



Chapter 7.0

Design Guidelines and Landscape

These Design Guidelines are intended to provide detailed direction for the physical design of The Arboretum and provide an overview of the physical framework desired to visually unify The Arboretum villages. They also encourage the application of subtle architectural distinctions that will define each unique village and ensure that design components have a high level of quality. In essence, these guidelines promote the creation of architecture and amenities designed with timeless elements that will be appreciated as much in the future as when built. While directing a high level of design quality, the Design Guidelines provide a wide degree of flexibility to encourage creativity on the part of property owners and designers to implement the spirit of The Arboretum concept throughout the development.

The Design Guidelines are intended to be general and illustrative in nature. They are not rigid requirements; however, every development within The Arboretum must incorporate the particular attention to detail reflected in these guidelines. These Design Guidelines establish the design framework that will be used to evaluate proposed developments. The intent of these guidelines must be met in order for a project to be approved during the development review process.

Due to the breadth and depth of the guidelines and requirements presented in this chapter, there will inevitably be overlap in the topics and situations addressed in the different subsections. This overlap is indicative of the interrelated nature of the overall community design, the relationship of buildings to their surroundings and the specific architectural character of structures within The Arboretum. It is important to consider these interrelationships at every stage of the design of elements of The Arboretum community.



7.1 Community-Wide Design Guidelines

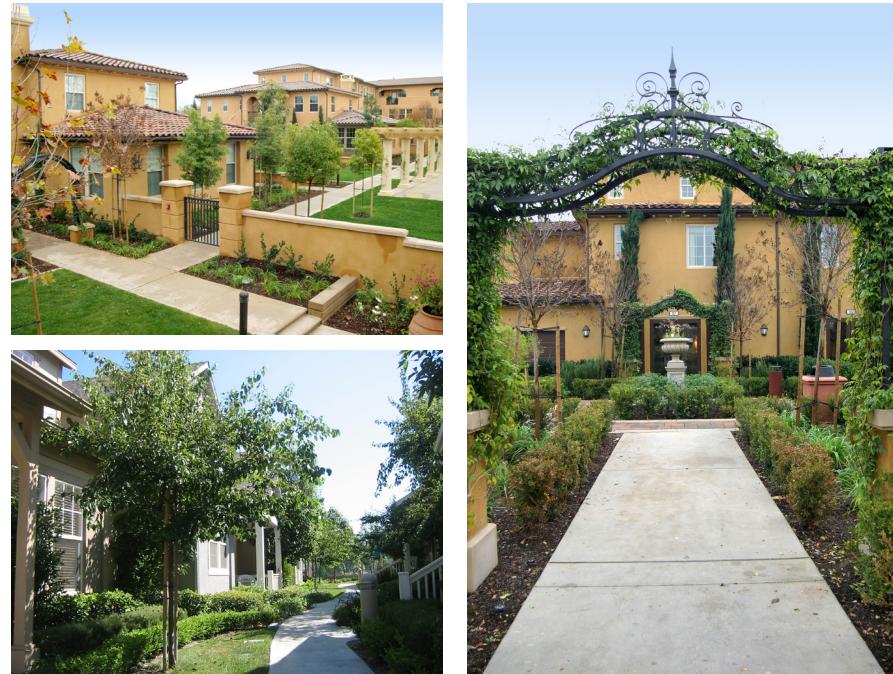
The community character of The Arboretum is inextricably linked to its community design. Elements of community design, such as architectural character, landscaping, lighting, and entry monumentation, combine to contribute to the community's image and identity. As discussed in Chapter 1, *Vision*, the foundation of The Arboretum is the creation of community that maintains a harmonious balance between the natural and built environment. This chapter focuses on the overall community design, and so a discussion of the relation of community design to the Vision for The Arboretum is warranted.

The guidelines in this section apply to the entire Arboretum Specific Plan and provide design guidance relating to general architectural character and design, landscape, entries and monumentation, streetscapes, intersections, pedestrian and bicycle connectivity, walls and fences, signage, lighting, and parking. They are intended to create a strong, cohesive community identity through the use of consistent design detail throughout the project area. Thus, the villages and neighborhoods of The Arboretum should be developed as distinct areas within the project while retaining the necessary characteristics for overall community identity.

7.1.1 Sustainable Design

Development within The Arboretum is encouraged to integrate, where feasible, principles and practices of sustainability and green design. Incorporating sustainable design from the earliest stages has benefits for both the builder and future occupants. Many sustainable design principles have minimal or no cost impacts if incorporated early in the design phase, and initial costs can frequently be offset by reduced construction time and long-term operations and maintenance savings. In addition, sustainable neighborhood design and green homes are a desirable amenity for many potential home buyers, who are often willing to pay a premium to live in a resource-efficient house and community.

For residential areas within The Arboretum, the application of sustainable best management practices is strongly encouraged. The comprehensiveness of these certification programs guarantees, for their respective types of development, the achievement of a high minimum standard. For maximum flexibility, however, the



Pedestrian paseos, courtyards and walkways tie the community together visually.

master developer and builders may implement sustainable building and development practices most appropriate to the specific context within The Arboretum.

It is encouraged that all nonresidential buildings constructed as part of The Arboretum Specific Plan be energy efficient. Programs through Southern California Edison and the Southern California Gas Company, such as the Sustainable Communities Program and the Savings By Design Program, offer design assistance, education, training and financial incentives.

Guidelines contained within this chapter that incorporate sustainable principles and practices are marked with The Arboretum leaf symbol .



Gardens, paseos and parks give the feeling of residential units within an arboretum setting

7.1.2 General Site and Infrastructure Design

1. Where possible, orient buildings to face onto streets, parks, and open spaces/paseos. This orientation will create more attractive, safe, and pedestrian-friendly streetscapes and public spaces.
2. Where applicable, create curb cuts to allow stormwater flows to drain to permeable or landscaped areas.
3. Where practical, use pervious or open grid paving for driveways, walkways, plazas, and parking areas. Implement small-scale design features throughout the development, such as dual-track driveways for single-family homes.
4. Incorporate recycled-content aggregate (reused and crushed concrete and asphalt) wherever aggregate is specified, such as drainage backfill and under driveways, sidewalks, and building slabs.
5. Use pervious paving materials where practical to reduce the negative effects of stormwater runoff and to facilitate groundwater recharge.
6. Utilize grass swales, particularly with native or drought-tolerant grasses, to collect and filter water runoff.

7.1.3 General Architectural Character and Design

1. Vary rooflines and building heights to create visual interest.
2. Incorporate significant architectural features, such as towers or balconies, into the design of key community buildings, such as the recreation centers. Doing so will strengthen the identity of the project.
3. Varied massing and vertical step-back in building design prevents a monotonous streetscape and is encouraged.
4. Front elevation design and materials are to wrap around the side elevation to an appropriate transition point, as determined by the Planning Division. If the rear elevation is visible from a public street, rear elevation design and materials shall also wrap around the side elevation to provide for architectural relief.
5. Quality materials shall be used in the construction of buildings.
6. Variations in style, architectural features, and colors create visual interest and are encouraged.

7.1.4 Entries and Monumentation

Community entries are critical opportunities to distinguish The Arboretum from surrounding developments and announce arrival into the project itself. In addition, entries are an opportunity to reinforce the overall design theme and character of The Arboretum which relies heavily on landscaping to define its unique identity.

