



## Chapter 7.0

# Design Guidelines and Landscape

These Design Guidelines are intended to provide detailed direction for the physical design of The Arboretum and provide an overview of the physical framework desired to visually unify The Arboretum villages. They also encourage the application of subtle architectural distinctions that will define each unique village and ensure that design components have a high level of quality. In essence, these guidelines promote the creation of architecture and amenities designed with timeless elements that will be appreciated as much in the future as when built. While directing a high level of design quality, the Design Guidelines provide a wide degree of flexibility to encourage creativity on the part of property owners and designers to implement the spirit of The Arboretum concept throughout the development.

The Design Guidelines are intended to be general and illustrative in nature. They are not rigid requirements; however, every development within The Arboretum must incorporate the particular attention to detail reflected in these guidelines. These Design Guidelines establish the design framework that will be used to evaluate proposed developments. The intent of these guidelines must be met in order for a project to be approved during the development review process.

Due to the breadth and depth of the guidelines and requirements presented in this chapter, there will inevitably be overlap in the topics and situations addressed in the different subsections. This overlap is indicative of the interrelated nature of the overall community design, the relationship of buildings to their surroundings and the specific architectural character of structures within The Arboretum. It is important to consider these interrelationships at every stage of the design of elements of The Arboretum community.

## 7.1 Community-Wide Design Guidelines

The community character of The Arboretum is inextricably linked to its community design. Elements of community design, such as architectural character, landscaping, lighting, and entry monumentation, combine to contribute to the community's image and identity. As discussed in Chapter 1, *Vision*, the foundation of The Arboretum is the creation of community that maintains a harmonious balance between the natural and built environment. This chapter focuses on the overall community design, and so a discussion of the relation of community design to the Vision for The Arboretum is warranted.

The guidelines in this section apply to the entire Arboretum Specific Plan and provide design guidance relating to general architectural character and design, landscape, entries and monumentation, streetscapes, intersections, pedestrian and bicycle connectivity, walls and fences, signage, lighting, and parking. They are intended to create a strong, cohesive community identity through the use of consistent design detail throughout the project area. Thus, the villages and neighborhoods of The Arboretum should be developed as distinct areas within the project while retaining the necessary characteristics for overall community identity.

### 7.1.1 Sustainable Design

Development within The Arboretum is encouraged to integrate, where feasible, principles and practices of sustainability and green design. Incorporating sustainable design from the earliest stages has benefits for both the builder and future occupants. Many sustainable design principles have minimal or no cost impacts if incorporated early in the design phase, and initial costs can frequently be offset by reduced construction time and long-term operations and maintenance savings. In addition, sustainable neighborhood design and green homes are a desirable amenity for many potential home buyers, who are often willing to pay a premium to live in a resource-efficient house and community.

For residential areas within The Arboretum, the application of sustainable best management practices is strongly encouraged. The comprehensiveness of these certification programs guarantees, for their respective types of development, the achievement of a high minimum standard. For maximum flexibility, however, the




Pedestrian paseos, courtyards and walkways tie the community together visually.





master developer and builders may implement sustainable building and development practices most appropriate to the specific context within The Arboretum.

It is encouraged that all nonresidential buildings constructed as part of The Arboretum Specific Plan be energy efficient. Programs through Southern California Edison and the Southern California Gas Company, such as the Sustainable Communities Program and the Savings By Design Program, offer design assistance, education, training and financial incentives.






Guidelines contained within this chapter that incorporate sustainable principles and practices are marked with The Arboretum leaf symbol .



Gardens, paseos and parks give the feeling of residential units within an arboretum setting



### 7.1.2 General Site and Infrastructure Design

1. Where possible, orient buildings to face onto streets, parks, and open spaces/paseos. This orientation will create more attractive, safe, and pedestrian-friendly streetscapes and public spaces.
-  2. Where applicable, create curb cuts to allow stormwater flows to drain to permeable or landscaped areas.
-  3. Where practical, use pervious or open grid paving for driveways, walkways, plazas, and parking areas. Implement small-scale design features throughout the development, such as dual-track driveways for single-family homes.
-  4. Incorporate recycled-content aggregate (reused and crushed concrete and asphalt) wherever aggregate is specified, such as drainage backfill and under driveways, sidewalks, and building slabs.
-  5. Use pervious paving materials where practical to reduce the negative effects of stormwater runoff and to facilitate groundwater recharge.
-  6. Utilize grass swales, particularly with native or drought-tolerant grasses, to collect and filter water runoff.

### 7.1.3 General Architectural Character and Design

1. Vary rooflines and building heights to create visual interest.
2. Incorporate significant architectural features, such as towers or balconies, into the design of key community buildings, such as the recreation centers. Doing so will strengthen the identity of the project.
3. Varied massing and vertical step-back in building design prevents a monotonous streetscape and is encouraged.
4. Front elevation design and materials are to wrap around the side elevation to an appropriate transition point, as determined by the Planning Division. If the rear elevation is visible from a public street, rear elevation design and materials shall also wrap around the side elevation to provide for architectural relief.
5. Quality materials shall be used in the construction of buildings.
6. Variations in style, architectural features, and colors create visual interest and are encouraged.



### 7.1.4 Entries and Monumentation

Community entries are critical opportunities to distinguish The Arboretum from surrounding developments and announce arrival into the project itself. In addition, entries are an opportunity to reinforce the overall design theme and character of The Arboretum which relies heavily on landscaping to define its unique identity.

There are four types of community entries in The Arboretum: Primary Gated; Primary Nongated; Secondary Gated; and Secondary Nongated. See Chapter 6, *Circulation and Streetscape Design*, for more detailed information and for the locations of entries throughout the Arboretum community. In addition to the primary and secondary entries, community entry monumentation and icon monumentation will be strategically located throughout the community to reinforce the design theme of The Arboretum and create a sense of identity and character at the village level.

The treatments described below provide the desired quality of entries and entry monumentation. The exact design, configuration, and content of each gateway will be determined in detailed site plans at the tract map level.

1. Primary community entries shall incorporate distinctive signage, attractive landscaping, special intersection treatments, and distinguishing elements such as monument style walls. Formal groupings of signature trees and landscaping can be incorporated into the design to create distinctive entries to the community.
2. Secondary community entries shall be marked by attractive and consistent signage or landscaping and include elements similar to those found in the primary community entries, but smaller in scale.



Examples of Water Features



Icon Monumentation



### 7.1.5 Project Signage

1. Project signage shall have a consistent design theme and color palette throughout the development to achieve a coordinated sense of identity.
2. Signage shall be of a scale and style appropriate to the area and surrounding uses.
3. Freestanding monument-style signage shall be used. Pole signs are prohibited.
4. Signs shall utilize materials and colors that are compatible with the architecture and designs of the surrounding areas.



Example of a themed monument sign



### 7.1.6 Parking

1. Parking areas shall be designed to minimize the conflict between pedestrian and vehicular traffic.
2. Parking areas shall provide clearly marked and well-lit pedestrian walkways to ensure pedestrian safety.
3. Provide tree cover and shade structures in parking lots, such as around schools and recreation centers, for shading and to reduce the amount of heat absorbed by paved parking areas. Evergreen trees that provide year-round shade are particularly useful for minimizing absorption of heat.
4. All required off-street parking (City's Municipal Code, Chapter 30, Article XI) shall be located outside of the public right-of-way and on-site. Required off-street parking will not be accommodated on any public streets.
5. Required off street parking (except for visitors parking) may be satisfied in a private gated community on privately maintained streets on one side of the street as long as a minimum drive aisle, as required by the Fire Department, is maintained.



Minimized conflict between cars and pedestrians in parking areas



Shade trees in parking area





### 7.1.7 Parks, Recreation and Open Space

1. Recreation and open space areas shall be designed to accommodate the needs of different ages and abilities.
2. Canopy trees shall be used to provide shade. Informal groupings create visual interest and are encouraged.
3. Ample outdoor furniture shall be provided. This furniture shall match the surrounding architectural styles, materials, and colors. Benches shall be placed to take advantage of views of the San Gabriel and San Bernardino Mountains.
4. A combination of hard and soft paving may be used depending upon the function of the recreational amenity.
5. Active areas may utilize turf, grasses, and ornamental plantings. Passive areas shall primarily be composed of nonirrigated or drought-tolerant species.



Integrate mature tree specimens in courtyard and open space areas



Where feasible, provide access to technology infrastructure in common recreation areas



Outdoor furniture and appropriate fencing of play area



## 7.2 Residential Design Guidelines

### 7.2.1 General Residential Design Guidelines

#### SITE DESIGN

1. The creation of pocket parks and pedestrian trails and paths within neighborhoods is encouraged.
2. On-street parking (to satisfy required off-street parking) may be provided on one side of private residential streets as long as a minimum drive aisle, as required by the San Bernardino County Fire Department, is maintained. On-street parking tends to slow traffic and serves as a barrier between vehicular traffic and pedestrians, creating a safer pedestrian environment.
3. Roadways shall be oriented to create views of neighborhood parks and other amenities. Housing shall front amenities and paseos whenever possible. All alley-loaded product (rear-loaded product), court cluster product, paseo cluster product, stacked flats or row townhomes, which require a private alley, drive, or court, shall meet the City standard for usable balconies and enhanced natural surveillance over the drive or court areas.
4. All residential site plans will incorporate Crime Prevention Through Environmental Design standards for a natural enrichment of quality of life.
5. Guest parking spaces must be located at least 10 feet from a dwelling living area and cannot be satisfied on a street.

#### ARCHITECTURAL STYLE

1. The massing, character, and detailing of the architectural styles shall be authentic to the selected styles. However, contemporary adaptation of traditional vernaculars is appropriate.
2. The choice of architectural expression must be derived primarily from the respective building typology (row towns, courtyard buildings, single-family homes, etc.). Architectural styles shall be accurate and appropriate for the building typology.

3. Whenever possible, building articulation and form shall be expressive of and driven by environmental and site conditions such as solar orientation, views, noise, prevailing winds, and local climate. Plan forms that employ features such as courtyards, plazas, and patios are encouraged.
4. Use architectural elements that form an integral part of the building and avoid ornamentation and features that appear to be of poor quality and tacked on.
5. Architectural styles and detailing are extremely important to the identity and appeal of residential neighborhoods as well as individual homes. A mix of well-defined architectural styles in each neighborhood will add to the character of the project and is encouraged.
6. Box-like home designs are discouraged. Varied architectural detailing and projections shall be used to accentuate specific features and ensure a visually pleasing and varied experience within a neighborhood.
7. Builders are encouraged to incorporate sustainable design features, such as solar panels, light shelves, eyebrows and overhangs, reflective rooftop materials, cisterns and greywater systems, and other features to reduce resource consumption.
8. Incorporate shading devices and techniques, such as roof overhangs and strategically placed deciduous trees, to minimize unnecessary solar heat gain.
9. Install architectural features that increase daylighting, such as light shelves that bounce light further into interior spaces, to reduce the need for additional electrical light.



## BUILDING ORIENTATION

1. Use residential entrances to activate the street, and utilize elements such as canopies, porches, stoops, trellises, and courtyards as transitional spaces between the private and public realms.
2. Orient buildings to face onto streets, parks, and open spaces/paseos. This orientation will create more attractive, safe, and pedestrian-friendly streetscapes and public spaces.
3. Alley-loaded cluster products help to create a pedestrian-friendly streetscape and are encouraged.



Alley-loaded design allows for homes to orient around common spaces



## VARIETY AND AESTHETIC QUALITY

1. Create identity and interest by varying floor plans and unit types. Two identical units may not be placed adjacent to each other.
2. Adjacent homes of the same architectural style shall not have identical elevations or colors. Rather, a variety of elevations, colors, and detailing is encouraged.
3. Porches, detailed entries, and stoops add to the character of a neighborhood and shall be incorporated. These features shall be varied along the street to create visual interest. If possible, these features shall project forward of a front entry garage door.
4. Entry features such as gates, trellises, arches, and arbors shall be employed to add visual interest and variety within the neighborhood.
5. Encourage the provision of “outdoor living room” spaces through architectural design that connects interior spaces to well-delineated exterior features such as patios, porches, and entries.
6. Variation in floor plans, unit types, roof form, colors, and materials add character and visual interest to a neighborhood. Two identical elevation styles may not be placed adjacent to each other.



