

CITRUS HEIGHTS

A Master Planned Residential Community

Prepared for:

CITY OF FONTANA

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CITRUS HEIGHTS – Specific Plan

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1.0 INTRODUCTION

1.1 PURPOSE AND INTENT

The 109.5-gross acre CITRUS HEIGHTS project is envisioned as a premier master planned community, integrating residential, recreational, and circulation improvements within the City of Fontana and San Bernardino County. CITRUS HEIGHTS will contain a maximum of 495 single-family homes that will enhance the City of Fontana through a strong design theme that creates a unique project identity and community character. This Specific Plan document has been prepared as background information for the City of Fontana, to facilitate processing and approval of the CITRUS HEIGHTS Specific Plan project and further discretionary approvals. The CITRUS HEIGHTS Specific Plan provides detailed text and exhibits which describe the residential uses, landscaping amenities, and road improvements that are envisioned to occur in the community. Infrastructure and public services are planned to accommodate the build-out requirements of CITRUS HEIGHTS, ensuring that the City's standards for orderly growth are implemented. Design guidelines and development standards contained within this Specific Plan will guide architecture and landscape design to create a cohesive community identity. In-depth thought and detailed analyses, including site design, architecture, landscape architecture, and signage, have been undertaken to ensure that the project's design standards are maintained throughout the proposed project development. An Environmental Impact Report (EIR) will be prepared as a companion document to this Specific Plan, which will provide California Environmental Quality Act review for approval of the CITRUS HEIGHTS Specific Plan. This Specific Plan document will guide the build-out of CITRUS HEIGHTS in a manner which is consistent with City and State policies and standards and assures that the proposed project will be developed in a coordinated manner.

1.2 AUTHORITY AND SCOPE

The CITRUS HEIGHTS Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A Specific Plan, as the name implies, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. A General Plan does not show local streets, individual parcels, or specific land uses. While a General Plan examines an entire City or County, a Specific Plan concentrates on the individual development issues of a particular project or region.

The City of Fontana Land Development Code, Section 30-62, specifies the purpose, requirements, regulations, and procedures for preparation of a Specific Plan in the City of Fontana. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

The California Government Code states that a *"Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or*

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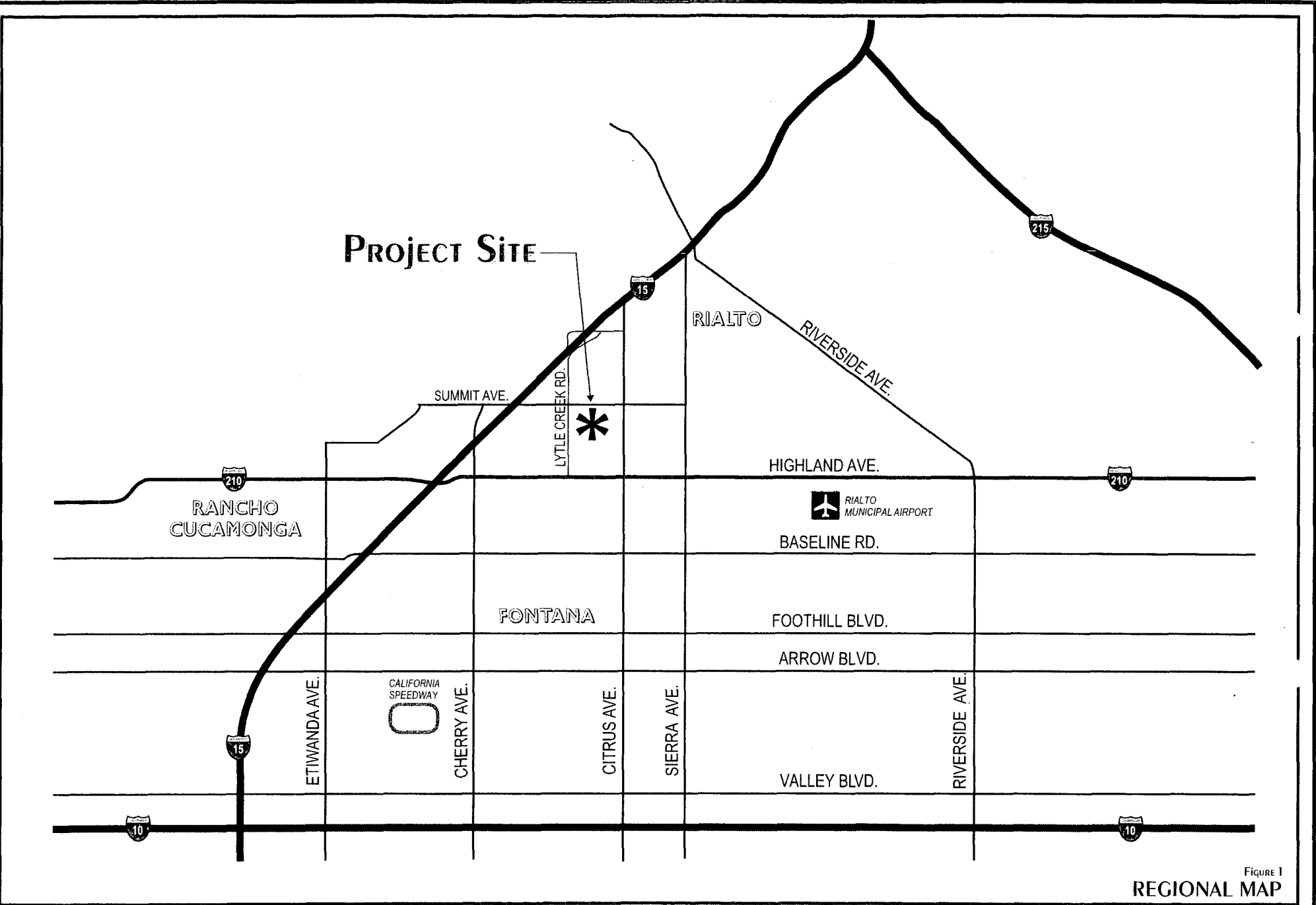
amended unless found to be consistent with the General Plan” Project consistency with the City of Fontana General Plan is addressed in Appendix A of this document.

In response to government requirements, this Specific Plan has been prepared to provide the essential link between the policies of the City of Fontana’s General Plan and actual development in the project area. By functioning as a regulatory document, the CITRUS HEIGHTS Specific Plan provides a means of implementing and detailing the City of Fontana’s General Plan. In this regard, all future development plans, tentative parcel and/or tract maps, or other similar entitlements, shall be consistent with regulations set forth in this document and with all applicable City regulations.

1.3 SPECIFIC PLAN USER’S GUIDE

This Specific Plan is organized into six chapters, as detailed below:

- **Chapter 1:** Introduction, includes the document’s purpose and intent, authority and scope, and this guide to the Specific Plan.
- **Chapter 2:** Project Summary and Setting, provides general information about the project, location, site conditions, and project’s general relationship to the City of Fontana General Plan and Land Use Zoning Map.
- **Chapter 3:** Community Development Plan, sets forth a master plan for the development of the property consisting of a land use plan, a circulation plan, and public facility information.
- **Chapter 4:** Development Standards and Regulations, includes zoning criteria for the project. This criteria will be applied in the same manner as the Fontana Land Development Code applies to other properties within the City.
- **Chapter 5:** Design Guidelines, contains design guidelines which will define the character of the community including architecture, landscaping, walls and fences, and signage.
- **Chapter 6:** Specific Plan Administration, describes the project phasing and sets forth administrative procedures for implementing the Specific Plan.



CITRUS HEIGHTS

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2.0 PROJECT SUMMARY & SETTING

2.1 LOCATION

As illustrated on the *Regional Map* (Figure 1), the CITRUS HEIGHTS master planned community encompasses 109.5-gross acres in the northern portion of the City of Fontana, near the foot of the San Gabriel Mountains. Located within western San Bernardino County, CITRUS HEIGHTS is approximately 52 miles east of the City of Los Angeles and 15 miles north of the City of Riverside. Specifically, the CITRUS HEIGHTS project site is bounded to the north by Summit Avenue, to the south by Curtis Avenue, and to the west by Lytle Creek Road (see Figure 2, *Vicinity Map*). Summit Avenue will serve as the focal access point for CITRUS HEIGHTS. Access for the community will also be provided via the extension of Knox Avenue connecting Summit Avenue and Curtis Avenue. Lytle Creek Road will serve as an additional access point and will provide convenient access for residents within the western portion of CITRUS HEIGHTS. Regional access to the City of Fontana is provided by Interstate 10 (I-10), Interstate 15 (I-15), and Interstate 210 (I-210).

2.2 PROJECT SUMMARY

The community of CITRUS HEIGHTS is envisioned as a master planned residential community containing a maximum of 495 homes in two planning areas. The community will be gated at its entries and contain private internal streets and pocket parks. As part of project development, infrastructure improvements will be made to the surrounding circulation system, including widening, landscaping, and street lighting and sidewalk installation along the project's frontage with Curtis Avenue and Lytle Creek Road. Knox Avenue will be extended through the site and connect Curtis Avenue with Summit Avenue.

This Specific Plan establishes land uses, residential densities, a circulation pattern, public utility infrastructure plans, and architecture and landscaping themes for the community. Construction of the project will be phased in a logical sequence, in response to market demands. Two development phases are anticipated. Ultimate phasing by recordation of phased final tract maps will be finalized at time of sale to merchant builders based on market demands. Development of roadways and public facilities will occur concurrently with residential development. Project goals and a detailed description of the CITRUS HEIGHTS community are included in Chapter 3 of this document.

2.3 EXISTING SITE CONDITIONS

The CITRUS HEIGHTS development site lies on a broad alluvial plain formed by Lytle Creek. This natural drainage system serves as the collector for a large watershed encompassing portions of both the San Gabriel and San Bernardino Mountains. Historically, this permeable alluvial fan has served as a sieve to replenish a large aquifer underlying Fontana and surrounding communities. No significant drainage courses cross the site and storm water drains as sheet flow generally from

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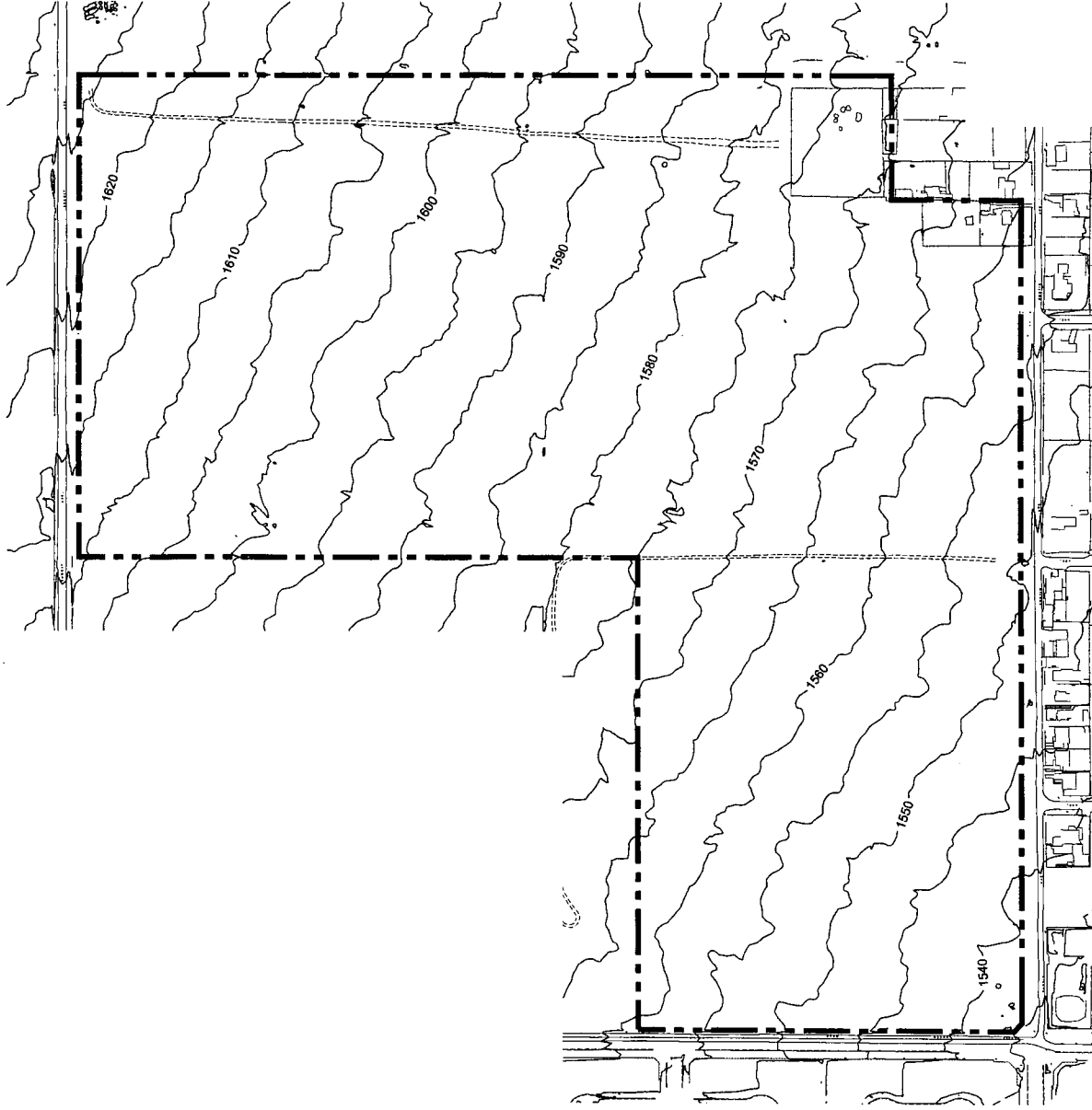
northeast to southwest. The project site lacks available surface water resources, which results in very low wildlife activity. Large areas of natural habitats have been eliminated by past agricultural practices and urbanization.

Topographically, the site is characterized as flat to gently sloping in a southwesterly direction as shown in Figure 3, *Topographic Map*. The CITRUS HEIGHTS project site has a central elevation of approximately 1,600 feet above mean sea level and slopes to the southwest at less than three (3) percent. The project site does not have any distinguishing geologic formations or topographic features due to its relative flatness. The project site is located in a seismically active Southern California. Based on information from the California Department of Conservation, Division of Mines and Geology, there are no active faults crossing the project site. The San Andreas, San Jacinto, and Cucamonga faults are three major active faults near the planning area. The nearest active fault, the Cucamonga Fault, is located approximately 6,000 feet to the north of the project site at the base of the San Gabriel Mountains.

Soils on the CITRUS HEIGHTS project site and throughout the City of Fontana consist primarily of coarse alluvium and silty sand eroded from the San Gabriel Mountains. Expansive soils are considered to be minimal in this area. The local groundwater table is relatively deep, and no foundation problems are expected as the result of fluctuations in the groundwater levels. The soils are generally well drained and the soil condition throughout the area will provide support for development under controlled grading and proper foundation design.

The CITRUS HEIGHTS project site is generally devoid of vegetation, except for a few isolated locations. The majority of native vegetation on-site exists in a disturbed condition as a result of past wildfire and grazing livestock. Disturbed native vegetation consists primarily of successional buckwheat scrub and non-native grasslands. Over the years, the site has regularly been cleared and plowed for weed and fire control purposes. The site is currently vacant, with the exception of one single-family residence in the southeastern portion of the project site which will be removed with implementation of the Specific Plan.

Historically, a number of small ranches and agricultural operations existed in the north Fontana area and in the vicinity of the CITRUS HEIGHTS project site. However, there is no evidence of any agricultural activity within the project site. The northern border of CITRUS HEIGHTS was apparently a drainage and irrigation canal from the 1930s and 1940s. The remnants of these features have been completely eliminated by past weed clearance activity.



SOURCE: MADOLE AND ASSOCIATES

Figure 3
TOPOGRAPHIC MAP

CITRUS HEIGHTS



not to scale



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2.4 LAND USE DESIGNATIONS AND ZONING

A. GENERAL PLAN

The City of Fontana's General Plan Land Use Policy Map designates the CITRUS HEIGHTS project site R-PC, Residential Planned Community, as shown in Figure 4, *General Plan Land Use Designations*. The R-PC designation is a special classification which provides for master planned development to promote managed growth within North Fontana. The R-PC district requires that appropriate infrastructure and public services be provided with development. Developments within the R-PC district require approval of a Specific Plan if lots less than 7,200 s.f. are proposed. Because the minimum lot size in CITRUS HEIGHTS is 6,200 s.f, with an average lot size of approximately 6,700 s.f., a Specific Plan is required. Project compliance to the City of Fontana General Plan is demonstrated in *Appendix A* to this Specific Plan. With project implementation, the property's Land Use Policy Map designation will remain R-PC.

B. ZONING

The project site is zoned R-1-10,000, Single Family Residential, by the City of Fontana. This zone requires single-family residences to have a minimum lot size of 10,000 square feet, or alternatively 7,200 square foot lots if a Community Plan is adopted or 6,200 s.f. lots if a Specific Plan is adopted with an "extraordinary amenity." With adoption of this Specific Plan, the project site's zoning will be changed from R-1-10,000 to SP (Specific Plan). Development standards are contained in Chapter 4 of this document.

2.5 SURROUNDING LAND USES AND DEVELOPMENT

CITRUS HEIGHTS is located in a newly developing area of North Fontana. At the present time, most of the surrounding property is either vacant or developed with low density residential uses as shown on Figure 5, *Aerial Photograph*. Surrounding land uses include vacant lands and isolated residences to the north, vacant land to the immediate north and east, single-family residential homes to the south, vacant land to the west that is approved for development under the Summit Heights Specific Plan, and vacant land to the northwest. Not-a-part of the CITRUS HEIGHTS project is a 47.9-acre parcel at the southeast corner of Lytle Creek Road and Summit Avenue designated by the Fontana Unified School District (FUSD) as a future high school site.

CITRUS HEIGHTS is within the boundaries of the North Fontana Redevelopment Project Area, which encompasses approximately 14 square miles of North Fontana. Several major development projects have been approved in the vicinity of CITRUS HEIGHTS, including: Sierra Lakes Specific Plan; Walnut Village Specific Plan; Hunter's Ridge Specific Plan; California Landings Specific Plan; Westgate Specific Plan; Coyote Canyon; and Summit Heights Specific Plan.

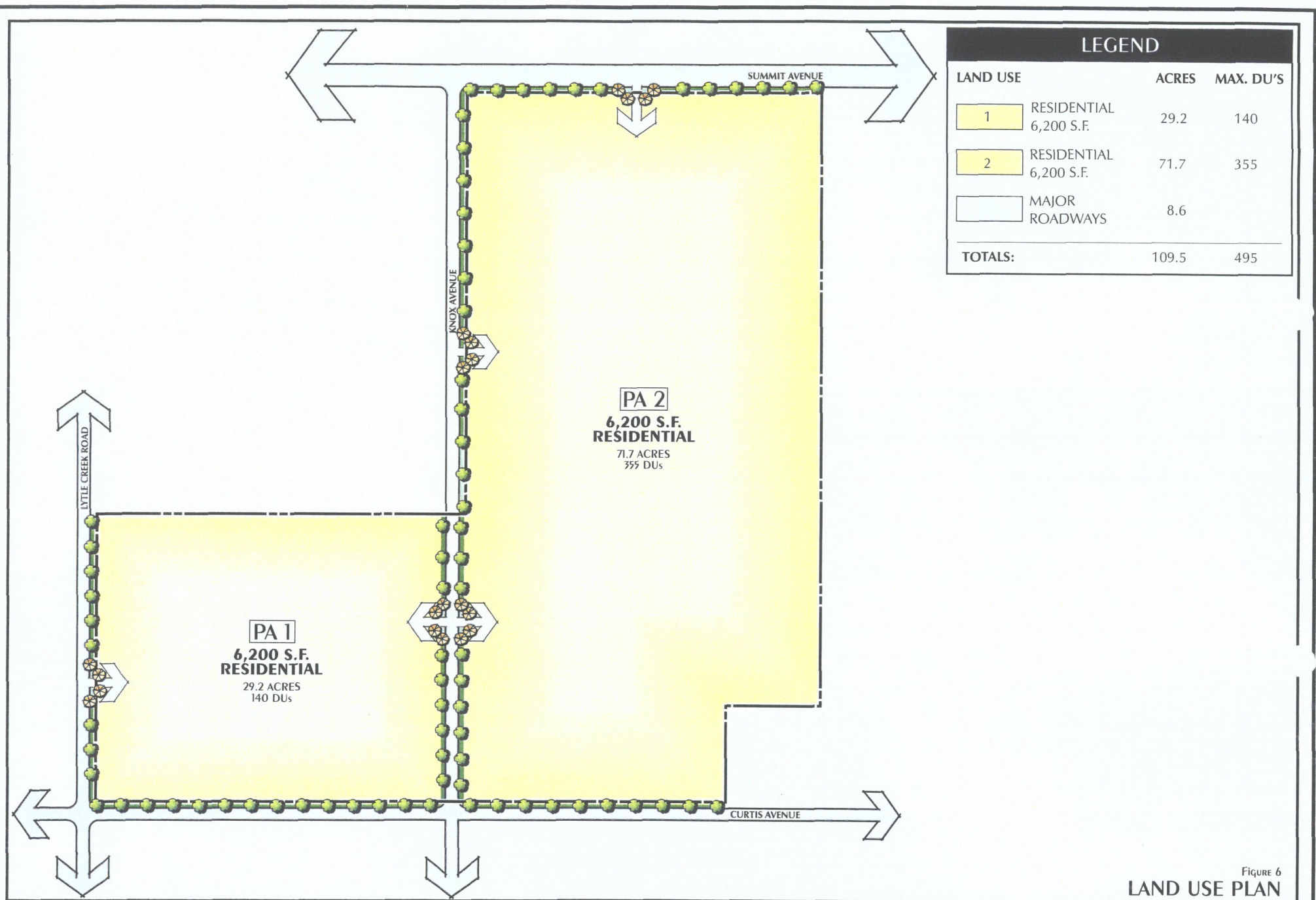


Figure 6
LAND USE PLAN

CITRUS HEIGHTS

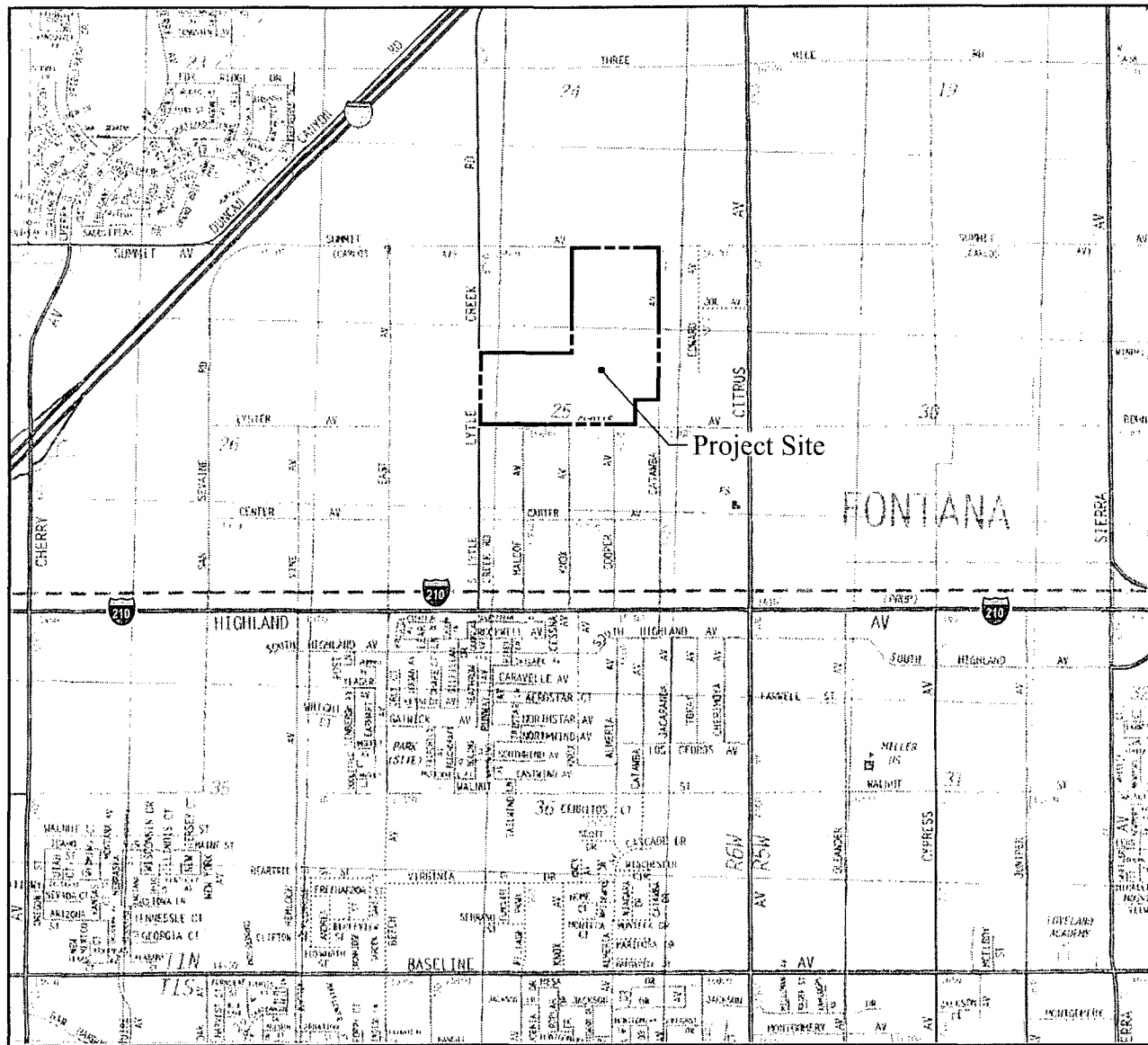


Figure 2
VICINITY MAP

CITRUS HEIGHTS

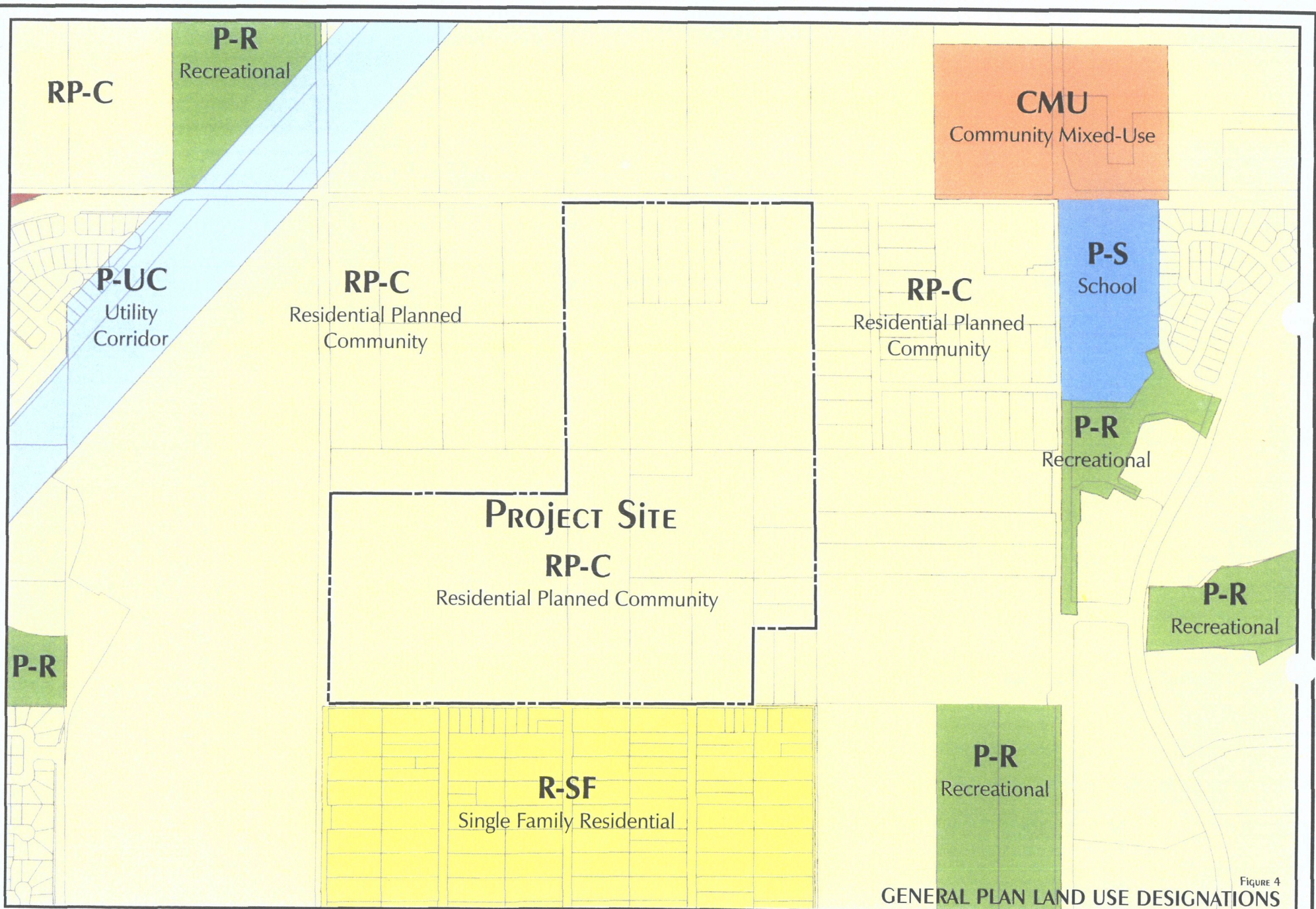


FIGURE 4
GENERAL PLAN LAND USE DESIGNATIONS

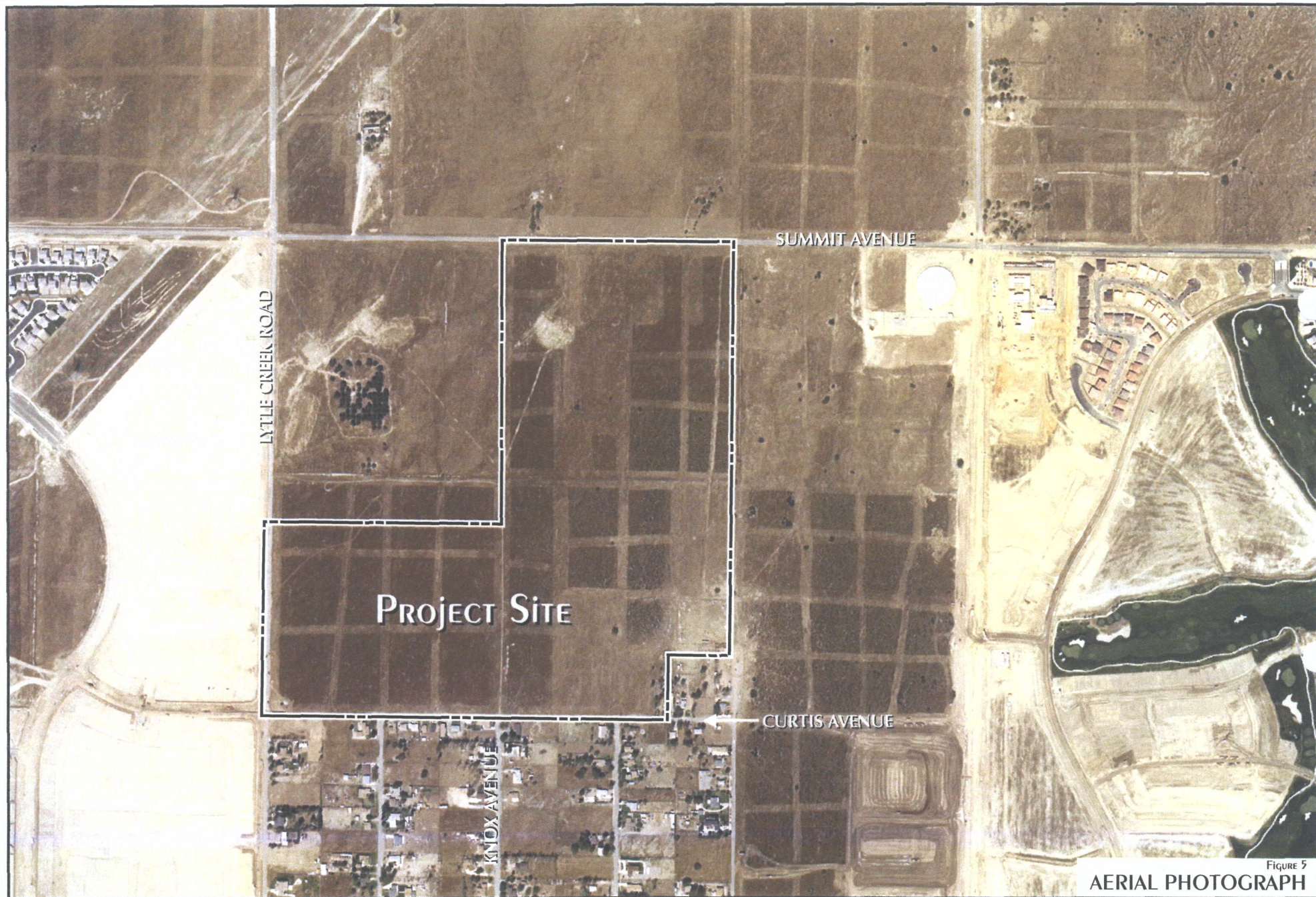


FIGURE 5
AERIAL PHOTOGRAPH

CITRUS HEIGHTS

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3.0. COMMUNITY DEVELOPMENT PLAN