There are four types of community entries in The Arboretum: Primary Gated; Primary Nongated; Secondary Gated; and Secondary Nongated. See Chapter 6, *Circulation and Streetscape Design*, for more detailed information and for the locations of entries throughout the Arboretum community. In addition to the primary and secondary entries, community entry monumentation and icon monumentation will be strategically located throughout the community to reinforce the design theme of The Arboretum and create a sense of identity and character at the village level.

The treatments described below provide the desired quality of entries and entry monumentation. The exact design, configuration, and content of each gateway will be determined in detailed site plans at the tract map level.

1. Primary community entries shall incorporate distinctive signage, attractive landscaping, special intersection treatments, and distinguishing elements such as monument style walls. Formal groupings of signature trees and landscaping can be incorporated into the design to create distinctive entries to the community.
2. Secondary community entries shall be marked by attractive and consistent signage or landscaping and include elements similar to those found in the primary community entries, but smaller in scale.



Examples of Water Features



Icon Monumentation

7.1.5 Project Signage

1. Project signage shall have a consistent design theme and color palette throughout the development to achieve a coordinated sense of identity.
2. Signage shall be of a scale and style appropriate to the area and surrounding uses.
3. Freestanding monument-style signage shall be used. Pole signs are prohibited.
4. Signs shall utilize materials and colors that are compatible with the architecture and designs of the surrounding areas.



Example of a themed monument sign

7.1.6 Parking

1. Parking areas shall be designed to minimize the conflict between pedestrian and vehicular traffic.
2. Parking areas shall provide clearly marked and well-lit pedestrian walkways to ensure pedestrian safety.
3. Provide tree cover and shade structures in parking lots, such as around schools and recreation centers, for shading and to reduce the amount of heat absorbed by paved parking areas. Evergreen trees that provide year-round shade are particularly useful for minimizing absorption of heat.
4. All required off-street parking (City's Municipal Code, Chapter 30, Article XI) shall be located outside of the public right-of-way and on-site. Required off-street parking will not be accommodated on any public streets.
5. Required off street parking (except for visitors parking) may be satisfied in a private gated community on privately maintained streets on one side of the street as long as a minimum drive aisle, as required by the Fire Department, is maintained.



Minimized conflict between cars and pedestrians in parking areas



Shade trees in parking area

7.1.7 Parks, Recreation and Open Space

1. Recreation and open space areas shall be designed to accommodate the needs of different ages and abilities.
2. Canopy trees shall be used to provide shade. Informal groupings create visual interest and are encouraged.
3. Ample outdoor furniture shall be provided. This furniture shall match the surrounding architectural styles, materials, and colors. Benches shall be placed to take advantage of views of the San Gabriel and San Bernardino Mountains.
4. A combination of hard and soft paving may be used depending upon the function of the recreational amenity.
5. Active areas may utilize turf, grasses, and ornamental plantings. Passive areas shall primarily be composed of nonirrigated or drought-tolerant species.



Integrate mature tree specimens in courtyard and open space areas



Where feasible, provide access to technology infrastructure in common recreation areas



Outdoor furniture and appropriate fencing of play area

7.2 Residential Design Guidelines

7.2.1 General Residential Design Guidelines

SITE DESIGN

1. The creation of pocket parks and pedestrian trails and paths within neighborhoods is encouraged.
2. On-street parking (to satisfy required off-street parking) may be provided on one side of private residential streets as long as a minimum drive aisle, as required by the San Bernardino County Fire Department, is maintained. On-street parking tends to slow traffic and serves as a barrier between vehicular traffic and pedestrians, creating a safer pedestrian environment.
3. Roadways shall be oriented to create views of neighborhood parks and other amenities. Housing shall front amenities and paseos whenever possible. All alley-loaded product (rear-loaded product), court cluster product, paseo cluster product, stacked flats or row townhomes, which require a private alley, drive, or court, shall meet the City standard for usable balconies and enhanced natural surveillance over the drive or court areas.
4. All residential site plans will incorporate Crime Prevention Through Environmental Design standards for a natural enrichment of quality of life.
5. Guest parking spaces must be located at least 10 feet from a dwelling living area and cannot be satisfied on a street.

ARCHITECTURAL STYLE

1. The massing, character, and detailing of the architectural styles shall be authentic to the selected styles. However, contemporary adaptation of traditional vernaculars is appropriate.
2. The choice of architectural expression must be derived primarily from the respective building typology (row towns, courtyard buildings, single-family homes, etc.). Architectural styles shall be accurate and appropriate for the building typology.

3. Whenever possible, building articulation and form shall be expressive of and driven by environmental and site conditions such as solar orientation, views, noise, prevailing winds, and local climate. Plan forms that employ features such as courtyards, plazas, and patios are encouraged.
4. Use architectural elements that form an integral part of the building and avoid ornamentation and features that appear to be of poor quality and tacked on.
5. Architectural styles and detailing are extremely important to the identity and appeal of residential neighborhoods as well as individual homes. A mix of well-defined architectural styles in each neighborhood will add to the character of the project and is encouraged.
6. Box-like home designs are discouraged. Varied architectural detailing and projections shall be used to accentuate specific features and ensure a visually pleasing and varied experience within a neighborhood.
7. Builders are encouraged to incorporate sustainable design features, such as solar panels, light shelves, eyebrows and overhangs, reflective rooftop materials, cisterns and greywater systems, and other features to reduce resource consumption.
8. Incorporate shading devices and techniques, such as roof overhangs and strategically placed deciduous trees, to minimize unnecessary solar heat gain.
9. Install architectural features that increase daylighting, such as light shelves that bounce light further into interior spaces, to reduce the need for additional electrical light.



BUILDING ORIENTATION

- 1. Use residential entrances to activate the street, and utilize elements such as canopies, porches, stoops, trellises, and courtyards as transitional spaces between the private and public realms.
- 2. Orient buildings to face onto streets, parks, and open spaces/paseos. This orientation will create more attractive, safe, and pedestrian-friendly streetscapes and public spaces.
- 3. Alley-loaded cluster products help to create a pedestrian-friendly streetscape and are encouraged.



Alley-loaded design allows for homes to orient around common spaces

VARIETY AND AESTHETIC QUALITY

1. Create identity and interest by varying floor plans and unit types. Two identical units may not be placed adjacent to each other.
2. Adjacent homes of the same architectural style shall not have identical elevations or colors. Rather, a variety of elevations, colors, and detailing is encouraged.
3. Porches, detailed entries, and stoops add to the character of a neighborhood and shall be incorporated. These features shall be varied along the street to create visual interest. If possible, these features shall project forward of a front entry garage door.
4. Entry features such as gates, trellises, arches, and arbors shall be employed to add visual interest and variety within the neighborhood.
5. Encourage the provision of “outdoor living room” spaces through architectural design that connects interior spaces to well-delineated exterior features such as patios, porches, and entries.
6. Variation in floor plans, unit types, roof form, colors, and materials add character and visual interest to a neighborhood. Two identical elevation styles may not be placed adjacent to each other.