Indoor-outdoor living



Pedestrian-scale design features that reflect the materials and colors of associated structures create variety and aesthetic quality



7. Exercise creativity and individual expression in conceiving and interpreting architectural form.
8. Apply massing breaks such as entry court and stepped-back corners to promote visibility and allow block transparency. Create variety in building mass by providing adequate vertical and horizontal offsets.
9. Avoid monotony through the utilization of varied setbacks, garage orientation and location, and building massing.
10. Designs with the garage as a dominant feature along the street are discouraged. The placement, orientation, and size of the garage shall be varied and include a mixture of front, side, rear, and alley-loaded garages as feasible.
11. Varied front and side setbacks create a more interesting street scene and are strongly encouraged.
12. Utilize a variety of architectural features and detailing methods to differentiate adjacent units. Features such as articulated entry features (porches and stoops), bay windows, and chimneys are encouraged.
13. Front-entry garage doors shall not be the dominant feature of a facade. They shall be recessed into the garage wall and shall include patterns or indentations to create visual interest. Decorative panels, windows, arched doorways, and ornamental trim are strongly encouraged.
14. Alleys shall be landscaped to improve their aesthetic quality.



Landscaped private drives for rear-loaded product enhances the quality of these semipublic areas



Porch feature



Varied massing



## 7.2.2 Building-Level Residential Architectural Guidelines

### ENHANCED ARCHITECTURAL TREATMENT

1. Enhanced architecture is encouraged for planning parcel edges along perimeter streets and major parks. Special landscape or architectural treatments such as enhanced entries or window details shall be used at main street corners and other areas with high visibility, such as at the end of paseos, main icon streets, and view corridors.

### ROOFS

1. Roof forms of each home shall be appropriate to the architectural style. Roof forms are encouraged to provide visual interest to the neighborhood. Avoid a common roofline along streets. Overly complex and distracting roofs are not encouraged.
2. Roofs shall be constructed of noncombustible materials. Acceptable materials include clay and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal.

### GARAGES

1. The front elevation shall focus on the home, not the garage.
2. Garage wall planes on the front elevations shall be furred out a minimum of 6 inches.
3. Garage door surrounds shall be articulating with trellises, trim, enhanced materials, or other methods to help minimize the architectural impact of the garage door.
4. A mix of garage door patterns (including garage doors with light) shall be used to add variety.
5. Garages shall have windows and lights per City plotting and design criteria standards.

### COLORS AND MATERIALS

1. Color schemes shall be appropriate to the architectural style.
2. Color shall be used to add variety and richness to the architecture. Color changes shall occur at the inside corners only.
3. Each elevation shall have a minimum of three colors.
4. Each neighborhood shall have a minimum of three different roof colors and profiles.
5. Use materials, color, and details to enrich building character and emphasize human scale by employing rich, durable, and high quality finishes at street level.
6. Individual single-family homes shall not have identical color schemes adjacent to one another.



The materials and colors chosen for this entry feature compliment the architectural features of the home and enhance the streetscape



## ARTICULATION AND DETAILING

1. Articulate elements such as roof overhangs, canopies, and parapets to establish hierarchy and add interest to building silhouettes.
2. Varied architectural detailing and projections shall be used to accentuate specific features and ensure a visually pleasing and varied experience.
3. Establish a clear pattern and provide articulation and rhythm of windows, doors, and balcony openings, utilizing a variety of devices such as canopies, awnings, or railings.
4. Building interaction with the street level is important to a well-defined street scene. Stairways, entry stoops, balconies, arcades, colonnades, and retail storefronts will provide a strong transition from the street to each building.
5. Trash collection, service, and loading areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Final location of loading/service areas will be approved by the City during the Development Advisory Board (D.A.B.) process.

## SCREENING

1. Storage and maintenance areas and other ancillary uses must be screened from public view.
2. Accessory structures, such as storage, refuse receptacles, mechanical equipment, backflow preventers, loading docks, security fences, and similar uses can seriously detract from the visual quality of an area. Therefore, care must be taken to minimize the visual impact of these uses through site design and visual shielding. When reasonably possible, these uses shall be located away from roadways and public views, behind buildings, or in enclosed structures. Effective shielding methods include landscaping, berms, walls and fences, and ornamental screening.

3. Accessory structures shall be designed to look like a continuation or extension of the primary structure. They shall have architectural detailing and landscaping similar to the primary structure.
4. Any equipment mounted on the roofs shall be screened so that it is not visible from the street.
5. Utilities shall be screened and/or located underground as appropriate.
6. Above ground utilities shall be screened from public view.

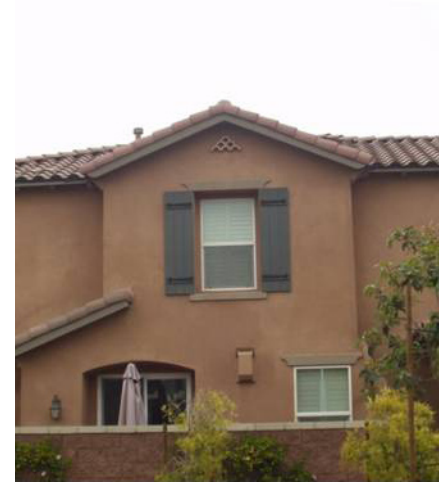


Balconies and overhangs add interest to the front elevation of homes



### 7.2.3 Multifamily Residential Treatment

1. Utilize a variety of architectural features and detailing methods to differentiate adjacent units. Features such as articulated entry features (porches and stoops), bay windows, and chimneys are encouraged.
2. Large multiple-family dwellings shall have articulated facades, including recesses and architectural detailing, to avoid a monotonous streetscape.
3. In multifamily developments, adjacent buildings shall have a variety of color and material palettes, and architectural detailing.
4. In multifamily developments, the architectural building edge shall be used in place of walls whenever feasible.



A variety of architectural features and details differentiate these multi-family units



## 7.2.4 Menu of Residential Architectural Styles

The Arboretum Specific Plan has a designated group of compatible architectural styles that are consistent with the buyer profile and landscape theme for the community's villages. The architectural styles have also been selected to allow for variety and individuality for each neighborhood. On the following pages are samples of recommended architectural styles for the Arboretum. Key defining elements of each style are included.

A minimum of three different architectural styles must be utilized within each village, and a minimum of six different architectural styles must be utilized throughout the entire Specific Plan area. One or more architectural styles may be utilized within each residential neighborhood. However, the utilization of more than one architectural style within an individual residential neighborhood is encouraged. Although only one style is required within each residential neighborhood, a minimum of three different elevations of the same architectural style must be utilized. In addition, no two identical elevations may be utilized adjacent to each other within detached residential neighborhoods. The reverse of an elevation, though, may be used adjacent to the original.

Each architectural style is represented on the following pages in the form of a summary description of its main components. These summaries will be used by the City of Fontana's Planning Division to determine if the submitted architecture plans substantially conform to the architecture styles identified in this document. Proposed architectural plans are not required to contain all the elements identified for each particular style. Rather, the matrix is intended to set forth a description of style elements and features generally associated with the architectural style.

The architectural styles for the residential uses within The Arboretum include:

- *Santa Barbara*
- *Spanish Colonial*
- *Monterey*
- *Tuscan*
- *Provence*
- *Italianate*
- *California Craftsman*
- *Prairie*
- *European Cottage*



## SANTA BARBARA STYLE



Front door appropriate to style



Light-sand stucco



Decorative metal



Southern California influenced Spanish styles popular from 1900–1930.



Recessed entry



Semi-tight rake



Decorative accent tile



Wood balcony

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>Asymmetrical/symmetrical massing</li> <li>Arched arcades</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>Covered porch</li> <li>Arcade</li> <li>Recessed entry</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>4:12-5:12 roof pitch; gable roof</li> <li>Deep eaves at selected locations</li> <li>Semi-tight rake at gable ends</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>Wood or wrought iron balconies</li> <li>Decorative patterned accent tile</li> <li>Wrought iron window grills</li> <li>Recessed windows</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>Red barrel concrete tile roof</li> <li>Light to medium sand stucco finish</li> </ul>



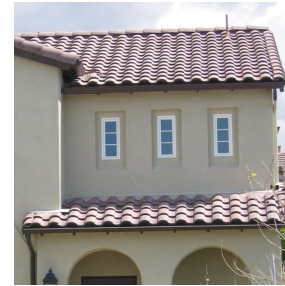


1915–1940 Spanish-inspired with Latin American design elements. Made popular after 1915 Panama-California exposition in San Diego. Features a more precise imitation of elaborate Spanish elements than the Mission Revival style

## SPANISH COLONIAL STYLE



Little or semi-tight overhang at gable ends



Vertical window proportions



Decorative shutters

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>Asymmetrical/symmetrical massing</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>Covered porch</li> <li>Arcade</li> <li>Detailed door surround</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>4:12–5:12 roof pitch; hip or gable roof</li> <li>Little or no overhang at gable ends</li> <li>Exposed rafter tails at selected areas</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>Shutters</li> <li>Wrought iron window grills</li> <li>Vertical window proportions</li> <li>Arched window or door openings</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>Concrete S-tile or barrel tile roof</li> <li>Light to medium sand stucco finish</li> <li>White and light earth tone colors</li> </ul>



Decorative metal grills



Detailed door surround



Asymmetrical/symmetrical massing



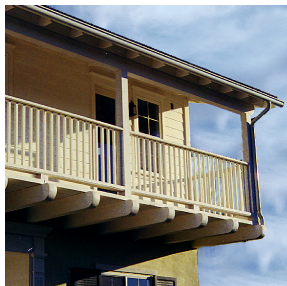
Arched window/door openings



Covered arcade at entry



## MONTEREY STYLE



Cantilevered balcony



Decorative shutters



Exposed rafter tails at selected locations



1925–1940. Blending of Spanish adobe construction with two-story colonial housing type.



Shallow roof pitch, gable roof



Second-story balcony



Paired windows



Balcony-covered entry



Accent siding at second floor



Wood corbels and balcony railing

### STYLE ELEMENTS

#### FORM & MASSING

- Cantilevered covered balcony at the second story

#### ENTRY

- Entry covered by balcony above

#### ROOF

- Shallow (4:12-5:12) roof pitch; gable roof
- Exposed rafter tails at selected locations

#### DETAILS

- Wood or wrought iron balconies
- Decorative patterned accent tile
- Wrought iron window grills

#### MATERIALS & COLORS

- Concrete S-tile or flat roof
- Light to medium sand stucco finish
- Accent siding at second story
- Accent brick or stone wainscot at the first floor





Inspired by rustic buildings of Tuscany.

## TUSCAN STYLE



Rustic stone veneer



Asymmetrical/symmetrical massing



Informal building forms

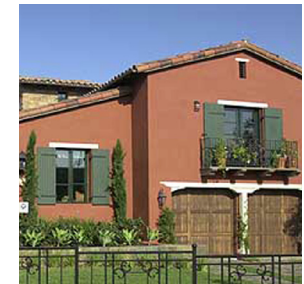
STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>• Informal building forms</li> <li>• Asymmetrical/symmetrical massing</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>• Arched door treatments</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>• Shallow (4:12-5:12) roof pitch; hip and gable roofs</li> <li>• Exposed rafter tails at selected locations</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>• Shutters</li> <li>• Wrought iron details</li> <li>• Wood or wrought iron balcony railings</li> <li>• Arched windows and window treatments</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>• Concrete S-tile</li> <li>• Light to medium sand finish stucco in rich earth tone colors</li> <li>• Rustic stone/brick veneer</li> </ul>



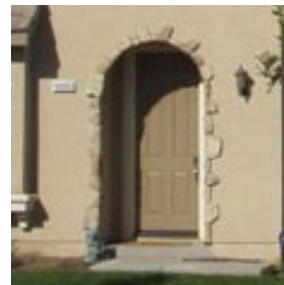
Arched windows & window treatments



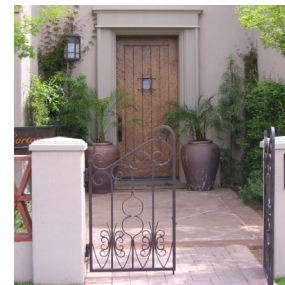
Balcony with decorative metal railings



Decorative shutters



Recessed and arched door treatments



Decorative metal detail



## PROVENCE STYLE



Decorative pot shelves



Steep pitched hip & gable roofs



Rich earth color tones



1915–1945. Inspired by the French farmhouse and chateau.



Shallow porch



Rustic stone veneer



Curved / varying roofline

### STYLE ELEMENTS

#### FORM & MASSING

- Asymmetrical/symmetrical building massing

#### ENTRY

- Arched door treatments
- Shallow porch
- Quoins at entry doors

#### ROOF

- Steep pitched secondary roofs (6:12+); hip and gable roofs
- Short overhangs (0"–12")
- Curved/varying roof line

#### DETAILS

- Shutters
- Wrought iron details
- Wood or wrought iron balcony railing
- Dormers
- Arched window or door treatments

#### MATERIALS & COLORS

- Concrete flat tile roof
- Light to medium sand finish stucco in rich earth tone colors
- Rustic Stone veneer
- Quoins at corners, windows, or entry doors
- Stone or brick accents



Arched window & door treatments



Quoins



Decorative shutters







1840–1885. Inspired by informal Italian-styled villas of the picturesque movement in Europe.