3.1 DESIGN OBJECTIVES

The CITRUS HEIGHTS Specific Plan provides for a long-range comprehensive planning approach to the development in a manner which cannot be accomplished on a parcel-by-parcel basis. To achieve this goal, a number of important issues were examined, analyzed, and considered during the preparation of this Specific Plan document, including the City of Fontana's Zoning and Development Code, General Plan, and other regulatory policies, as well as engineering feasibility, market acceptance, economic viability, development phasing, and local community goals. To ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of the Specific Plan to the North Fontana area, this extensive analysis was used to establish the following list of distinct planning and development goals for the project. The CITRUS HEIGHTS project is intended to:

- Furnish a plan for development that implements the policies and achieves the goals of the City of Fontana for this portion of the City.
- Implement the applicable portions of the City of Fontana General Plan and Zoning and Development Code.
- Implement a plan which is sensitive to the surrounding environment and aesthetically pleasing.
- Contribute to the range of existing housing choices in the North Fontana area.
- Anticipate marketing needs and public demand by providing homes that will be marketable within the evolving economic profile of North Fontana and the surrounding region.
- Provide infrastructure systems and contribute to circulation system improvements through road widening and the installation of streetscape landscaping along the project's frontage.
- Create a unique and distinctive community identity and character through control of project design elements such as architecture, landscaping, walls, signage, private streets and pocket parks, and access-controlled (gated) entry treatments.

3.2 LAND USE PLAN OVERVIEW

Upon completion, the CITRUS HEIGHTS Specific Plan area will contain a high quality and aesthetically pleasing community, primarily composed of 495 single family dwellings, a minimum of four pocket parks, and roadways. The Specific Land Use Plan for CITRUS HEIGHTS is illustrated on Figure 6, *Land Use Plan*, and includes two residential planning areas.

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A statistical summary outlining the various land uses within CITRUS HEIGHTS is provided in Table 1.

Table 1
CITRUS HEIGHTS STATISTICAL SUMMARY

| LAND USE | PLANNING AREA | ACRES | MAX. DWELLING UNITS | DENSITY (DU/AC) |
|--|---------------|--------------|---------------------|-----------------|
| Residential ¹ (6,200 s.f. minimum) | 1 | 29.2 | 140 | 4.8 |
| | 2 | 71.7 | 355 | 5.0 |
| <i>Subtotal</i> | | <i>100.9</i> | <i>495</i> | <i>4.9</i> |
| Major Roadways ² | 1, 2 | 8.6 | -- | -- |
| <i>Subtotal</i> | | <i>8.6</i> | <i>--</i> | <i>--</i> |
| TOTAL | | 109.5 | 495 | 4.5 |

¹ Residential acreage includes private residential lots, internal streets, and common areas such as expanded entry statements and pocket parks.

² Major Roadways include Curtis Avenue, Lytle Creek Road, Knox Avenue, and Summit Avenue.

3.3 RESIDENTIAL PLANNING AREAS

Two distinct residential development areas, referred to as “planning areas” have been designed to implement the planning objectives set forth for the CITRUS HEIGHTS master planned community. These two planning areas were formed on the basis of logical, separate units of development.

Design considerations for each planning area are described below. It should be noted that although development in the residential planning areas of CITRUS HEIGHTS will conform closely to the design considerations presented in this section, it is acknowledged that actual lotting will not be determined until the tract map stage and may result in slight adjustments to the design considerations. During the tentative tract map stage of design, the actual number of dwelling units allocated to a particular planning area may slightly differ from the number specified in the CITRUS HEIGHTS Specific Plan. Up to 5% of the units in a particular planning area may be transferred to another planning area, provided the maximum unit count for the Specific Plan as a whole does not exceed 495 units and the minimum lot size remains at 6,200 s.f. The Development Standards and Design Guidelines contained in Sections 4 and 5 of this Specific Plan, respectively, will ensure uniformity of use and design as it pertains to zoning and community character.

A. PLANNING AREA 1

Planning Area 1 will contain a maximum of 140 single-family dwelling units located on 29.2 acres at a density of 4.8 du/ac. Lot size shall be a minimum of 6,200 s.f. and have an approximate average of 6,700 s.f. This planning area is located north of Curtis Avenue, east of Lytle Creek Road, west of the future extension of Knox Avenue, and south of the future

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Fontana Unified School District (FUSD) high school site. The design considerations of Planning Area 1 are as follows (see Figure 7, *Planning Area 1*):

1. A roadway landscape treatment, as shown on Figure 21 (page 5-21), shall be provided along the project's frontage with Curtis Avenue.
2. Roadway landscape treatments, as shown on Figures 19 and 20 (pages 5-19 and 5-20), respectively, shall be provided along the project's frontage with Knox Avenue and Lyle Creek Road.
3. Direct access into Planning Area 1 from Curtis Avenue is prohibited.
4. An entry treatment shall be provided at the entrance to Planning Area 1 from Knox Avenue as shown in Figures 25 and 26 (pages 5-26 and 5-27).
5. An entry treatment shall be provided at the entrance to Planning Area 1 from Lytle Creek Road as shown in Figures 25 and 26 (pages 5-26 and 5-27).
6. Two pocket parks shall be provided within Planning Area 1, providing passive recreational use areas.
7. A precision block wall shall be provided along the common boundary of Planning Area 1 and the future FUSD high school site.

B. PLANNING AREA 2

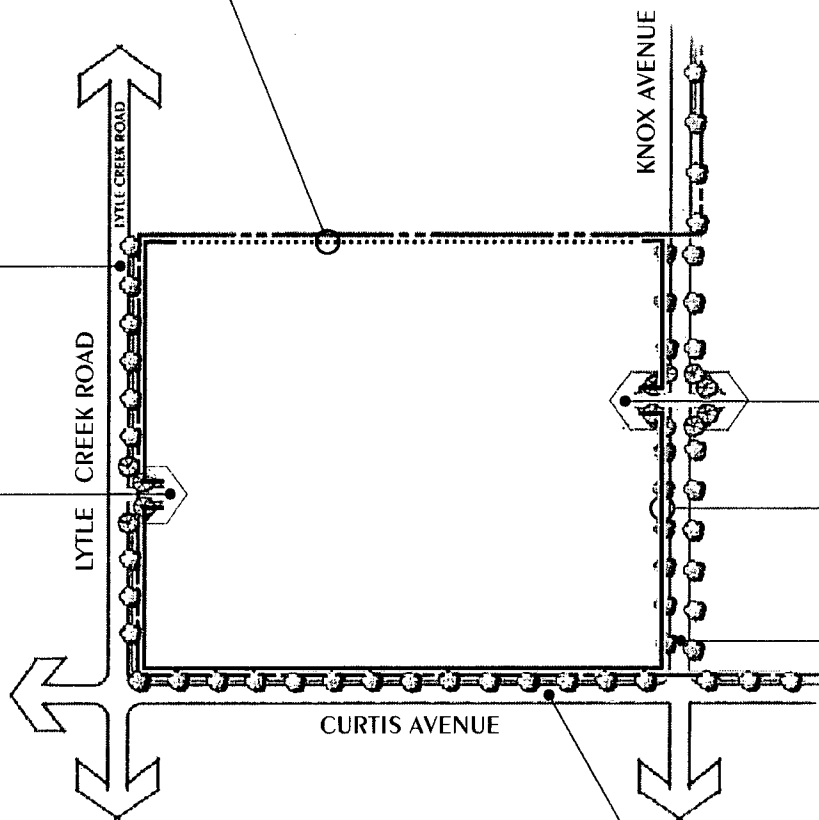
Planning Area 2 will contain a maximum of 355 single-family dwelling units located on 71.7 acres. Lot size within Planning Area 2 shall be a minimum of 6,200 s.f., have an approximate average of 6,700 s.f., and be developed at a target density of 5.0 du/ac. This planning area is located north of Curtis Avenue, east of the future extension of Knox Avenue, and south of Summit Avenue. The design considerations of Planning Area 2 are as follows (see Figure 8, *Planning Area 2*):

1. A roadway landscape treatment, as shown on Figure 21 (page 5-21), shall be provided along the project's frontage with Curtis Avenue.
2. Direct access into Planning Area 2 from Curtis Avenue is prohibited.
3. A roadway landscape treatment, as shown on Figure 18 (page 5-18), shall be provided along the project's frontage with Summit Avenue.
4. A focal entry treatment shall be provided at the entrance to Planning Area 2 from Summit Avenue as shown in Figures 23 and 24 (pages 5-24 and 5-25).

Precision Block Wall
(see Figure 29)

**Lytle Creek Road
Streetscape**
(see Figure 20)

Entry
(see Figures 25 & 26)



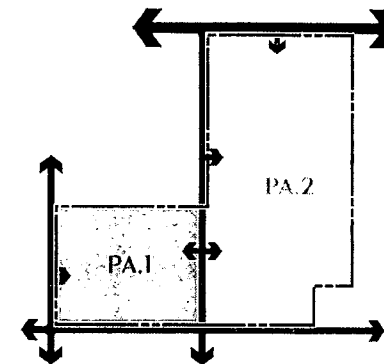
Entry
(see Figures 25 & 26)

Community Theme Wall
(see Figure 29)

Knox Avenue Streetscape
(see Figure 19)

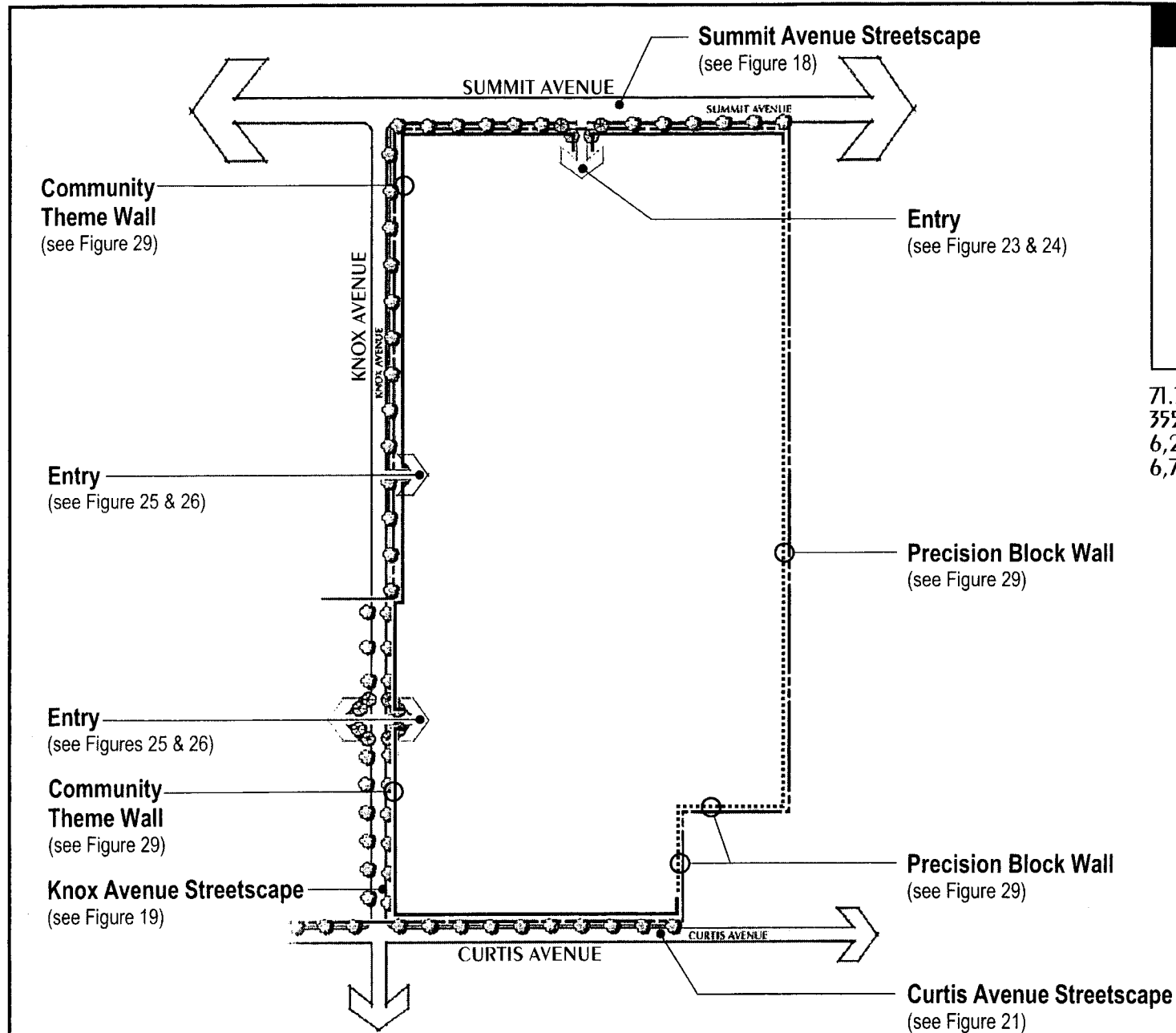
Curtis Avenue Streetscape
(see Figure 21)

KEY MAP

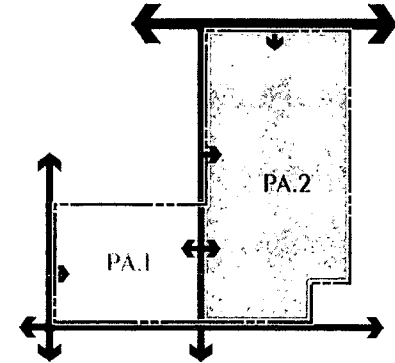


29.2 ACRES
140 DUs MAXIMUM
6,200 S.F. MINIMUM LOT SIZE
6,700 S.F. APPROX. AVERAGE LOT SIZE

Figure 7
PLANNING AREA 1



KEY MAP



71.7 ACRES
 355 DUs MAXIMUM
 6,200 S.F. MINIMUM LOT SIZE
 6,700 S.F. APPROX. AVERAGE LOT SIZE

FIGURE 8
 PLANNING AREA 2

CITRUS HEIGHTS – Specific Plan

5. An entry treatment shall be provided at the entrance to the northern portion of Planning Area 2 from Knox Avenue as shown in Figures 25 and 26 (pages 5-26 and 5-27).
6. A roadway landscape treatment, as shown on Figure 19 (page 5-19), shall be provided along the project's frontage with Knox Avenue.
7. Three pocket parks shall be provided within Planning Area 2, providing passive recreational use areas.
8. A precision block wall shall be provided along the common boundary of Planning Area 1 and the eastern project boundary, as well as along the southeasterly project boundary where the project abuts three existing single family residences.

3.4 CIRCULATION

A roadway concept has been developed for CITRUS HEIGHTS as illustrated on Figure 9, *Circulation Plan*. The roadway network is consistent with the City of Fontana's General Plan Circulation Element. Circulation improvements constructed by the project will improve the functional efficiency of the North Fontana circulation system and will enhance the aesthetics of the street network through landscape improvements along the project's frontage.

Access to the project site will be provided via Summit Avenue, Curtis Avenue, Knox Avenue, and Lytle Creek Road. The main objective of the circulation plan and the planned roadway improvements is to provide direct and convenient access to the community through a safe and efficient network of roadways. A description of the roadway improvements that will be implemented as part of CITRUS HEIGHTS are described below. *Typical Street Cross Sections* are illustrated in Figure 10.

- **Summit Avenue:** forms the northerly boundary of the project site and is designated a Secondary Highway, with a base right-of-way width of 92 feet and a Class II bike lane. Street improvements are already funded by a neighboring project.
- **Curtis Avenue:** forms the southern boundary of the project site and is designated as a Collector Road, with a base right-of-way width of 68 feet. The project will construct half-width improvements to Curtis Avenue along the project's frontage and install landscape and sidewalk improvements along the northern side of the right-of-way.
- **Knox Avenue:** is a Collector Road that runs in a north-south direction and currently terminates at Curtis Avenue. Knox Avenue will be extended northerly by the CITRUS HEIGHTS project to connect Summit Avenue and Curtis Avenue, with a base right-of-way width of 68 feet. The project will construct full-width improvements to Knox Avenue where the roadway runs between Planning Areas 1 and 2. Where Knox

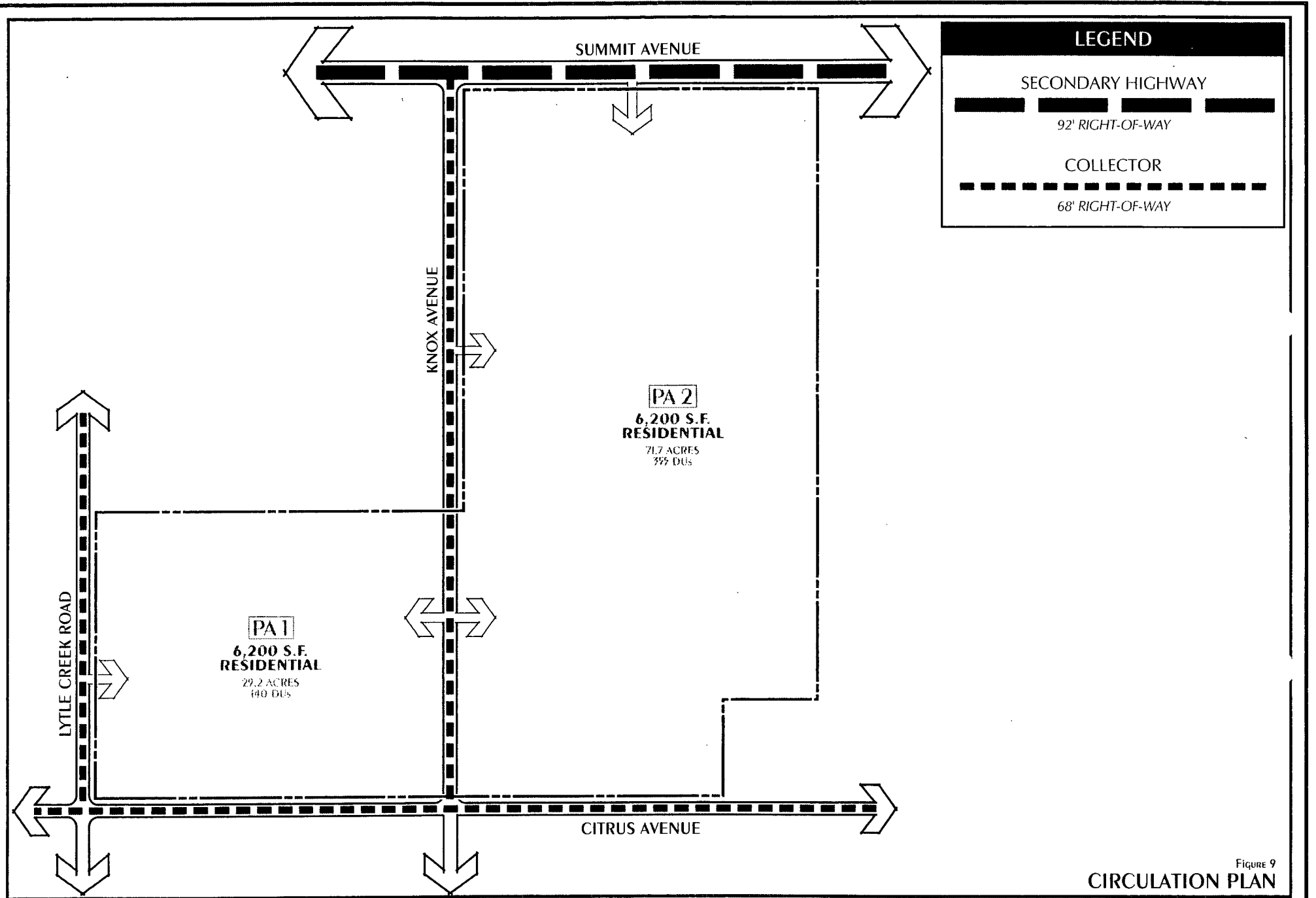
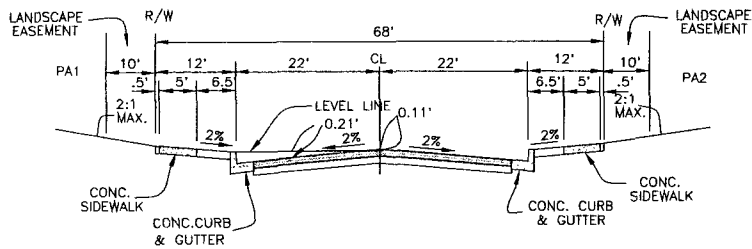
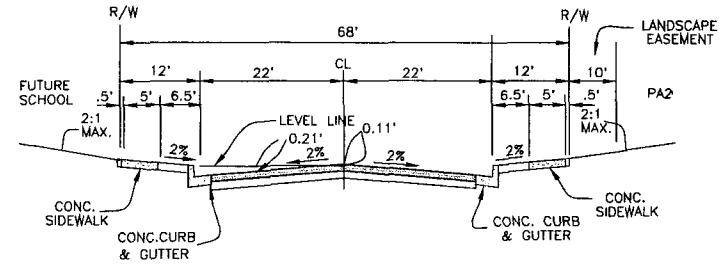


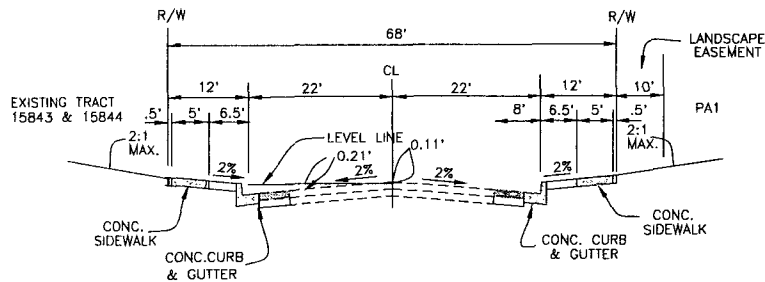
Figure 9
CIRCULATION PLAN



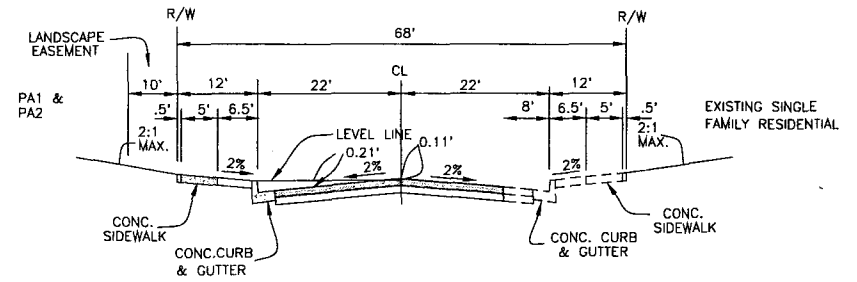
68' R/W
KNOX AVENUE (SOUTH OF FUTURE SCHOOL)



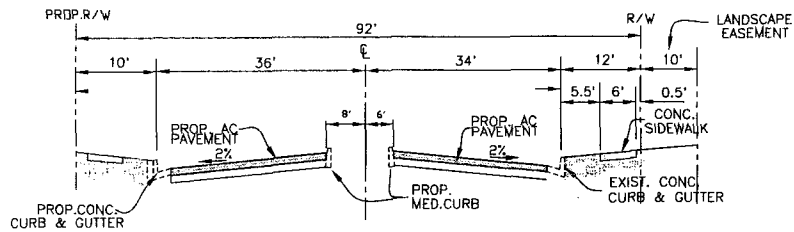
68' R/W
KNOX AVENUE (ADJACENT TO FUTURE SCHOOL)



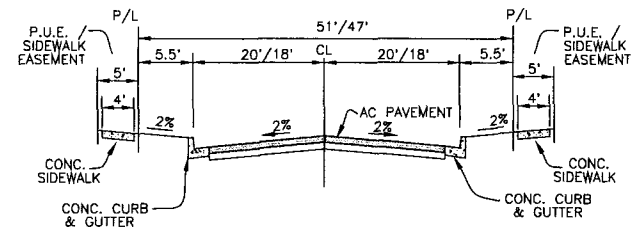
68' R/W
LYTLE CREEK ROAD



68' R/W
CURTIS AVENUE



92' R/W
SUMMIT AVENUE



51'47" P/L-TO-P/L INTERIOR STREET
INTERIOR STREET

SOURCE: MADOLE AND ASSOCIATES

FIGURE 10
TYPICAL STREET CROSS SECTIONS

CITRUS HEIGHTS – Specific Plan

Avenue would abut the FUSD future high school site, the project will continue full width improvements with funding reimbursement as indicated in the project's approved Development Agreement.

- ***Lytle Creek Road:*** forms the western boundary of the project site and is classified as a Collector Road, with a base right-of-way width of 68 feet. The project will construct half-width improvements to Lytle Creek Road along the project's frontage and install landscape and sidewalk improvements.
- ***Internal Private Streets and Cul-De-Sacs:*** provide circulation within the residential planning areas. The project entries will be access-controlled by gates and the internal roadways will be privately owned and maintained by a homeowners association. Internal streets will have a base right-of-way width of 47 or 51 feet with non-contiguous sidewalks.

Non-vehicular circulation will be provided by the installation of sidewalks and painted bicycle lanes along the primary public roadways. The City of Fontana is in the process of updating its Bikeway Classification Plan and as a result, the bicycle designation for Curtis Avenue is unknown at this time. The project will comply with the City's bikeway plan in effect at the time of Specific Plan approval.

3.5 GRADING CONCEPT

The project site is part of a flat to gently sloping alluvial plain with little topographic variation. Soils and geologic conditions present no significant constraints to grading. The primary objectives of the grading plan are to: a) establish road grades that are consistent with those of the existing City streets around the site; b) provide stable development pads for residential structures; and c) balance the cut and fill grading quantities on-site.

Grading is expected to balance on-site and will not require import or export of materials. Approximately 700,000 cubic yards of cut and fill will be necessary to accommodate development of the site. This quantity may vary as final grading plans are developed. The grading plans shall be designed to accommodate drainage and a street system that meets City of Fontana standards. A grading permit will be obtained from the City of Fontana prior to grading.