Indoor-outdoor living



Pedestrian-scale design features that reflect the materials and colors of associated structures create variety and aesthetic quality

7. Exercise creativity and individual expression in conceiving and interpreting architectural form.
8. Apply massing breaks such as entry court and stepped-back corners to promote visibility and allow block transparency. Create variety in building mass by providing adequate vertical and horizontal offsets.
9. Avoid monotony through the utilization of varied setbacks, garage orientation and location, and building massing.
10. Designs with the garage as a dominant feature along the street are discouraged. The placement, orientation, and size of the garage shall be varied and include a mixture of front, side, rear, and alley-loaded garages as feasible.
11. Varied front and side setbacks create a more interesting street scene and are strongly encouraged.
12. Utilize a variety of architectural features and detailing methods to differentiate adjacent units. Features such as articulated entry features (porches and stoops), bay windows, and chimneys are encouraged.
13. Front-entry garage doors shall not be the dominant feature of a facade. They shall be recessed into the garage wall and shall include patterns or indentations to create visual interest. Decorative panels, windows, arched doorways, and ornamental trim are strongly encouraged.
14. Alleys shall be landscaped to improve their aesthetic quality.



Porch feature



Varied massing

Landscaped private drives for rear-loaded product enhances the quality of these semipublic areas

7.2.2 Building-Level Residential Architectural Guidelines

ENHANCED ARCHITECTURAL TREATMENT

1. Enhanced architecture is encouraged for planning parcel edges along perimeter streets and major parks. Special landscape or architectural treatments such as enhanced entries or window details shall be used at main street corners and other areas with high visibility, such as at the end of paseos, main icon streets, and view corridors.

ROOFS

1. Roof forms of each home shall be appropriate to the architectural style. Roof forms are encouraged to provide visual interest to the neighborhood. Avoid a common roofline along streets. Overly complex and distracting roofs are not encouraged.
2. Roofs shall be constructed of noncombustible materials. Acceptable materials include clay and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal.

GARAGES

1. The front elevation shall focus on the home, not the garage.
2. Garage wall planes on the front elevations shall be furred out a minimum of 6 inches.
3. Garage door surrounds shall be articulating with trellises, trim, enhanced materials, or other methods to help minimize the architectural impact of the garage door.
4. A mix of garage door patterns (including garage doors with light) shall be used to add variety.
5. Garages shall have windows and lights per City plotting and design criteria standards.

COLORS AND MATERIALS

1. Color schemes shall be appropriate to the architectural style.
2. Color shall be used to add variety and richness to the architecture. Color changes shall occur at the inside corners only.
3. Each elevation shall have a minimum of three colors.
4. Each neighborhood shall have a minimum of three different roof colors and profiles.
5. Use materials, color, and details to enrich building character and emphasize human scale by employing rich, durable, and high quality finishes at street level.
6. Individual single-family homes shall not have identical color schemes adjacent to one another.



The materials and colors chosen for this entry feature compliment the architectural features of the home and enhance the streetscape



ARTICULATION AND DETAILING

1. Articulate elements such as roof overhangs, canopies, and parapets to establish hierarchy and add interest to building silhouettes.
2. Varied architectural detailing and projections shall be used to accentuate specific features and ensure a visually pleasing and varied experience.
3. Establish a clear pattern and provide articulation and rhythm of windows, doors, and balcony openings, utilizing a variety of devices such as canopies, awnings, or railings.
4. Building interaction with the street level is important to a well-defined street scene. Stairways, entry stoops, balconies, arcades, colonnades, and retail storefronts will provide a strong transition from the street to each building
5. Trash collection, service, and loading areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Final location of loading/service areas will be approved by the City during the Development Advisory Board (D.A.B.) process.

SCREENING

1. Storage and maintenance areas and other ancillary uses must be screened from public view.
2. Accessory structures, such as storage, refuse receptacles, mechanical equipment, backflow preventers, loading docks, security fences, and similar uses can seriously detract from the visual quality of an area. Therefore, care must be taken to minimize the visual impact of these uses through site design and visual shielding. When reasonably possible, these uses shall be located away from roadways and public views, behind buildings, or in enclosed structures. Effective shielding methods include landscaping, berms, walls and fences, and ornamental screening.

3. Accessory structures shall be designed to look like a continuation or extension of the primary structure. They shall have architectural detailing and landscaping similar to the primary structure.
4. Any equipment mounted on the roofs shall be screened so that it is not visible from the street.
5. Utilities shall be screened and/or located underground as appropriate.
6. Above ground utilities shall be screened from public view.



Balconies and overhangs add interest to the front elevation of homes

7.2.3 Multifamily Residential Treatment

1. Utilize a variety of architectural features and detailing methods to differentiate adjacent units. Features such as articulated entry features (porches and stoops), bay windows, and chimneys are encouraged.
2. Large multiple-family dwellings shall have articulated facades, including recesses and architectural detailing, to avoid a monotonous streetscape.
3. In multifamily developments, adjacent buildings shall have a variety of color and material palettes, and architectural detailing.
4. In multifamily developments, the architectural building edge shall be used in place of walls whenever feasible.



A variety of architectural features and details differentiate these multi-family units

7.2.4 Menu of Residential Architectural Styles

The Arboretum Specific Plan has a designated group of compatible architectural styles that are consistent with the buyer profile and landscape theme for the community's villages. The architectural styles have also been selected to allow for variety and individuality for each neighborhood. On the following pages are samples of recommended architectural styles for the Arboretum. Key defining elements of each style are included.

A minimum of three different architectural styles must be utilized within each village, and a minimum of six different architectural styles must be utilized throughout the entire Specific Plan area. One or more architectural styles may be utilized within each residential neighborhood. However, the utilization of more than one architectural style within an individual residential neighborhood is encouraged. Although only one style is required within each residential neighborhood, a minimum of three different elevations of the same architectural style must be utilized. In addition, no two identical elevations may be utilized adjacent to each other within detached residential neighborhoods. The reverse of an elevation, though, may be used adjacent to the original.

Each architectural style is represented on the following pages in the form of a summary description of its main components. These summaries will be used by the City of Fontana's Planning Division to determine if the submitted architecture plans substantially conform to the architecture styles identified in this document. Proposed architectural plans are not required to contain all the elements identified for each particular style. Rather, the matrix is intended to set forth a description of style elements and features generally associated with the architectural style.

The architectural styles for the residential uses within The Arboretum include:

- *Santa Barbara*
- *Spanish Colonial*
- *Monterey*
- *Tuscan*
- *Provence*
- *Italianate*
- *California Craftsman*
- *Prairie*
- *European Cottage*

SANTA BARBARA STYLE



Front door appropriate to style



Light-sand stucco



Decorative metal



Southern California influenced Spanish styles popular from 1900–1930.