## ITALIANATE STYLE



Asymmetrical building massing



Quoins



Dentils at eaves

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>Asymmetrical/symmetrical building massing</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>Covered entry</li> <li>Front porch</li> <li>Pediment entry with stoop</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>Shallow pitched roofs (4:12-5:12), hip and gable roofs</li> <li>Deep overhangs (12"-36") with decorative brackets below and selected locations</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>Dentils or brackets at eaves at selected locations</li> <li>Paired or triple windows</li> <li>Pediment window and door treatments</li> <li>Rusticated base</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>Concrete flat tile roof</li> <li>Light to medium sand finish stucco in rich earth tone colors</li> <li>Rustic Stone veneer</li> <li>Quoins at corners, window, or entry doors</li> <li>Stone or brick accents</li> </ul>



Deep overhangs with decorative brackets below



Covered entry



Pediment window



Arched door treatment



Shallow-pitched hip roofs



Light sand finish stucco in rich earth tone colors



## CALIFORNIA CRAFTSMAN STYLE



Stone accents



Exposed rafter tails at selected locations



Battered columns with stone base



1905–1930. California style inspired by Greene and Greene.



Shallow pitched roofs with deep overhangs



Full-width front porch



Paired and triple windows



Varied building massing



Decorative knee braces



Stucco with siding accents

### STYLE ELEMENTS

#### FORM & MASSING

- Asymmetrical/symmetrical plan form
- Varied building massing

#### ENTRY

- Full or partial width front porch

#### ROOF

- Shallow pitched roofs (3.5:12–5:12); front, side or cross gable roofs
- Deep overhangs (12"–24") with decorative brackets below
- Exposed rafter tails at selected locations

#### DETAILS

- Battered, square, or 4-post columns
- Brackets or knee braces at gabled ends
- Paired or triple windows

#### MATERIALS & COLORS

- Concrete flat tile roof
- Light to medium sand finish stucco with siding accents
- Stone or brick accents







1900–1920. Inspired by the Oak Park homes of Frank Lloyd Wright.

## PRAIRIE STYLE



Hip roofs



Light body colors with dark, contrasting trim



Decorative glazing

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>Asymmetrical/symmetrical building massing with horizontal emphasis</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>Single-story front porch</li> <li>Decorative glazing or sidelights</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>Hip roofs (3.5:12–5:12)</li> <li>18"–24' overhangs</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>Heavy square columns</li> <li>Geometric window grid patterns</li> <li>Window boxes and pedestal urns</li> <li>Entry door with decorative glazing or sidelights</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>Concrete flat tile roof</li> <li>Light to medium sand finish stucco</li> <li>Light body colors with dark, contrasting trim</li> <li>Stone or brick base accents</li> </ul>



Heavy square columns



Geometric window grid patterns



Stone base accents



Front porch



Light to medium sand finish stucco



Horizontal emphasis



# EUROPEAN COTTAGE STYLE



Stone accents



Decorative pot shelves



Recessed second floor



1920–1940. Inspired by medieval Tudor and Norman country homes.



Asymmetrical/symmetrical massing



Articulated door surround



Hip and gable roofs

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> <li>Asymmetrical/symmetrical building massing</li> <li>Recessed second or third floor</li> </ul>
ENTRY	<ul style="list-style-type: none"> <li>Articulated door surround or covered porch</li> </ul>
ROOF	<ul style="list-style-type: none"> <li>Hip and gable roofs (4:12–6:12 pitch)</li> <li>6"–18" overhangs</li> <li>Semi-tight rake</li> </ul>
DETAILS	<ul style="list-style-type: none"> <li>Shutters</li> <li>Dormers</li> <li>Tower elements</li> <li>Planter boxes and pot shelves</li> </ul>
MATERIALS & COLORS	<ul style="list-style-type: none"> <li>Concrete flat tile roof</li> <li>Light to medium sand finish stucco</li> <li>Rustic stone veneer</li> <li>Stone or brick wainscot</li> </ul>



Decorative shutters



Semi-tight rake



## 7.3 Activity Center

The following guidelines apply to the commercial uses located at the northwest corner of Sierra Avenue and Duncan Canyon Road.

### 7.3.1 Site Design

1. Structures shall be designed to relate to each other and the surrounding area.
2. The placement and design of structures shall facilitate and encourage pedestrian activity and convey a physical and visual link to the adjacent residential developments, streets, and sidewalks.
3. When possible, adjacent buildings shall be designed with shared open spaces, plazas, and courtyards that can serve as employee or customer outdoor eating and gathering places.
4. Where feasible, new structures shall be clustered to create plazas and pedestrian malls. When clustering is impractical, a visual link between separate structures shall be established through the use of an arcade, trellis, or other open structure.
5. Establish a visual link in multibuilding complexes by using architectural and site design elements to unify the project.
6. Building entries shall be oriented towards the street and clearly defined.



Provision of public space in the Activity Center



Facade articulation



Distinctive architectural detailing



### 7.3.2 Architectural Design

1. Projects within the Activity Center shall utilize specialized design features, such as distinctive architectural detailing, landscaping, and lighting elements, to ensure a consistent design theme for that project.
2. Buildings shall be divided in distinct massing elements. Building facades shall be articulated with architectural elements and details. Vertical and horizontal offsets shall be provided to minimize bulk.
3. Avoid long, monotonous building facades and create diversity by clustering buildings around courtyards and open areas.
4. Avoid a single, large dominant building mass. Horizontal building masses shall not exceed a height-to-width ratio of 1:3 without substantial changes in height and projecting or recessed elements.
5. Large buildings shall have articulated facades, including recesses and architectural detailing, to avoid a monotonous streetscape. Openings shall be recessed 2 to 4 inches to further articulate the façade.
6. Vary rooflines to reduce the overall mass of the building. Parapet walls and roof systems shall be designed to conceal all roof-mounted equipment from adjacent properties and public rights-of-way. Flat roofs shall be disguised through the use of parapet walls.
7. Architectural elevations of principal buildings over 20 feet tall shall have a clearly discernible base (minimum 3'), body, and cap (consisting of a cornice, parapet, awning, or eave that do not to exceed the base height). The base and cap shall be discernible from the body by changes in color, materials, texture, pattern, or profile.
8. Utilize low reflective, subtle, neutral, or earth tone colors on the building body. Building trim and accent areas may feature brighter colors, including primary colors. Applied paint over brick and stone is strongly discouraged.
9. Utilize high quality materials on building bases, bodies, and caps.



Towers and other architectural features shall be used within the Activity Center to create a distinctive sense of place



The distinctive architectural detailing of this commercial retail project creates a consistent design theme for the project



### 7.3.3 Activity Center Entries

1. Entries shall be clearly marked, with distinctive landscaping and attractive monument-style signage.
2. Access shall be located as far from street intersections as possible.

### 7.3.4 Paving

1. A variety of paving materials shall be used to clearly delineate vehicular and pedestrian areas and to create a sense of place.
2. Decorative paving shall be incorporated into parking lot design, driveway entries, pedestrian walkways, crosswalks, plazas, and pedestrian malls.

### 7.3.5 Storage and Accessory Structures

1. Storage, loading areas, and service entrances shall be located to the rear of the structure and oriented away from noise-sensitive uses, such as residences. Landscaping, berming, and walls shall be used to buffer adjacent uses from these areas.
2. Outdoor storage areas and loading docks shall be screened from the street and adjacent uses.
3. Accessory uses and utilities shall be located behind the primary structure out of public view whenever possible. Uses that cannot be placed out of view shall be shielded with berms, landscaping, attractive walls, or decorative screening.

### 7.3.6 Parking

1. Disperse parking into multiple smaller lots as opposed to one large lot, where feasible, and screen parking with berms, landscaping, or fences.



Pedestrians should be buffered from parking lots with landscaping and sidewalks



Screening of trash receptacles



Colorful and varied paving materials add interest to sidewalks and public spaces





Quality commercial project signage

### 7.3.7 Activity Center Signs

1. Signs shall be backlit or downlit to prevent glare and spillover onto adjacent properties.
2. “Canned” signs are prohibited. Interior illuminated channel letters shall be used instead.
3. Signs shall be compatible with the building and site design in terms of color, material, and placement.
4. All signs shall be maintained in good repair.
5. Color schemes for signage shall be related to other signs and graphics in the vicinity to achieve a coordinated sense of identity.
6. The design and style of a sign shall complement the architectural style of the building to which it is attached or adjacent.
7. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings and site.
8. Signage shall be visually interesting and informative. It shall be distinctive and eye-catching yet simple and tasteful. Cluttered designs and excess advertising shall be avoided.
9. Multitenant signage is encouraged to minimize visual clutter.



## 7.4 Landscape Design Guidelines

These landscape design guidelines establish a landscape theme for the project and set forth general criteria for landscaping of the residential community for the Arboretum. The Arboretum's design guidelines are driven by the goal to create a cohesive overall community while still promoting the design of unique and interesting landscape spaces at the neighborhood level.

### 7.4.1 Community-Wide Landscape Design Guidelines

1. All landscaping shall utilize the approved trees, shrubs, and groundcovers listed in the Plant Palette found in this chapter (Table 7.4).
2. Landscaping along major roadways and at project entries shall be consistent, formalized, and composed of signature plantings from the plant palette to create an attractive and cohesive community identity. Formal plantings of nonnative species may be used at key entries and intersections to highlight these areas.



Patterned paving at pedestrian crosswalks increases pedestrian safety and enhances entries

3. Median plantings shall reflect the use of the roadway of which they are a part. Median plantings along Sierra Avenue, Citrus Avenue, and Casa Grande Avenue shall be more formal to reflect the hierarchy and character of the roadways.
4. Landscaping within paseos shall consist of informal groupings of shade trees, shrubs, and plantings. Native and other low-water species shall comprise the majority of landscaping within paseos. However, turf areas may be provided in areas intended for active use.
5. The planting of native and drought-tolerant species coupled with water-efficient and drip irrigation systems is encouraged throughout the project, especially in public or common areas.
6. As practical, utilize medians and parkways for water treatment and to reduce runoff.
7. As practical, ample street and shade trees shall be provided to create an attractive and pedestrian-friendly environment.
8. Increase tree canopy and place trees strategically to reduce energy demand for adjacent buildings, enhance roadway safety, and provide for a more aesthetically pleasing environment.
9. As practical, utilize a variety of tree types with an emphasis on trees that provide shade cover and an urban forest within The Arboretum. Also, provide formal, linear plantings of trees as windrows, with proper orientation toward prevailing winds, to mitigate the negative effect of wind on the project.



- 10. Install automated, high efficiency irrigation systems to reduce the amount of water devoted to landscaped areas, such as drip and bubbler irrigation and low-angle, low-flow sprayheads.
- 11. Encourage homeowners to select plant materials and species that are native, drought tolerant, and/or low water demand.
- 12. Minimize the use of large or inefficiently small turf areas in landscaping by incorporating water-conserving native groundcovers or perennial grasses, shrubs, and trees.
- 13. Group plants with similar water requirements together, a technique known as hydrozoning.
- 14. Increase tree cover in developed areas to reduce solar heat gain into buildings and to reduce the amount of heat absorbed by paved areas. In general, plant drought-tolerant or native tree species around and near buildings, walls, windows, and paved areas. Plant deciduous trees on the south side of buildings to allow for increased solar heat gain in winter months (reducing energy needed for heating interiors) and shading in summer months (reducing energy needed for cooling interiors).



Street trees provide shade and visual character along residential streetscapes



Groundcover and informal tree plantings



## 7.4.2 Tiered Landscape Program

Landscaping for The Arboretum shall follow a tiered planting plan as shown in Figure 7.1, *Tiered Planting*. Using different scales, forms, colors, and/or textures of plant materials “tiered” planting visually increases the depth of planters and promotes interest and diversity. The application of tiered planting is required to enhance the visual character of the project by softening the appearance of walls and fencing along major community roadways such as Duncan Canyon Road and Cypress Avenue. The tiered concept shall also be applied at the neighborhood level (along collector and local streets) and in front of individual residential units or multifamily housing projects. A selection of acceptable planting materials is found in Table 7.4, Plant Palette.