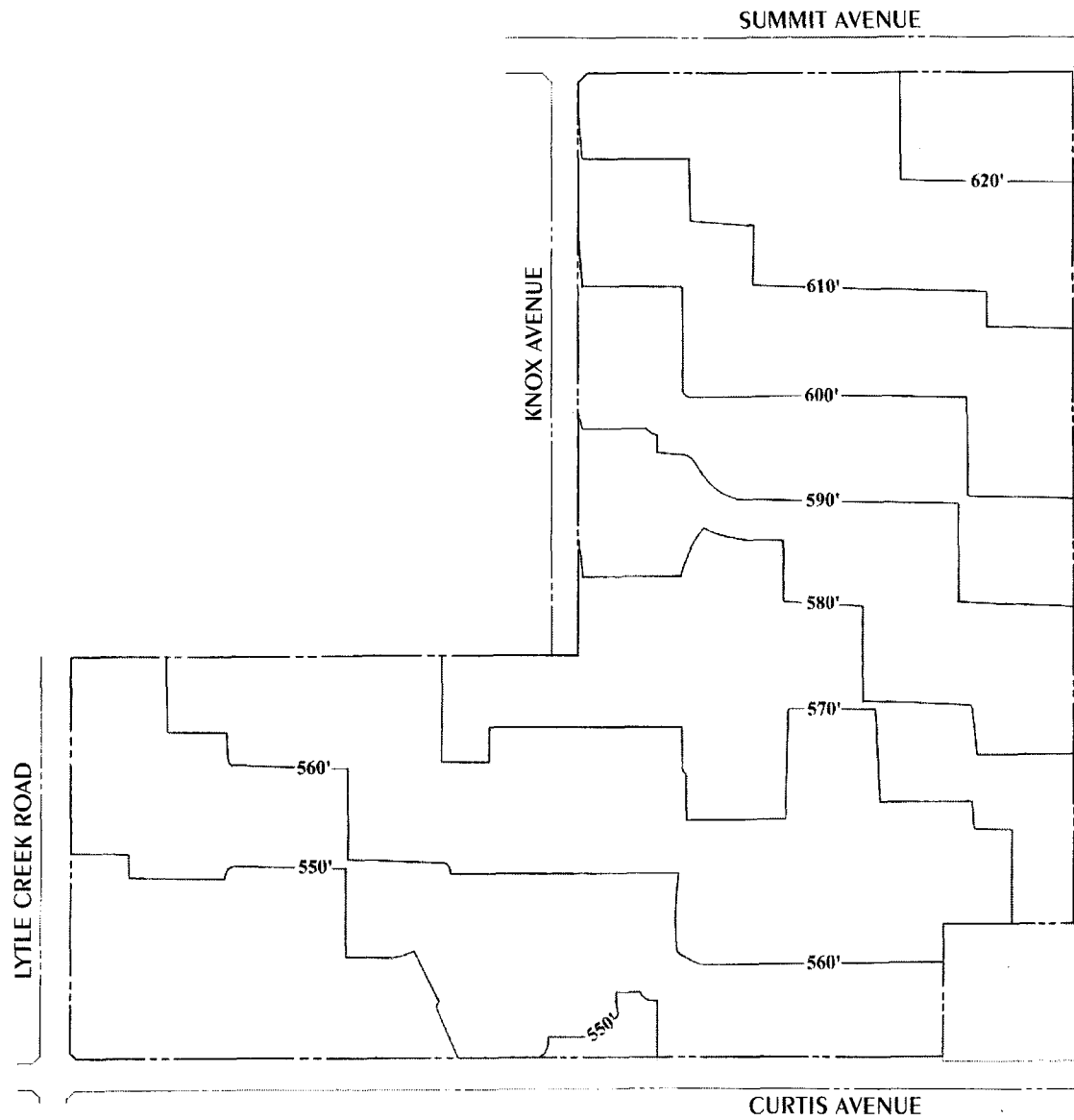


FIGURE 11
CONCEPTUAL GRADING PLAN

CITRUS HEIGHTS – Specific Plan

3.6 PUBLIC FACILITIES

A. WATER DISTRIBUTION

The project site is currently served by the Fontana Water Company (FWC), which operates reservoir tanks, transmission mains, and local lines serving residents located primarily east of Beech Avenue and south of Summit Avenue.

Domestic water will service the residential, pocket parks, and common landscape areas of CITRUS HEIGHTS. Fontana Water Company draws its water for supply to its service area from stream flow in the Lytle Creek region and from numerous wells within the Chino groundwater basin. Fontana Water Company's infrastructure consists of reservoir tanks, booster pump facilities, and a network of pipeline facilities to deliver water throughout its service area.

The primary connection points available for the CITRUS HEIGHTS Specific Plan area are located in Summit Avenue and Lytle Creek Road. The primary source of water will be provided by connecting to an existing 25-inch transmission main in Summit Avenue. Secondary water connection sources are an existing 12-inch line in Lytle Creek Road.

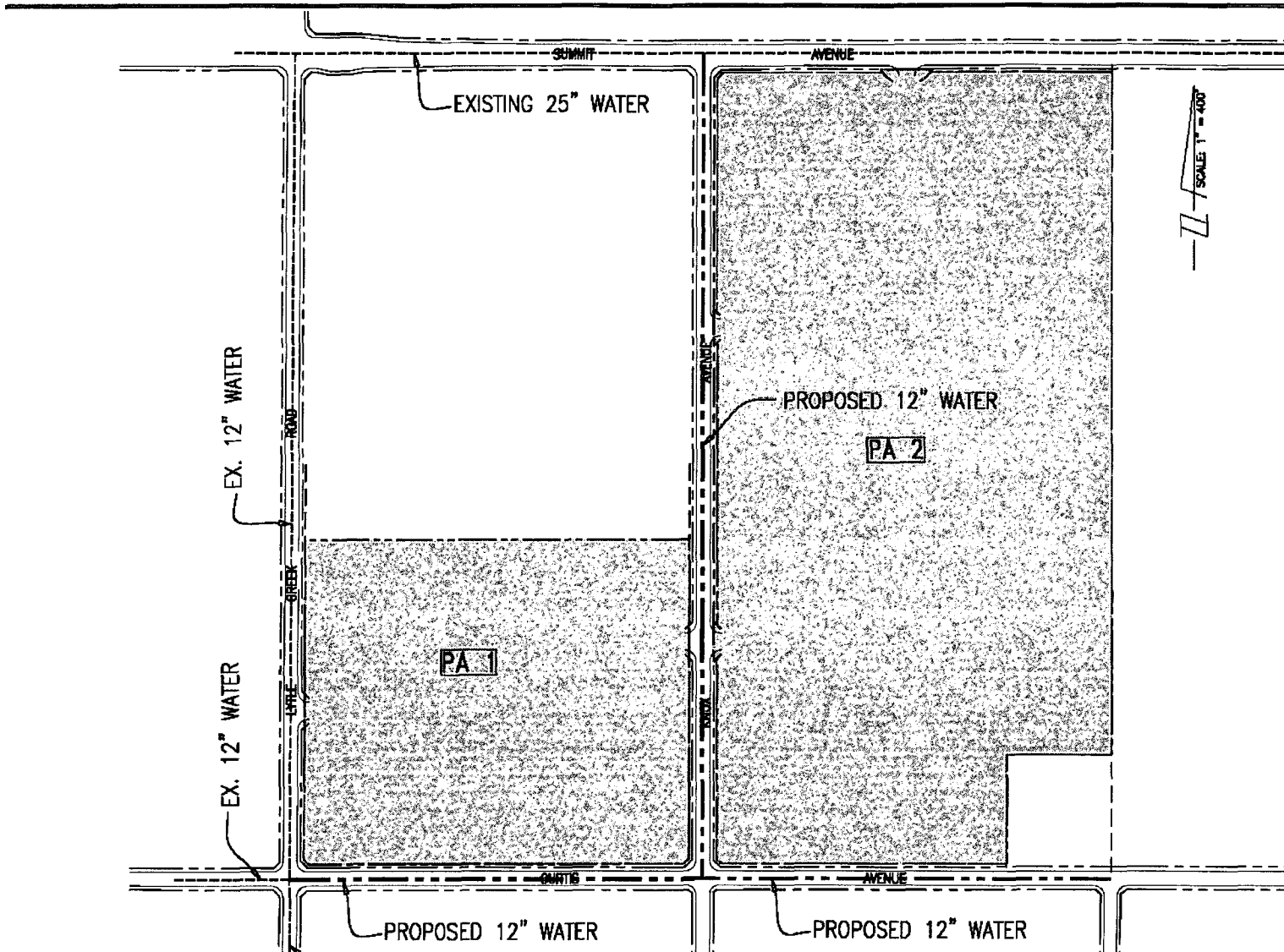
The project's water system, as shown in Figure 12, *Master Water Plan*, will include a 12-inch line in Curtis Avenue extending from Lytle Creek Road to Catawba Avenue, and a 12-inch line in Knox Avenue from Summit Avenue to Curtis Avenue. Within the internal roadways, 6-inch and 8-inch lines owned and maintained by Fontana Water Company will serve to provide domestic service to each residence as well as supplying sufficient fire flows to fire hydrants placed in accordance with the San Bernardino County Fire Department standards.

B. SEWER SERVICES

The City of Fontana is responsible for the collection of wastewater within its corporate limits. The City contracts with the Inland Empire Utilities Agency (IEUA) (formerly the Chino Basin Municipal Water District) for wastewater treatment. The project will need to be annexed to the IEUA prior to recordation of the first final tract map for a residential planning area for production homes.

An existing 15-inch main sewer line is located in Lytle Creek Road at Curtis Avenue. The existing system flows to the RP-4 treatment plant located at the intersection of Sixth Street and Etiwanda Avenue.

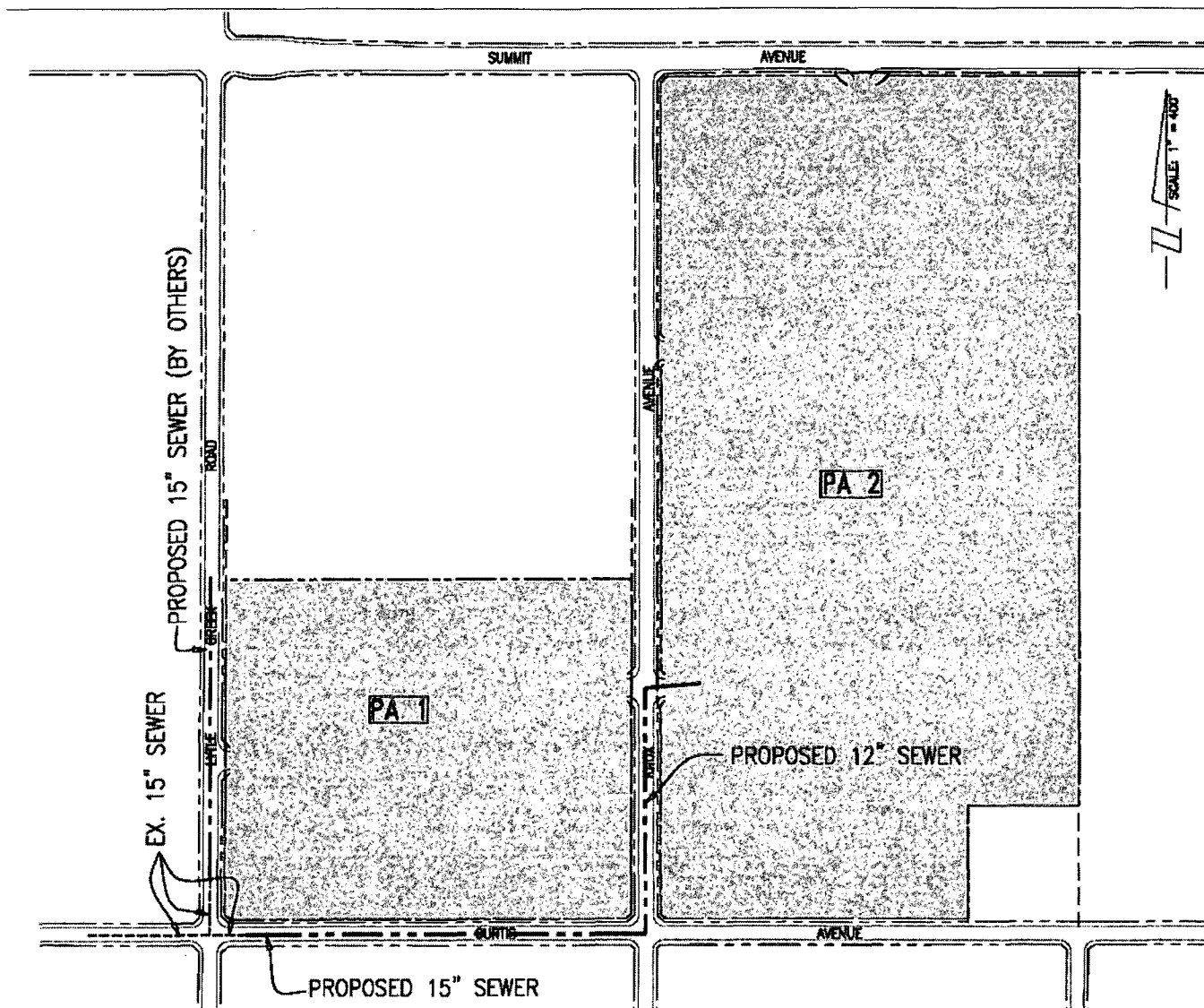
The project's sewer plan consists of an extension of the already existing facilities, as shown in Figure 13, *Master Sewer Plan*. A 15-inch trunk line is planned within Curtis Avenue, connecting to the existing 15-inch sewer in Lytle Creek Road at Curtis Avenue.



SOURCE: MADOLE AND ASSOCIATES

FIGURE 12
MASTER WATER PLAN

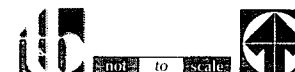
CITRUS HEIGHTS



SOURCE: MADOLE AND ASSOCIATES

Figure 13
MASTER SEWER PLAN

CITRUS HEIGHTS



CITRUS HEIGHTS – Specific Plan

The CITRUS HEIGHTS project site will be served by 8- and 12-inch gravity sewers, which will flow westerly to Knox Avenue and/or southerly to Curtis Avenue. Use of force mains or pump stations is not required. Eight-inch lines within the internal development owned and maintained by the City of Fontana will connect to the proposed 12-inch line in Knox Avenue, the proposed 15-inch line in Curtis Avenue, or a 15-inch line in Lytle Creek Road, which is to be installed by others. Sewage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the San Bernardino County Health Department.

C. DRAINAGE PLAN

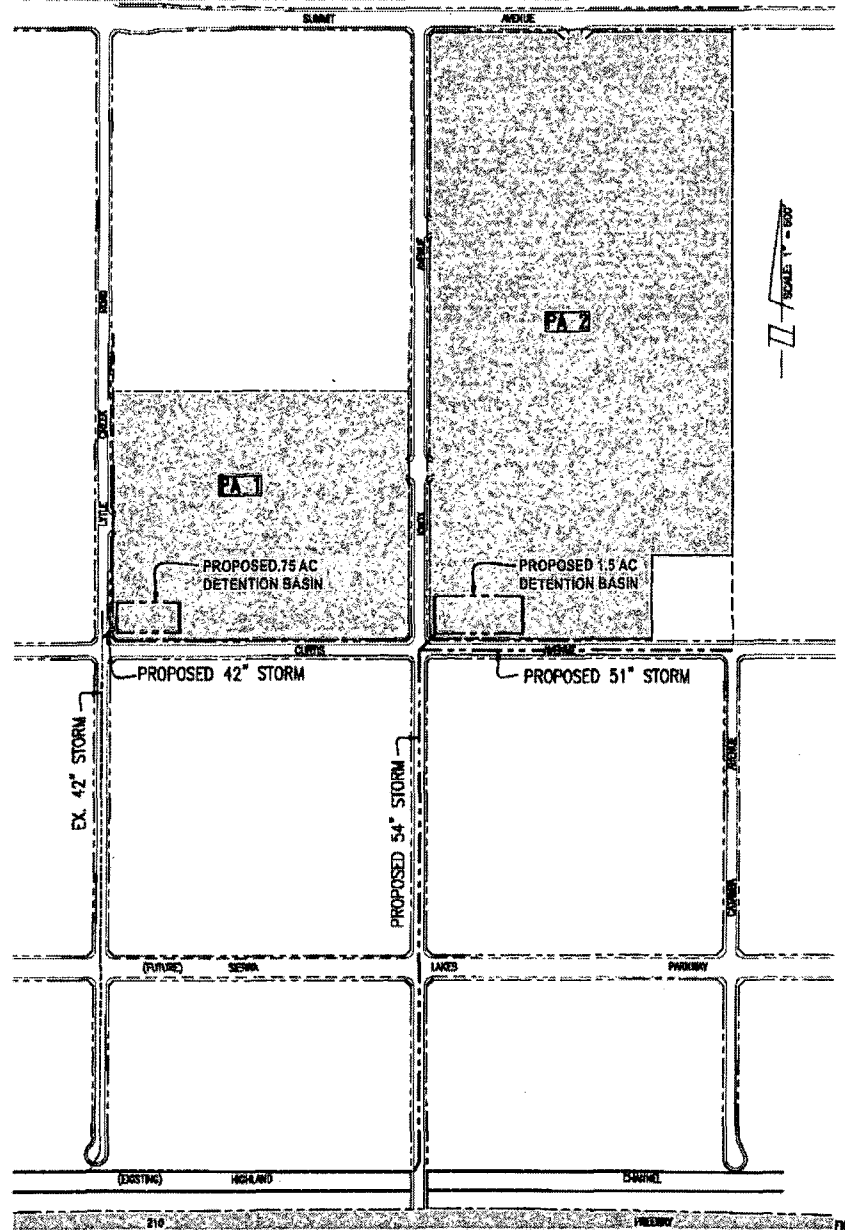
A drainage system has been developed for CITRUS HEIGHTS as illustrated on Figure 14, *Master Drainage Plan*. A preliminary on-site hydrology study was performed by the project engineer, Madole & Associates, Inc. This study was used to analyze the project's 109.5 acres to determine an approximation of flows generated by the current undeveloped conditions and build-out conditions of project development, utilizing a conceptual grading scheme for the project.

CITRUS HEIGHTS is located generally in the San Sevaine Creek watershed. The site is within the Line "C" drainage area of the Master Plan of Storm Drainage for the City of Fontana. The site is a branch of the existing Highland Channel at Knox Avenue and Beech Avenue. Existing topographic relief consists of relatively flat contours, with the existing site drainage generally sheet flowing in a southerly-southwesterly direction.

The project's on-site drainage facilities are labeled on Figure 14, *Master Drainage Plan*. Drainage for CITRUS HEIGHTS will be split into two separate systems. The westerly portion (Planning Area 1) will drain to an existing 42-inch storm drain installed in Lytle Creek Road up to Curtis Avenue. The easterly portion (Planning Area 2) will drain to the northeast corner of Knox Avenue and Curtis Avenue, at which point the project will need to install a new 54-inch storm drain in Knox Avenue southerly to the Highland Channel.

Due to downstream restrictions on capacity of the regional flood control facilities, any new development tributary to the Etiwanda/San Sevaine System (as is this project) needs to mitigate developed runoff to a level slightly below the predevelopment rate. This is typically done by installing interim detention basins, and such basins are anticipated for CITRUS HEIGHTS.

Possible locations of temporary detention basins are shown on Figure 14; a 0.75-acre temporary basin at the northeast corner of Lytle Creek Road and Curtis Avenue, and a 1.5-acre temporary basin at the northeast corner of Knox Avenue and Curtis Avenue. These temporary basins will be maintained by the project's homeowners association. The basin sizes are approximate and will be determined at final map stage and with the design of on-site improvements. The basins most likely will be retired in the future and returned to residential lots upon completion of improvements to the regional drainage system.



SOURCE: MADOLE AND ASSOCIATES

Figure 14
MASTER DRAINAGE PLAN

CITRUS HEIGHTS

CITRUS HEIGHTS – Specific Plan

Drainage facilities within public road right-of-ways and drainage easements, with the exception of temporary detention basins, will be maintained by the City of Fontana. Maintenance responsibilities for local drainage will be determined upon filing of individual tract maps.

3.7 PUBLIC SERVICES

The following information is a brief summary of services to be provided to CITRUS HEIGHTS. A more detailed discussion of facilities and service availability is presented in the Environmental Impact Report (EIR). A map showing the community service locations near the project site is provided as Figure 15, *Relationship to Off-Site Public Services*.

A. POLICE AND FIRE PROTECTION

The City of Fontana Police Department will provide law enforcement for CITRUS HEIGHTS. The City of Fontana currently maintains a ratio of 1.14 sworn officers per 1,000 residents.

The Central Valley Fire Protection District (CVFPD) provides fire protection to the site, which is part of the San Bernardino County Fire Agency. CVFPD also provides paramedic service in the area.

B. PUBLIC SCHOOLS











The Fontana Unified School District (FUSD) serves the student population of CITRUS HEIGHTS and its surrounding neighborhoods. It is anticipated that students in the community will attend the Sierra Lakes Elementary School, Almeria Middle School, and the future high school (unnamed) located immediately northwest of the project boundary.

C. PUBLIC PARKS AND RECREATION FACILITIES

CITRUS HEIGHTS will incorporate a minimum of four (4) pocket parks as an important element of community design. The pocket parks are intended to both serve as visual amenities and provide passive recreation for the residents of the project. Because the community will be access-controlled, public parks will not be located within the project site.

The CITRUS HEIGHTS project site is located in close proximity to numerous larger recreational facilities within the North Fontana area. Sierra Lakes Golf and Country Club is located to the east of the project site and offers recreational facilities. Two parks, including the future Ralph M. Lewis Soccer Park, also will occur within the nearby Sierra Lakes community. Additionally, the proposed Summit Heights development, located to the west of the project site, will also contain a park and will offer various recreational opportunities. Lastly, the Jessie Turner Community Center is located south of the project site and offers various types of recreational, educational, and social interaction activities to residents within the City of Fontana.

LEGEND

-  Sierra Lakes Elementary School
-  Almeria Middle School
-  A.B. Miller High School
-  Central Valley Fire District Station 78
-  Kaiser Foundation Hospital
-  Fontana Library
-  Fontana Police Department
-  Future Summit Heights Park Site
-  Sierra Lakes Golf and Country Club and Parks
-  Jesse Turner Community Center

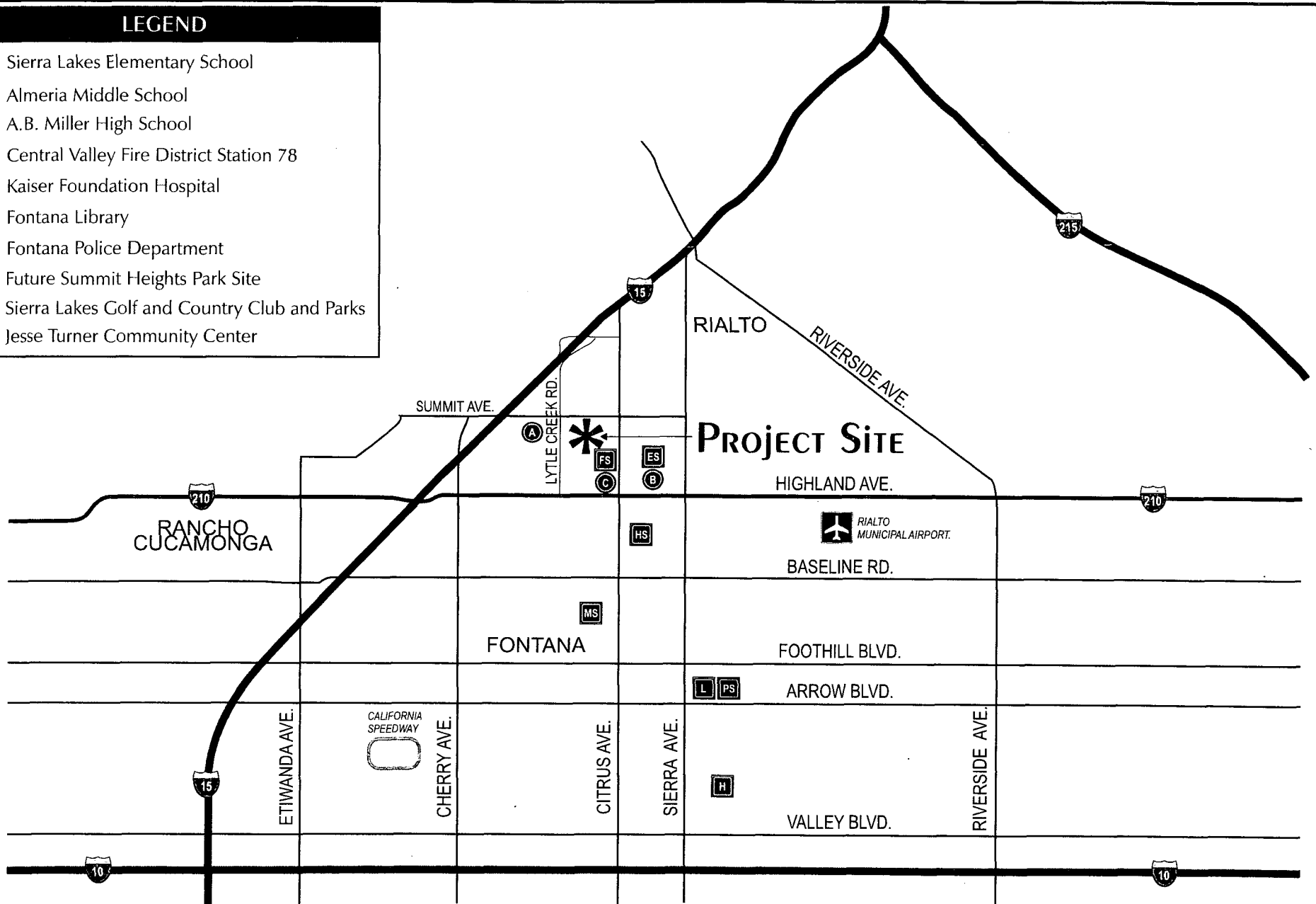


FIGURE 15
RELATIONSHIP TO OFF-SITE PUBLIC SERVICES

CITRUS HEIGHTS – Specific Plan

D. PUBLIC LIBRARY

Library services to the City of Fontana are provided by the San Bernardino County Library system, Fontana Branch. The library is located at 8334 Emerald Avenue, approximately three (3) miles south of the project site.

E. UTILITIES

CITRUS HEIGHTS will be served with telephone, cable, internet (data), electric, natural gas, and solid waste collection service from private companies serving the North Fontana area as detailed below:

| UTILITY | PROVIDER |
|-------------|--|
| Electricity | <i>Southern California Edison</i> |
| Gas | <i>Southern California Gas Company</i> |
| Water | <i>Fontana Water Company</i> |
| Sewer | <i>City of Fontana</i> |
| Solid Waste | <i>Burrtec Waste</i> |
| Telephone | <i>Pacific Bell</i> |
| Cable | <i>Comcast</i> |

CITRUS HEIGHTS – Specific Plan

4.0 DEVELOPMENT STANDARDS AND REGULATIONS

The following Development Standards and Regulations implement the planning and design concepts of this Specific Plan. The Development Standards and Regulations are consistent with the land use goals and objectives of the City of Fontana General Plan and Zoning and Development Code. These standards and regulations address site development issues and provide the basic criteria which govern all development within the boundaries of CITRUS HEIGHTS. Development within the Specific Plan area shall be subject to the review processes discussed in Chapter 6 of this Specific Plan. Any standard or regulation contained herein that differs from the City of Fontana Zoning and Development Code shall take precedence over and supercede the City of Fontana Zoning and Development Code. Any standard or regulation of the City of Fontana Zoning and Development Code not covered by this Specific Plan in the areas of administration, review procedures, environmental review, and parking regulations shall apply to this Specific Plan.

4.1 GENERAL PROVISIONS

A. DEFINITION OF TERMS

All terms used in this document shall have the same definitions as provided in the City of Fontana Zoning and Development Code, Section 30-11, including but not limited to the following:

- ***Acreage, Gross.*** All land within a defined area, including private and public ownerships, rights-of-way, easements, etc., measured to centerline of street.
- ***Acreage, Net.*** The developable portion of a given site less public rights-of-way, easements, and public and dedicated open space.
- ***Balcony.*** A platform projecting from the wall of a building, usually resting on brackets or consoles, and enclosed by a railing or parapet.
- ***Buffer Areas.*** An area of land used to visibly separate one use from another to shield noise, lights, or other possible nuisances.
- ***Building Coverage.*** The relationship between the ground floor area (footprint) of the building(s) and the net lot area.
- ***Building Height.*** The vertical distance measured from the adjoining house curb grade to the highest point of the roof surface, if flat roof; and to mean height level between eaves and ridge, hip or gable roof; provided, however, that where buildings are setback from the street line, then the height may be measured from

CITRUS HEIGHTS – Specific Plan

the average elevation of the finished grade adjacent to the front of the building:

- (1) The elevation of the highest adjoining sidewalk or ground surface within a five-foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten feet above lowest grade.
- (2) An elevation ten feet higher than the lowest grade when the sidewalk or ground surface described in item (1) above is more than ten feet above lowest grade.

The height of a stepped or terraced building is the maximum height of any segment of the building.

- **Common Area.** Land in a residential development held in common and/or single ownership and not reserved for the exclusive use or benefit of an individual tenant or owner.
- **Conditional Use.** A use permitted in a particular zoning district only upon showing that such use in a specified location will comply with all the conditions and standards for the location or operation of such use as specified according to zone and authorized by the Planning Commission.
- **Density.** The number of dwelling units or housing structures per net acre of land.
- **Development Advisory Board (D.A.B.).** Consists of representatives of the various city departments and public agencies. The D.A.B. serves to review projects for consistency with the general plan, zoning ordinance, and other policies and procedures established by the City Council and Planning Commission on development proposals.
- **Dwelling, Single-Family Detached.** A detached building which, regardless of form of ownership, is designed and/or used to house not more than one family including all domestic employees of such family.
- **Easement.** A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation or another person or entity.
- **Extraordinary Amenity.** An amenity used in conjunction with the residential planned community (R-PC) designation in specific plans that allow developers, at the discretion of the Planning Commission and City Council, to increase the residential densities pursuant to the guidelines established in the general plan.