Recessed entry



Semi-tight rake



Decorative accent tile



Wood balcony

S T Y L E E L M E N T S	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical massing Arched arcades
ENTRY	<ul style="list-style-type: none"> Covered porch Arcade Recessed entry
ROOF	<ul style="list-style-type: none"> 4:12-5:12 roof pitch; gable roof Deep eaves at selected locations Semi-tight rake at gable ends
DETAILS	<ul style="list-style-type: none"> Wood or wrought iron balconies Decorative patterned accent tile Wrought iron window grills Recessed windows
MATERIALS & COLORS	<ul style="list-style-type: none"> Red barrel concrete tile roof Light to medium sand stucco finish





1915–1940 Spanish-inspired with Latin American design elements. Made popular after 1915 Panama-California exposition in San Diego. Features a more precise imitation of elaborate Spanish elements than the Mission Revival style

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical massing
ENTRY	<ul style="list-style-type: none"> Covered porch Arcade Detailed door surround
ROOF	<ul style="list-style-type: none"> 4:12–5:12 roof pitch; hip or gable roof Little or no overhang at gable ends Exposed rafter tails at selected areas
DETAILS	<ul style="list-style-type: none"> Shutters Wrought iron window grills Vertical window proportions Arched window or door openings
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete S-tile or barrel tile roof Light to medium sand stucco finish White and light earth tone colors



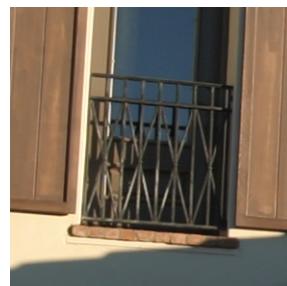
Little or semi-tight overhang at gable ends



Vertical window proportions



Decorative shutters



Decorative metal grills



Detailed door surround



Asymmetrical/symmetrical massing



Arched window/door openings



Covered arcade at entry

MONTEREY STYLE



Cantilevered balcony



Decorative shutters



Exposed rafter tails at selected locations



1925–1940. Blending of Spanish adobe construction with two-story colonial housing type.



Shallow roof pitch, gable roof



Second-story balcony



Paired windows



Balcony-covered entry



Accent siding at second floor



Wood corbels and balcony railing

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Cantilevered covered balcony at the second story
ENTRY	<ul style="list-style-type: none"> Entry covered by balcony above
ROOF	<ul style="list-style-type: none"> Shallow (4:12-5:12) roof pitch; gable roof Exposed rafter tails at selected locations
DETAILS	<ul style="list-style-type: none"> Wood or wrought iron balconies Decorative patterned accent tile Wrought iron window grills
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete S-tile or flat roof Light to medium sand stucco finish Accent siding at second story Accent brick or stone wainscot at the first floor





Inspired by rustic buildings of Tuscany.

TUSCAN STYLE



Rustic stone veneer



Asymmetrical/symmetrical massing



Informal building forms

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Informal building forms Asymmetrical/symmetrical massing
ENTRY	<ul style="list-style-type: none"> Arched door treatments
ROOF	<ul style="list-style-type: none"> Shallow (4:12-5:12) roof pitch; hip and gable roofs Exposed rafter tails at selected locations
DETAILS	<ul style="list-style-type: none"> Shutters Wrought iron details Wood or wrought iron balcony railings Arched windows and window treatments
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete S-tile Light to medium sand finish stucco in rich earth tone colors Rustic stone/brick veneer



Arched windows & window treatments



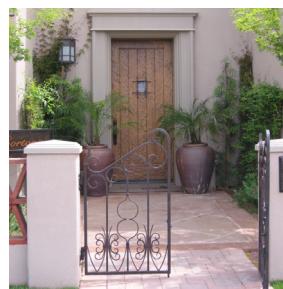
Balcony with decorative metal railings



Decorative shutters



Recessed and arched door treatments



Decorative metal detail

PROVENCE STYLE



Decorative pot shelves



Steep pitched hip & gable roofs



Rich earth color tones



1915–1945. Inspired by the French farmhouse and chateau.



Shallow porch



Rustic stone veneer



Curved / varying roofline



Arched window & door treatments



Quoins



Decorative shutters

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical building massing
ENTRY	<ul style="list-style-type: none"> Arched door treatments Shallow porch Quoins at entry doors
ROOF	<ul style="list-style-type: none"> Steep pitched secondary roofs (6:12+); hip and gable roofs Short overhangs (0"–12") Curved/varying roof line
DETAILS	<ul style="list-style-type: none"> Shutters Wrought iron details Wood or wrought iron balcony railing Dormers Arched window or door treatments
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco in rich earth tone colors Rustic Stone veneer Quoins at corners, windows, or entry doors Stone or brick accents





1840–1885. Inspired by informal Italian-styled villas of the picturesque movement in Europe.

ITALIANATE STYLE



Asymmetrical building massing



Quoins



Dentals at eaves

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical building massing
ENTRY	<ul style="list-style-type: none"> Covered entry Front porch Pediment entry with stoop
ROOF	<ul style="list-style-type: none"> Shallow pitched roofs (4:12-5:12), hip and gable roofs Deep overhangs (12"-36") with decorative brackets below and selected locations
DETAILS	<ul style="list-style-type: none"> Dentals or brackets at eaves at selected locations Paired or triple windows Pediment window and door treatments Rusticated base
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco in rich earth tone colors Rustic Stone veneer Quoins at corners, window, or entry doors Stone or brick accents



Deep overhangs with decorative brackets below



Covered entry



Pediment window



Arched door treatment



Shallow-pitched hip roofs



Light sand finish stucco in rich earth tone colors

CALIFORNIA CRAFTSMAN STYLE



Stone accents



Exposed rafter tails at selected locations



Battered columns with stone base



1905–1930. California style inspired by Greene and Greene.



Shallow pitched roofs with deep overhangs



Full-width front porch



Paired and tripled windows



Varied building massing



Decorative knee braces



Stucco with siding accents

S T Y L E E L M E N T S	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical plan form Varied building massing
ENTRY	<ul style="list-style-type: none"> Full or partial width front porch
ROOF	<ul style="list-style-type: none"> Shallow pitched roofs (3.5:12–5:12); front, side or cross gable roofs Deep overhangs (12"–24") with decorative brackets below Exposed rafter tails at selected locations
DETAILS	<ul style="list-style-type: none"> Battered, square, or 4-post columns Brackets or knee braces at gabled ends Paired or triple windows
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco with siding accents Stone or brick accents





1900–1920. Inspired by the Oak Park homes of Frank Lloyd Wright.

PRAIRIE STYLE



Hip roofs



Light body colors with dark, contrasting trim



Decorative glazing

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical building massing with horizontal emphasis
ENTRY	<ul style="list-style-type: none"> Single-story front porch Decorative glazing or sidelights
ROOF	<ul style="list-style-type: none"> Hip roofs (3.5:12–5:12) 18"–24' overhangs
DETAILS	<ul style="list-style-type: none"> Heavy square columns Geometric window grid patterns Window boxes and pedestal urns Entry door with decorative glazing or sidelights
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco Light body colors with dark, contrasting trim Stone or brick base accents



Heavy square columns



Geometric window grid patterns



Stone base accents



Front porch



Light to medium sand finish stucco



Horizontal emphasis

EUROPEAN COTTAGE STYLE



Stone accents



Decorative pot shelves



Recessed second floor



1920–1940. Inspired by medieval Tudor and Norman country homes.