Example of tiered planting techniques

Table 7.1 General Tiered Landscaping Requirements

Tier	DESCRIPTION	SIZE
Tier A	Low spreading groundcover (1) <i>(including turf or turf substitute)</i>	Under 12” height
Tier B	Low mounding shrub/groundcover (1) (2) <i>(informal mass planting)</i>	12”-30” height
Tier C	Low hedge <i>(formal-linear)</i>	12”-30” height
Tier D	Medium shrub <i>(informal mass or hedge)</i> (2)	24”-48” height
Tier E	Large shrub <i>(informal mass or hedge)</i> (2)	42”-60” height
Tier F	Vertical accent <i>(growth habit columns rather than horizontal)</i>	42”-72” height
Accent G	Strategically located specimens	Varies

### Notes

(1) Groundcover material shall be permeable and be able to retain moisture in the root zone, as well as reduce dust and weeds. Examples of appropriate ground place materials include decomposed granite (3/8” minus with 11% fines), fractured rock (2”-6”), river rock (4”-9”), shredded bark, and ornamental grass. Groundcover should be “California-friendly”. Only landscape areas 8’x18’ in size and greater and designed for active outdoor activity shall be permitted to use turf.

(2) Shrubs shall be a minimum of 5-gallons in size; in any “multi-tier” scheme, shrubs serving as the first (shortest) tier, a 1-gallon shrub size or rooted cutting is acceptable. When four or more tiers are used, shrubs serving as the first two tiers, may be a minimum of 1-gallon in size.



# TIERED PLANTING

FIGURE 7.1

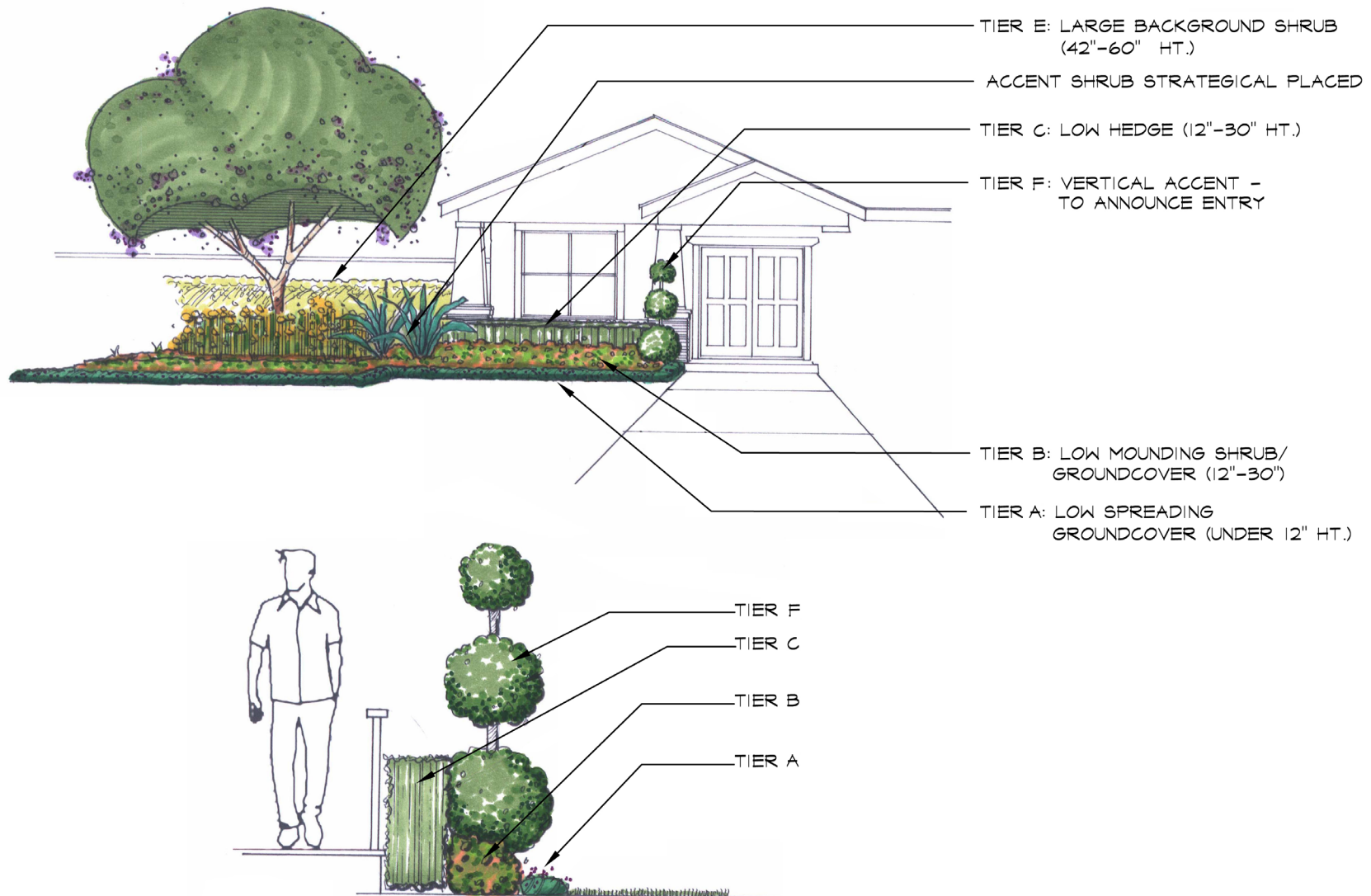


Table 7.2, Specific Tiered Landscaping Requirements, provides details on how to approach tiered landscaping in front and side yards and slopes and large open spaces. Table 7.3, Streetscape Landscaping Requirements, details sizing, spacing and other requirements for the various street typologies found within The Arboretum community. Please see Chapter 6, *Circulation and Streetscape Design*, for further information regarding the Arboretum's streetscene.

**Table 7.2 Specific Tiered Landscaping Requirements**

PLANTER WIDTH	NUMBER OF TIERS REQUIRED (Choose tiers A-G from Table 7.1)		
	Front yards	Side yards	Slopes and large open space
18" - 30"	1	1	1
30"-48"	2	2	1
48"-60"	2 or 3	2	1
60" and up	3	3	1
5'-12'	-	-	2: Second tier minimum "Tier C"
12' - 18'	-	-	3: Third tier minimum "Tier D"
18' and up	-	-	4

\* Accent planting is encouraged depending on length of planter and could, depending on its use, count as a tier.

### 7.4.3 Streetscapes

1. Streetscape elements, such as landscaping, lighting, street furniture, and signage shall create an attractive, consistent, and cohesive community image and complement the surrounding architectural styles.
2. Attractively landscaped medians shall be provided along major roadways to reduce vehicular speed, create a pedestrian-friendly environment, and ensure a pleasant community image.
3. Special patterned paving shall be provided at important intersections and pedestrian crossings within the Specific Plan area, such as the intersection of Cypress Avenue and Duncan Canyon Road.
4. Traffic-calming measures, such speed dots, will be used every +/- 650 feet in and adjacent to residential and park areas to reduce the speed of traffic and create a more pedestrian-friendly environment. Sidewalk bulbs increase pedestrian safety and comfort and shall be placed at important intersections.

At the product level, product-adjacent private spaces that are part of the public realm (i.e. private front and side yards) help creating the overall landscape tone for the Arboretum. Specific tiered-landscape requirements for front and side yards are provided to encourage the development a cohesive streetscape throughout all levels the Arboretum. Slopes and large open spaces (a minimum of 900 square feet in size and/or with 20-foot dimensions) can also serve to unite the streetscene.



**Table 7.3 Streetscape Landscaping Requirements**

	Trees	Vines	Shrubs	Unique Details
Perimeter Streets (Figures 6.3 and 6.4)	<ul style="list-style-type: none"> <li>Combination of 24- and 36-inch box trees</li> <li>Flowering accent tree groupings between 120-200 ft spacing</li> </ul>	<ul style="list-style-type: none"> <li>1-gallon minimum</li> <li>20 ft on center spacing</li> </ul>	<ul style="list-style-type: none"> <li>Tiered landscape</li> <li>1-gallon minimum</li> <li>30-inch max height for shrubs in the median</li> <li>Wood mulch or D.G. around shrubs</li> </ul>	<ul style="list-style-type: none"> <li>Option A (Specimen Tree) and/or Option B (Vineyard) to occur 3-4 times per 1,000 linear feet</li> </ul>
Duncan Canyon Road and Citrus Avenue at Easement (Requirements in addition to those for Perimeter Streets) (Figure 6.5)	<ul style="list-style-type: none"> <li>24-inch box minimum</li> <li>40 ft on center spacing</li> <li>20 ft height max</li> </ul>			
Collector Streets (Figures 6.6)	<ul style="list-style-type: none"> <li>24-inch box minimum</li> <li>40 ft on center spacing</li> </ul>	<ul style="list-style-type: none"> <li>1-gallon minimum (where applicable)</li> </ul>	<ul style="list-style-type: none"> <li>Layered between sidewalk and community wall or maintenance curb</li> <li>50% 1-gallon minimum, 50% 5-gallon minimum</li> <li>Wood mulch around shrubs</li> </ul>	
Local Streets (Figures 6.7)	<ul style="list-style-type: none"> <li>24-inch box minimum</li> <li>40 ft on center spacing</li> <li>Three trees per lot for side and corner conditions, two trees per lot for front yard conditions</li> </ul>	<ul style="list-style-type: none"> <li>1-gallon minimum (on side yards)</li> <li>10 ft on center spacing</li> </ul>	<ul style="list-style-type: none"> <li>Tiered medium scale shrubs for side-yard between wall and property line wall</li> <li>50% 1-gallon minimum, 50% 5-gallon minimum</li> <li>Wood mulch around shrubs</li> </ul>	
Arboretum Trail Streetscape (Figures 6.8)	<ul style="list-style-type: none"> <li>24-inch box minimum</li> <li>40 ft on center spacing</li> </ul>	<ul style="list-style-type: none"> <li>1-gallon minimum (where applicable)</li> </ul>	<ul style="list-style-type: none"> <li>Layered between sidewalk and community wall or maintenance curb</li> <li>50% 1-gallon minimum, 50% 5-gallon minimum</li> <li>Wood mulch around shrubs</li> </ul>	<ul style="list-style-type: none"> <li>Perimeter Street Option A and/or Option B where appropriate</li> </ul>
Alleys	<ul style="list-style-type: none"> <li>15-gallon minimum tree size</li> </ul>	<ul style="list-style-type: none"> <li>1-gallon minimum</li> </ul>		



#### 7.4.4 Landscape Districts

To ensure that the arboretum concept and theming established in the Arboretum Park extends to the residential neighborhood level (above and beyond the parks and gardens that are required), The Arboretum Specific Plan area has been divided into 13 landscape districts (Figure 7.2, *Landscape Districts*) that are comprised of multiple planning areas.

While the streetscape landscaping palette provides overall visual continuity throughout the four villages, the landscape districts were established to ensure that visual variety in the Arboretum's landscaping is achieved at the individual property and/or product level. As a result, a landscape theme will be selected for each landscape district that is based upon the planting materials used in one of the community gardens that are required in each village. Variations in the landscape themes will occur between adjacent landscape districts to visually create a distinctive sense of place for each district.

The landscape district delineations shown in Figure 7.2 are provided for reference only. District boundaries, garden theme selection, and each landscape district plant palette shall be refined and finalized during the tentative tract map approval process.





