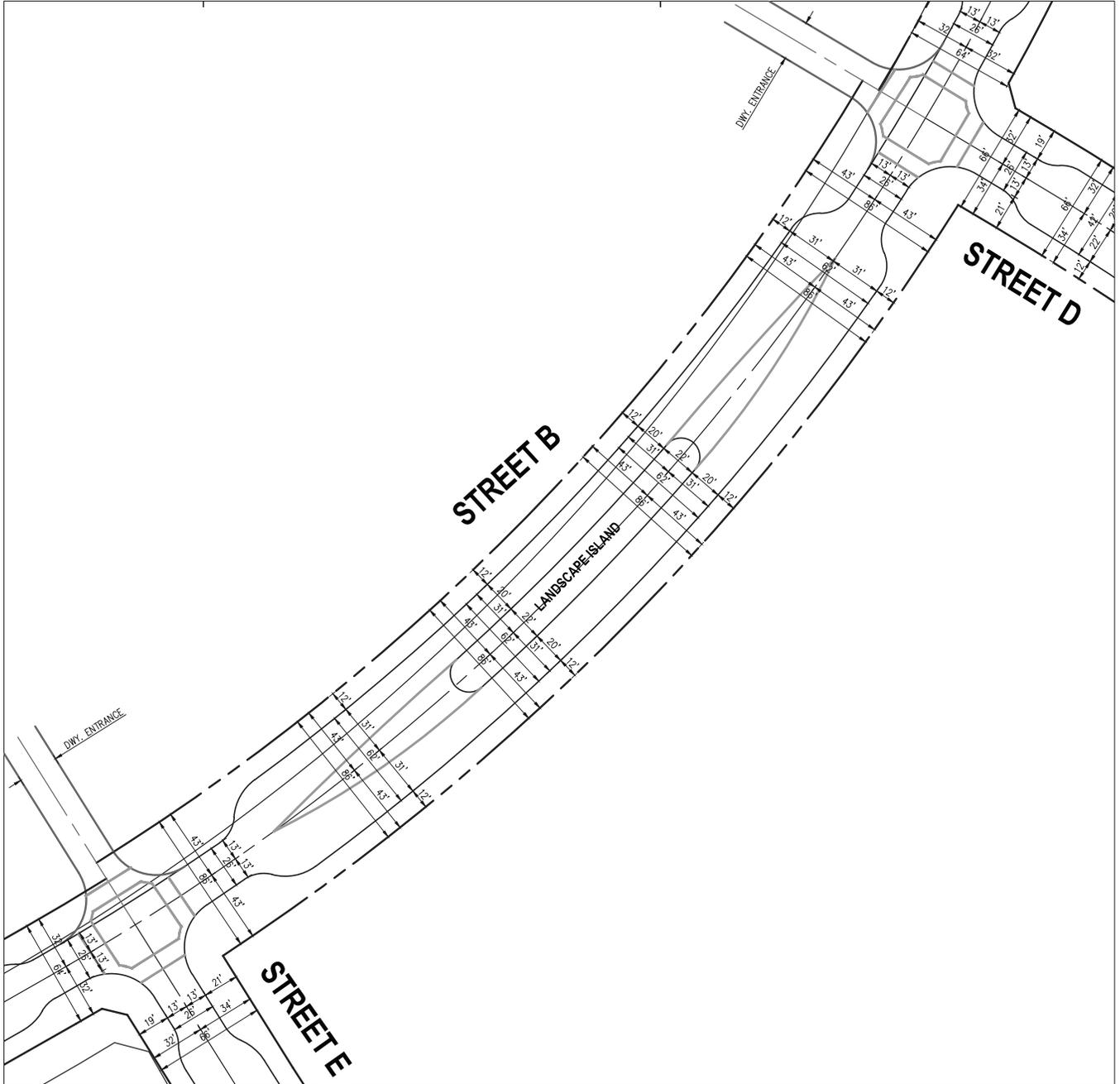


FIGURE 7-25  
CIRCULATION FIGURES



**FIGURE 7-26  
CIRCULATION FIGURES**



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WESTGATE SPECIFIC PLAN  
CITY OF FONTANA, CALIFORNIA

February 14, 2017