Asymmetrical/symmetrical massing



Articulated door surround



Hip and gable roofs



Decorative shutters



Semi-tight rake

STYLE ELEMENTS	
FORM & MASSING	<ul style="list-style-type: none"> Asymmetrical/symmetrical building massing Recessed second or third floor
ENTRY	<ul style="list-style-type: none"> Articulated door surround or covered porch
ROOF	<ul style="list-style-type: none"> Hip and gable roofs (4:12–6:12 pitch) 6"–18" overhangs Semi-tight rake
DETAILS	<ul style="list-style-type: none"> Shutters Dormers Tower elements Planter boxes and pot shelves
MATERIALS & COLORS	<ul style="list-style-type: none"> Concrete flat tile roof Light to medium sand finish stucco Rustic stone veneer Stone or brick wainscot



7.3 Activity Center

The following guidelines apply to the commercial uses located at the northwest corner of Sierra Avenue and Duncan Canyon Road.

7.3.1 Site Design

1. Structures shall be designed to relate to each other and the surrounding area.
2. The placement and design of structures shall facilitate and encourage pedestrian activity and convey a physical and visual link to the adjacent residential developments, streets, and sidewalks.
3. When possible, adjacent buildings shall be designed with shared open spaces, plazas, and courtyards that can serve as employee or customer outdoor eating and gathering places.
4. Where feasible, new structures shall be clustered to create plazas and pedestrian malls. When clustering is impractical, a visual link between separate structures shall be established through the use of an arcade, trellis, or other open structure.
5. Establish a visual link in multibuilding complexes by using architectural and site design elements to unify the project.
6. Building entries shall be oriented towards the street and clearly defined.



Provision of public space in the Activity Center



Distinctive architectural detailing



Facade articulation



7.3.2 Architectural Design

1. Projects within the Activity Center shall utilize specialized design features, such as distinctive architectural detailing, landscaping, and lighting elements, to ensure a consistent design theme for that project.
2. Buildings shall be divided in distinct massing elements. Building facades shall be articulated with architectural elements and details. Vertical and horizontal offsets shall be provided to minimize bulk.
3. Avoid long, monotonous building facades and create diversity by clustering buildings around courtyards and open areas.
4. Avoid a single, large dominant building mass. Horizontal building masses shall not exceed a height-to-width ratio of 1:3 without substantial changes in height and projecting or recessed elements.
5. Large buildings shall have articulated facades, including recesses and architectural detailing, to avoid a monotonous streetscape. Openings shall be recessed 2 to 4 inches to further articulate the façade.
6. Vary rooflines to reduce the overall mass of the building. Parapet walls and roof systems shall be designed to conceal all roof-mounted equipment from adjacent properties and public rights-of-way. Flat roofs shall be disguised through the use of parapet walls.
7. Architectural elevations of principal buildings over 20 feet tall shall have a clearly discernible base (minimum 3'), body, and cap (consisting of a cornice, parapet, awning, or eave that do not exceed the base height). The base and cap shall be discernible from the body by changes in color, materials, texture, pattern, or profile.
8. Utilize low reflective, subtle, neutral, or earth tone colors on the building body. Building trim and accent areas may feature brighter colors, including primary colors. Applied paint over brick and stone is strongly discouraged.
9. Utilize high quality materials on building bases, bodies, and caps.



Towers and other architectural features shall be used within the Activity Center to create a distinctive sense of place



The distinctive architectural detailing of this commercial retail project creates a consistent design theme for the project

7.3.3 Activity Center Entries

1. Entries shall be clearly marked, with distinctive landscaping and attractive monument-style signage.
2. Access shall be located as far from street intersections as possible.

7.3.4 Paving

1. A variety of paving materials shall be used to clearly delineate vehicular and pedestrian areas and to create a sense of place.
2. Decorative paving shall be incorporated into parking lot design, driveway entries, pedestrian walkways, crosswalks, plazas, and pedestrian malls.

7.3.5 Storage and Accessory Structures

1. Storage, loading areas, and service entrances shall be located to the rear of the structure and oriented away from noise-sensitive uses, such as residences. Landscaping, berthing, and walls shall be used to buffer adjacent uses from these areas.
2. Outdoor storage areas and loading docks shall be screened from the street and adjacent uses.
3. Accessory uses and utilities shall be located behind the primary structure out of public view whenever possible. Uses that cannot be placed out of view shall be shielded with berms, landscaping, attractive walls, or decorative screening.

7.3.6 Parking

1. Disperse parking into multiple smaller lots as opposed to one large lot, where feasible, and screen parking with berms, landscaping, or fences.



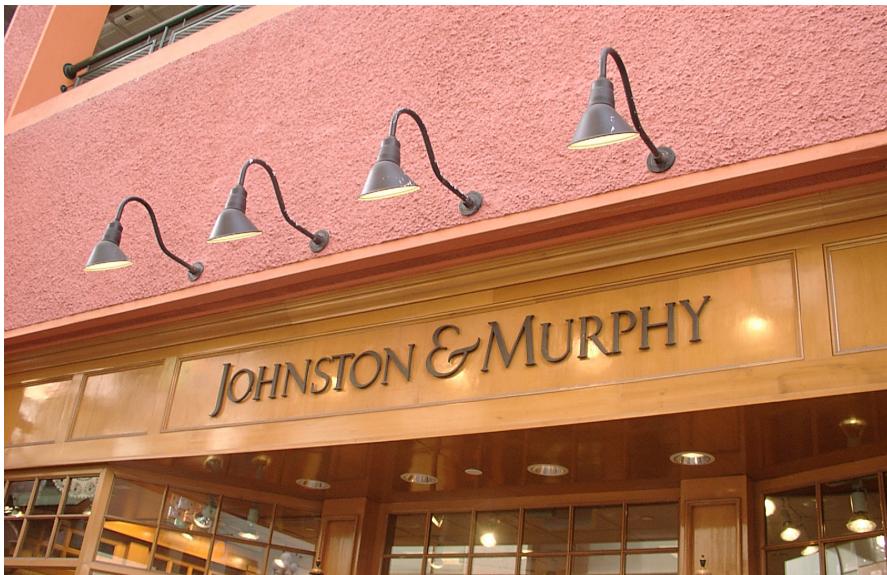
Pedestrians should be buffered from parking lots with landscaping and sidewalks



Screening of trash receptacles



Colorful and varied paving materials add interest to sidewalks and public spaces



Quality commercial project signage

7.3.7 Activity Center Signs

1. Signs shall be backlit or downlit to prevent glare and spillover onto adjacent properties.
2. "Canned" signs are prohibited. Interior illuminated channel letters shall be used instead.
3. Signs shall be compatible with the building and site design in terms of color, material, and placement.
4. All signs shall be maintained in good repair.
5. Color schemes for signage shall be related to other signs and graphics in the vicinity to achieve a coordinated sense of identity.
6. The design and style of a sign shall complement the architectural style of the building to which it is attached or adjacent.
7. The exposed backs and sides of signs shall be architecturally treated to blend with the exterior character of the buildings and site.
8. Signage shall be visually interesting and informative. It shall be distinctive and eye-catching yet simple and tasteful. Cluttered designs and excess advertising shall be avoided.
9. Multitenant signage is encouraged to minimize visual clutter.



7.4 Landscape Design Guidelines

These landscape design guidelines establish a landscape theme for the project and set forth general criteria for landscaping of the residential community for the Arboretum. The Arboretum's design guidelines are driven by the goal to create a cohesive overall community while still promoting the design of unique and interesting landscape spaces at the neighborhood level.