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- **Floor Area, Gross.** The total horizontal area, in square feet, including the exterior walls of all floors of a structure.
- **Floor Area Ratio.** The gross floor area of all buildings on a lot divided by the lot area.
- **Frontage.** All the property fronting on one side of a street between intersecting streets, or between a street and right-of-way, waterway, end of dead-end street or city boundary measured along the street line. An intercepting street shall determine only the boundary of the frontage on the side of the street which it intercepts.
- **Garage.** A building or portion thereof in which a motor vehicle containing flammable or combustible liquids or gas in its tank is stored or kept.
- **Grade.** The average of the finished ground level at the center of all walls of a building. In the event walls are parallel to and within five feet (5') of a sidewalk, such ground level shall be measured at the sidewalk.
- **Guest Parking.** On-site parking spaces provided for intermittent use by visitors.
- **Homeowners Association.** A community association which is organized within a development in which individual owners share common interests and responsibilities for open space, landscaping, and/or facilities, private streets, and entry gates regulated by their own CC&Rs.
- **Lot Area, Net.** The area within the lot lines of a lot exclusive of any dedications for public rights-of-way, parks, school sites, open space, surface rights easements, or other impediments which prevent the property owner from constructing a structure on that portion of the site.
- **Lot Corner.** A lot or parcel of land abutting upon two or more streets at their intersection, or upon two parts of the same street forming an interior angle of less than 45 degrees.
- **Lot Coverage.** The percentage of the net area of the lot which is covered by the main building and all accessory structures (as viewed from a plan perspective).
- **Lot, Cul-de-sac.** A lot located on the turning end of a dead-end street with standard turning radii and permanent intent.
- **Lot Depth.** The average linear measurement between the front and rear lot lines when measured at 90 degree angles from the front lot line, or the tangent or chord line of a curved front lot line.

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- **Lot, Flag.** A lot having access to a street by means of a private driveway access, easement, or parcel of land not meeting the requirements of this code for lot width, but having a dimension of at least 20 feet at its narrowest point.
- **Lot Frontage.** The length of the defined front lot line measured at the street right-of-way.
- **Lot, Interior.** A lot other than a corner lot.
- **Lot, Knuckle.** A lot that has frontage on the outside turning radius of two intersecting streets.
- **Lot Line.** Lines bounding a lot as defined herein.
- **Lot Line, Front.** The line separating the narrowest street frontage of the lot from the street right-of-way.
- **Lot Line, Rear.** The lot line opposite and most distant from the front lot line; or in the case of an irregularly shaped lot, a straight line not less than ten feet long, within the lot, and most nearly parallel to and at the maximum distance from the front lot line.
- **Lot Line, Side.** Any lot lines other than the front or rear lot lines.
- **Lot Width.** The average linear distance between side lot lines when measured at a 90 degree angle to the front lot line.
- **Maximum Lot (Building) Coverage.** The maximum area of the lot that may be covered by buildings and roofed structures. This may be expressed in square footage or as a percentage of the minimum lot area.
- **Setback Area.** The minimum distance required by zoning to be maintained between two structures or between a structure and a property line.
- **Specific Plan.** A fully planned community, with all design controls, servicing requirements and financing techniques incorporated into the plan, which is adopted with a self-contained regulatory text and serves to implement the general plan in more detail.
- **Yard, Front.** An open space contiguous to the front lot line of a lot and extending from side line to side line thereof and measured between the front lot line and the main structure on the lot.

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- ***Yard, Rear.*** An open space contiguous to the rear line of a lot and extending from side line to side line thereof and measured between the rear lot line and the main structure on the lot.
- ***Yard, Side.*** An open space contiguous to the side line of a lot and extending from the front property line to the rear property line and measured between the side lot line and the main structure.

B. GENERAL NOTES

1. The maximum number of dwelling units permitted by the CITRUS HEIGHTS Specific Plan shall be 495. The approximate number of dwelling units within each residential planning area is established on the CITRUS HEIGHTS Land Use Plan (Figure 6). Each planning area contains a specific gross density and an approximate number of dwelling units. During the site plan and tentative map stage of design, the actual number of dwelling units allocated to a particular planning area may slightly differ from the number shown on the *Land Use Plan* (Figure 6). Up to 5% of the units in a particular Planning Area may be transferred to another planning area provided the development standards of the receiving residential planning area are met, the maximum unit count for the Specific Plan as a whole does not exceed 495 units, and the minimum lot size remains at 6,200 s.f.
2. Minor boundary and acreage variations (up to 5%) in the planning areas shall be permitted, subject to approval of the Community Development Director, without an amendment to the Specific Plan document.
3. Development standards relating to parking, signage, balconies, porches, room additions, pools, spas, and accessory structures are not included in this Chapter and shall conform to City of Fontana Zoning and Development Code.
4. Development within the project shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.
5. Performance standards for noise, vibration, light and glare, odors and electromagnetic interference shall comply with the City of Fontana Zoning and Development Code and any supplemental performance standards contained in the project's CC&R's.
6. All private streets within the Specific Plan shall be permanently reserved and maintained for their intended purpose by a means acceptable to and enforceable by the City of Fontana. Access for emergency vehicles shall be maintained at all times.
7. Table 30-157.A of the Fontana Zoning and Development Code shall apply regarding the keeping of animals on residential property.

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8. Section 30-178 of the Fontana Zoning and Development Code shall apply to all private swimming pools, spas, and hot tubs.
9. Recreational vehicle parking requirements on private streets and driveways shall be established by the project's CC&R's.

4.2. DEVELOPMENT STANDARDS AND REGULATIONS

The following Section sets forth the standards for development of all land uses within the CITRUS HEIGHTS community. This section has been prepared in accordance with California Government Code 65450 and all applicable development and design standards of the City of Fontana Zoning and Development Code, with some modification to accommodate the CITRUS HEIGHTS land use plan.

All setbacks established by this Chapter, unless otherwise noted below, shall be measured from the property line, except setbacks from streets which shall be measured from the outside of the curb (approximately six-inches from the curb face).

A. RESIDENTIAL STANDARDS AND REGULATIONS (PLANNING AREAS 1 AND 2)

The following standards are applicable to Planning Areas 1 and 2 within the CITRUS HEIGHTS Specific Plan. Two lot configurations are permitted to occur, those with minimum widths of 55 feet (Lot Type A) and those with minimum widths of 60 feet (Lot Type B). Where the development standard varies between these two lot types, the variation is noted in the text below. If no variation is listed, the standard is assumed to be identical for both lot types. Figure 16A depicts a typical lot configuration for a 55-foot-wide lot (Lot Type A) and Figure 16B depicts a typical lot configuration for a 60-foot-wide lot configuration (Lot Type B).

(1) *Minimum Lot Size*

The minimum lot size for development of single-family residential uses shall be 6,200 square feet, including easements.

(2) *Minimum Lot Width*

Lot Type A: The lot width shall not be less than 55 feet at a point 20 feet from the front property line. This standard does not apply to cul-de-sac, knuckle, and flag lots.

Lot Type B: The lot width shall not be less than 60 feet at a point 20 feet from the front property line. This standard does not apply to cul-de-sac, knuckle, and flag lots.

****** Minimum width of cul-de-sac, knuckle, and flag lots shall be 30 feet, as measured at the front property line.

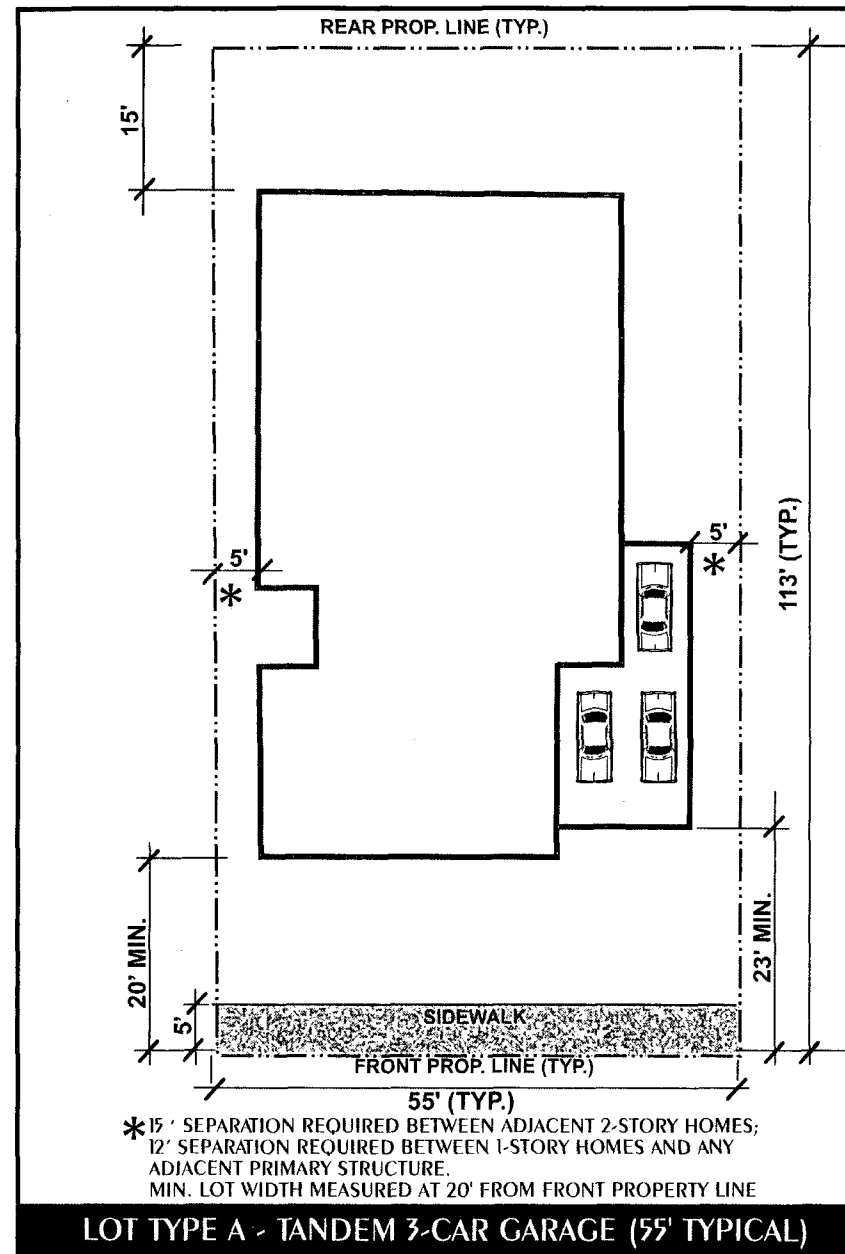
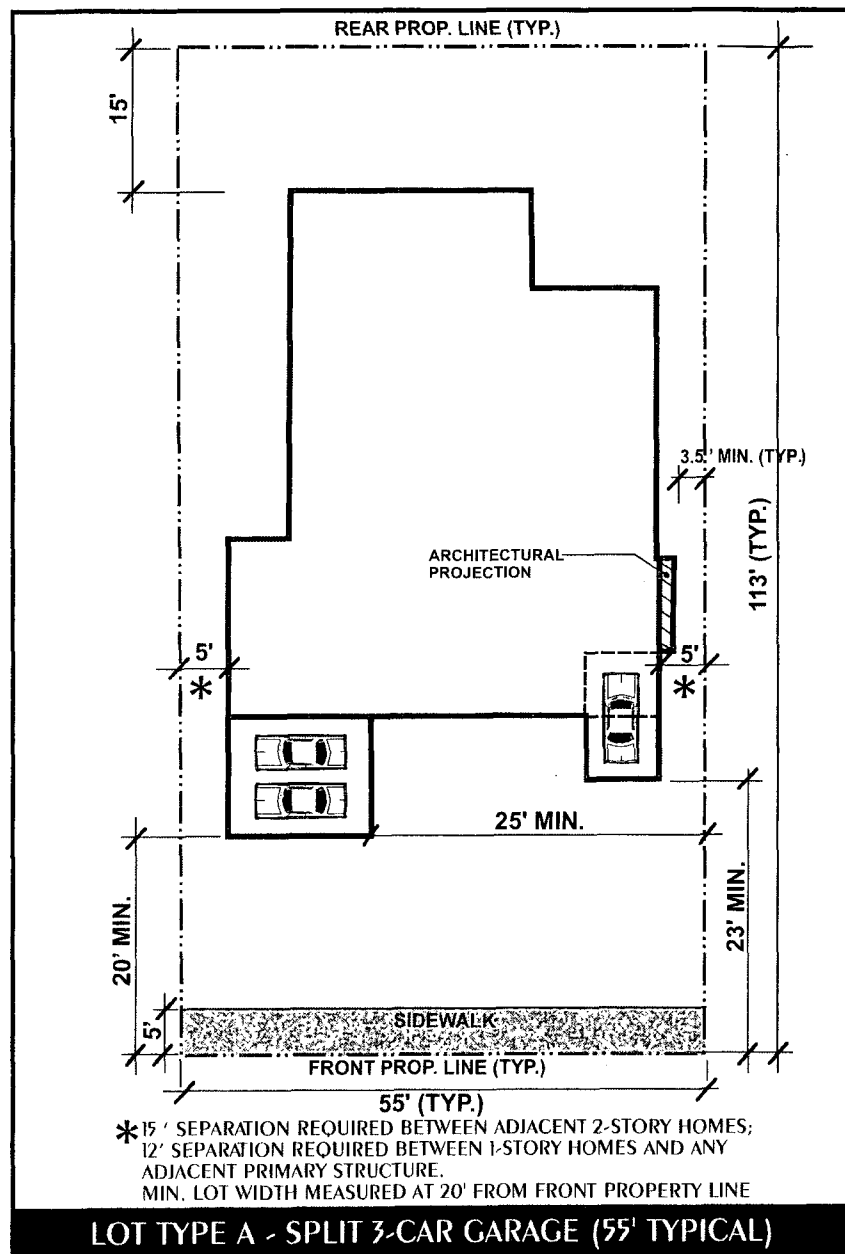


FIGURE 16A
LOT CRITERIA AND SETBACK REQUIREMENTS (55' WIDE TYPICAL)

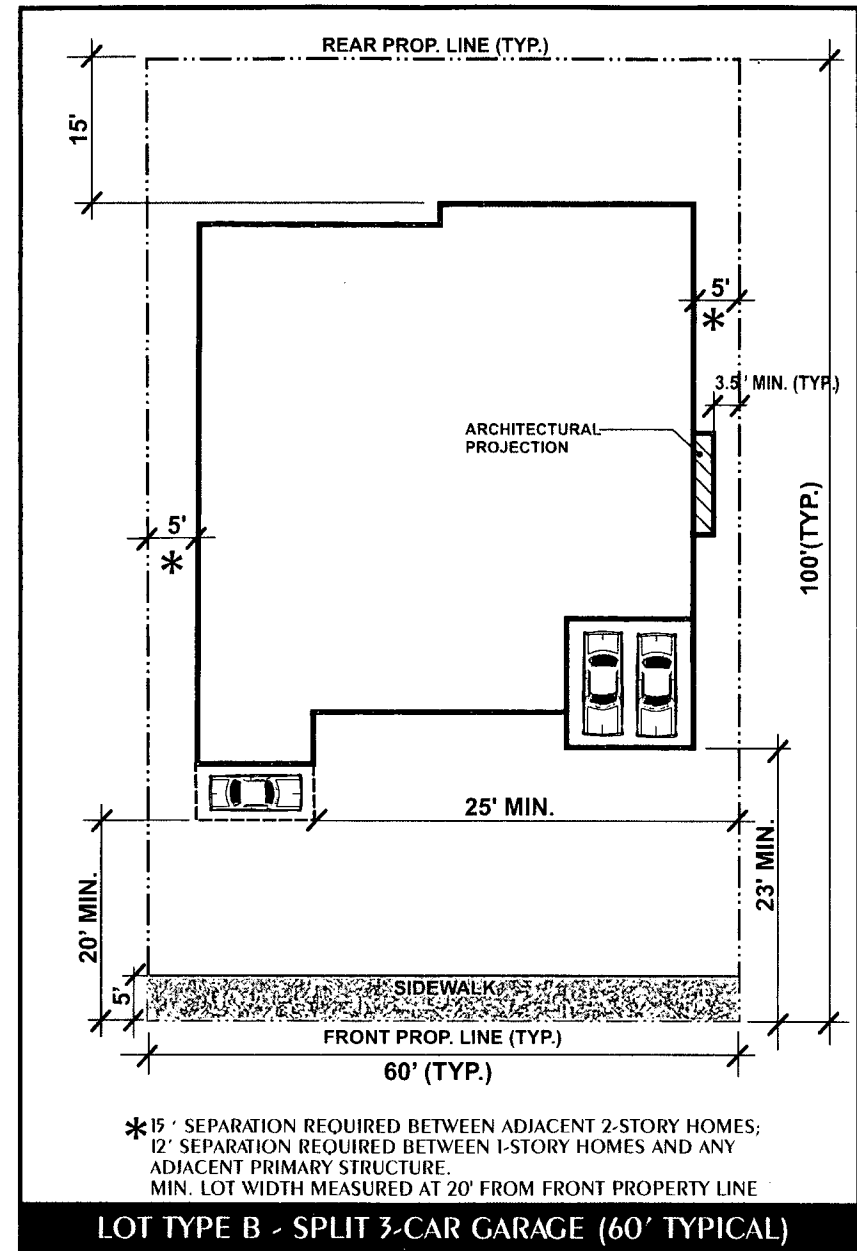
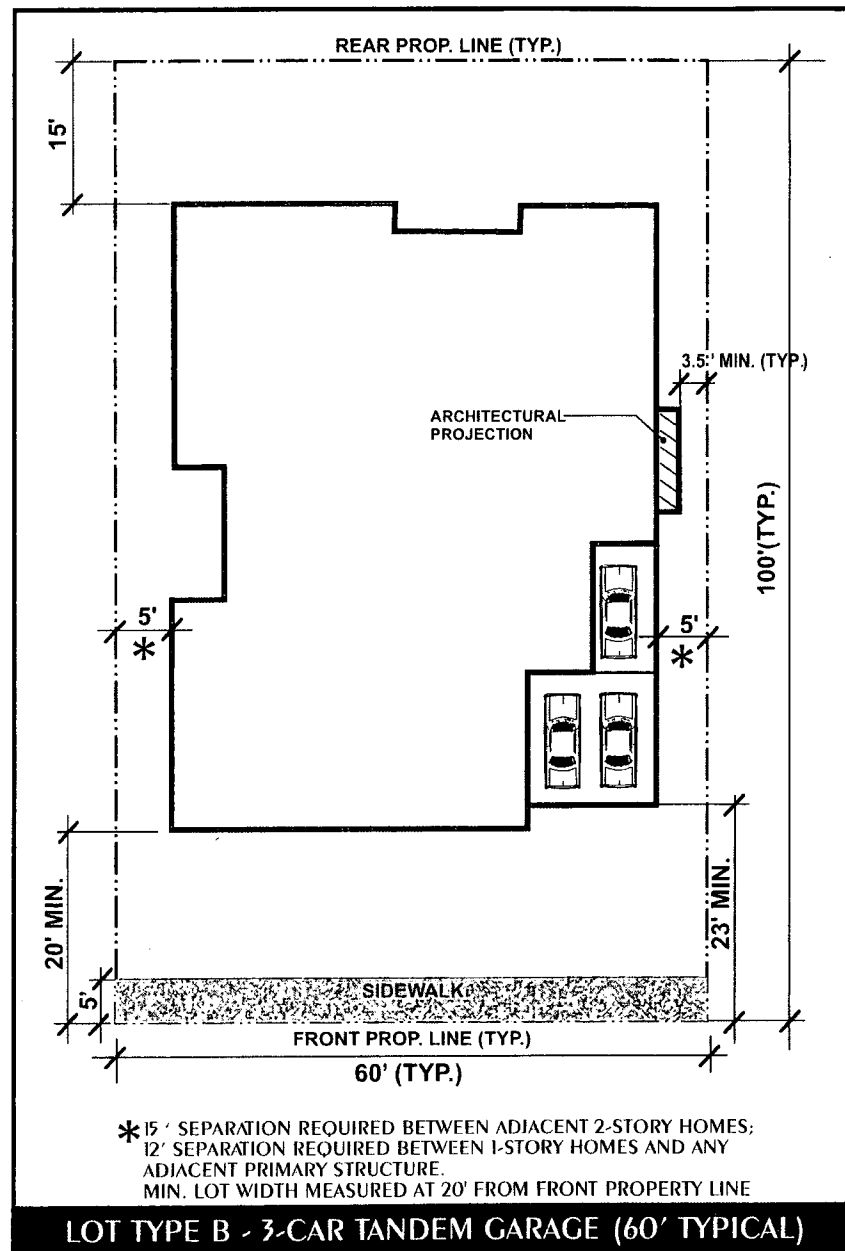


Figure 16B
LOT CRITERIA AND SETBACK REQUIREMENTS (60' WIDE TYPICAL)

CITRUS HEIGHTS – Specific Plan

(3) *Minimum Lot Depth*

Lot depth shall be a minimum of 75 feet.

****Minimum lot depth requirement shall not apply to cul-de-sac lots, flag lots, or lots fronting on a knuckle.**

****Typical lot depth shall be approximately 113 feet for Lot Type A and approximately 100 feet for Lot Type B.**

(4) *Maximum Lot Coverage*

All buildings, including accessory buildings and structures, shall not cover more than 60% of the area of a lot.

(5) *Front Yard Setback*

Front yard setback to the residential living space (habitable portion) of the structure shall be not less than 20 feet from the front property line.

Front yard setback to the porch of a residential structure shall be not less than 20 feet from the front property line.

(6) *Front Yard Setback – Garage*

Side-entry garages shall maintain a minimum front yard setback of 20 feet measured from the garage to the front property line.

Direct-entry garages shall maintain a minimum front yard setback of 23 feet measured from the garage door to the front property line.

(7) *Rear Yard Setback*

Rear yard setback shall be a minimum of 15 feet.

Rear yard setback for a one-story open patio cover shall be a minimum of 5 feet.

Rear yard setback for a two-story open patio cover shall be a minimum of 10 feet.

(8) *Side Yard Setback – Interior Lot*

Side yard width shall not be less than 5 feet. Minimum distance between structures shall be 15 feet. These standards exclude projections as described in A (13), below.

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(9) *Side Yard Setback – Corner Lot/Reversed Corner Lot*

On the side which adjoins another lot, the side yard shall be the same as that required on an interior lot. On the street side and lots adjacent to a gated entry, the width of the required side yard shall be a minimum of 10 feet and such side yard shall extend the full length of the lot, excluding the corner lot cutout.

(10) *Minimum Building Separation – Interior Side Yard*

The minimum side yard separation between primary structures on adjacent lots is 15 feet for adjacent two-story homes. To encourage the plotting of one-story structures, the minimum side yard separation between one-story homes and any adjacent primary structure is reduced to 12 feet. Side yard separation standards do not apply to accessory structures. See A (13), below, for permitted projections.

(11) *Maximum Building Height*

No building shall exceed a height of 35 feet.

An architectural projection such as a chimney or tower may exceed the maximum building height, but shall not exceed a height of 40 feet.

(12) *Minimum Floor Area*

The minimum single-story dwelling unit size shall be 1,850 square feet.

The minimum two-story dwelling unit size shall be 2,000 square feet.

(13) *Projections into Yards*

Balcony. A balcony is permitted to project up to 6 feet into any required rear yard.

Fireplace. Fireplaces and chimneys are permitted to be located in any rear or side yard setback, provided they do not reduce the required yard more than 3 feet nor create any yard less than 3 feet in width or depth.

Porch. An uncovered porch or platform which does not extend above the first floor of a building is permitted to extend up to 6 feet into any required yard area, provided it does not create any side yard setback less than 3.5 feet in width per side or rear yard setback less than 10 feet in depth. Open work railing may be installed provided such railing is not higher than 36 inches above the porch or platform, or as required by the current edition of the Uniform Building Code.

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Roof line. Roof projections are permitted to extend up to 3 feet into any required yard area.

Decorative architectural projection. Any feature of a building structure which protrudes from the main building wall(s) and functions to enhance the visual attractiveness of said structure by breaking up the flat, monotonous relief of a flat wall, including but not limited to, pilasters, window surrounds, shadow lines, chimneys, and decorative bands, may be located in any required yard, provided they do not create any side yard setback less than 3.5 feet in width per side or rear yard setback less than 10 feet in depth. This standard does not apply to accessory structures.

(12) Permitted Uses

Permitted uses in Planning Areas 1 and 2 shall be all those under the R-1 Zone of the Fontana Municipal Code. Public and private common recreation areas are specifically permitted as an accessory use.

**Table 2
Development Standards Summary**

| Standard | Lot Type A | Lot Type B |
|---|----------------------------------|------------|
| Minimum Lot Area | 6,200 s.f. | 6,200 s.f. |
| Minimum Lot Width ¹ | 55 feet | 60 feet |
| Minimum Lot Depth ¹ | 75 feet | 75 feet |
| Maximum Lot Coverage | 60% | 60% |
| Minimum Yard Setbacks: | | |
| Front Yard Setback – Residential Living Area | 20 feet | 20 feet |
| Front Yard Setback – Porch | 20 feet | 20 feet |
| Front Yard Setback – Side Entry Garage | 20 feet | 20 feet |
| Front Yard Setback – Direct Entry Garage | 23 feet | 23 feet |
| Rear Yard Setback – Residential Living Area | 15 feet | 15 feet |
| Rear Yard Setback – Open Patio Cover (One-Story) | 5 feet | 5 feet |
| Rear Yard Setback – Open Patio Cover (Two-Story) | 10 feet | 10 feet |
| Side Yard Setback – Interior Lot | 5 feet | 5 feet |
| Side Yard Setback – Corner Lot | 10 feet | 10 feet |
| Minimum Building Separation: | | |
| Between Adjacent Two-Story Structures | 15 feet | 15 feet |
| Between One-Story Structures and any Adjacent Primary Structure | 12 feet | 12 feet |
| Maximum Projections Permitted into Yards | See standards contained in text. | |
| Minimum Floor Area – Two Story | 2,000 s.f. | 2,000 s.f. |
| Minimum Floor Area – One Story | 1,850 s.f. | 1,850 s.f. |

¹ Does not apply to cul-de-sac lots, flag lots, or lots fronting on a knuckle.

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5.0 DESIGN GUIDELINES

5.1 PURPOSE AND INTENT

The CITRUS HEIGHTS Design Guidelines provide general criteria for landscaping, architecture, entry monuments, and lighting design in order to ensure a high-quality living environment and strong community character. The overall goal of the CITRUS HEIGHTS Design Guidelines is to create a community unique within the Inland Empire and City of Fontana. It is the further goal of these guidelines to assure that building architecture is historically accurate in the use of materials. The design guidelines set forth in this section define the means to achieve these goals. These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, builders, and others involved in the design of neighborhood elements. Variation and customization within the context of the guidelines by a builder is encouraged in order to achieve individually distinctive neighborhoods. Through collaboration and cooperation between the master developer, the builder(s), and the City of Fontana, the CITRUS HEIGHTS Master Planned Community is destined to be a successful and desirable place for its new residents to live.

The specific objectives of the design guidelines are to:

- Provide guidance to builders, engineers, architects, landscape architects, and other professionals in order to obtain the desired design quality.
- Provide a framework for the formation of Covenants, Conditions, and Restrictions (CC&Rs) for the use of land in the Specific Plan area.
- Provide the City of Fontana with the necessary assurances that the community of CITRUS HEIGHTS will be developed in accordance with a certain quality and character as set forth in this document.

These guidelines are intended to establish standards which will ensure the quality of development, the community landscape and its character. These guidelines and the standards they contain shall be followed in the design and build-out of the community; they should not be viewed as voluntary, and are in addition to the City of Fontana's architectural guidelines. Through review of the plans by the Master Developer and official design review by the City of Fontana, these guidelines shall be enforced and implemented. Projects where nearly identical buildings line streets without variation in placement and form will not be allowed. Design packages shall clearly reflect the "place making" techniques described in these Design Guidelines.

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5.2 ARCHITECTURAL DESIGN GUIDELINES

The goal of the architectural design guidelines is to promote visual compatibility and individuality for the neighborhood and home. These guidelines do not promote rigid adherence to style descriptions but assist in the design direction and quality of the end product.

A. ARCHITECTURAL DIVERSITY

Achieving variety and diversity in neighborhood architecture is a key community objective. For inspiration, CITRUS HEIGHTS has embraced compatible architectural styles that have historical precedence in Southern California and are capable of contemporary interpretation and variation in a modern merchant built house. The intent is to avoid “stage-front” architecture, but instead to encourage the application of detail and materials authentic to the spirit and character of the style.

Residential neighborhoods within CITRUS HEIGHTS shall utilize a minimum of three architectural styles, one from each of the following three groups. A fourth style may be chosen from any one group.


| Group I | Group II | Group III |
|---|---|--|
| Spanish Colonial  | Colonial  | Cottage  |
| Italianate  | Monterey  | Craftsman  |

A maximum of 40% and a minimum of 20% of any one style shall be used within CITRUS HEIGHTS. Each style is presented on the following pages in the form of a matrix description of its main components. The matrix will be used by the City of Fontana’s Development Advisory Board to determine if the submitted architecture plans substantially conform to the architecture styles identified in this document. Every element listed on the matrix is not required to be present on the

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architectural plans; rather, the matrix is intended to set forth a description of style elements and features generally associated with the architectural style.