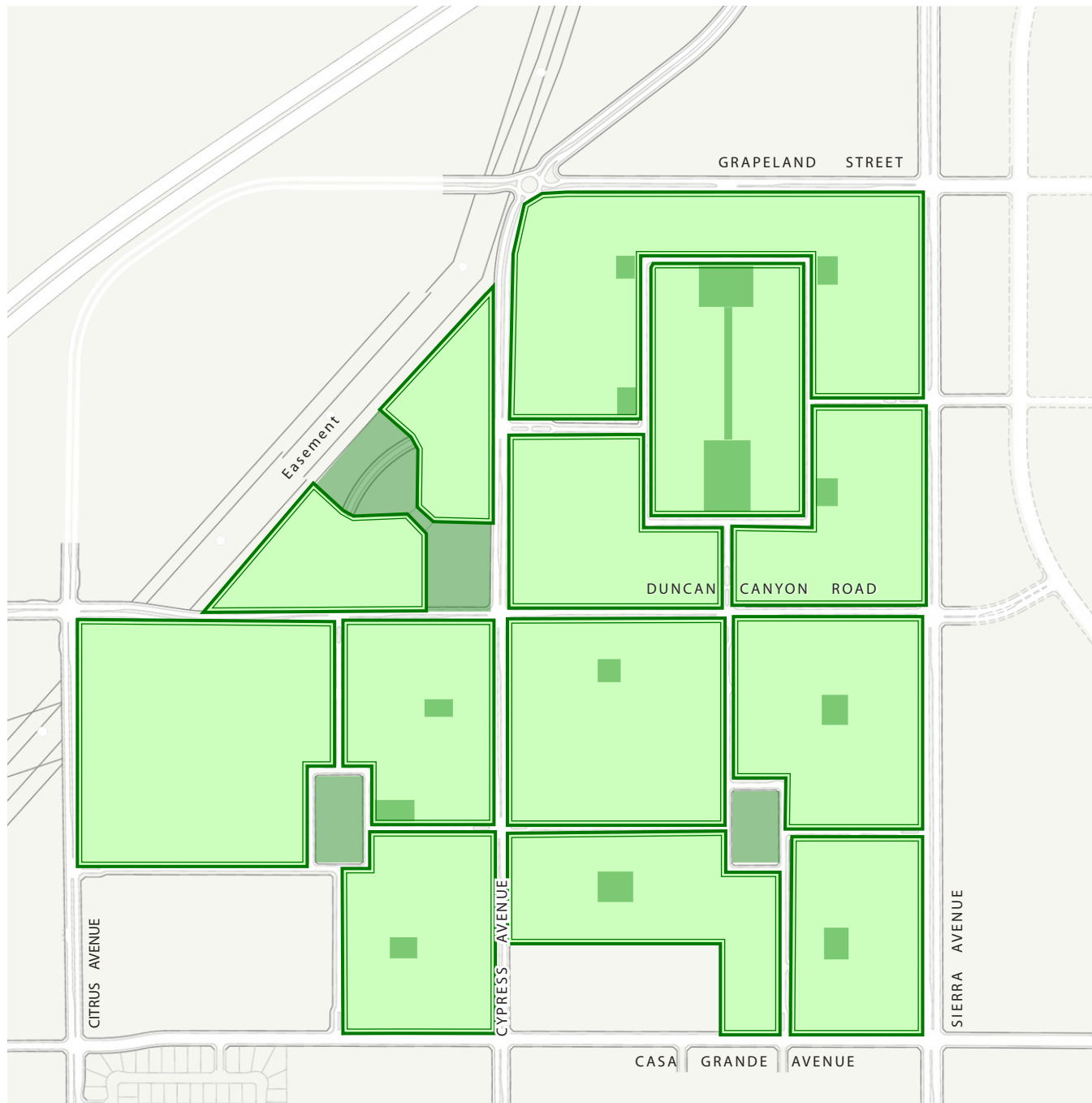
## LANDSCAPE DISTRICTS

FIGURE 7.2

### LEGEND

 Landscape District

 Park



## 7.4.5 Product-Level Landscaping

The following general requirements for detached product front yards and attached product interior drive courts provide minimum standards necessary to create a vibrant public realm. These standards, when combined with a tiered landscaping plan and guided by the images presented in this section, will result in a cohesive landscape at the product level while maintaining a sense of originality and diversity.

To ensure that appropriate landscape treatments and materials selected at the landscape district level are carried through to the product level, examples of landscaping requirements for four conceptual products - detached single family, detached court cluster, attached paseo cluster, and attached green court cluster - are presented in this section. These four products present options on how to approach landscaping at the product level of development - a key level in setting the tone for the entire Arboretum community.

### DETACHED UNITS: FRONT YARDS

1. Plant accent shrubs to highlight home entry
2. Any wall over 42" high shall have a 5-gallon foundation or shrub material planted at a minimum 3' o.c. at its base
3. Two large plantings per lot, in addition to street trees, shall be required. One planting must be a tree (24" box minimum) while the other planting shall be a 15-gallon minimum tree or shrub.
4. Trees shall be planted in informal clusters to create dynamic rhythm and avoid monotony of evenly spaced trees.
5. Plant materials are encouraged to be "California-friendly".

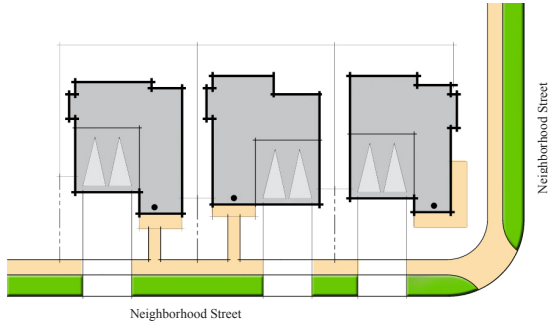
### ATTACHED UNITS: INTERIOR DRIVE COURTS

1. Provide landscape planters between garage doors to achieve softening of motor court/alley area.
  - Planter shall be a minimum of 16" wide and 24" deep.
  - Planter shall be able to support a vertical hedge or vines capable of reaching and being maintained at 5' height.
  - Vines growing up and over top of garage door area is encouraged.
2. Provide vertical accent tree or large vertical shrub at corner of building facing alleys to soften and frame building.
3. Plant materials are encouraged to be "California-friendly".

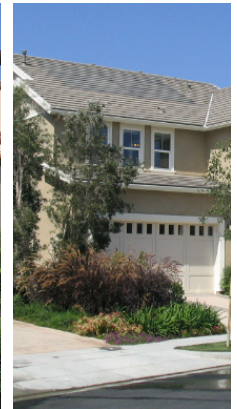


# DETACHED TRADITIONAL SINGLE FAMILY HOME

## STREET-ADJACENT PUBLIC SPACE



## PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



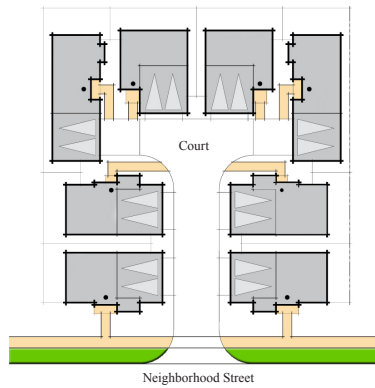
## PRODUCT-ADJACENT PRIVATE SPACE



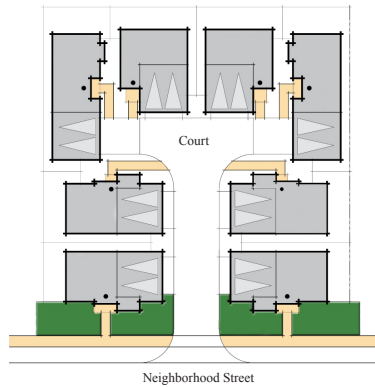


# DETACHED COURT CLUSTER

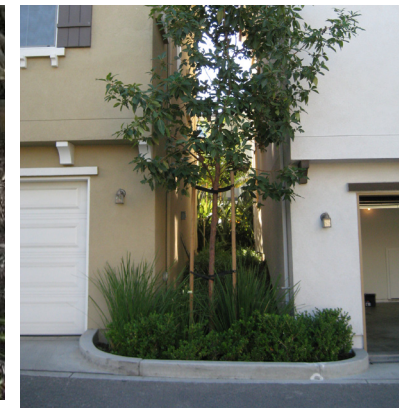
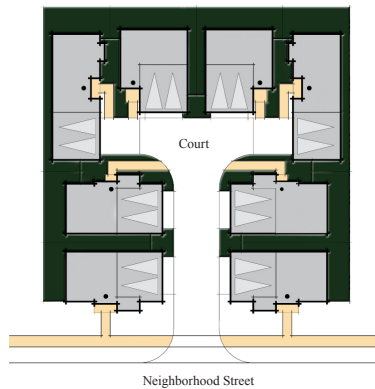
## STREET-ADJACENT PUBLIC SPACE



## PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



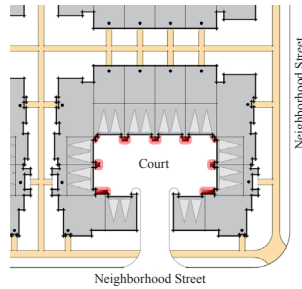
## PRODUCT-ADJACENT PRIVATE SPACE



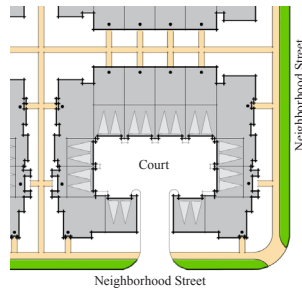


# ATTACHED PASEO CLUSTER

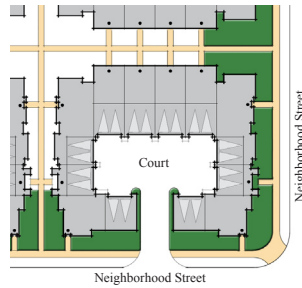
## INTERIOR DRIVE COURT



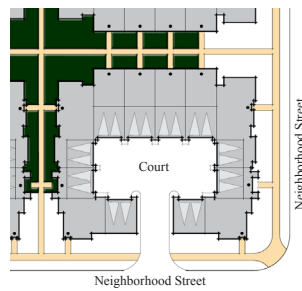
## STREET-ADJACENT PUBLIC SPACE



## PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



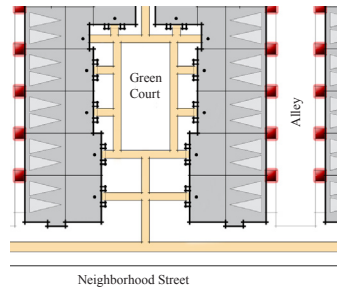
## PRODUCT-ADJACENT PRIVATE SPACE



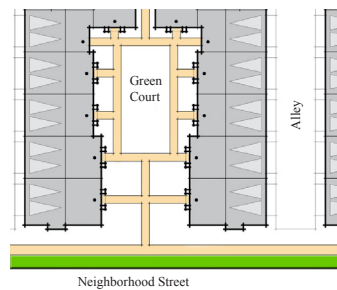


# ATTACHED GREEN COURT CLUSTER

## INTERIOR DRIVE COURT



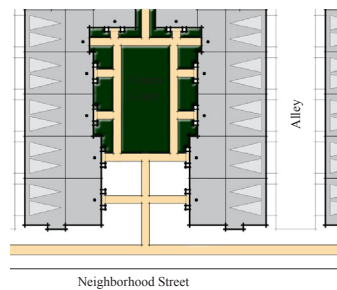
## STREET-ADJACENT PUBLIC SPACE



## PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



## PRODUCT-ADJACENT PRIVATE SPACE





### 7.4.6 Alternative Landscape Techniques

Individual residential property owners will be encouraged to utilize alternative landscaping techniques to reduce turf throughout the Arboretum. These alternative techniques include, but are not limited to:

1. **Turf Limitations:** limit the amount of turf in front yards based on yard size (i.e. 10% of total square footage with an 8' minimum dimension) or require front yards to be turf-free. Encourage use of various groundcover, inert natural materials, and/or native grasses instead.
2. **Landscape Zones:** group plants with similar water needs together to create distinct watering zones (mini oasis zone, transition zone, and natural zone). Lots may thus be laid out to with a smaller but highly visible area where regular irrigation is provided, but with other broad areas requiring little maintenance or watering.
3. **Vertical Landscaping:** orient landscape vertically rather than horizontally. Vertical landscaping requires less ground space and concentrates required watering. Vertical plantings can include trellises or large pots with small trees.
4. **Wall Planting:** when there are retaining wall conditions, create walls where plants can root into material behind the wall façade or where the rooting medium for the plants is contained within the wall structure. These walls can be made to convey a sense of local distinctiveness.
5. **Native Grasses:** plant native grasses in place of traditional turf to reduce water use, green waste and add variety to the landscape.
6. **Creative Pavement Patterns:** utilize visually pleasing paving options to create interesting groundcover patterns, without the use of turf.
7. **Mulch / Decomposing Granite (DG):** commonly used for paths and other paved surfaces. DG is much more permeable than conventional paving materials and can usually be installed at a much lower cost.

8. **Outdoor Rooms:** encourage use of outdoor spaces by creating outdoor “rooms” using pavement, walls, and planters which support drought tolerant planting materials.
9. **Solar Orientated Landscaping:** organize landscape based on sun exposure (west/south side requires direct sun and tolerates reflected heat, east side should have plants that require filtered or moderate sunlight, and north side needs shade tolerant plants).



The use of drought-tolerant and native plant species can be an attractive turf alternative in front yards and common landscaped areas.



### 7.4.7 Plant Material Guidelines

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to The Arboretum. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material selection for given project areas, shall have compatible drought-resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

#### PLANTING CONSTRAINTS

There are several planting and hardscape restrictions, constraints, and considerations which occur within The Arboretum, as follows:

- The landscape area between hardscape elements (i.e., curb, sidewalk) shall be no smaller than 4 feet in width (excluding planters in interior courts).
- Trees planted on small areas (less than 5' wide) require an 8-foot linear-type root barrier and their location must be approved by the Public Works Department.
- No trees higher than 20 feet are allowed in the SCE easement.
- Trees shall be centered in parkways, medians or planting areas, unless indicated as randomly spaced.