7.4.1 Community-Wide Landscape Design Guidelines

1. All landscaping shall utilize the approved trees, shrubs, and groundcovers listed in the Plant Palette found in this chapter (Table 7.4).
2. Landscaping along major roadways and at project entries shall be consistent, formalized, and composed of signature plantings from the plant palette to create an attractive and cohesive community identity. Formal plantings of nonnative species may be used at key entries and intersections to highlight these areas.

3. Median plantings shall reflect the use of the roadway of which they are a part. Median plantings along Sierra Avenue, Citrus Avenue, and Casa Grande Avenue shall be more formal to reflect the hierarchy and character of the roadways.

4. Landscaping within paseos shall consist of informal groupings of shade trees, shrubs, and plantings. Native and other low-water species shall comprise the majority of landscaping within paseos. However, turf areas may be provided in areas intended for active use.

5. The planting of native and drought-tolerant species coupled with water-efficient and drip irrigation systems is encouraged throughout the project, especially in public or common areas.

6. As practical, utilize medians and parkways for water treatment and to reduce runoff.

7. As practical, ample street and shade trees shall be provided to create an attractive and pedestrian-friendly environment.

8. Increase tree canopy and place trees strategically to reduce energy demand for adjacent buildings, enhance roadway safety, and provide for a more aesthetically pleasing environment.

9. As practical, utilize a variety of tree types with an emphasis on trees that provide shade cover and an urban forest within The Arboretum. Also, provide formal, linear plantings of trees as windrows, with proper orientation toward prevailing winds, to mitigate the negative effect of wind on the project.



Patterned paving at pedestrian crosswalks increases pedestrian safety and enhances entries

- 10. Install automated, high efficiency irrigation systems to reduce the amount of water devoted to landscaped areas, such as drip and bubbler irrigation and low-angle, low-flow sprayheads.
- 11. Encourage homeowners to select plant materials and species that are native, drought tolerant, and/or low water demand.
- 12. Minimize the use of large or inefficiently small turf areas in landscaping by incorporating water-conserving native groundcovers or perennial grasses, shrubs, and trees.
- 13. Group plants with similar water requirements together, a technique known as hydrozoning.
- 14. Increase tree cover in developed areas to reduce solar heat gain into buildings and to reduce the amount of heat absorbed by paved areas. In general, plant drought-tolerant or native tree species around and near buildings, walls, windows, and paved areas. Plant deciduous trees on the south side of buildings to allow for increased solar heat gain in winter months (reducing energy needed for heating interiors) and shading in summer months (reducing energy needed for cooling interiors).



Street trees provide shade and visual character along residential streetscapes



Groundcover and informal tree plantings

7.4.2 Tiered Landscape Program

Landscaping for The Arboretum shall follow a tiered planting plan as shown in Figure 7.1, *Tiered Planting*. Using different scales, forms, colors, and/or textures of plant materials “tiered” planting visually increases the depth of planters and promotes interest and diversity. The application of tiered planting is required to enhance the visual character of the project by softening the appearance of walls and fencing along major community roadways such as Duncan Canyon Road and Cypress Avenue. The tiered concept shall also be applied at the neighborhood level (along collector and local streets) and in front of individual residential units or multifamily housing projects. A selection of acceptable planting materials is found in Table 7.4, Plant Palette.



Example of tiered planting techniques

Table 7.1 General Tiered Landscaping Requirements

TIER	DESCRIPTION	SIZE
Tier A	Low spreading groundcover (1) (<i>including turf or turf substitute</i>)	Under 12" height
Tier B	Low mounding shrub/groundcover (1) (2) (<i>informal mass planting</i>)	12"-30" height
Tier C	Low hedge (<i>formal-linear</i>)	12"-30" height
Tier D	Medium shrub (<i>informal mass or hedge</i>) (2)	24"-48" height
Tier E	Large shrub (<i>informal mass or hedge</i>) (2)	42"-60" height
Tier F	Vertical accent (<i>growth habit columns rather than horizontal</i>)	42"-72" height
Accent G	Strategically located specimens	Varies

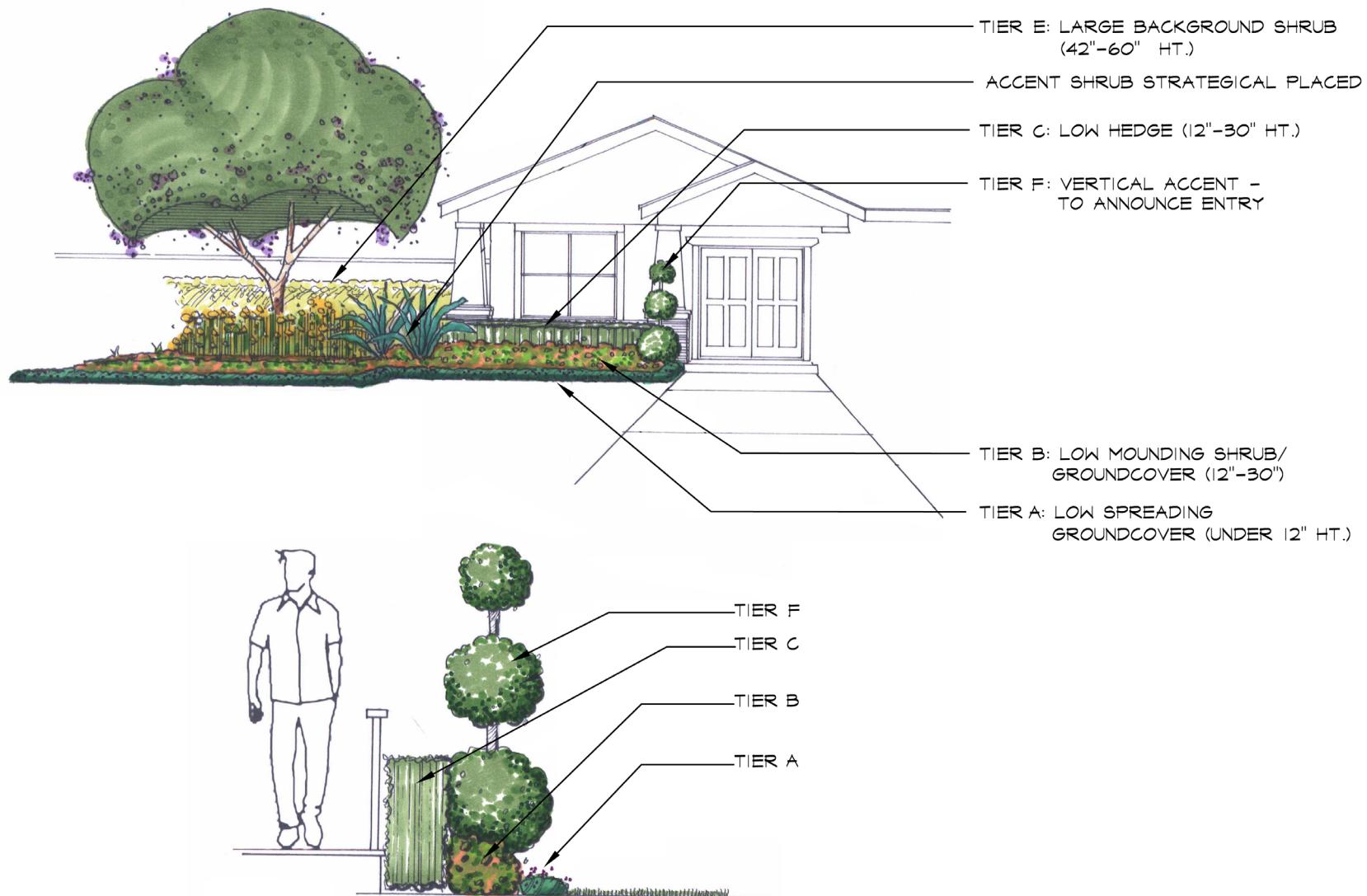
Notes

(1) Groundcover material shall be permeable and be able to retain moisture in the root zone, as well as reduce dust and weeds. Examples of appropriate ground place materials include decomposed granite (3/8" minus with 11% fines), fractured rock (2"-6"), river rock (4"-9"), shredded bark, and ornamental grass. Groundcover should be “California-friendly”. Only landscape areas 8'x18' in size and greater and designed for active outdoor activity shall be permitted to use turf.