1. SPANISH COLONIAL – GROUP I

| STYLE ELEMENTS | |
|--------------------------|---|
| <i>Form</i> | <ul style="list-style-type: none"> Simply articulated two story boxed plan with one story element across front elevation Deep recessed arches Boxed out elements at 2nd floor |
| <i>Roof</i> | <ul style="list-style-type: none"> 3 ½:12 to 4 ½:12 low pitch roof Predominantly gable side to side roof with forward facing hip roof element Unenclosed eave overhang with exposed rafter tails Concrete 's' or barrel tiles with varigated or blended colors Continuous fascia boards 24" Overhangs |
| <i>Walls</i> | <ul style="list-style-type: none"> Sand or Spanish texture stucco finish |
| <i>Windows</i> | <ul style="list-style-type: none"> 9 and 12 pane windows with colonial accent trim Rectangular shape feature windows on front elevation with single or ganged curve top edge Simplified windows on side and rear elevations Recessed windows |
| <i>Colors</i> | <ul style="list-style-type: none"> White tone body or mid-value body with contrasting fascia and window trim colors Wood toned trims Contrasting body color at base Garage door color complementary to body colors and trim |
| <i>Details</i> | <ul style="list-style-type: none"> Ornate wrought iron accent details at walls and windows Wrought iron balconies Decoratively shaped rafter tails Stucco over foam window and door trim Decorative tiles recessed in wall plane Decorative iron Shutters |
| <i>Typical Elevation</i> |  |


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2. ITALIANTE – GROUP I

| STYLE ELEMENTS | |
|--------------------------|--|
| <i>Form</i> | <ul style="list-style-type: none"> 2-story simple massing with at least 1 vertical and 1 horizontal break Tower element |
| <i>Roof</i> | <ul style="list-style-type: none"> Main hip roof with minor hip or gable 3 ½ :12 to 4:12 low pitch roof Concrete 's' or barrel tiles with varigated or blended colors Tight to 24" overhangs |
| <i>Walls</i> | <ul style="list-style-type: none"> Smooth stucco or sand finish |
| <i>Windows</i> | <ul style="list-style-type: none"> Vertical windows often ganged together in double and triples Deep recessed in wall plane Round top window over rectangular windows at feature locations Multi-pane windows at front Simplified windows on side and rear elevations |
| <i>Colors</i> | <ul style="list-style-type: none"> Mid-value saturated Contrasting trim – Tuscan hues Contrasting body color at base Garage door color complimentary to body colors and trim |
| <i>Details</i> | <ul style="list-style-type: none"> Door and window header trim match Wrought iron hardware and light fixtures Belt course trim Tapered round or square simple stucco or pre-cast concrete columns Colonial arch window trim 2nd story balconies in wrought iron Entry porches accented by columns Shutters Stucco over trim surrounds at windows and doors Corner wall quoins |
| <i>Typical Elevation</i> |  |


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3. COLONIAL – GROUP II

| STYLE ELEMENTS | |
|--------------------------|--|
| <i>Form</i> | <ul style="list-style-type: none"> ▪ Simple rectangular massing stacked wall planes |
| <i>Roof</i> | <ul style="list-style-type: none"> ▪ 5:12 to 7:12 roof pitch ▪ 12'' – 24'' overhangs ▪ Cornice at gables ▪ Texture flat concrete tile with varigated or blended colors |
| <i>Walls</i> | <ul style="list-style-type: none"> ▪ Sand or smooth stucco finish ▪ Horizontal lap siding |
| <i>Windows</i> | <ul style="list-style-type: none"> ▪ Vertical multi-pane in groupings ▪ Decorative half round windows ▪ Oval, decorative windows ▪ Simplified windows on side and rear elevations |
| <i>Colors</i> | <ul style="list-style-type: none"> ▪ White to mid-value bodies ▪ White trims |
| <i>Details</i> | <ul style="list-style-type: none"> ▪ Brick veneers accent on walls ▪ Dormers ▪ Shutters on front elevations ▪ Entry door pediments ▪ Columns ▪ Entry door porches ▪ Corbels |
| <i>Typical Elevation</i> |  |


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4. MONTEREY – GROUP II

| STYLE ELEMENTS | |
|--------------------------|--|
| <i>Form</i> | <ul style="list-style-type: none"> ▪ Single gable roof side to side ▪ 2-story horizontal massing, simple form ▪ 2nd story balcony at front elevations ▪ Vertical massing held to 25% to 35% of front elevation ▪ Horizontal and vertical massing breaks |
| <i>Roof</i> | <ul style="list-style-type: none"> ▪ 6:12 to 8:12 normal main roof pitch ▪ Balcony shed roof break at 3 ½ to 4 ½ slope ▪ Shingle texture flat tile or 's' concrete roof tile with varied or blended colors ▪ Overhangs with continuous fascia board and exposed rafters |
| <i>Walls</i> | <ul style="list-style-type: none"> ▪ Smooth stucco or sand finish ▪ Horizontal or vertical siding at 2nd floor balcony wall ▪ Horizontal or vertical siding accents at gable ends |
| <i>Windows</i> | <ul style="list-style-type: none"> ▪ Vertical window shape with multiple panes often used in groupings ▪ Gothic shape or curved top feature window at first floor ▪ Colonial window and door trim ▪ Simplified windows on side and rear elevations |
| <i>Colors</i> | <ul style="list-style-type: none"> ▪ White toned bodies or medium range earth tones & white toned trims |
| <i>Details</i> | <ul style="list-style-type: none"> ▪ Wood framed balcony with knee brace posts & simple wood column detail ▪ 4" to 6" diameter round gable tile vents ▪ Arched or sloping fin walls ▪ Recessed or shuttered windows ▪ Brick veneer wainscot at base of building |
| <i>Typical Elevation</i> |  |


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5. COTTAGE – GROUP III

| STYLE ELEMENTS | |
|--------------------------|--|
| <i>Form</i> | <ul style="list-style-type: none"> ▪ Gentle to steep pitched roofs with projecting gable ends ▪ Typically steep 2nd story roofs breaking over 1st story elements ▪ Gable, hip, and/or shed roof dormers |
| <i>Roof</i> | <ul style="list-style-type: none"> ▪ 5:12 to 12:12 high pitch roof ▪ Flat concrete tile ▪ Tight to 12” overhangs ▪ Multiple gable element roofs with broken pitches |
| <i>Walls</i> | <ul style="list-style-type: none"> ▪ Stone or brick veneer base ▪ 1 ½ to 2-story stone or brick accent wall planes at front elevation ▪ Sand stucco or smooth finish ▪ Siding accents in gable ends |
| <i>Windows</i> | <ul style="list-style-type: none"> ▪ Bay windows ▪ Rectangular multi-paned windows ▪ Round and curved top windows ▪ Simplified windows on side and rear elevations |
| <i>Colors</i> | <ul style="list-style-type: none"> ▪ Light earth tone bodies ▪ Contrasting cool or warm trims ▪ Whites or dark stucco body colors |
| <i>Details</i> | <ul style="list-style-type: none"> ▪ Shutters & recessed windows ▪ Wrought iron balconies ▪ Decorative pot shelves ▪ Battered columns ▪ Entry door porches ▪ Wood columns with braces |
| <i>Typical Elevation</i> |  |

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6. CRAFTSMAN – GROUP III

| STYLE ELEMENTS | |
|--------------------------|---|
| <i>Form</i> | <ul style="list-style-type: none"> ▪ Cross gabled or gable fronted one or two-story box like massing under main roof ▪ Entry porch |
| <i>Roof</i> | <ul style="list-style-type: none"> ▪ 4:12 to 7:12 normal roof pitch ▪ Shingle texture flat concrete roof tile ▪ Plain cut rafter tails ▪ Overhangs 6" to 18" ▪ Hip and gable roofs |
| <i>Walls</i> | <ul style="list-style-type: none"> ▪ Horizontal siding ▪ Plain wood shingle siding ▪ Sand or smooth stucco finish ▪ Blended stucco and siding ▪ Stucco with stone base, battered wall forms |
| <i>Windows</i> | <ul style="list-style-type: none"> ▪ Ribbon windows – 3 or more ganged ▪ Single hung windows ▪ Mullion upper half of window ▪ Simplified windows on side and rear elevations |
| <i>Colors</i> | <ul style="list-style-type: none"> ▪ Light or deep earth tone colors |
| <i>Details</i> | <ul style="list-style-type: none"> ▪ Stone and brick blended accent chimney ▪ Full length porch – stone finish ▪ Layered wood entry door and window details ▪ Classically styled columns ▪ Decorative ridge beams and purlins ▪ Stone or brick base ▪ Triangular knee braces |
| <i>Typical Elevation</i> |  |

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B. ARCHITECTURAL DESIGN STANDARDS AND REQUIREMENTS

1. BUILDING MATERIALS & COLORS

The colors and building materials used at CITRUS HEIGHTS shall reflect a general theme of environmental harmony with the surrounding community, topography, and neighborhood character. Building materials and colors shall complement the natural, climatic, and architectural environment of the CITRUS HEIGHTS Specific Plan. The palette of architectural styles selected for these design guidelines contributes to this goal as each style has a historic lineage that shares this “common sense” approach to the use of materials and colors indigenous to the region. The use of elements such as terra-cotta color roof tile, white washed plaster, painted siding, and wrought iron will provide variety and contrast. New interpretations of these classic combinations of materials and inherent colors are encouraged as they relate to a general feeling of neighborhood unity.

Color palettes that reflect traditional architectural themes are the basis for successful modern interpretations as proposed for CITRUS HEIGHTS. A variety of natural materials and earth tone based colors will provide the diversity required for visual interest while unifying the buildings with their settings and creating a timeless appeal. The primary purpose of the architectural style palette selection is to avoid monotony, provide a variety of color schemes, and promote visual diversity. To further this goal of diversity, the following criteria shall be met:

- a. Each elevation shall have a minimum of three colors. For example: one body, one trim, and one accent color. Depending on elevation, more colors may be required as determined by the City of Fontana’s Development Advisory Board.
- b. Front elevation design and materials are to wrap around the side elevation to an appropriate transition point, as determined by the Development Advisory Board. If the rear elevation is visible from a public roadway (Citrus Avenue, Lytle Creek Road, Knox Avenue, or Summit Avenue), rear elevation design and materials shall also wrap around the side elevation.
- c. Each product line shall have a minimum of three different roofing colors.
- d. Material samples and manufacturers cut sheets shall be submitted to the City of Fontana Community Development Department at preliminary design phase.
- e. Individual color schemes must be appropriate to the architectural styles selected with a harmonious selection of accent materials and roof profile and colors.
- f. No two adjacent homes using the same floor plan shall have the same exterior color scheme. A scheme of color values on exterior elements shall be distinct

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on adjacent homes, with deeper tones encouraged to promote variation.

- g. Roof colors shall be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion into the community's appearance.
- h. If balconies are provided, materials shall match or complement those used on the main portion of the building.
- i. Brick and stone products and manufacturers shall be reviewed and approved by the Development Advisory Board at the time architectural plans are submitted.
- j. At least two out of every three models shall upgrade the hardscape used within the concrete walkways leading to the house in order to complement the home's exterior architectural elements. (Example: use of decorative troweled bands; decorative patterned scoring; exposed aggregate finishes; stamped concrete, etc.).

2. BUILDING MASS, FORM, AND SCALE

Creating a street scene which functions well and has visual variety is a key community objective. The following massing and scale criteria are intended to develop variation in appearance and a sense of individuality for each home. Projects where nearly identical buildings are placed on streets without variation in placement and form are not permitted. Listed below are massing and plotting techniques and standards which will create a quality environment.

- a. Single story components such as porches, reduced heights of living spaces, and/or garage areas shall be used to create a sense of variety within the street scene and to break up building massing.
- b. Twenty percent (20%) of all plans and elevations plotted shall have a significant single story component (significant single story components shall be a minimum of 20 feet wide and 20 feet deep, and can include garages).
- c. In order to reduce building massing at project entries, single story homes or significant single story components are required on corner lots located adjacent to gated entries.
- d. Homes shall be designed with entries, windows, front porches, and living areas placed directly adjacent to the street on most plan variations, while recessing the garages, are encouraged.
- e. The proportion of windows and doors to the wall massing shall vary according to the architectural style chosen. Windows and doors shall enhance, rather than dominate, the overall architectural character of the home. The selected style of window shall be appropriate to the architectural style of

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the house.

- f. Garage doors shall be fully integrated into the design of the architecture and shall complement the building elevation. Accent colors shall be considered to complement the architecture and to provide visual variety along streetscapes. Windows in garage doors are required for all homes unless otherwise approved by the Development Advisory Board. Staggered setbacks, recessed garages, and side-entry garages shall be considered to further vary the streetscape.

3. REAR BUILDING ELEVATIONS

The dominant impact is the shape of the building and roofline of two-story plans. Therefore, these rear building elevations shall be well-detailed and distinctively articulated and adhere to the following guidelines.

- a. Long stretches of unbroken exterior walls are not allowed in favor of articulated elevations with projections, recesses, windows, doors, and specialized architectural detailing, which are required.
- b. The second story portion of the rear elevation of all structures which face Curtis Avenue, Lytle Creek Road, Knox Avenue or Summit Avenue shall incorporate either varied wall planes, roof forms and orientation, or window treatments.
- c. Articulate the rear elevation and roof plane to minimize the visual impact of repetitious flat plans, similar building silhouettes, and similar ridge heights on homes viewed from Curtis Avenue, Lytle Creek Road, Knox Avenue, or Summit Avenue.
- d. For each floor plan submitted to the Development Advisory Board for review, three elevations are required per floor plan. At least two out of every three elevations per floor plan shall provide general architectural relief at the rear elevation of each home in order to avoid one continuous wall or flat surface on the rear of the home. Fireplaces, rear yard trellises, and media niches can be considered in this requirement.

4. PLOTTING CONCEPTS

The following criteria shall be considered when placing a structure on a single family lot:

- a. Reduce the scale and size of each neighborhood by creating “sub-neighborhoods” through the use of short or curved street segments, short cul-de-sac streets, and grade separations between housing clusters.

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- b. Plot alternative floor plan types and/or elevation styles on contiguous lots. A floor plan shall not be used consecutively more than three times in a row, whether reversed or not.
- c. Any one floor plan shall comprise no more than 65% of the number of lots on any cul-de-sac or along any street between intersecting streets.
- d. Adjacent homes shall have varying setbacks. Minimum variation shall be four (4) feet unless located on a curvilinear street, cul-de-sac, or knuckle, which provide a varied street scene, and then the variation shall be three (3) feet. When one and two-story homes are adjacent, the two-story home shall have the larger front yard setback.
- e. Driveways on corner lots shall be located on the opposite side of the lot as the intersection to allow expanded opportunities for landscaping at street intersections.
- f. All utility boxes shall be underground or camouflaged.
- g. Each lot shall be provided with four (4) phone lines to the house.

5. ROOFS

Roofs serve as major structural and architectural design elements. A variety of roof types are permitted and encouraged within the project. Roofs shall be consistent with the neighborhood or product-type architectural concept and the style, materials, and scale of the building.

- a. As it relates to styles, a variety of roofs shall be permitted, including hip, gable, and shed roofs. Roof heights, pitch and planes shall vary to create interplay between the roof and the walls of the structure. Varying roof pitches on the same building shall be avoided unless they are integral to the architectural style or extending over porches and balconies.
- b. Roofs shall be constructed of non-combustible materials. Acceptable materials include clay and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal.
- c. Roofing trim materials shall be of similar materials and complementary colors. Roof vents and appurtenances shall be painted to match the roof color.
- d. Roof overhangs are permitted and shall be designed as an integral part of the roof form.

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6. GARAGES

The home and front yard rather than the garage is the primary emphasis of the front elevation. In order to de-emphasize the role of the garage in front elevations, setbacks, side-entries, detached garages, and other “neo-traditional” treatments are permitted.

- a. Garages shall be constructed of materials compatible with the architectural style of the primary structure.
- b. No two adjacent homes having the same floor plan and elevation shall use the same garage door pattern. In no case shall more than three (3) adjacent homes of any floor plan or elevation have the same garage door pattern.
- c. A variety of designs shall be used on garage doors. Minimize the visual impact of garages facing the street by varying garage door patterns, varying colors, varying setbacks, splitting doors into two single doors, incorporating windows into garage doors, and using alternative garage configurations.
- d. Swing-in (side loaded) garages are prohibited on lots less than 55’ wide at the front setback line.
- e. Side elevations of garages facing the street shall have architectural detailing.
- f. All garage doors shall be sectional and roll-up with windows, unless otherwise approved by the Development Advisory Board.
- g. The three-car garage configuration requires careful consideration to de-emphasize its impact on the street. The use of tandem garage design is permitted so that three garage spaces appear as two from the street.
- h. The following design techniques shall be incorporated in homes with three car garages:
 - Where allowed, the standard front facing three-car configuration can be used in a maximum of 85% of plan configurations.
 - When the standard front facing three-car configuration is used, it must be combined with one of the following measures:
 1. Provide a minimum 50 square feet of porch area (horizontal or vertical).
 2. Extend a portion of the home a minimum of 2’ in front of the garage.
 3. Offset the dual car garage door 2’ from the single car garage

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door.

7. PORCHES AND ENTRYWAYS

Entrances to homes shall be clear and easily recognizable. Covered entrances, porches, and arcades are desirable, because they serve to identify entrances and provide front-yard and side-yard elevational differences. All front doors shall provide a window or other decorative treatment. A sample of door treatments shall be provided for Planning Commission review and approval. Porches and entryways shall be used to visually break up large, monolithic buildings into smaller units, more in keeping with the desired human scale. Where present, porches shall be used on buildings of two or more stories as a transition from nearby single-story structures or other taller structures. Porches shall be constructed of wood, stucco, stone, brick and other similar materials. Wrought iron railings are permitted and acceptable.

8. CHIMNEYS

Chimneys and spark arrestors shall act as thematic forms and vertical elements in the architecture. Caps on chimneys shall have low profiles and shall not be visually distracting. Acceptable building materials include stone veneer, brick (including used brick), and stucco.

9. DOORS AND WINDOWS

By varying the spacing, sizes, shapes, and locations of door and window openings in building facades, structures shall be made more visually interesting and attractive. It is especially important to vary the placement of doors and windows on buildings located in close proximity to each other in the same neighborhood. In addition, windows and doors shall be recessed into or projected out of structures to emphasize important areas of the building. Windows, frames, mullions, and door frames shall be color coordinated with the rest of the building. Doors shall include inset panels, carvings, and/or window panes.

10. BALCONIES AND OVERHANGS

Balconies and overhangs are desirable elements of a building because they provide architectural interest even when not serving a practical purpose. Balconies and overhangs add visually to a structure by breaking-up wall masses, offsetting floors, and creating a sense of human scale. Balcony railings shall be constructed of wood, masonry, decorative metal, and/or stucco. Balcony railings can be solid, if desired. Accent tile is permitted to be used in moderate amounts. In all cases, balconies and overhangs shall be designed such that detailing, form, color, and materials are similar and/or compatible to the main structure.

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5.3 LANDSCAPE DESIGN GUIDELINES

A. INTRODUCTION

The CITRUS HEIGHTS Landscape Design Guidelines establish a landscape theme for the neighborhood and set forth general criteria for the landscaping of the residential community. These guidelines, consisting of a written summary and graphic exhibits, establish landscape criteria for entries, streetscapes, medians, pocket parks, plant palette, lighting, and walls to create a unifying fabric for the community.

The CITRUS HEIGHTS *Conceptual Landscape Plan*, Figure 17, is driven by the desire to integrate the proposed residential community into the North Fontana area and to create an identifiable sense of place. Landscape and streetscape elements will be used to create visual continuity throughout CITRUS HEIGHTS. Community elements such as entries, streetscapes, and walls will establish the design theme for the community by reinforcing the design hierarchy and by providing a reassurance of the community areas and boundaries. These features are created through a thematic blend of hardscape and planting elements.

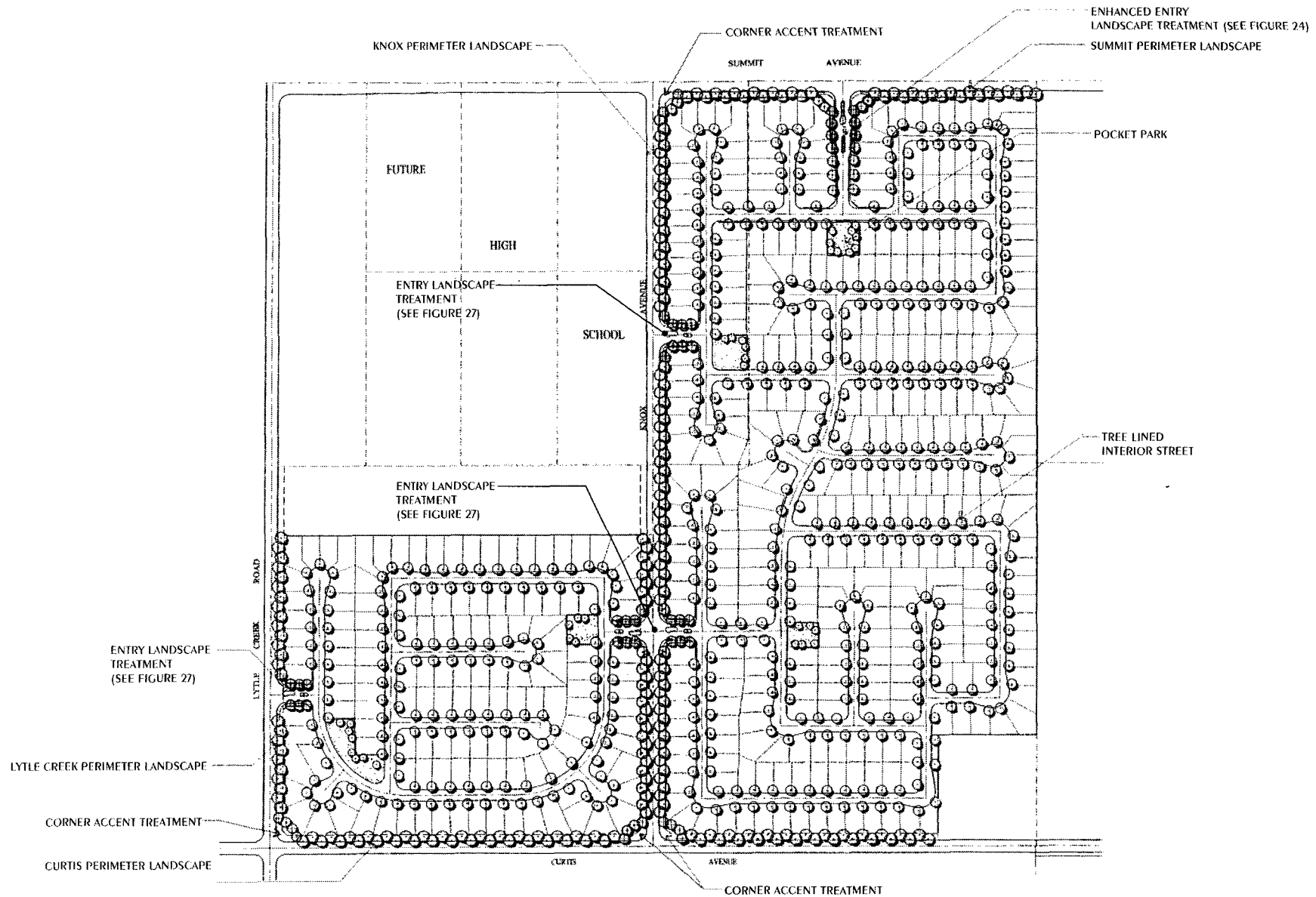
The landscaping plan of CITRUS HEIGHTS calls for a compatible plant palette of trees, shrubs, and ground covers. Once a particular plant or plant combination is used for a particular application, it shall be repeated in similar areas of the community to reinforce a sense of neighborhood cohesion. Landscape design shall not, however, result in monotony or lack of variety or biological diversity. The following is a description of landscape elements for the Specific Plan. These elements shall be detailed at the site development plan or other discretionary permit for each planning area. The landscape design is based on the vision and goals of the CITRUS HEIGHTS Specific Plan.

B. STREETS: STREETSCAPES

Landscaping of perimeter and internal streets will provide continuity throughout the community and create an appropriate link with adjacent areas. Street trees within the CITRUS HEIGHTS Specific Plan area will reflect the community's design theme and be selected from the project's plant palette. Street tree placement and design may include a single street tree used along all the streets in a neighborhood, or may include a dominant street tree along with accent street trees used at strategic points along the street, such as clustered at intersections or at curves to break up long uninterrupted lines. Landscaping of Summit Avenue, Lytle Creek Road, Knox Avenue, and Curtis Avenue will establish the main planting theme for the community.

1. **SUMMIT AVENUE**

Summit Avenue forms the northern boundary of the project site and runs in an east-west alignment. A combination of planting schemes will make up the Summit Avenue streetscape as illustrated on the *Summit Avenue Streetscape*,



NOTES:
THIS IS A CONCEPTUAL LOTTING DESIGN FOR ILLUSTRATIVE PURPOSES ONLY. INDIVIDUAL LOT LAYOUT DESIGNS ARE TYPICAL AND BASED ON THE DESIGN REQUIREMENTS OF THE CITRUS HEIGHTS DESIGN GUIDELINES AND DEVELOPMENT STANDARDS. ACTUAL DEVELOPMENT MAY VARY.

SOURCE: SITESCAPES

FIGURE 17
CONCEPTUAL LANDSCAPE PLAN

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Figure 18. The streetscape will contain a 6' sidewalk that meanders within a landscape area planted with turf, low shrubs, and trees. A 14' center median will be constructed and will incorporate a formal row of palm trees with low shrubs. A variable width landscape area will be installed along the project frontage.

2. KNOX AVENUE

Knox Avenue traverses the project site and runs in a north-south alignment. A variable width parkway and landscape development zone adjacent to the community theme wall will be planted with a double row of triangularly spaced trees. A riverrock hardscape treatment will also be provided within the variable width parkway and will cover approximately $\pm 20\%$ of the streetscene. A 5' meandering sidewalk will occur between these two landscape areas. Knox Avenue will be constructed as a public collector road built to City of Fontana standards with a 68' wide right-of-way condition as illustrated on Figure 19, *Knox Avenue Streetscape*.

3. LYTLE CREEK ROAD

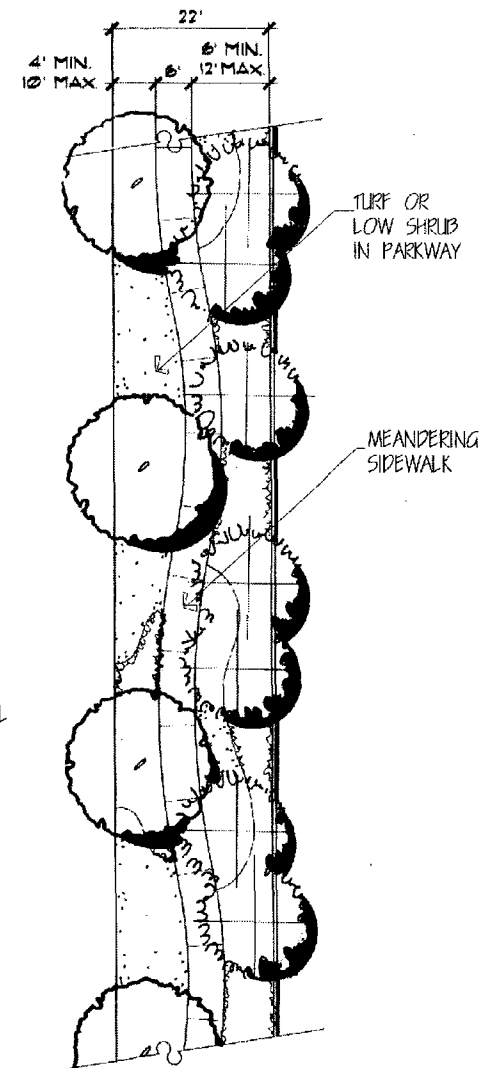
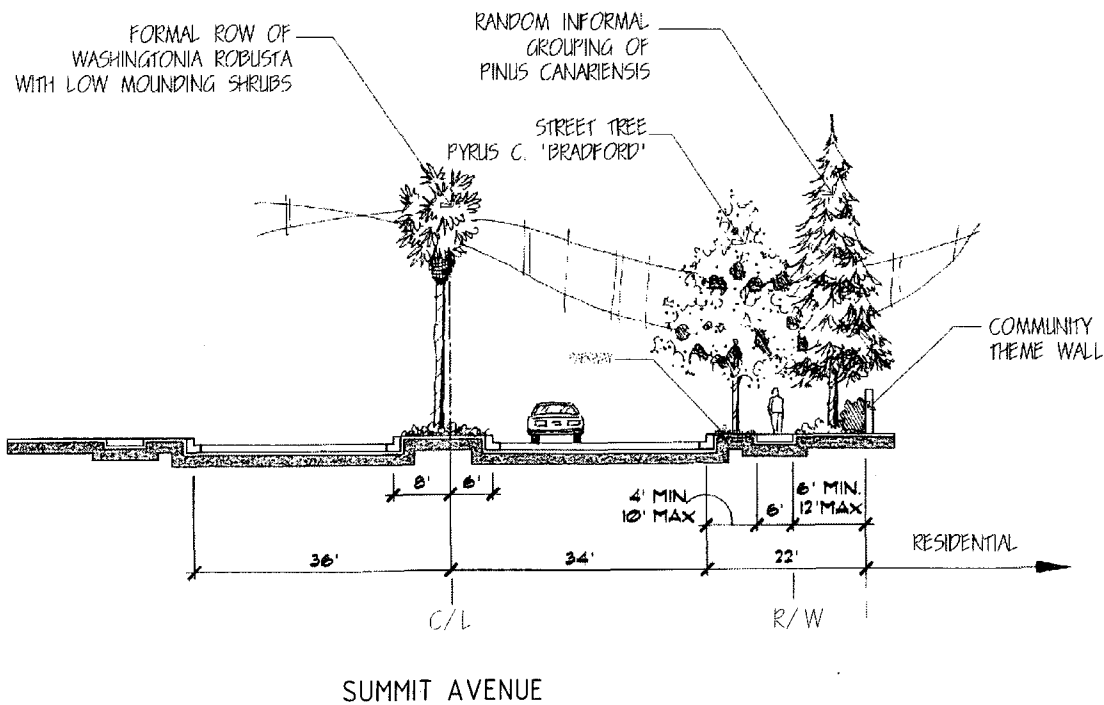
Lytle Creek Road forms the western project boundary and half-width improvements, including landscape enhancements, will be constructed as a part of the CITRUS HEIGHTS project. As a collector road, the streetscape will incorporate a 68' wide right-of-way condition, including a 5' sidewalk lined with perimeter theme trees, street trees and turf as ground cover in a 6.5' parkway. Please refer to Figure 20, *Lytle Creek Road Streetscape*, for a description of the streetscape design.