#### IRRIGATION

All irrigation systems installed in any commonly irrigated lots and which are maintained by the Homeowner Association or a Landscape Maintenance District, shall be designed to conform to the state's Water Conservation Assembly Bill 325 and any City of Fontana Guidelines currently in effect. All irrigation systems shall be installed in conformance with all City of Fontana Standards.

All landscaped areas to include neighborhood parkways shall be watered with a permanent underground irrigation system, and shall be designed with head-to-head or point-to-point 100 percent coverage. Landscape areas within the SCE easement

shall be watered using point irrigation system (drip or bubbler). No irrigation controllers or irrigation main lines are allowed within the SCE Easement.

Water-saving irrigation equipment shall be used, including flow sensors, moisture sensors, and using California Irrigation Management Information System (CI-MIS).

#### PLANT PALETTE

The plant palette for The Arboretum Specific Plan, accompanied by images of typical species, is presented in Table 7.4, *Plant Palette*, below. The plant palette describes the types and locations of species to be used in certain areas, including streetscapes, entryways, and park areas. Trees recommended for the Arboretum Park are indicated by a green marker ● next to the tree name within the Community Plant Palette.

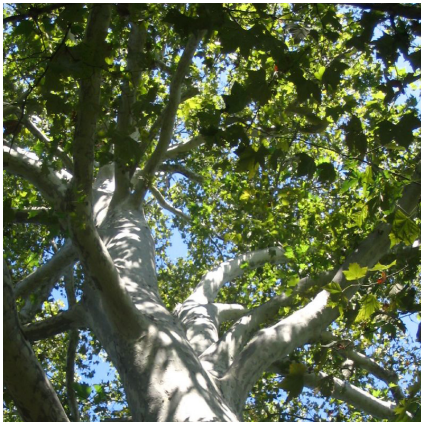




Eucalyptus grandis



California Pepper Tree



London Plane Tree



Honey Locust

Table 7.4 Plant Palette

BOTANICAL NAME	COMMON NAME
EXTERIOR PERIMETER STREETS (Grapeland St., Citrus Ave., Casa Grande Ave., Sierra Ave.)	
Large-Scale Evergreen Street Trees and Median Island Trees	
Alnus rhombifolia	White Alder
Cinnamomum camphora	Camphora
Eucalyptus leucoxylon	White Ironbark
Eucalyptus microtheca	Coolibah
Eucalyptus robusta	Swamp Mahogany
Eucalyptus viminalis	Eucalyptus
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Podocarpus gracilior	Fern Pine
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Quercus wislizenii	Interior Live Oak
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	Chinese Evergreen Elm
Large Scale Deciduous Accent Trees	
Luquipambar stracuflua	American Sweet Gum
Olea europaea	Olive
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree; 'Bloodgood'
Populus nigra italica	Lombardy Poplar
Zelkova serrata	Saw Leaf Zelkova

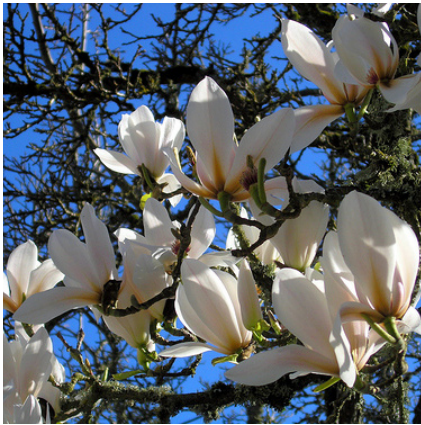




Jacaranda



Crape Myrtle



Magnolia



Camphor Tree

**Flowering Accent Trees**

Bauhinia variegata	Purple Orchid Tree
c Chitalpa tashkentensis	Chitalpa
Cupaniopsis anacardioides	Carrot Wood Tree
Glenditsia triacanthos	Honey Locust
Lagerstroemia indica	Crape Myrtle
Magnolia grandiflora	Southern Magnolia; ‘DD Blanchard’
Pyrus calleryana	Ornamental Pear; ‘Aristocrat’

**Shrubs**

See Overall Arboretum Plant Palette

**Median Island Shrubs (30" High Maximum)**

See Overall Arboretum Plant Palette

**INTERNAL PERIMETER STREETS (Cypress Ave., Duncan Canyon Road)**

**Large-Scale Street Tree and Median Island Trees**

**Duncan Canyon Road**

Cinnamomum camphora	Camphora
Eucalyptus viminalis	Eucalyptus
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Pistacia chinensis	Chinese Pistache
Platanus acerifolia	London Plane Tree; ‘Bloodgood’
Podocarpus gracilior	Fern Pine
Quercus agrifolia	Coast Live Oak
Schinus molle	California Pepper Tree
Tristania conferta	Brisbane Box
Ulmus parvifolia ‘True Green’	Chinese Evergreen Elm
Zelkova serrata	Saw Leaf Zelkova





Purple Orchid Tree



Saw Leaf Zelkova



Chinese Fringe Tree



Ornamental Pear

### Cypress Avenue

Cinnamomum camphora	Camphora
Eucalyptus viminalis	Eucalyptus
Jacaranda mimosifolia	Jacaranda
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Platanus acerifolia	London Plane Tree; 'Bloodgood'
Podocarpus gracilior	Fern Pine
Quercus agrifolia	Coast Live Oak
Quercus wislizeii	Interior Live Oak
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	Chinese Evergreen Elm
Zelkova serrata	Saw Leaf Zelkova

### Flowering Trees

#### Duncan Canyon Road and Cypress Avenue

Castanospermum australe	Moreton Bay Chestnut
Cupaniopsis anacardioides	Carrot Wood Tree
Lagerstroemia indica	Crape Myrtle (Duncan Canyon Road)
Magnolia grandiflora	Southern Magnolia (Cypress Avenue)
Pyrus calleryana	Ornamental Pear; 'Aristocrat'
Olea europaea	Olive
Quercus ilex	Holley

### SCE Easement Street Trees

#### Duncan Canyon Road

Lagerstroemia indica	Crape Myrtle
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### SCE Easement Shrubs

See Overall Arboretum Plant Palette

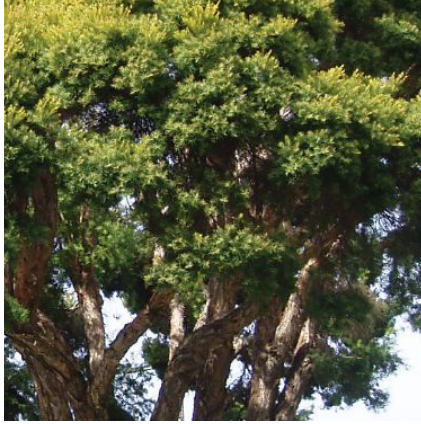
### Vines (On Perimeter Streetscene Walls)

See Overall Arboretum Plant Palette





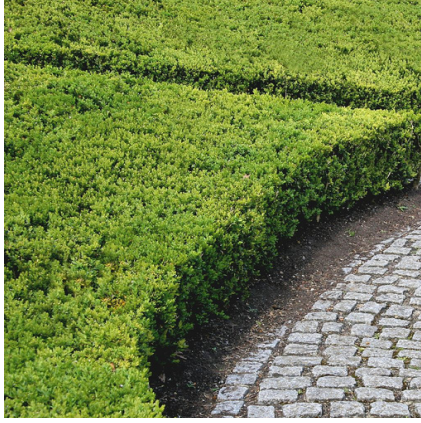
Chinese Tallow Tree



Flaxleaf Paperbark



Kangaroo Paw



Buxus

ARBORETUM TRAIL AT COLLECTOR STREETS

Street Trees – All of the following trees shall be used along the Arboretum trail to create plant diversity along this corridor.

- |                               |                                   |
|-------------------------------|-----------------------------------|
| Bauhinia blakeana             | Hong Kong Orchid Tree             |
| Bauhinia variegata            | Purple Orchid Tree                |
| Cinnamomum camphora           | Camphor Tree                      |
| Cupaniopsis anacardioides     | Carrot Wood                       |
| Jacaranda mimosifolia         | Jacaranda                         |
| Lagerstroemia indica          | Crape Myrtle                      |
| Magnolia grandiflora          | Southern Magnolia; 'DD Blanchard' |
| Olea europaea                 | Olive                             |
| Platanus acerifolia           | London Plane Tree; 'Bloodgood'    |
| Podocarpus gracilior          | Fern Pine                         |
| Pyrus calleryana              | Ornamental Pear; 'Aristocrat'     |
| Quercus agrifolia             | Coast Live Oak                    |
| Schinus molle                 | California Pepper Tree            |
| Tristania conferta            | Brisbane Box                      |
| Ulmus parvifolia 'True Green' | Chinese Evergreen Elm             |
| Zelkova serrata               | Saw Leaf Zelkova                  |

Background / Windbreak Trees

- |                       |                    |
|-----------------------|--------------------|
| Alnus rhombifolia     | White Alder        |
| Eucalyptus microtheca | Coolibah           |
| Eucalyptus robusta    | Swamp Mahogany     |
| Eucalyptus leucoxylon | White Ironbark     |
| Eucalyptus viminalis  | Eucalyptus         |
| Pinus canariensis     | Canary Island Pine |
| Pinus eldarica        | Afghan Pine        |
| Populus nigra italica | Lombardy Poplar    |

Shrubs

See Overall Arboretum Plant Palette





Jerusalem Sage



Pink Melaleuca



Dwarf Strawberry Tree



Bougainvillea

## Vines (On Perimeter Streetscene Walls)

See Community Plant Palette

## COLLECTOR STREETS

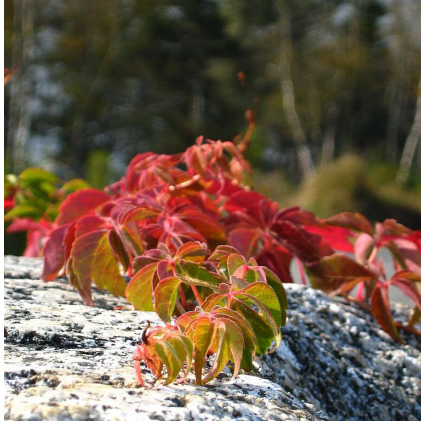
### Street Trees

Arbutus marina	No Common Name
Bauhinia blakeana	Hong Kong Orchid Tree
Bauhinia variegata	Purple Orchid Tree
Cinnamomum camphora	Camphora
Cupaniopsis anacardioides	Carrot Wood Tree
Eucalyptus viminalis	Eucalyptus
Fraxinus oxycarpa	'Raywood'; Raywood Ash
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstroemia indica	Crape Myrtle
Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Melaleuca linariifolia	Flaxleaf Paperbark
Olea europaea	Olive
Pinus canariensis	Canary Island Pine
Pinus eldarica	Afghan Pine
Platanus acerifolia	London Plane Tree; 'Bloodgood'
Podocarpus gracilior	Fern Pine
Pyrus calleryana	'Aristocrat'; Ornamental Pear
Quercus agrifolia	Coast Live Oak
Rhus lancea	African Sumac
Sapium sebiferum	Chinese Tallow Tree
Schinus molle	California Pepper Tree
Sophora japonica	Japanese Pagoda Tree
Tristania conferta	Brisbane Box
Ulmus parvifolia 'True Green'	Chinese Evergreen Elm
X chitalpa tashkentensis	'Pink Dawn'; Chitalpa Tree
Zelkova serrata	Saw Leaf Zelkova





Purple Leaf Plum



Boston Ivy



Mexican Bush Sage



Pink Powder Puff

**Shrubs**

See Overall Arboretum Plant Palette

**Vines (On Perimeter Streetscene Walls)**

See Overall Arboretum Plant Palette

**COMMUNITY PROJECT ENTRIES**

**Specimen Trees**

Olea europaea	Olive
Pinus Pinea	Italian Stone Pine
Platanus acerifolia 'bloodgood'	London Plone Tree
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Schinus molle	California Pepper Tree

**Vertical Evergreen Backdrop Tree**

Cupressus sempervirens	Italian Cypress
Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Pinus canariensis	Canary Island Pine
Populus nigra 'Italica'	Lombardy Poplar
Prunus caroliniana	Carolina Laurel Cherry