(2) Shrubs shall be a minimum of 5-gallons in size; in any “multi-tier” scheme, shrubs serving as the first (shortest) tier, a 1-gallon shrub size or rooted cutting is acceptable. When four or more tiers are used, shrubs serving as the first two tiers, may be a minimum of 1-gallon in size.

TIERED PLANTING

FIGURE 7.1



DESIGN GUIDELINES

Table 7.2, Specific Tiered Landscaping Requirements, provides details on how to approach tiered landscaping in front and side yards and slopes and large open spaces. Table 7.3, Streetscape Landscaping Requirements, details sizing, spacing and other requirements for the various street typologies found within The Arboretum community. Please see Chapter 6, *Circulation and Streetscape Design*, for further information regarding the Arboretum's streetscene.

Table 7.2 Specific Tiered Landscaping Requirements

PLANTER WIDTH	NUMBER OF TIERS REQUIRED (Choose tiers A-G from Table 7.1)		
	Front yards	Side yards	Slopes and large open space
18" - 30"	1	1	1
30"-48"	2	2	1
48"-60"	2 or 3	2	1
60" and up	3	3	1
5'-12'	-	-	2: Second tier minimum "Tier C"
12' - 18'	-	-	3: Third tier minimum "Tier D"
18' and up	-	-	4

* Accent planting is encouraged depending on length of planter and could, depending on its use, count as a tier.

7.4.3 Streetscapes

1. Streetscape elements, such as landscaping, lighting, street furniture, and signage shall create an attractive, consistent, and cohesive community image and complement the surrounding architectural styles.
2. Attractively landscaped medians shall be provided along major roadways to reduce vehicular speed, create a pedestrian-friendly environment, and ensure a pleasant community image.
3. Special patterned paving shall be provided at important intersections and pedestrian crossings within the Specific Plan area, such as the intersection of Cypress Avenue and Duncan Canyon Road.
4. Traffic-calming measures, such speed dots, will be used every +/- 650 feet in and adjacent to residential and park areas to reduce the speed of traffic and create a more pedestrian-friendly environment. Sidewalk bulbs increase pedestrian safety and comfort and shall be placed at important intersections.

At the product level, product-adjacent private spaces that are part of the public realm (i.e. private front and side yards) help creating the overall landscape tone for the Arboretum. Specific tiered-landscape requirements for front and side yards are provided to encourage the development a cohesive streetscape throughout all levels the Arboretum. Slopes and large open spaces (a minimum of 900 square feet in size and/or with 20-foot dimensions) can also serve to unite the streetscene.

Table 7.3 Streetscape Landscaping Requirements

	Trees	Vines	Shrubs	Unique Details
Perimeter Streets (Figures 6.3 and 6.4)	<ul style="list-style-type: none"> Combination of 24- and 36-inch box trees Flowering accent tree groupings between 120-200 ft spacing 	<ul style="list-style-type: none"> 1-gallon minimum 20 ft on center spacing 	<ul style="list-style-type: none"> Tiered landscape 1-gallon minimum 30-inch max height for shrubs in the median Wood mulch or D.G. around shrubs 	<ul style="list-style-type: none"> Option A (Specimen Tree) and/or Option B (Vineyard) to occur 3-4 times per 1,000 linear feet
Duncan Canyon Road and Citrus Avenue at Easement (Requirements in addition to those for Perimeter Streets) (Figure 6.5)	<ul style="list-style-type: none"> 24-inch box minimum 40 ft on center spacing 20 ft height max 			
Collector Streets (Figures 6.6)	<ul style="list-style-type: none"> 24-inch box minimum 40 ft on center spacing 	<ul style="list-style-type: none"> 1-gallon minimum (where applicable) 	<ul style="list-style-type: none"> Layered between sidewalk and community wall or maintenance curb 50% 1-gallon minimum, 50% 5-gallon minimum Wood mulch around shrubs 	
Local Streets (Figures 6.7)	<ul style="list-style-type: none"> 24-inch box minimum 40 ft on center spacing Three trees per lot for side and corner conditions, two trees per lot for front yard conditions 	<ul style="list-style-type: none"> 1-gallon minimum (on side yards) 10 ft on center spacing 	<ul style="list-style-type: none"> Tiered medium scale shrubs for side-yard between wall and property line wall 50% 1-gallon minimum, 50% 5-gallon minimum Wood mulch around shrubs 	
Arboretum Trail Streetscape (Figures 6.8)	<ul style="list-style-type: none"> 24-inch box minimum 40 ft on center spacing 	<ul style="list-style-type: none"> 1-gallon minimum (where applicable) 	<ul style="list-style-type: none"> Layered between sidewalk and community wall or maintenance curb 50% 1-gallon minimum, 50% 5-gallon minimum Wood mulch around shrubs 	<ul style="list-style-type: none"> Perimeter Street Option A and/or Option B where appropriate
Alleys	<ul style="list-style-type: none"> 15-gallon minimum tree size 	<ul style="list-style-type: none"> 1-gallon minimum 		



7.4.4 Landscape Districts

To ensure that the arboretum concept and theming established in the Arboretum Park extends to the residential neighborhood level (above and beyond the parks and gardens that are required), The Arboretum Specific Plan area has been divided into 13 landscape districts (Figure 7.2, *Landscape Districts*) that are comprised of multiple planning areas.

While the streetscape landscaping palette provides overall visual continuity throughout the four villages, the landscape districts were established to ensure that visual variety in the Arboretum's landscaping is achieved at the individual property and/or product level. As a result, a landscape theme will be selected for each landscape district that is based upon the planting materials used in one of the community gardens that are required in each village. Variations in the landscape themes will occur between adjacent landscape districts to visually create a distinctive sense of place for each district.

The landscape district delineations shown in Figure 7.2 are provided for reference only. District boundaries, garden theme selection, and each landscape district plant palette shall be refined and finalized during the tentative tract map approval process.