4. CURTIS AVENUE

Curtis Avenue, which also serves as a public collector road, forms the southern boundary of the project site and runs in an east-west alignment. A landscaping theme will be applied to Curtis Avenue, including a 5' meandering sidewalk lined with street trees and turf in a parkway ranging from 4' to 10' in width. A random informal grouping of larger trees will be planted in a variable width landscape development zone adjacent to the community theme wall and sidewalk as illustrated on Figure 21, *Curtis Avenue Streetscape*.

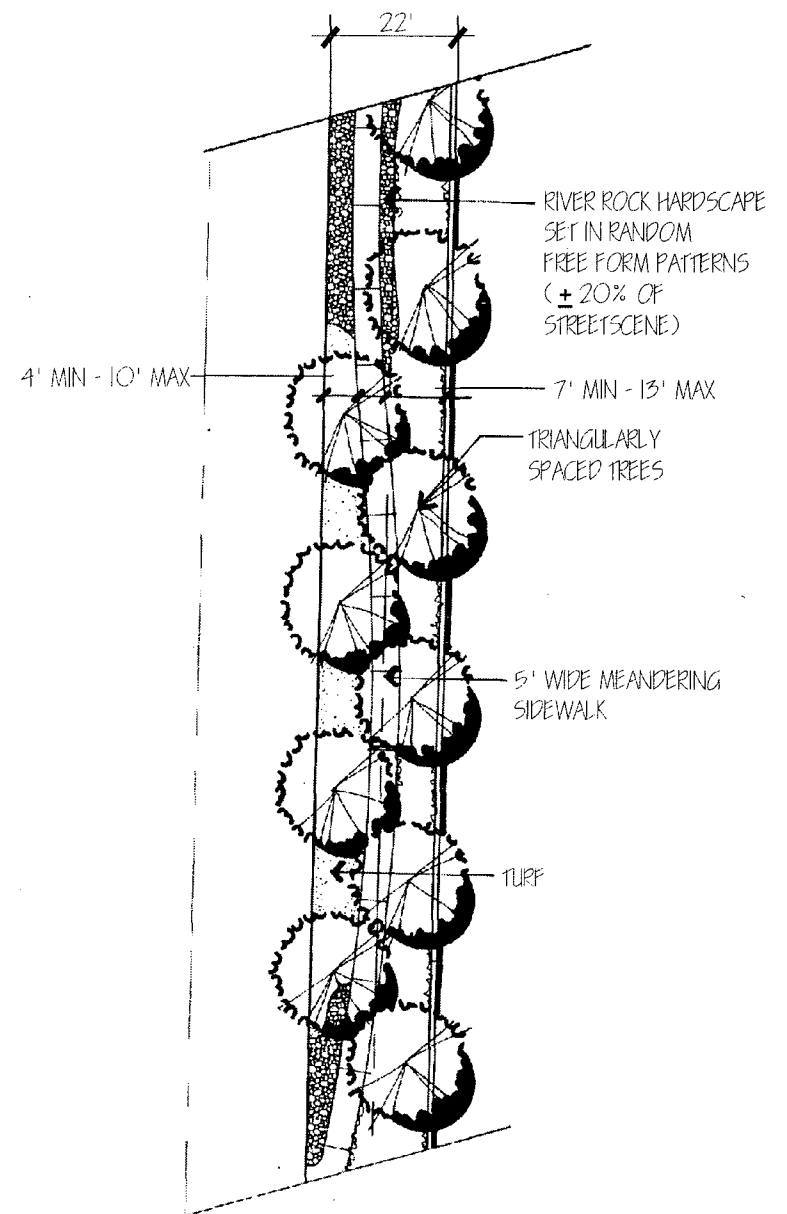
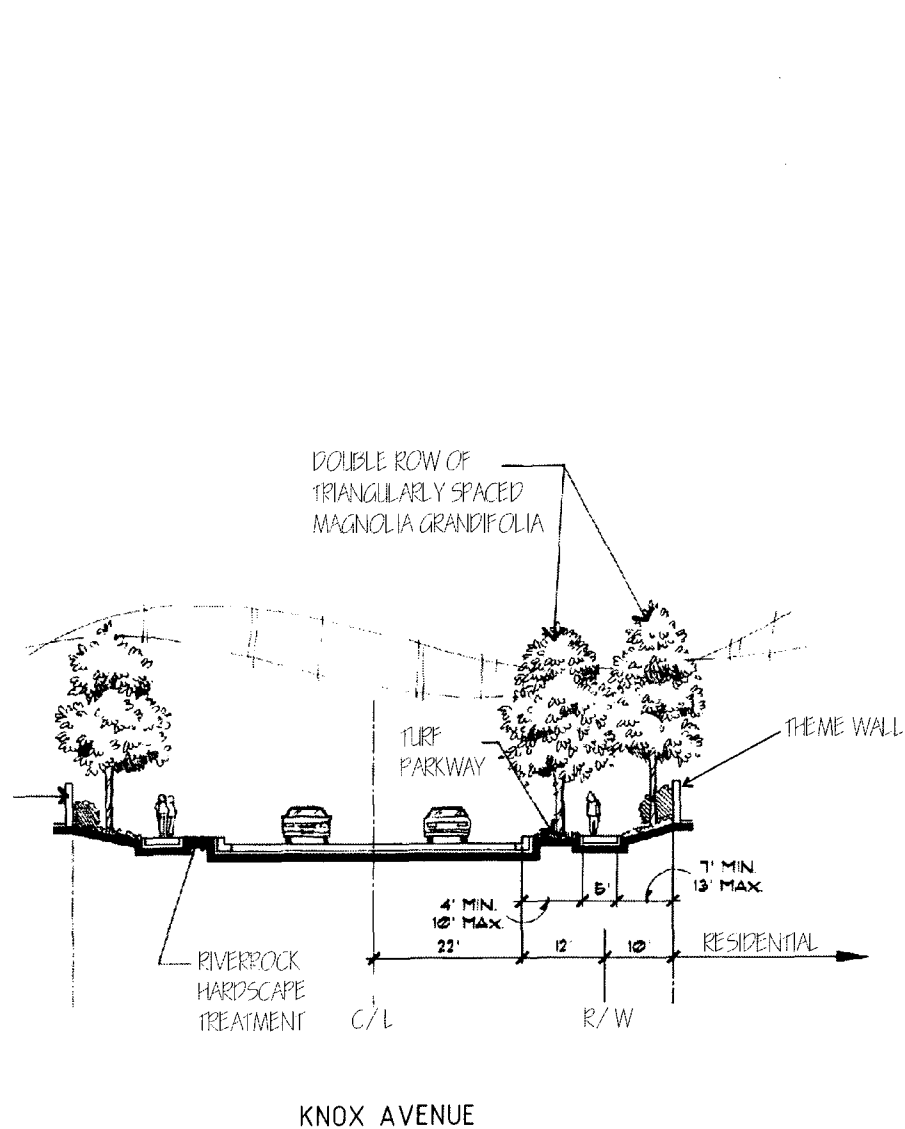
5. INTERNAL PRIVATE ROADS

Because CITRUS HEIGHTS will be a private, access-controlled residential community, roads within the site will be constructed to private street standards. A 47' or 51' wide right-of-way condition will be incorporated, and the landscape concept will utilize canopy trees as an important element of internal community design. Please refer to Figure 22, *Internal Private Road Streetscape*, for specific locations and detailed street dimensions.



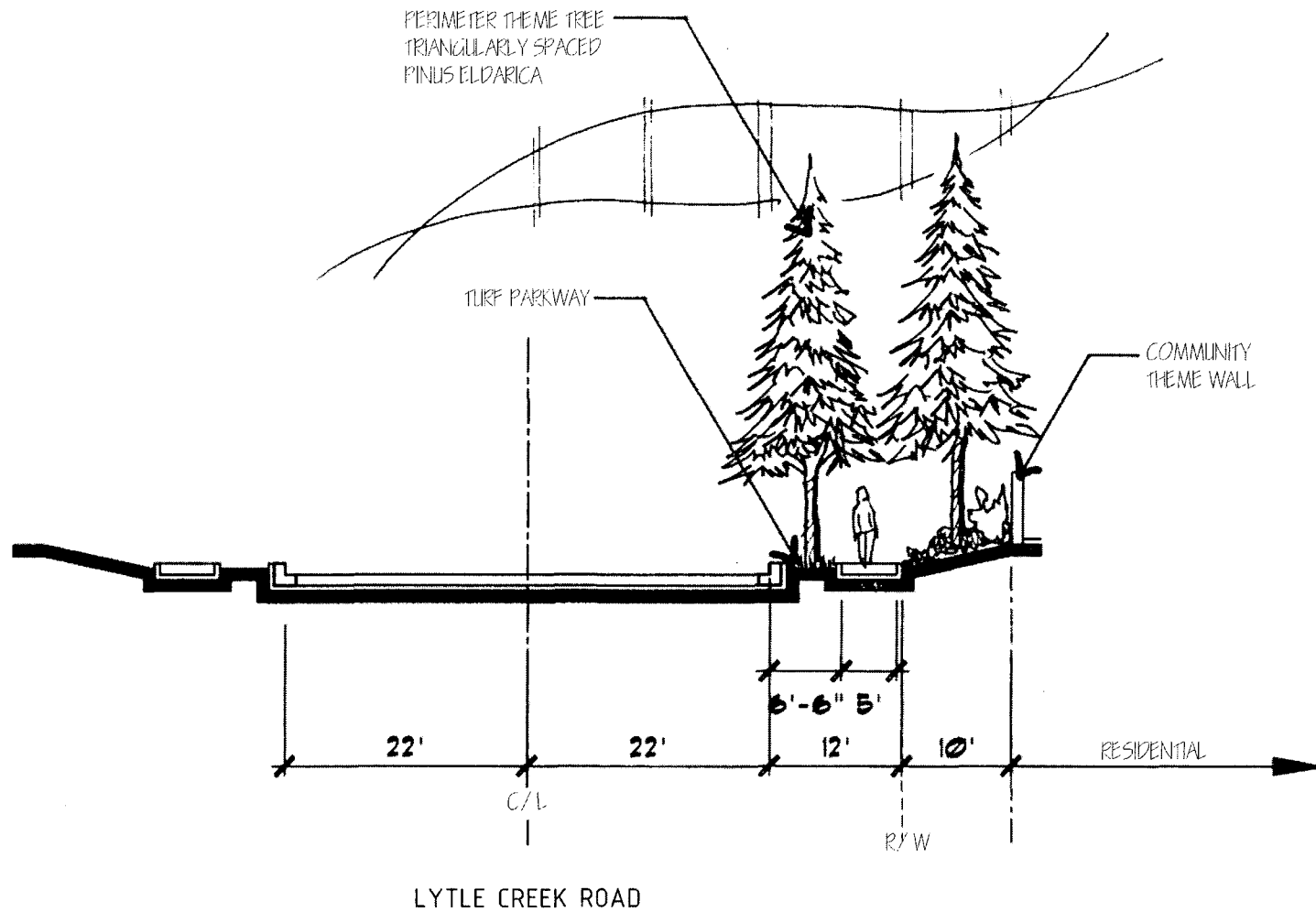
SOURCE: SITESCAPES

FIGURE 18
SUMMIT AVENUE STREETSCAPE



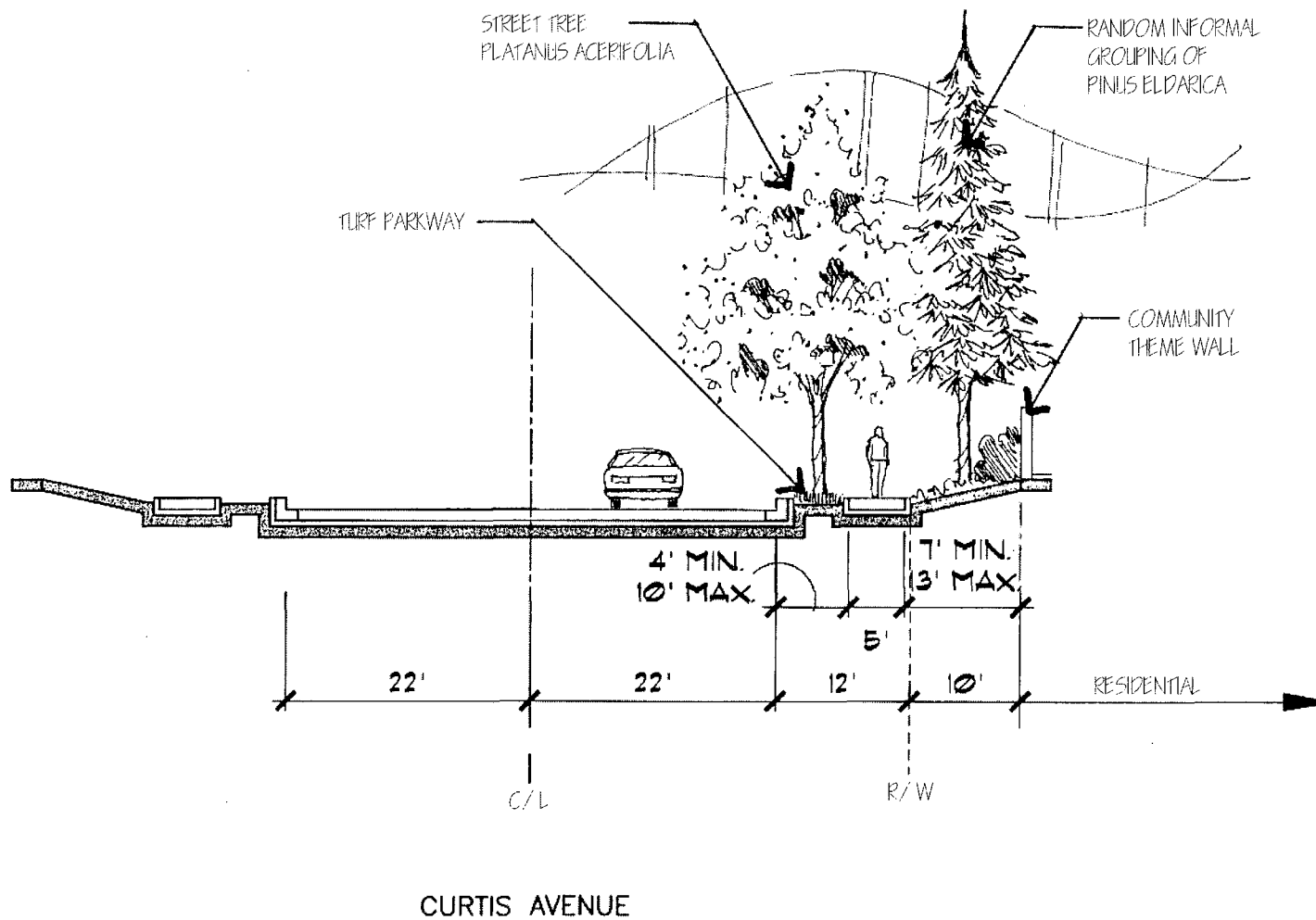
SOURCE: SITESCAPES

FIGURE 19
KNOX AVENUE STREETSCAPE



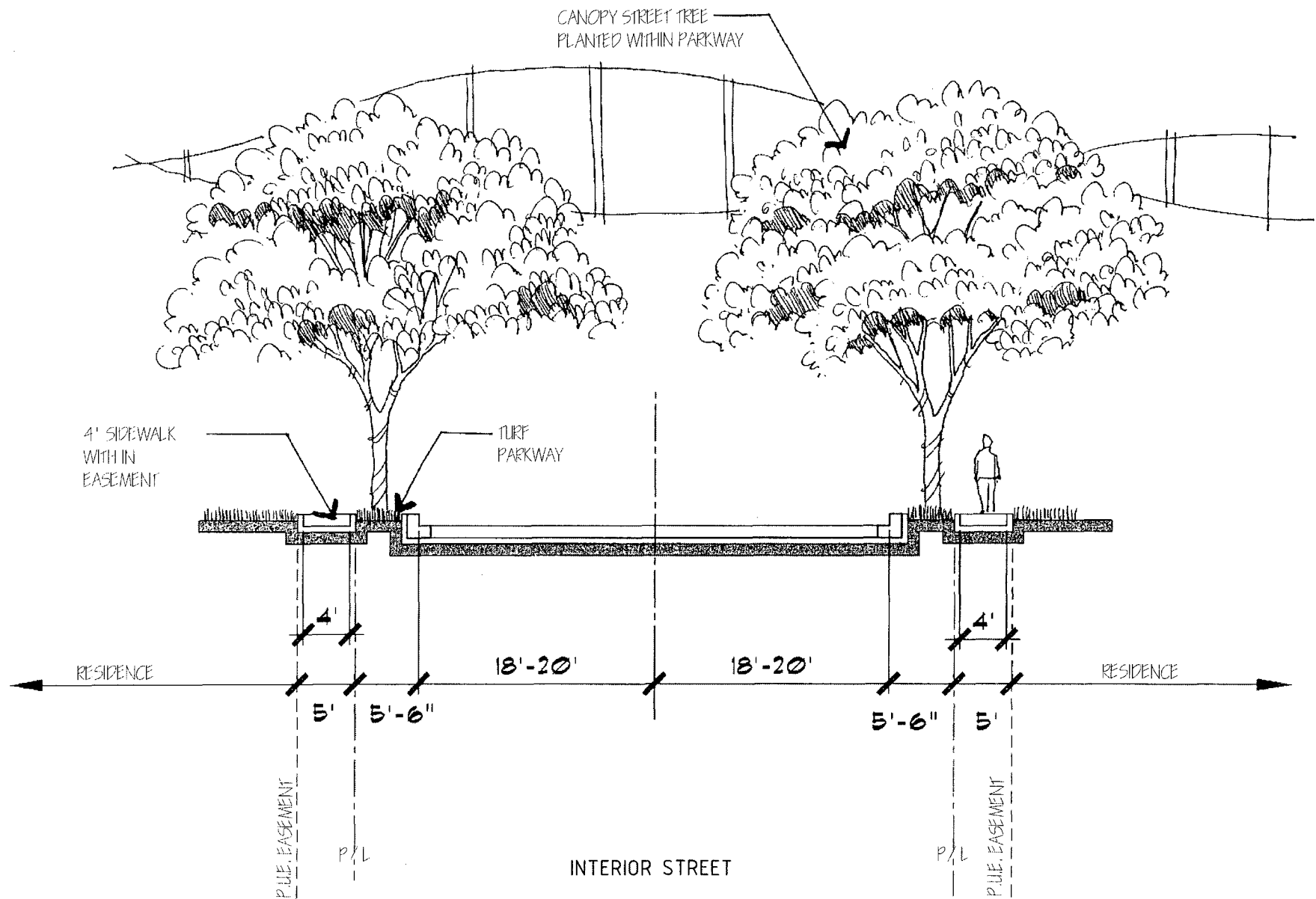
SOURCE: SITESCAPES

FIGURE 20
LYTLE CREEK ROAD STREETSCAPE



SOURCE: SITESCAPES

FIGURE 21
CURTIS AVENUE STREETSCAPE



SOURCE: SITESCAPES

Figure 22
INTERNAL PRIVATE ROAD STREETSCAPE

CITRUS HEIGHTS – Specific Plan

C. COMMUNITY ENTRY MONUMENTATION

Entry monuments serve several important purposes and careful consideration has been given to the design of community entries. The intent of community monumentation design is to create visual gateways into CITRUS HEIGHTS and to provide aesthetically pleasing entry statements that highlight the distinctiveness of the community. The *Conceptual Landscape Plan*, Figure 17, shows conceptual locations of entries for the CITRUS HEIGHTS community and individual planning areas with the Specific Plan.

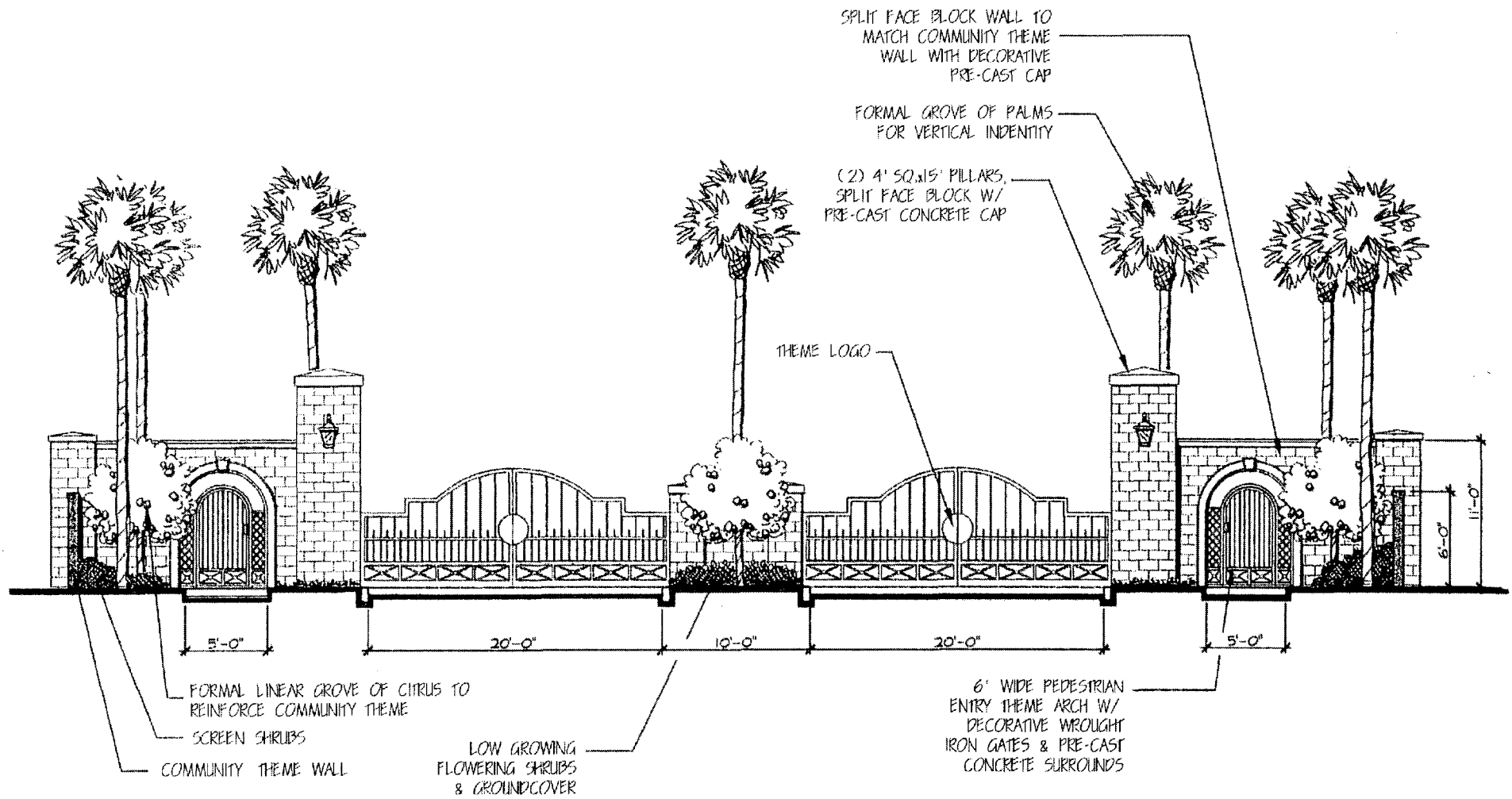
Entry monumentations will be established within the CITRUS HEIGHTS project at Summit Avenue, Knox Avenue, and Lytle Creek Road. The CITRUS HEIGHTS Specific Plan provides for entries in areas that will define a more intimate and related grouping of streets and homes. Described below are the landscape and hardscape designs envisioned for community entries within CITRUS HEIGHTS. The design and architectural elements of entries shall be compatible and consistent with the Specific Plan theme elements of CITRUS HEIGHTS. Each entry statement consists of a combination of signage, lighting, and landscaping. A more detailed description of signage and lighting standards is located in Sections F and G of this Chapter.

▪ **SUMMIT AVENUE ENTRY**

The entry monumentation at Summit Avenue establishes the character for all community monumentation treatments, emulates the unique landscape theme for CITRUS HEIGHTS, and provides a strong landmark which reinforces the distinctiveness of the community. This focal point entry is intended to utilize plant palettes and hardscape materials which contribute to the consistent implementation of the CITRUS HEIGHTS landscape design theme. The *Summit Avenue Entry Landscape Detail* and *Summit Avenue Entry Landscape Detail – Plan View*, Figures 24 and 25, provide conceptual illustrations of this focal point entry.

▪ **KNOX AVENUE AND LYTLE CREEK ROAD ENTRIES**

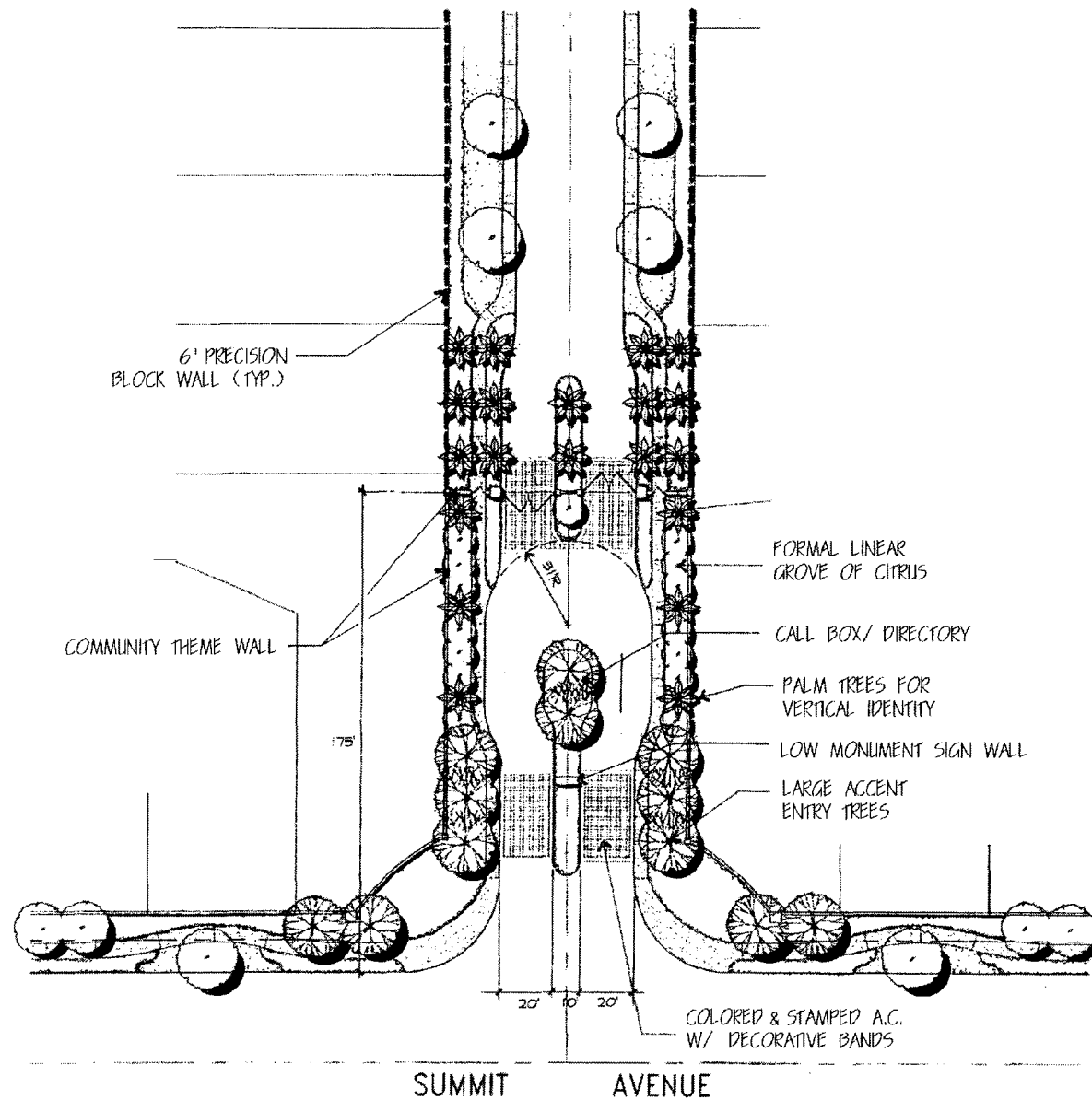
In addition to the focal point entry at Summit Avenue, three additional entries will be provided. At Knox Avenue, two entries will occur. The southerly Knox Avenue entry will provide access into Planning Areas 1 and 2 and the northerly Knox Avenue entry will provide access into Planning Area 2. One entry will occur at Lytle Creek Road to serve Planning Area 1. These entries will convey the overall community identity by selectively repeating the plant palette and theme used at the focal point entry, but at a less intense scale. The foreground will be planted with small flowering trees, colorful shrubs, and ground cover. Conceptual illustrations and designs are provided on Figure 25, *Knox Avenue and Lytle Creek Road Entry Landscape Detail* and Figure 26, *Knox and Lytle Creek Road Entry Landscape Detail – Plan View*.