**Entry Monumentation Thematic Shrubs**

Arbutus unedo 'compacta'	Dwarf Strawberry Tree
Agave sp.	Agave
Aloe sp.	Aloe
Anigozanthus flavidus	Kangaroo Paw
Bougainvillea sp.	Bougainvillea
Buxus japonica 'Green Beauty'	Buxus
Dasyliion wheeleri	Desert Spoon
Festuca glauca	Blue Fescue
Lavendula stoechas 'Otto Quast'	Spanish Lavendar





Bronze Loquat



Pink Dawn



New Zealand Flax



Crabapple

Leonotis leonurus	Lion's Tail
Melaleuca nesophila	Pink Melaleuca
Muhlenbergia rigens	Deer Grass
Muhlenbergia rigida	Purple Muhly
Phlomis fruticosa	Jerusalem Sage
Phormium tenax (Varieties)	New Zealand Flax
Pittosporum tobira (Varieties)	Tobira
Rhaphiolepis umbellata minor	No Common Name
Rosa floridunda 'Iceberg'	Rose
Rosa 'Flower Carpet'	Landscape Rose
Rosmarinus officinalis (Varieties)	Rosemary
Salvia leucantha	Mexican Bush Sage
Santolina chamaecyparissus	Lavender Cotton
Westringia fruticosa	'Morning Light' Coast Rosemary

#### Vines / Espaliers

Bougainvillea sp.	Bougainvillea
Calliandra haematocephala (espalier)	Pink Powder Puff
Distictus buccinatoria	Red Trumpet Vine
Grewia caffra (Espalier)	Lavender Star Flower
Parthenocissus tricuspidata	Boston Ivy
Rosa sp.	Climbing Rose

#### PRIMARY AND SECONDARY ENTRIES

##### Specimen Trees

Pinus pinea	Italian Stone Pine
Platanus acerifolia 'bloodgood'	London Plone Tree
Olea europaea	Olive
Quercus agrifolia	Coast Live Oak
Schinus molle	California Pepper Tree





Agave



Box Leaf Euonymus



Blue Fescue



Southern Magnolia

**Vertical Evergreen Backdrop**

Cupressus sempervirens	Italian Cypress
Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Pinus canariensis	Canary Island Palm

**Flowering Entry Backdrop Tree**

Arbutus marina	No Common Name
Cassia excelsa	Crown of Gold
Chitalpa tashkantensis	'Pink Dawn'; Chitalpa Tree
Lagerstroemia indica	Crape Myrtle
Prunus cerasifera	Purple Leaf Palm

**Trees in Pots**

Eriobotrya deflexa	Bronze Loquat
Feijoa sellowiana	Pineapple Guava
Laurus nobilis (Standard)	Bay Tree
Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Malus hybrid	Crabapple

**Shrub Hedge Row**

Buxus japonica 'Green Beauty'	Buxus
Euonymus japonica 'Microphyllus'	Box Leaf Euonymus
Ligustrum japonica 'Texanum'	Texas Privet
Raphiolepis umbellata minor	No Common Name

**ICON MONUMENTATION**

**Intersection Heritage Trees**

Cinnamomum capidora	Camphon Tree
Quercus agrifolia	Coast Live Oak
Schinus molle	California Pepper Tree

**Vertical Backdrop Trees**

Alnus rhombifolia	White Alder
Liquidamar stracuflua	American Sweet Gum





Lavender Cotton



Tobira

Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Populus nigra 'italica'	Lombardy Poplar

#### Shrub Hedge Row

Buxus japonica	'Green Beauty'
Buxus raphiolepis umbellata minor	NCN
Euonymus japonica 'Microphyllus'	Box Leaf Euonymus

#### Icon Monumentation Thematic Shrubs

Agave Sp.	Agave
Aloe Sp.	Aloe
Anigozanthus flavidus	Kangaroo Paw
Arbutus unedo 'Compacta'	Dwarf Strawberry Tree
Bougainvillea sp.	Bougainvillea
Buxus japonica 'Green Beauty'	Buxus
Dasyllirion wheeleri	Desert Spoon
Festuca glauca	Blue Fescue
Lavendula stoechas 'Otto Quast'	Spanish Lavendar
Leonotis leonarus	Lion's Tail
Muhlenbergia rigens	Deer Grass
Muhlenbergia rigida	Purple Muhly
Phlomis fruticose	Jerusalem Sage
Phormium tenax (Varieties)	New Zealand Flax
Pittosporum tobira	Tobira
Raphiolepis umbellata minor	No Common Name
Rosa floridunda	'Iceberg' Rose
Rosa 'Flower Carpet'	Landscape Rose
Rosmarinus officinalis (Varieties)	Rosemary
Salvia leucantha	Mexican Bush Sage
Santolina chamaecyparissus	Lavender Cotton
Westringia fruticosa 'Morning Light'	Coast Rosemary





Hybrid Palo Verde



Mexican Fan Palm



Hong Kong Orchid Tree



Holly Oak

● Plants appropriate for the Arboretum Park

COMMUNITY PLANT PALETTE  
(All Areas Except SCE Easement, including Recreation Centers, Parks, Streetscenes, and On Site Landscaping)

Palm Trees

- |                      |                        |
|----------------------|------------------------|
| ● Bauhea armata      | Blue Mexican Palm      |
| ● Chamaerops humilis | Mediterranean Fan Palm |
| Phoenix dactylifera  | Date Palm              |
| Washingtonia robusta | Mexican Fan Palm       |

Local Street Trees

- |                                 |                                   |
|---------------------------------|-----------------------------------|
| Arbutus marina                  | No Common Name                    |
| Bauhinia blakeana               | Hong Kong Orchid Tree             |
| Bauhinia variegata              | Purple Orchid Tree                |
| Cercidium hyrid ‘desert museum’ | Hybrid Palo Verde                 |
| Cinnamomum camphora             | Camphora                          |
| Cupaniopsis anacardioides       | Carrot Wood                       |
| Eucalyptus viminalis            | Eucalyptus                        |
| Koelreuteria bipinnata          | Chinese Flame Tree                |
| ● Lagerstroemia indica          | Crape Myrtle                      |
| Magnolia grandiflora            | Southern Magnolia; ‘DD Blanchard’ |
| Melaleuca linariifolia          | Flaxleaf Paperbark                |
| Olea europaea                   | Olive                             |
| Pinus canariensis               | Canary Island Pine                |
| Pinus eldarica                  | Afghan Pine                       |
| Platanus acerifolia             | London Plane Tree; ‘Bloodgood’    |
| Podocarpus gracilior            | Fern Pine                         |
| Pyrus calleryana ‘Aristocrat’   | Ornamental Pear                   |
| Quercus agrifolia               | Coast Live Oak                    |
| ● Rhus lancea                   | African Sumac                     |
| Sapium sebiferum                | Chinese Tallow Tree               |
| Schinus molle                   | California Pepper Tree            |





Carolina Laurel Cherry



Long Leaved Yellow Wood



Coast Live Oak



European White Birch

- Plants appropriate for the Arboretum Park

Sophora japonica

Tristania conferta

Ulmus parvifolia 'True Green'

- X chitalpa tashkentensis 'Pink Dawn'

Zelkova serrata

Japanese Pagoda Tree

Brisbane Box

Chinese Evergreen Elm

Chitalpa Tree

Saw Leaf Zelkova

#### Vertical Evergreen Trees

Cupresses sempervirens

- Eucalytus grandis

Magnolia grandiflora

Pinus canariensis

Podocarpus henkelii

Podocarpus macrophyllus

Prunus caroliniana

Italian Cypress

N.L.N.

Southern Magnolia; 'DD Blanchard'

Canary Island Palm

Long Leaved Yellow Wood

Yew Pine

Carolina Laurel Cherry

#### Park Large Scale Trees

- Cinnamomum camphora

- Olea europaea

- Pinus pinea

- Pistacia chinensis

Platanus racemosa

- Platanus acerifolia 'Bloodgood'

- Quercus agrifolia

- Quercus virginiana

Schinus molle

Ulmus parvifolia 'True Green'

Champhor Tree

Olive (Fruitless Varieties)

Italian Stone Pine

Chinese Pistache

California Sycamore Tree

London Plane Tree

Coast Live Oak

Southern Live Oak

California Pepper Tree

Chinese Evergreen Elm

#### Recreation Center Accent Trees

Arbutus marina

Citrus Sp.

Cupaniopsis anacardioides

Feijoa sellowiana

NCN

Citrus

Carrot Wood Tree

Pineapple Guava





Coyote Bush



Little John



California Sycamore Tree



Creeping Acacia

- Plants appropriate for the Arboretum Park

Magnolia grandiflora  
Phoenix dactylifera  
● Podocarpus gracilior  
Quercus agrifolia  
Washingtonia robusta

Southern Magnolia; 'DD Blanchard'  
Date Palm  
Fern Pine  
Coast Live Oak  
Mexican Fan Palm

#### Deciduous Accent and Flowering Trees

Acacia smallii  
Betula pendula  
● Castanospermum australe  
Cercis mexicana  
● Glenditsia triacanthos  
'Italica'  
● Lagerstroemia indica  
● Leptuspermum laevigatum  
● Liquidambar styraciflua  
Liriodendron tulipifera  
Platanus acerifolia 'Bloodgood'  
Platanus racemosa  
Populus nigra  
Prunus cerasifera  
Sapium sebiferum  
Sophora japonica  
Tipuana tipu  
X chitalpa tashkentensis

Desert Sweet Acacia  
European White Birch  
Moreton Bay Chestnut  
Mexican Redbud  
Honey Locust  
Lombardy Poplar  
Crape Myrtle  
Australian Tea Tree  
American Sweet Gum  
Tulip Tree  
London Plane Tree  
California Sycamore  
  
Purple Leaf Plum  
Chinese Tallow Tree  
Japanese Pagoda Tree  
Tipu Tree  
Chitalpa Tree

#### Overall Arboretum Shrubs and Ground Covers (All Areas Except SCE Easement)

Acacia redolens 'Desert Carpet'  
Agapanthus africanus  
Agave sp.  
Aloe sp.  
Anigozanthos sp.  
Arbutus unedo 'Compacta'

Creeping Acacia  
Lily-of-the-Nile  
Agave  
Aloe  
Kangaroo Paw  
Strawberry Tree







Rockrose



Promrose Jasmine



Red Hot Poker



Pride of Madeira

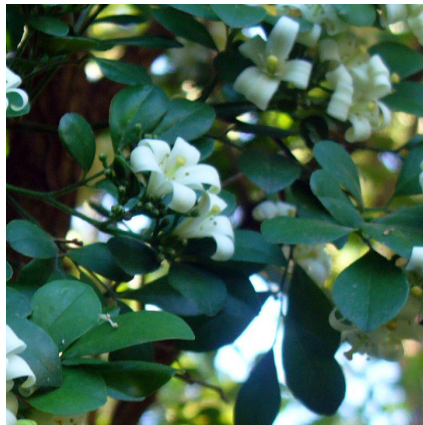
● Plants appropriate for the Arboretum Park

- Baccharis pilularis
- Bougainvillea
- Buxus japonica 'Green Beauty'
- Calliandra haematocephala
- Callistemon citrinus
- Camellia sasanqua
- Carissa sp.
- Cassia Sp.
- Cercis occidentalis
- Chamaerops humilis
- Cistus sp.
- Cotoneaster sp.
- Cuphea hyssopifolia
- Cupressus sempervirens
- Dietes bicolor
- Dietes vegeta
- Dodonaea viscosa
- Echium fastuosum
- Euonymus japonica (Varieties)
- Europs 'pectinatus' And 'viridis'
- Feijoa sellowiana
- Festuca glauca
- Helictotrichon sempervirens
- Hesperaloe parviflora
- Heteromeles arbutifolia
- Hibiscus syriacus
- Ilex sp.
- Jasminum mesnyi
- Jasminum officinale
- Kniphofia uvaria
- Coyote Bush
- Bougainvillea
- Boxwood
- Pink Powder Puff
- 'Little John'; Lemon Bottlebrush
- Sun Camellia
- Natal Plum
- Senna
- Western Redbud
- Mediterranean Fan Palm
- Rockrose
- Cotoneaster
- False Heather
- Italian Cypress
- African Iris
- Fortnight Lily
- Hopseed Bush
- Pride of Madeira
- Evergreen Euonymus
- Euryops
- Pineapple Guava
- Blue Fescue
- Blue Oat Grass
- Red Yucca
- Toyon
- Rose of Sharon
- Holly
- Promrose Jasmine
- Common White Jasmine
- Red Hot Poker