SOURCE: SITESCAPES

FIGURE 23
SUMMIT AVENUE ENTRY LANDSCAPE DETAIL

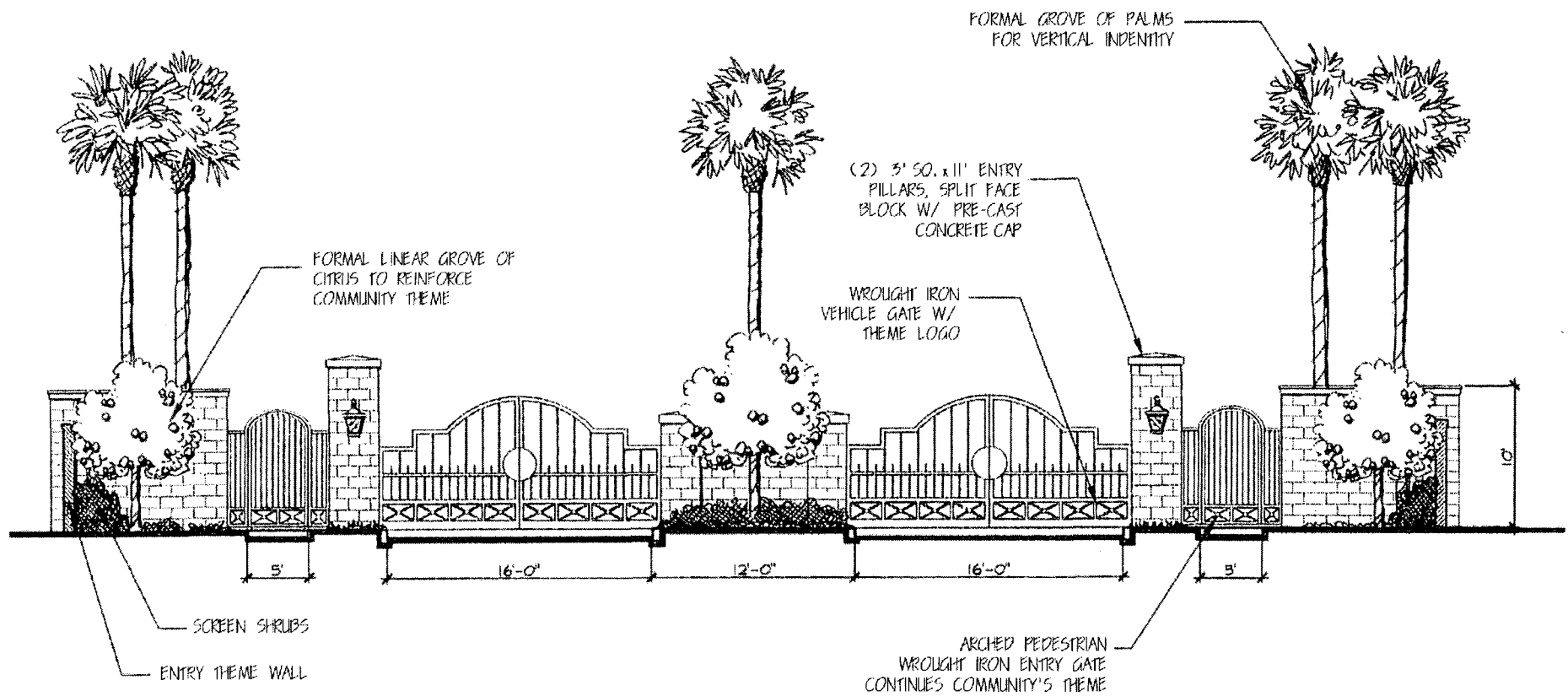
CITRUS HEIGHTS



SOURCE: SITESCAPES

FIGURE 24
SUMMIT AVENUE ENTRY LANDSCAPE DETAIL - PLAN VIEW

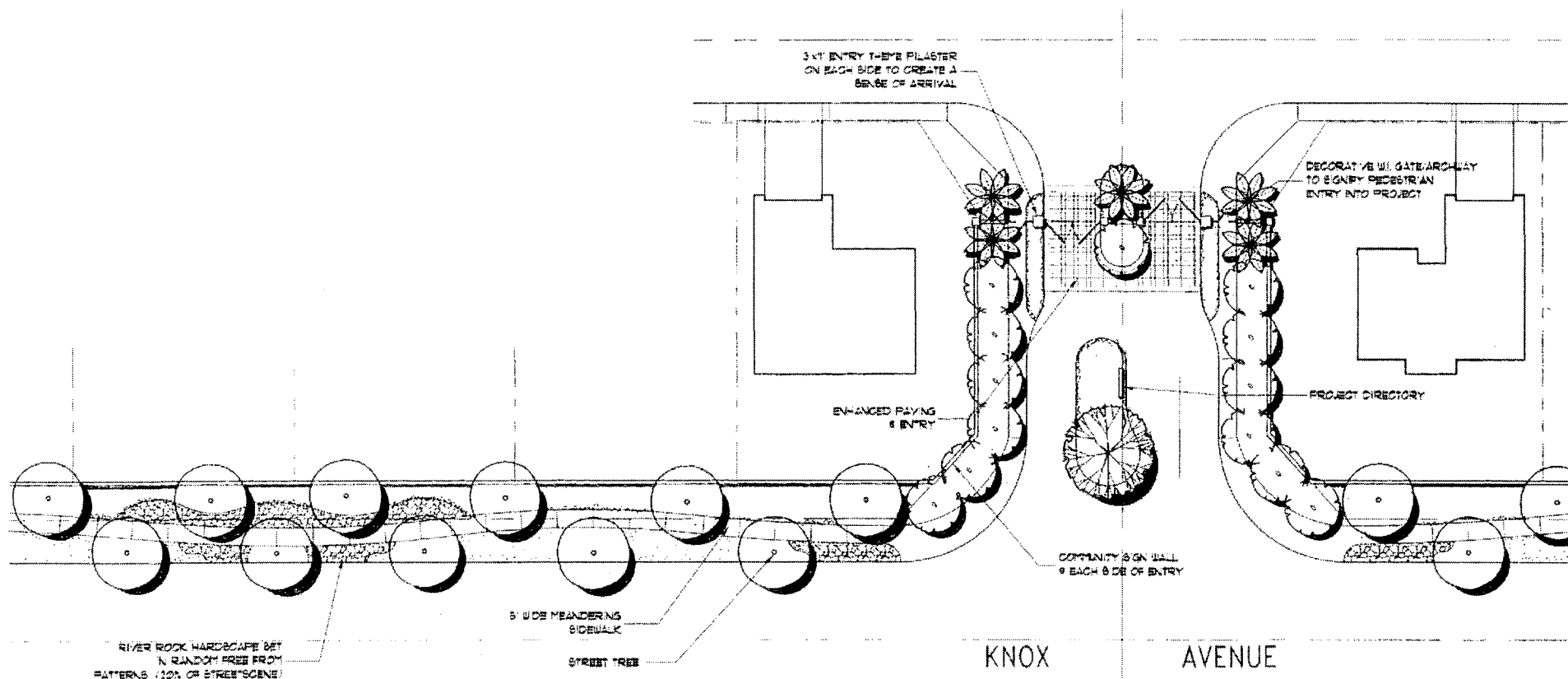
CITRUS HEIGHTS



SOURCE: SITESCAPES

FIGURE 25
KNOX AVENUE AND LYLE CREEK ROAD
ENTRY LANDSCAPE DETAIL

CITRUS HEIGHTS



SOURCE: SITESCAPES

FIGURE 26
KNOX AVENUE AND LYTLE CREEK ROAD
ENTRY LANDSCAPE DETAIL - PLAN VIEW

CITRUS HEIGHTS – Specific Plan

D. POCKET PARKS

A minimum of four pocket parks will be incorporated into the CITRUS HEIGHTS project as an important element of community design. The pocket park areas are intended to serve as visual amenities and provide passive recreation for residents within the community. Pocket parks will be landscaped with a small grove of trees, shrubs, and other plant material as described in the project's plant palette. The pocket parks shall contain, but are not limited to, passive sitting areas, open space turf areas for various activities, tot lots, walkways, and decorative lighting as depicted on Figure 27, *Typical Pocket Park – Option 1*, and Figure 28, *Typical Pocket Park – Option 2*, subject to Community Development Director approval. Open turf areas in pocket parks may be vegetated with hydroseed. The exact placement, size, and design of the pocket parks will be determined at the design review stage of project implementation.

E. GENERAL LANDSCAPE STANDARDS

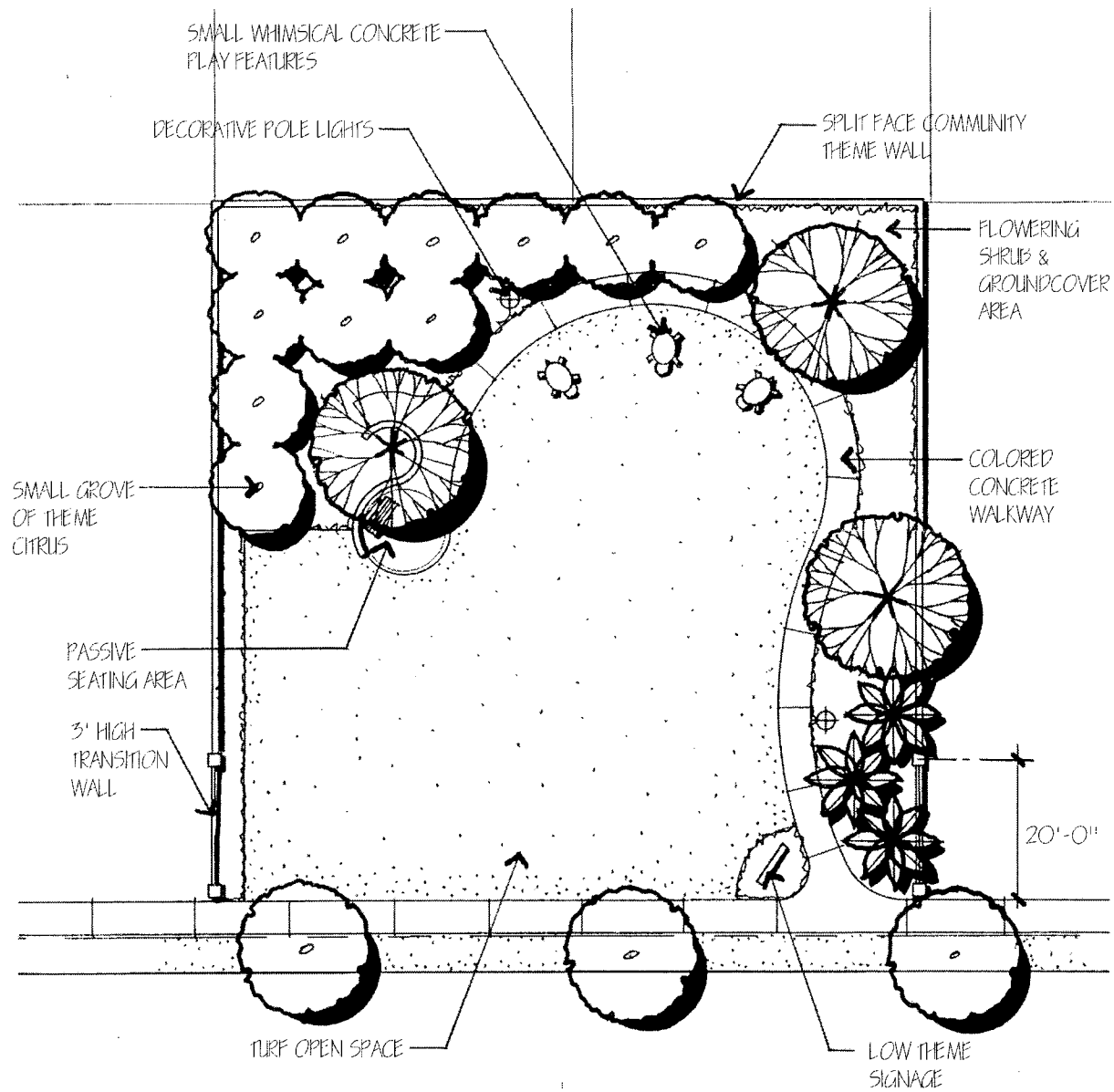
All areas required to be landscaped will be planted with turf, groundcover, shrubs, or trees selected from the plant palette contained in these guidelines. Pocket parks and common landscaped areas are permitted to be planted with a hydroseed mix. Sod shall be used for front yards. A combination of hydroseed mix and flatted groundcovers shall be used to cover areas between shrubs and trees to prevent erosion. Colorful perennials also will be a part of these plantings. Plants with similar watering requirements shall be planted together in order to simplify the irrigation systems and increase water use efficiency. Priority use of water shall be considered, meaning that visually sensitive areas are entitled to use more water than low visual impact areas. Visually sensitive areas include entries (primary and secondary) and highly traveled street frontages.

1. DROUGHT TOLERANCE

The landscape palette for the CITRUS HEIGHTS Specific Plan shall promote selective drought tolerance through the use of native and naturalizing species. All common landscape areas shall be equipped with automatic irrigation systems. Drip or bubbler irrigation shall be provided where feasible. Automatic controllers shall be equipped with automatic rain-shut-off devices and provide for various type of water management options.

2. MAINTENANCE

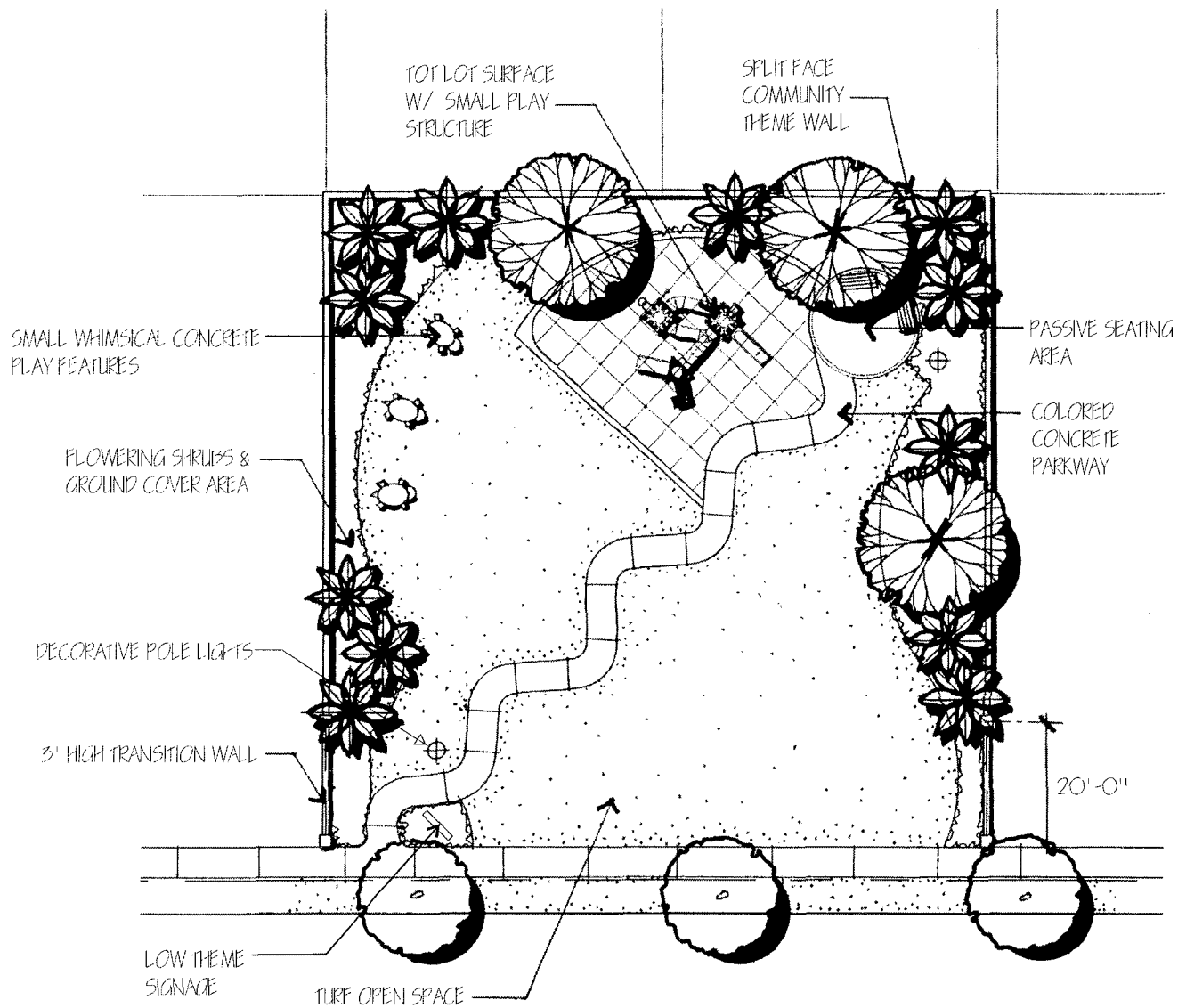
All landscape maintenance shall conform to project Covenants, Conditions, and Restrictions (CC&Rs). In general, the overall appearance of landscape shall be neat, healthy, and free of weeds and debris. All new construction shall be landscaped in accordance with a City approved Landscape Plan, and subject to City inspection of adequate maintenance levels.



SOURCE: SITESCAPES

FIGURE 27
TYPICAL POCKET PARK - OPTION 1

CITRUS HEIGHTS



SOURCE: SITESCAPES

FIGURE 28
TYPICAL POCKET PARK - OPTION 2

CITRUS HEIGHTS – Specific Plan

The homeowner's association within CITRUS HEIGHTS shall be responsible for the maintenance of all private common landscape areas within each planning area, except within individual private lots. Individual homeowners will be responsible for the maintenance of landscaped areas on individual lots. CC&Rs will set forth requirements for front yard landscaping and maintenance.

3. PLANT MATERIAL GUIDELINES

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material groupings shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting. Consideration must be given when locating trees to avoid potential long term problems with tree roots, but the City will have final approval for clearances when public facilities may be affected.

4. TREE PALETTE

The following is a listing of trees identified for use in the streets, neighborhood entries, and other special areas of CITRUS HEIGHTS. Other species can also be used, subject to approval by the City of Fontana.

- **Entries**

Phoenix dactylifera
Washingtonia robusta
Olea europaea
Citrus sinensis

Date Palm
Mexican Fan Palm
Olive
Orange Tree

- **Summit Avenue**

Pinus canariensis
Pyrus c. 'Bradford'
Washingtonia robusta

Canary Island
Bradford Pinar
Mexican Fan Palm

- **Knox Avenue**

Magnolia grandifolia

Southern Magnolia

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- **Curtis Avenue**

Pinus eldarica
Platanus acerifolia 'Bloodgood'

Mondell Pine
London Plane Tree

- **Lytle Creek Road**

Lagerstroemia indica
Pinus eldarica

Crape Myrtle
Mondell Pine

- **Internal Private Roads**

Cinnamomum camphora
Jacaranda mimosifolia
Lagerstroemia indica
Magnolia grandiflora 'Russet'
Platanus acerifolia 'Bloodgood'
Pyrus calleryana 'Bradford'
Quercus ilex
Schinus molle
Ulmus parvifolia 'True Green'
Zelkova serrata 'Halka'

Camphor Tree
Jacaranda
Crape Myrtle
Southern Magnolia
London Plane Tree
Bradford Pear
Holly Oak
California Pepper Tree
Evergreen Elm
Sawleaf Zelkova

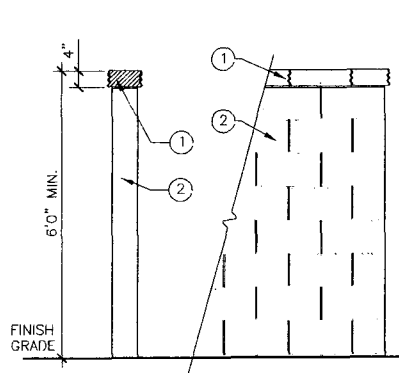
- **Pocket Parks**

Chitalpa tashkentensis "Pink Dawn"
Citrus 'Lemon'
Citrus 'Bears Lime'
Citrus sinensis
Cupressus sempervirens
Lagerstroemia indica
Olea europaea 'Wilsonii'
Pyrus calleryana 'Bradford'
Washingtonia robusta

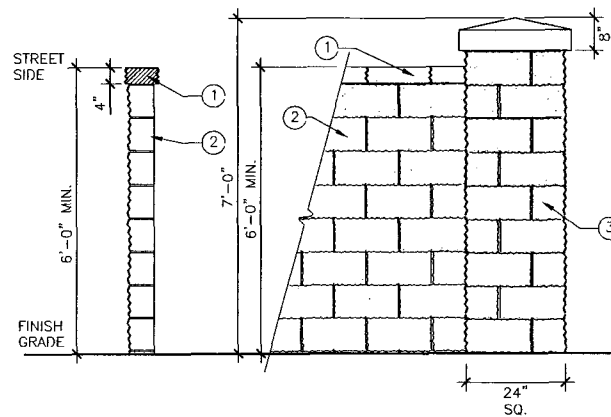
Chitalpa
Lemon
Lime
Orange Trees
Italian Cypress
Crape Myrtle
Wilson Olive
Bradford Pear
Mexican Fan Palm

F. WALLS

All walls within CITRUS HEIGHTS shall be designed as integral elements of building architecture or complementary to the architecture and landscape character. Walls will be used throughout the project area to establish community identity, provide protection from roadway and other noise, and allow privacy and security in residential areas. Two types of walls, excluding walls associated with entry monumentation, will occur within the CITRUS HEIGHTS Specific Plan, as illustrated in Figure 29, *Conceptual Theme Wall Details*. Locations for these walls are set forth on Figure 30, *Wall Plan*.



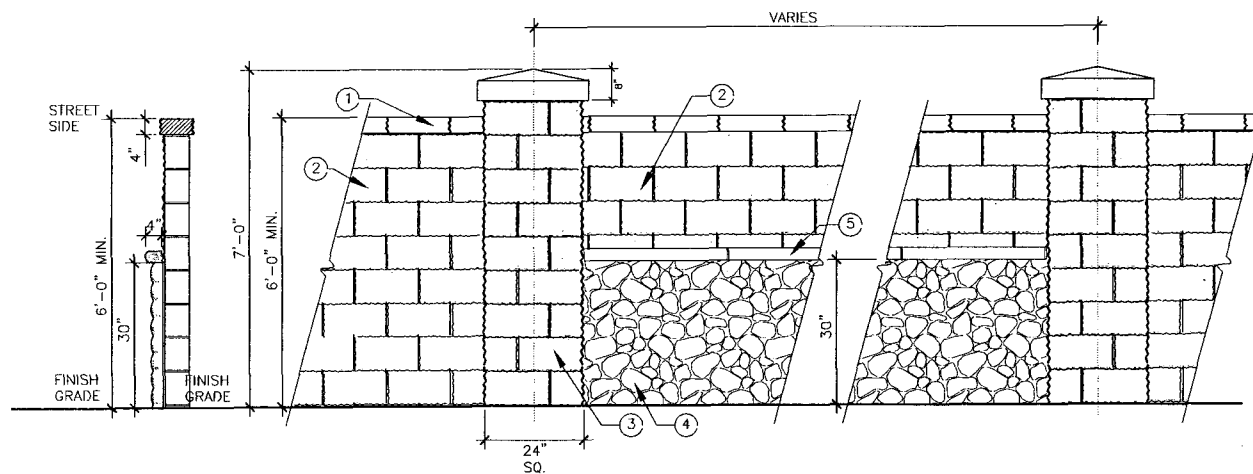
- ① 8"x4"x16" SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANGELUS BLOCK, GROUTED SOLID.
- ② 6"x8"x16" PRECISION BLOCK; COLOR TO BE # 200 BY ANGELUS BLOCK,



- ① 8"x4"x16" SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANGELUS BLOCK, GROUTED SOLID.
- ② 6"x8"x16" SPLITFACE BLOCK (1) SIDE; COLOR TO BE # 200 BY ANGELUS BLOCK.
- ③ COMMUNITY THEME PILASTER @ 100' o.c. & AT CORNERS -
 - * 6"x8"x16" SPLITFACE BLOCK ; COLOR TO MATCH WALL CAP.
 - * COLOR CONCRETE PRE-CAST CAP

6' PRECISION BLOCK WALL

6' SPLIT FACE BLOCK WALL
(COMMUNITY THEME WALL)



- ① 8"x4"x16" SPLITFACE BLOCK BOTH SIDES, COLOR TO BE #300 BY ANGELUS BLOCK, GROUTED SOLID.
- ② 6"x8"x16" SPLITFACE BLOCK (1) SIDE; COLOR TO BE # 200 BY ANGELUS BLOCK.
- ③ COMMUNITY THEME PILASTER @ 100' o.c. & AT CORNERS -
 - * 6"x8"x16" SPLITFACE BLOCK ; COLOR TO MATCH WALL CAP.
 - * COLOR CONCRETE PRE-CAST CAP
- ④ STONE VENEER
- ⑤ PRE-CAST CONC. CAP

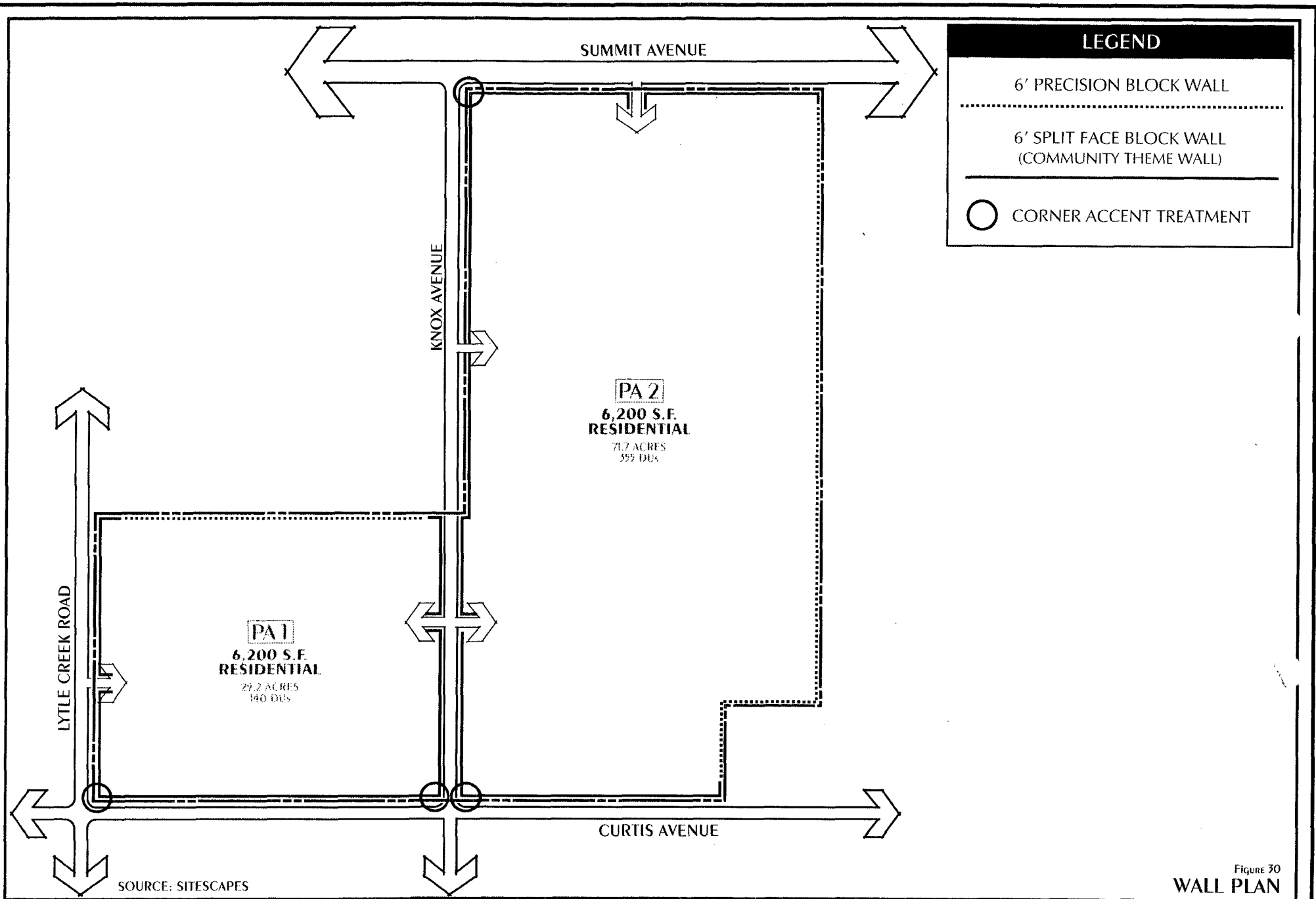
PERIMETER WALL / CORNER ACCENT TREATMENT

SOURCE: SITESCAPES

CONCEPTUAL THEME WALL DETAILS

FIGURE 29

CITRUS HEIGHTS



CITRUS HEIGHTS – Specific Plan

1. COMMUNITY THEME WALL

The community theme wall shall be a minimum of 6 feet high. The community theme wall shall be constructed of split face block pilasters, as appropriate for the architectural style and the appropriate entry statements. Where such walls tie into entry monumentation, the transition shall be made from the entry wall to the theme wall with a pilaster. Pilasters shall be provided at an average of every 100 feet, which may vary, depending on the location of the wall or property lines but shall include changes in elevation or direction. A visual accent feature shall be provided at corner theme wall treatments, including the intersections of Lytle Creek Road and Curtis Avenue, Knox Avenue and Curtis Avenue, and Knox Avenue and Summit Avenue.