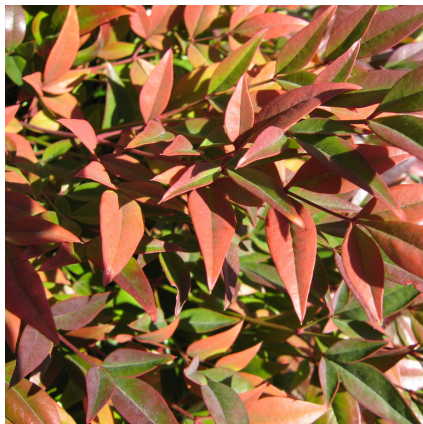




Cape Plumbago



Orange Jasmine



Heavenly Bamboo



Lady Bank's Rose

● Plants appropriate for the Arboretum Park

Lantana montevidensis	Trailing Lantana
Lavandula sp.	Lavender
Leonotis leonurus	Lion's Tail
● Leptospermum scoparium (Varieties)	New Zealand Tea Tree
Ligustrum japonica	'Texanum'; Texas Privet
Liriope gigantea	Giant Lily Turf
Liriope muscari	Lily Turf
Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle
Melaleuca nesophila	Pink Melaleuca
Muhlenbergia rigens	Deer Grass
Muhlenbergia rigida	Purple Muhly
Murraya paniculata	Orange Jasmine
Myoporum 'Pacificum'	Myoporum
Myoporum parvifolium 'Putah Creek'	No Common Name
Myrtus communis 'Compacta'	Dwarf Myrtle
Myrtus communis	Greek Myrtle
Nandina 'Gulf Stream'	Heavenly Bamboo
Perovskia artiplicifolia	Russian Sage
Phlomis fruticosa	Jerusalem Sage
Phoenix roebelenii	Pigmy Date Palm
Phormium tenax (Varieties)	New Zealand Flax
Photinia fraseri	No Common Name
Pittosporum tobira (Varieties)	Tobria
Plumbago auriculata	Cape Plumbago
Podocarpus henkelii	Long Leaved Yellow Wood
Podocarpus macrophyllus	Yew Pine
Pyracantha sp.	Firethorn
Raphiolepis 'Majestic Beauty'	No Common Name
Raphiolepis Umbellata 'Minor'	No Common Name
Raphiolepis sp.	India Hawthorn







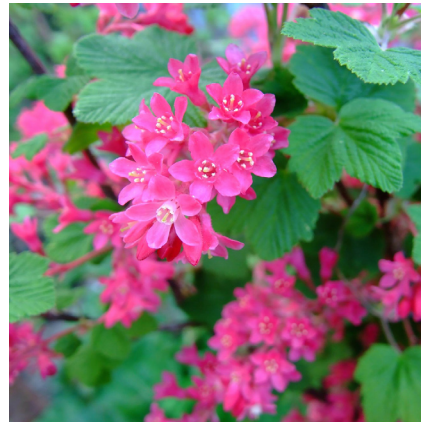
Cape Honeysuckle



Red Trumpet Vine



Princess Flower



Currant

Rosa 'Iceberg'  
 Rosa banksiae  
 Rosmarinus officinalis (Varieties)  
 Salvia leucantha  
 Santolina chamaecyparissus  
 Sarcococca ruscifolia  
 Tecomaria capensis  
 Ternstroemia japonica  
 Teucrium chamaedrys 'Prostratum'  
 Tibouchina urvilleana  
 Trachelospermum jasminoides  
 Tulbaghia violacea  
 Viburnum suspensum  
 Viburnum tinus 'Spring Bouquet'  
 Westringia fruticosa  
 Xylosma congestum 'Compacta'

Rose  
 Lady Bank's Rose  
 Rosemary  
 Mexican Bush Sage  
 Lavender Cotton  
 Sweet Box  
 Cape Honeysuckle  
 No Common Name  
 Bush Germander  
 Princess Flower  
 Star Jasmine  
 Society Garlic  
 Sandankwa Viburnum  
 Laurustinus  
 Westringia  
 Shiny Xylosma

#### Vines

Bougainvillea  
 Distictis buccinatoria  
 Hardenbergia violacea  
 Parthenocissus tricuspidata  
 Polygonum aubertii  
 Wisteria sinensis  
 Vitis spp. 'Thompson Seedless'  
 Vitis spp. 'Rogers Red Leaf'  
 Vitis spp. 'Ruby Seedless'  
 Vitis spp. 'Concord'  
 Vitis spp. 'Golden Muscat'

Bougainvillea  
 Red Trumpet Vine  
 'Happy Wanderer'; Lilac Vine  
 Boston Ivy  
 Silver Lace Vine  
 Chinese Wisteria  
 Thompson Seedless Grape  
 Rogers Red Leaf Grape  
 Ruby Seedless Grape  
 Concord Grape  
 Golden Muscat Grape

#### Turf

100% Tall Fescue

Sod or Seed

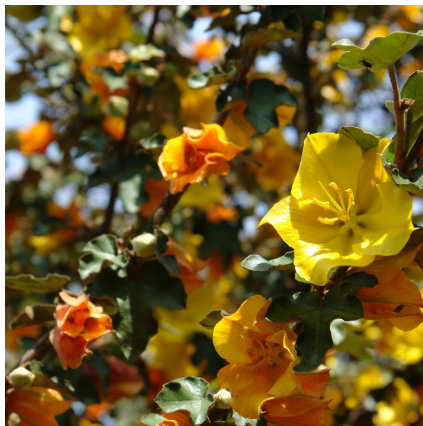




Coffeeberry



Deer Grass



Flannelbush



Texas Ranger

SCE EASEMENT

Trees

Chilopsis linearis ‘Dark Storm’	Desert Willow
Citrus sp.	Citrus Trees
Feijoa sellowiana	Pineapple Guava
Lagerstroemia indica	Crape Myrtle
Prunus cerasifera	Purple Leaf Plum

Shrubs and Ground Cover

Acacia redolens ‘Desert Carpet’	Creeping Acacia
Arctostaphylos ‘Pacific Mist’	Pacific Mist Manzanita
Arctostaphylos edmundsii	Little Sur Manzanita
Artemisia ‘Powis Castle’	Wormwood
Artemisia arborescens	Sagebrush
Baccharis pulularis	Dwarf Coyote Bush
Baccharis ‘Centennial’	Hybrid Coyote Bush
Carpenteria californica	Bush Anemone
Encelia californica	Coast Sunflower
Fremontodendron ‘California Glory’	Flannelbush
Hesperaloe parviflora	Red Yucca
Heteromeles arbutifolia	Toyon
Kniphofia uvaria	Red Hot Poker
Leucophyllum frutescens	Texas Ranger
Muhlenbergia sp.	Deer Grass
Opuntia ficus indica	Thornless Beavertail Cactus
Penstemon azureus	Azare Penstemon
Rhamnus californica	Coffeeberry
Rhamnus crocea	Redberry
Rhus integrifolia	Lemonade Berry
Ribes sp.	Currant





Matilija Poppy



Woolly Blue Curls



Blue Eye Grass



Peach Tree

Romneya coulteri  
Salvia sp.  
Sisyrinchium bellum  
Trichostema lanatum

Matilija Poppy  
Sage  
Blue Eye Grass  
Woolly Blue Curls

**FRUIT BEARING PLANT MATERIAL**  
All Areas and within SCE Easement  
(Varieties to be under 20' in height).

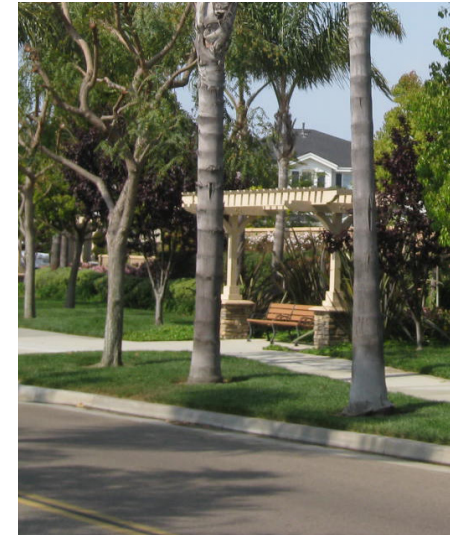
- Apple 'Gordon'
- Apricot (All)
- Cherry (All)
- Citrus (All)
- Crab Apple (All)
- Nectarine (All)
- Olives (All)
- Peach (All)
- Pear (All)
- Plum (All)
- Pomegranate (All)
- Quince (All)

- Plants appropriate for the Arboretum Park



## 7.4.8 Pedestrian and Bicycle Connectivity

1. Incorporate walking and bicycling paths to provide transportation alternatives and contribute to a healthy lifestyle. Ensure connections and access for pedestrian and bicycle paths to non-residential uses and recreational facilities.
2. Pedestrian and bicycle routes along roadways and paseos shall incorporate pedestrian amenities, such as benches, shade structures, and lighting.
3. Meandering trails and sidewalks that are separated from the street by landscaping are desirable.
4. Trails and paseos shall be clearly marked with consistent signage and well lit.
5. Provide accessible, secure and lockable bicycle storage facilities at strategic locations throughout residential areas and the parks and trails system to make bicycle use a convenient and safe transportation choice. For example, centralized bicycle facilities incorporated into residential projects as well as recreational amenities facilitate resident perception that such amenities are sensible cycling destinations.



Pedestrian Connectivity with Wayfinding Signage



### 7.4.9 Walls and Fences

1. Solid walls and fences shall not dominate the street scene. They shall be used for noise attenuation, privacy, spatial delineation, and shielding of incompatible adjacent uses.
2. View fences (which are partially solid and see-through material such as wrought iron) provide a visually attractive alternative to solid walls and fences. They allow for safety and privacy while preserving views and creating a more visually appealing neighborhood. View fences shall be used instead of solid walls when feasible, especially around the Arboretum Park and facing onto parks and paseos.
3. Wall faces that are visible to the public shall be constructed of attractive materials, such as split face block. Pilasters shall be incorporated into wall design with spacing of approximately 100 feet, especially at entries and important community intersections.
4. Walls and/or wall surfaces not visible to the public do not need the same high level of design detail.
5. Trees, vines, and landscaping shall be used to soften the visual appearance of the walls.
6. Walls and fences shall be made of durable yet attractive materials that complement the adjacent architecture. When solid walls are necessary, precision block, split-face block, stone, concrete, stucco with pilasters and caps, or materials with similar visual qualities shall be used. Likewise, view fences shall incorporate visually attractive materials such as tubular steel, wrought iron, and stone (or faux-stone) in areas where they are highly visible.
7. Long, monotonous walls are to be avoided. Walls shall have breaks, recesses, and offsets, especially at entries and important intersections. Long walls shall be made more attractive and visually interesting through the incorporation of surface articulation and pilasters.
8. Trees, shrubs, and vines soften the visual appearance of walls and are required.
9. Walls shall provide convenient pedestrian gates to ensure ease of pedestrian circulation.



Residential view fencing



Wall softened with landscaping



### 7.4.10 General Lighting

1. Attractive and consistent lighting elements shall be provided along roadways within the neighborhood. The height, brightness, and spacing of the lighting elements shall be appropriate to the scale and speed of the roadway.
2. Pedestrian-scale lighting shall be provided in areas with nighttime use, such as paseos and walkways. The type, style, and intensity of pedestrian lighting shall reflect the use of the character of the area.
3. To preserve views of the night-time sky, lighting elements shall minimize glare, spill over, and light pollution. Direct outdoor lighting downward.
4. Utilize shielded fixtures, avoiding overhead lighting of areas such as walkways.
5. Provide low-contrast lighting and use low-voltage fixtures and energy-efficient bulbs, such as compact fluorescent (CFL) and light emitting diode (LED) bulbs.
6. Lighting fixtures shall be compatible with the architectural styles of surrounding buildings and yet consistent throughout the community.
7. Lighting standards shall be consistent with City safety and illumination requirements.

Iconic landscaping and buildings within the project shall be spotlighted to provide visual accent and directional reference, but done so in a sensitive way that minimizes unnecessary glare, spill over, and light pollution.

### 7.4.11 Outdoor Lighting

The following areas will be lighted:

- Recreation Centers
- Public Parks
- All neighborhood pocket parks
- Paseos and pedestrian walks (when away from a streetscene edge)
- Monumentation Signage
- Gated and nongated vehicular entry areas
- Specimen trees at entry areas

Active use areas shall be safety lit for users. Fixtures shall not be placed or directed in such a manner causing glare of excessive light to fall on adjacent residences or sites. Iconic landscaping and buildings within the project shall be spotlighted to provide visual accent and directional reference, but done so in a sensitive way that minimizes unnecessary glare, spill over, and light pollution.

Final size, placement, wall age, intensity and amount of lighting required per use area shall be at the direction of the City of Fontana.



Example of outdoor lighting of public common areas