2. NEIGHBORHOOD WALLS

Neighborhood walls shall be designed as an integral component and extension of the building design and surrounding landscape. Periphery walls can be integrated into the adjacent structure and extended into the landscape to help integrate the building into its environment and shall have a maximum height of 7 feet. Walls shall be constructed of materials, colors, and textures that are similar and harmonious with the architecture. Particular importance shall be given to railing and cap details. Walls may be offset occasionally to avoid visual monotony. Walls shall be used to define the limits of property ownership, as well as for the creation of exterior privacy.

3. WALL GUIDELINES

The following guidelines shall be used for all walls:

- a. Appropriate materials include stone, stone veneer, split face/precision block, tubular steel, concrete, stucco pilasters and cap, and wrought iron.
- b. Solid walls which are visible from public roadways shall incorporate design elements to reduce monotony. These elements shall include pilasters placed at average intervals of 100 feet.
- c. The placement of a wall shall minimize the visual impact of the wall and maximizes its effectiveness as mitigation for noise and privacy.
- d. Wall materials and patterns shall be compatible with adjacent building materials.
- e. Walls shall be treated as extensions of the residential structures and use materials and colors complimentary of the overall architectural design.

CITRUS HEIGHTS – Specific Plan

- f. The use of full dimension caps, pilasters, and changes in wall surfaces (staggering) is required where walls are visible from public rights-of-way.
- g. The softening of wall surfaces visible from public rights-of-way with plantings is required.

G. EDGE CONDITIONS

Perimeter edge treatments consist of the streetscape corridors which enclose the project site. Special treatment within these corridors will include ample building setbacks which will create adequate separation between public streets and private homes. The installation of landscaping treatments and a perimeter sound attenuation theme wall, in addition to building setbacks for new homes, will separate new homes from adjacent Curtis Avenue, Lytle Creek Road, Summit Avenue, and future Knox Avenue and the existing homes located south of Curtis Avenue. Streetscape landscaping will occur along the project side of each of these roadways and will include trees, groundcover, and sidewalk installation. In the three areas where a roadway does not separate the site from adjacent property, a precision block wall will be installed and building setbacks will provide separation from the property line. These areas include the southeasterly property boundary where three existing one-acre lots are located, the northeasterly boundary where a future high school site is designated, and at the easterly property boundary.

H. SIGNS

Appropriate signage is important in maintaining the community design theme, as well as providing a system for identifying community development and giving directional information to residents and visitors. Unless noted within this Specific Plan, all signs shall comply with the requirements of the City of Fontana Sign Ordinance (Chapter 3 of the Fontana Municipal Code). Individual sign programs will be submitted at the time of site development permit review for each planning area.

The following basic principles shall be considered in the provision of signs within this Specific Plan:

- 1. The design and architectural elements of the proposed signs shall be compatible and consistent with theme elements of the CITRUS HEIGHTS Specific Plan.
- 2. Signs shall relate to human scale, especially along pedestrian corridors.
- 3. The design of signs shall be compatible with and complement the architecture of the adjacent buildings.
- 4. Signs shall be designed to create a unifying theme within the community.

CITRUS HEIGHTS – Specific Plan

Signs utilized in the CITRUS HEIGHTS Specific Plan include both temporary and permanent types:

1. Permanent Signs
 - Street Signs
 - Project Identification
 - Fire Lane Signs
 - Community/Gated Entry Signs
 - Community Monumentation
2. Temporary Signs (present until the completion of project construction)
 - Marketing and subdivision sale signs
 - Future facility signs
 - Directional signs

I. LIGHTING

The design issue of “lighting” includes street lighting, as well as building and landscape accent lighting, and sign illumination. The following basic principles shall be considered in the provision of lighting:

1. Street lights shall provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures shall relate to the human scale, especially in pedestrian areas.
3. Lighting and lighting fixtures shall complement the design and character of each planning area in which they are placed.
4. All lighting shall be pedestrian oriented and friendly but shall not be obtrusive or offensive.
5. All street lighting shall be decorative and conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.
6. Illuminated entries shall consider direct lighting low to the ground and be limited to only the immediate vicinity of the entry.
7. Lighting of entries shall not be distracting, create visual hot spots, or glare.

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8. Lighting of pocket parks shall be designed to minimize light spillage onto adjacent and nearby properties.
9. Light fixtures shall be decorative and located throughout the project, including pocket parks, as approved by the Development Advisory Board (D.A.B.)
10. Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door. A sample of lighting types to be used shall be provided for Planning Commission review and approval.

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6.0 SPECIFIC PLAN ADMINISTRATION

This Specific Plan represents a framework of development for the CITRUS HEIGHTS community. Implementation of the project requires the approval of numerous additional discretionary entitlements over the life of project build-out. This section sets forth the procedures needed to implement the approved Specific Plan and the procedures required for amendment of the Specific Plan, if necessary. The methods and procedures for implementation and administration of this Specific Plan document are contained in this Chapter.

6.1 PHASING PLAN

Development within the community of CITRUS HEIGHTS shall occur in three phases. Planning Area 1, located west of the future extension of Knox Avenue is envisioned to develop in the first phase. Planning Area 2, located east of Knox Avenue, is envisioned to develop in the second and third phases. See Figure 31, *Phasing Plan*. Adjustments to the phasing sequence are permitted provided that utilities and public facilities are available to service the phase in question.

6.2 SPECIFIC PLAN ADOPTION

The City of Fontana Zoning and Development Code Section 30-15 states that:

“A specific plan may be adopted when it is deemed necessary or desirable to establish a specific plan of land uses and development standards for an area to assist with the implementation of general plan goals”

California Government Code Section 65453 (a) states that:

“A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

The CITRUS HEIGHTS Specific Plan will be adopted by Ordinance in accordance with City policy.

6.3 IMPLEMENTATION

CITRUS HEIGHTS Specific Plan will be implemented through the processing of tract maps, parcel maps, and site plans. The implementation process, as described below, provides the mechanism for reviewing precise development plans and ensuring development consistency with the Specific Plan objectives. An implementation process for the amendment of this Specific Plan and for findings of Substantial Conformance to this Specific Plan is also provided below. All development within the CITRUS HEIGHTS community is subject to the implementation procedures described herein.

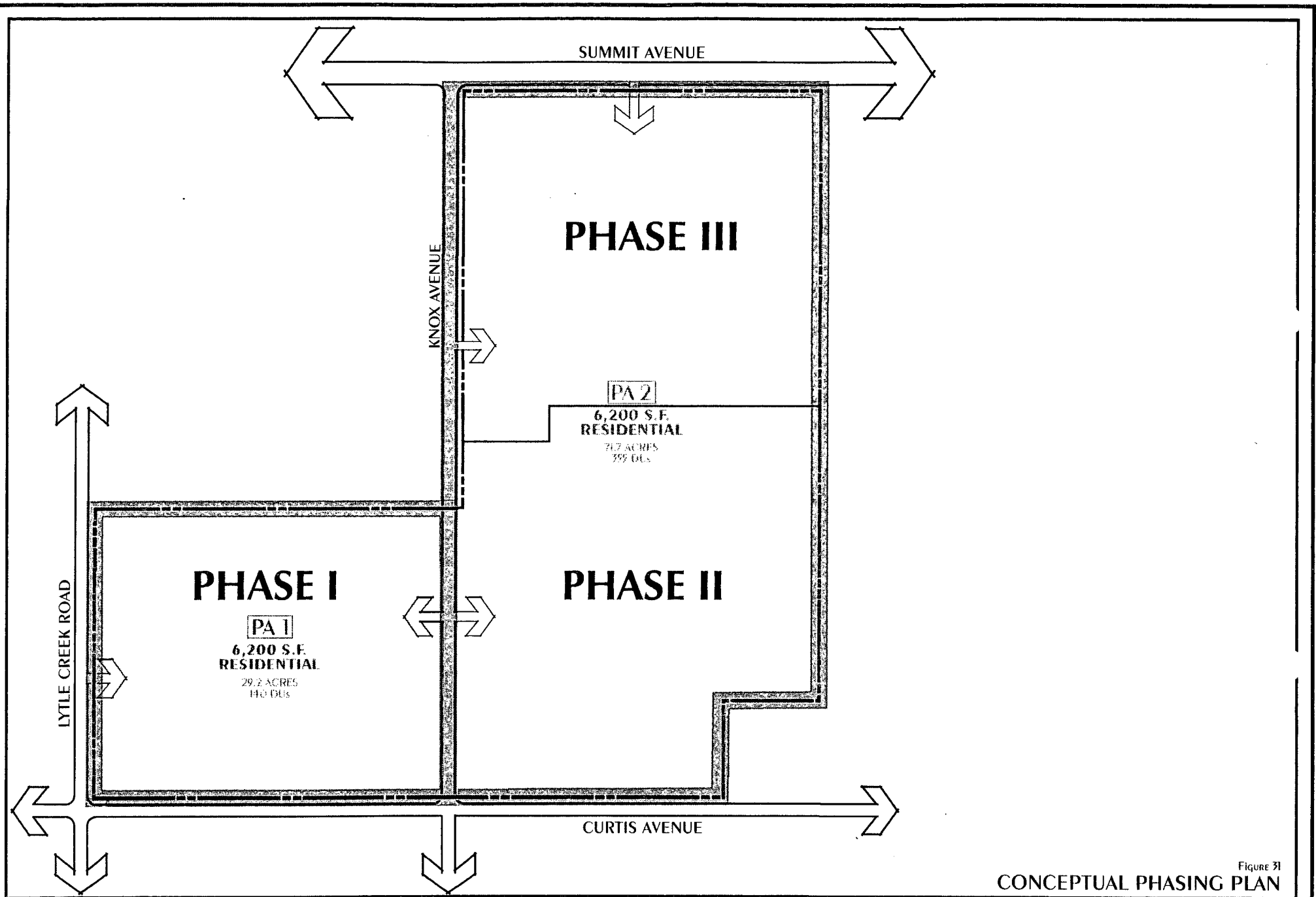


Figure 31
CONCEPTUAL PHASING PLAN

CITRUS HEIGHTS – Specific Plan

A. SITE PLAN REVIEW

1. PURPOSE

The purpose of this section is to provide a process for the implementation and review of all site plans which will be required to implement the development and construction of this Specific Plan. An application for design review is required prior to the issuance of a residential building permit within the Specific Plan area.

2. TIME LIMITATIONS

Each design approval granted through the Design Site Plan Review process shall become null and void two years after the date of approval, unless:

- a. Building permits have been obtained and successful completion of the first building and safety division inspection has commenced within this period.
- b. Any valid design review in effect at the date of adoption or amendment of this Specific Plan shall remain valid for a period of two years from the date of that design review approval or design review amendment. No further extension of time shall be granted for such design review upon expiration of that two-year period.

3. PRE-APPLICATION CONFERENCE

Prior to the filing of an application for design review, the applicant or the applicant's representative may hold a pre-application conference with the Planning Manager and other designated staff from other departments and divisions to review the procedures and criteria for the design review process.

4. APPLICATION

An application for a design review shall be filed with the Planning Division in a manner prescribed by the Planning Manager, including but not limited to, plans and elevations. Further, any improvements which are depicted on any colored rendering, elevation, or drawing which is presented to the planning commission in conjunction with a development application, shall be installed pursuant to their appearance in that colored rendering, elevation, or drawing.

5. NOTICE

Notice of hearings for design review shall be as set forth in the City of Fontana Zoning and Development Code.

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6. DEVELOPMENT ADVISORY BOARD

Design Site Plan Review applications shall be considered by the Development Advisory Board (D.A.B.), which is the reviewing body for such applications. The D.A.B. shall review the application and make a recommendation to the Planning Commission, which is the final authority under this process, unless an appeal to the City Council is timely filed and considered. The D.A.B. shall review each development proposal in an expeditious manner to determine if the application is complete.

To recommend that development project be forwarded to the Planning Commission, the D.A.B. must find from the facts presented that the following conditions exist:

- a. The design and layout of the proposed development is consistent with the applicable elements of the general plan, and the proposal is consistent with the City of Fontana General Plan and this Specific Plan.
- b. The design and layout of the proposed development will not interfere with the use and enjoyment of neighboring developments, or pedestrian and vehicular circulation.
- c. The architectural design of the proposed development is aesthetically pleasing while enhancing the character of the surrounding neighborhood and will promote quality development envisioned by this Specific Plan.
- d. The design of the proposed development would provide a desirable environment for its tenants and neighbors through the use of materials, texture and color in an aesthetically pleasing manner.
- e. The proposal meets or exceeds the special requirements of this Specific Plan and the applicable standards of the City's Zoning and Development Code.
- f. The proposed project is in compliance with all applicable federal, state, county, and city laws and regulations.

7. APPEALS

Appeals shall be made as specified by the City of Fontana's Land Development Code.

B. AMENDMENTS TO DESIGN SITE PLAN REVIEW

Any non-expired approved design review site plan is eligible to apply for an amendment pursuant to the amendment process outlined in the City of Fontana's Land Development Code.

CITRUS HEIGHTS – Specific Plan

C. SPECIFIC PLAN AMENDMENTS

Approval of this Specific Plan indicates acceptance by the City Council of a general framework for community development. Part of that framework establishes specific development standards that constitute the zoning regulations for the CITRUS HEIGHTS Specific Plan. It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the development of the project. Any modifications to the Specific Plan shall occur in accordance with the amendment process described in this section. These amendments, should they occur, are divided into two categories.

The first category, “Substantial Conformance,” as defined below, allows for minor changes to the Specific Plan without a public hearing and may be approved by the Planning Manager. All other proposed changes are considered Formal Amendments and are required to be reviewed for approval by the Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and standards of the CITRUS HEIGHTS Specific Plan.

Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. If the Amendment is deemed major by the Planning Manager, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications by the Planning Manager, as defined herein, will be processed administratively by the Administrative Review process.

Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162.

1. SUBSTANTIAL CONFORMANCE

Upon determination by the Planning Manager, certain modifications to the Specific Plan text, graphics, and/or project design may not require Formal Amendments (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Planning Manager. The Planning Manager, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- Expansions or reductions of the net acreage covered by a given Planning Area by 5% or less.
- Decrease in project density.
- Adjustment of planning areas so long as the total acreage of that planning area does not decrease or increase by more than 5% of that stated within this Specific Plan.

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- Transfer of units between planning areas of 5% or less.
- Realignment or modifications of streets serving the project, lot lines, easement locations, and grading adjustments, if also approved by the City Engineer.
- Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
- Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the City Engineer.
- Implementation of the following additional landscape treatments:
 1. Street Furniture – portals in the right-of-way
 2. Pocket Parks within neighborhoods
- Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer.
- Change in utility and/or infrastructure servicing agency.
- Collector or public road alignment revisions when the centerline moves by less than 10 feet.
- Landscape, wall material, wall alignment and streetscape design modifications which are consistent with the design guidelines contained in this document as determined by the Development Advisory Board.
- Modifications to Architectural Design Guidelines, such as variations of materials within the particular architectural style and minor variations in colors.
- Revisions to project graphics which do not substantially change the intent of the graphics in the CITRUS HEIGHTS Specific Plan.
- Modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- Specific modifications of a similar nature to those listed above, which are deemed minor by the Planning Manager, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.
- Any other proposed changes that are determined by the Planning Manager to be minor modifications.

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2. FORMAL AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code 65450, et. seq. Amendments to the Specific Plan shall be processed in accordance with applicable requirements of law which include Section 65450, et. seq. of the California Government Code.

Formal Amendments shall be subject to the review and approval of the City Council. The Planning Commission shall first hear and consider all applications for Formal Amendments to the Specific Plan. The Planning Commission shall prepare a recommendation and findings on all applications for Formal Amendments to the City Council. As required by the California Government Code, all agencies significantly affected by the Formal Amendment shall be notified of the proposed action prior to the approval of the Formal Amendment. In addition, and as required by the California Environmental Quality Act (CEQA), Formal Amendments to the Specific Plan shall be appropriately reviewed in accordance with the State CEQA Guidelines, with the City of Fontana serving as lead agency.

Any Formal Amendment to this Specific Plan initiated by an applicant shall require preliminary review by the City of Fontana Planning Manager, filing of an official application and required materials supporting the amendment, submittal of a fee deposit, Planning Commission review and recommendation and City Council review and final decision.

Amendments also may be initiated by the City Council or Planning Commission by a majority vote. All requested Planning Commission amendments shall be submitted and considered by the City Council and accepted for processing by a majority vote. Staff may initiate an amendment by submitting the requested amendment to the Planning Commission for a vote. Only the amendments accepted by majority vote of the Planning Commission shall be submitted to the City Council for consideration. The amendment shall only be accepted for processing by majority vote of the City Council.

In considering approval or disapproval of Formal Specific Plan Amendments, the City Council shall find that the proposed Amendment is in compliance with the following:

- The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of consideration.
- The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety, or general welfare.

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- The proposed Amendment is consistent with the overall design character and general community structure of CITRUS HEIGHTS as set forth in the Specific Plan's Design Guidelines (Chapter 5).
- The proposed Amendment is not likely to cause substantial environmental damage, or substantially and avoidably injure significant wildlife, or their habitat.

3. EFFECTIVE DATE

All Amendments per this Section adopted by ordinance shall take effect thirty (30) days after final adoption by the City Council.

6.4 SPECIFIC PLAN TERMINATION

If after a period of 60 months from the effective date of this Specific Plan, no actions have been taken by the applicant to develop in accordance with the provisions of this plan, the city, after publishing a concurrent 30 calendar day notice and mailing a 30 calendar day notice to the applicant, property owner(s), and property owners within 660 feet of the Specific Plan boundaries, may declare the plan null and void. Actions which would demonstrate that the applicant is in the process of developing a plan are the recording of a final tract map or parcel map or the securing of a valid grading or building permit and initiating actual construction such as to qualify vested rights.

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APPENDIX A

1. FONTANA GENERAL PLAN CONSISTENCY

This Specific Plan provides a site specific, detailed description of regulations, standards, and guidelines for implementing General Plan goals and policies and results in the overall relationship between CITRUS HEIGHTS and the City of Fontana General Plan. To achieve this, the Specific Plan must be in conformance with and be consistent with the General Plan. The California Government Code states that a “*Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent the General Plan.*”

Consistency with the General Plan is achieved when the various land uses within the Specific Plan are compatible with the objectives, policies, general pattern of land uses and programs contained in the General Plan. Consistency is defined as follows: “*An action, program, or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.*” This statement from the Governor’s Office of Planning and Research (OPR) describes how a Specific Plan should be consistent with the General Plan.

The CITRUS HEIGHTS Specific Plan implements the goals and policies of the City of Fontana General Plan. As such, CITRUS HEIGHTS is consistent with the goals and policies of the General Plan (Source: Fontana General Plan, adopted May, 1990). A detailed element by element discussion of General Plan conformance pertaining to applicable goals and policies is provided below.

A. LAND USE

- **Goal:** *Provide for a logical, orderly and environmentally sound land use strategy which establishes Fontana as a unified and economically sound community.*

Consistency: This Specific Plan has been developed in accordance with the General Plan’s land use strategy and creates logical and orderly development. The residential neighborhoods of CITRUS HEIGHTS have been carefully sited with regards to adjacent existing and proposed surrounding land uses. The CITRUS HEIGHTS development will provide additional public facilities for the North Fontana area. Furthermore, the project enhances property values, which will create a long-term positive fiscal impact to the City and offset the costs of services provided.

- **Goal:** *Protect and enhance community values by adoption of land use policies that are compatible with the local and regional environment.*

Consistency: The CITRUS HEIGHTS project responds to both local and regional issues by utilizing land uses which respond to the existing and proposed communities surrounding the development. The northern portion of the City of Fontana is partially

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undeveloped and lacks a comprehensive infrastructure system. CITRUS HEIGHTS provides needed infrastructure and roadway improvements and will contribute to further logical, coordinated growth in the North Fontana area.

B. CIRCULATION

- **Goal:** *Promote greater efficiency in transportation through the logical placement of land uses and intensities.*

Consistency: The CITRUS HEIGHTS Specific Plan is consistent with the Circulation Element of the General Plan. It provides for the improvement of Curtis Avenue and Lytle Creek Road along the project's frontage, as well as providing for the extension of Knox Avenue through the site, connecting Curtis Avenue and Summit Avenue. Street improvements for Summit Avenue are already funded by a neighboring project. The CITRUS HEIGHTS development also provides a roadway network of secondary highways, collectors, and local streets consistent with City standards.

- **Goal:** *Promote the use of other modes of transportation to reduce the dependency on the automobile.*

Consistency: The project design will encourage pedestrian walkways and bicycle riding. The use of alternative modes of transportation will be promoted by providing:

1. A safe pedestrian walkway system to encourage pedestrian movement.
2. Designated bicycle lanes to encourage safe and efficient bike transportation.

C. HOUSING

- **Goals:** *Promote equal opportunity for all residents to reside in the housing of their choice.*

Encourage the provision of a wide range of housing by location, type of unit, and price to meet the existing and future needs of Fontana residents.

Consistency: The CITRUS HEIGHTS master planned community will help fill the housing needs of a rapidly growing region of San Bernardino County. CITRUS HEIGHTS is just one of several major development projects that have been proposed and/or approved for the North Fontana region. It is estimated that approximately 75,000 people live in North Fontana, many in master planned communities such as Hunter's Ridge, Heritage Village, and Sierra Lakes. The CITRUS HEIGHTS project location furthers the existing variety of housing opportunities and enhances the North Fontana image through a strong design theme which incorporates residential and recreational uses.

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D. COMMUNITY DESIGN

- **Goal:** *Reduce/prevent conflicts between land uses in existing and future developments.*

Consistency: The CITRUS HEIGHTS Land Use Plan is compatible with existing and proposed surrounding land uses by its proposed land use design and specified landscape buffering techniques. The installation of landscaping treatments and a perimeter community theme wall, in addition to building setbacks for new homes, will separate new homes from adjacent Curtis Avenue, Lytle Creek Road, Summit Avenue, and future Knox Avenue and the existing homes located south of Curtis Avenue. Streetscape landscaping will occur along the project side of each of these roadways and will include trees, groundcover, and sidewalk installation. In the three areas where a roadway does not separate the site from adjacent property, a precision block wall will be installed and building setbacks will provide separation from the property line. These areas include the southeasterly property boundary where three existing one-acre lots are located, the northwesterly property boundary where a future high school site is designated, and the easterly property boundary. The design guidelines included in the Specific Plan (Chapter 5) provides a description of the landscaping treatment and community perimeter wall details which will produce a separation and buffer between CITRUS HEIGHTS and adjacent land uses.

- **Goal:** *Improve the image and appearance, and promote the functional efficiency of the City.*

Consistency: CITRUS HEIGHTS has been designed to enhance the North Fontana image at the City's northernmost gateway by providing an aesthetically pleasing master planned community which integrates with the character of surrounding development and promotes the people, community, and region as a whole.

E. INFRASTRUCTURE AND PUBLIC SERVICES/FACILITIES

- **Goal:** *Community services shall be provided to meet the needs for education, cultural entertainment, protection of public safety and health, and civic pride.*

Consistency:

1. The Fontana Unified School District (FUSD) will service the site. School children generated by CITRUS HEIGHTS will attend the elementary school in nearby Sierra Lakes, Almeria Middle School, and a new FUSD high school is planned immediately northwest of the project boundary.
2. The on-site pocket parks and perimeter streetscape improvements and landscaping will enhance the CITRUS HEIGHTS project, bringing a sense of pride to the community.

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buckwheat scrub and non-native grasslands. Existing species remaining in this area are sugar gum and Riversidean alluvial fan chamise. Over the years, the City of Fontana has regularly cleared and plowed the entire site for weed and fire control purposes. Topographically, the site is characterized as flat to gently sloping in a southwesterly direction. As a result, the project site does not have any distinguishing geologic formations or topographic features due to its relative flatness. The project site lacks available water resources, which results in very low wildlife activity. Development of this project site would not affect any listed or sensitive species and/or habitat and, therefore, is considered to have no impact on biological resources.

- **Goal:** *Promote and encourage energy efficiency and the use of renewable energy resources.*

Consistency: CITRUS HEIGHTS encourages the use of energy conservation devices and passive design concepts to increase energy efficiency and reduce housing operating costs.

H. OPEN SPACE/RECREATION

- **Goal:** *Recreational facilities shall be provided to meet the needs of all segments of the community for recreational activities, relaxation, and social interaction.*

Consistency: CITRUS HEIGHTS will incorporate pocket parks as an important element of community design. The proposed pocket parks are intended to both serve as visual amenities and provide passive recreation for the residents of the proposed project. Vehicular and pedestrian circulation will provide easy connection to each individual pocket park and residential neighborhood and add a sense of community identity. Furthermore, the CITRUS HEIGHTS project site is located in close proximity to numerous larger recreational facilities within the North Fontana area. Sierra Lakes Golf and Country Club is located to the east of the project site and offers recreational facilities. Two parks, including the future Ralph M. Lewis Soccer Park, also will occur within the nearby Sierra Lakes community. Additionally, the proposed Summit Heights development, located to the west of the project site, will also contain a park and will offer various recreational opportunities. Lastly, the Jessie Turner Community Center is located south of the project site and offers various types of recreational, educational, and social interaction activities to residents within the City of Fontana.

I. SAFETY

- **Goal:** *Minimize potential hazards to public health, safety, and welfare.*

Consistency:

1. Adequate police and fire protection will be available to the site, consistent with City of Fontana requirements.

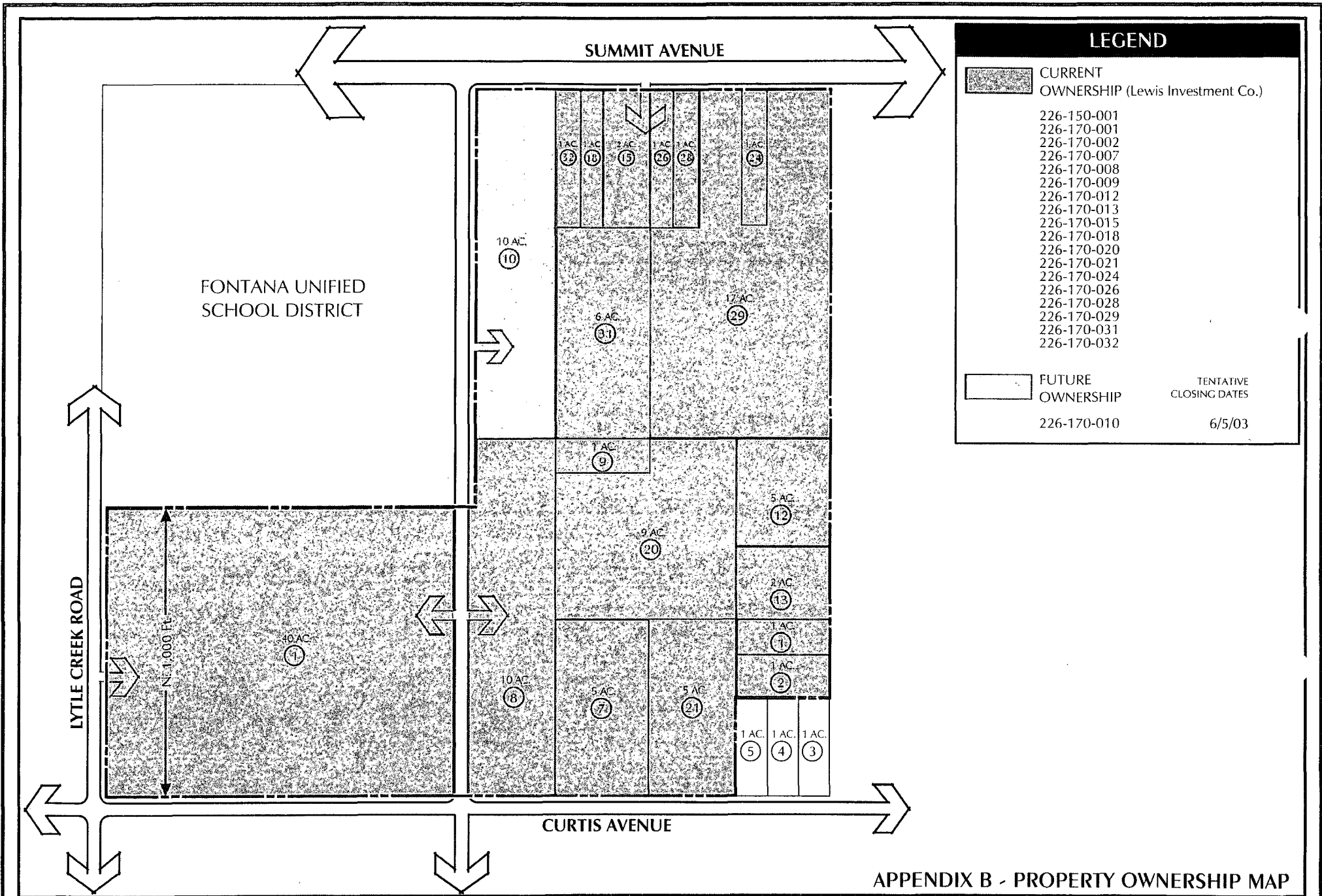
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2. The CITRUS HEIGHTS site design incorporates appropriate grading and development design standards to protect the community from flood and geological hazards.
3. The circulation system for CITRUS HEIGHTS has been designed to facilitate emergency access consistent with the City of Fontana's Public Services requirements.

J. NOISE

- **Goal:** *Provide an acceptable noise environment for existing and future residents of the city.*

Consistency: The development standards for CITRUS HEIGHTS have incorporated both State of California and City of Fontana interior and exterior noise standards for the development of residential areas. Proper sound attenuation will be provided by a combination of building setback, sound wall construction, and building type location throughout the site.



APPENDIX B - PROPERTY OWNERSHIP MAP