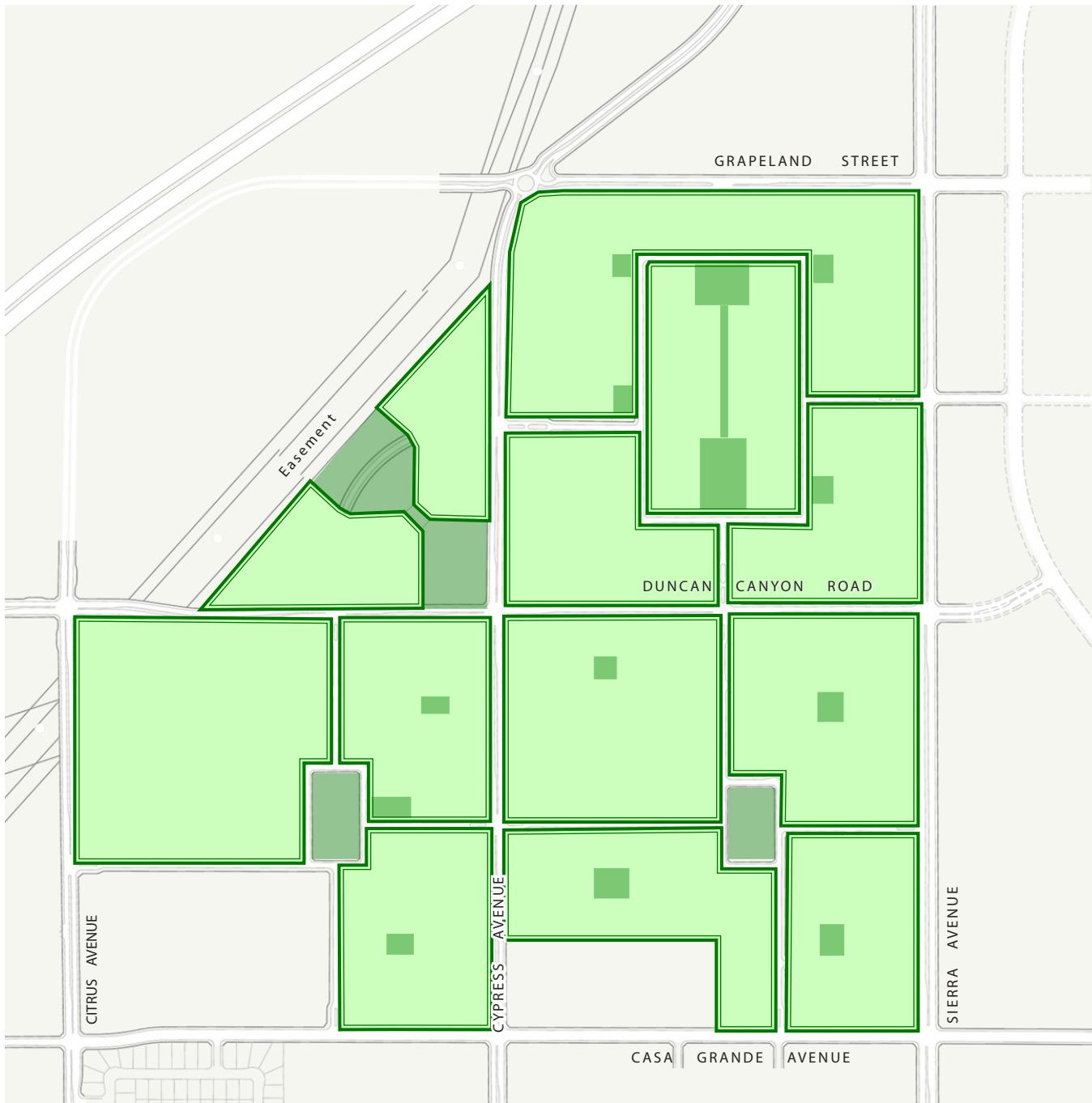


LANDSCAPE DISTRICTS
FIGURE 7.2

LEGEND

 Landscape District

 Park



7.4.5 Product-Level Landscaping

The following general requirements for detached product front yards and attached product interior drive courts provide minimum standards necessary to create a vibrant public realm. These standards, when combined with a tiered landscaping plan and guided by the images presented in this section, will result in a cohesive landscape at the product level while maintaining a sense of originality and diversity.

To ensure that appropriate landscape treatments and materials selected at the landscape district level are carried through to the product level, examples of landscaping requirements for four conceptual products - detached single family, detached court cluster, attached paseo cluster, and attached green court cluster - are presented in this section. These four products present options on how to approach landscaping at the product level of development - a key level in setting the tone for the entire Arboretum community.

DETACHED UNITS: FRONT YARDS

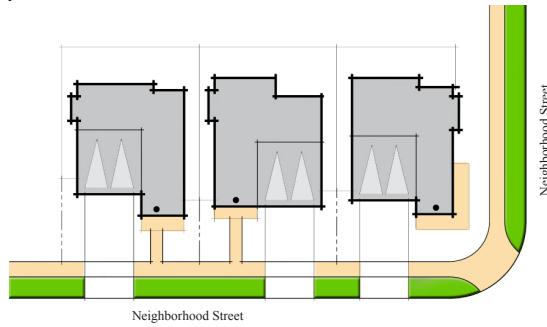
1. Plant accent shrubs to highlight home entry
2. Any wall over 42" high shall have a 5-gallon foundation or shrub material planted at a minimum 3' o.c. at its base
3. Two large plantings per lot, in addition to street trees, shall be required. One planting must be a tree (24" box minimum) while the other planting shall be a 15-gallon minimum tree or shrub.
4. Trees shall be planted in informal clusters to create dynamic rhythm and avoid monotony of evenly spaced trees.
5. Plant materials are encouraged to be "California-friendly".

ATTACHED UNITS: INTERIOR DRIVE COURTS

1. Provide landscape planters between garage doors to achieve softening of motor court/alley area.
 - Planter shall be a minimum of 16" wide and 24" deep.
 - Planter shall be able to support a vertical hedge or vines capable of reaching and being maintained at 5' height.
 - Vines growing up and over top of garage door area is encouraged.
2. Provide vertical accent tree or large vertical shrub at corner of building facing alleys to soften and frame building.
3. Plant materials are encouraged to be "California-friendly".

DETACHED TRADITIONAL SINGLE FAMILY HOME

STREET-ADJACENT PUBLIC SPACE



PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



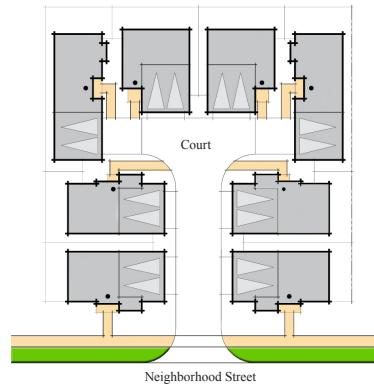
PRODUCT-ADJACENT PRIVATE SPACE



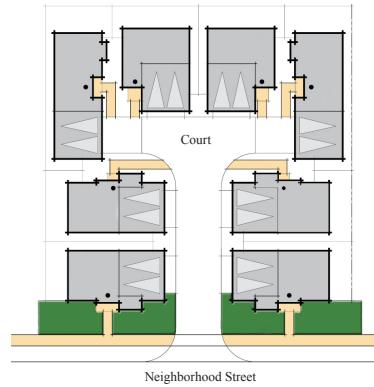
DESIGN GUIDELINES

DETACHED COURT CLUSTER

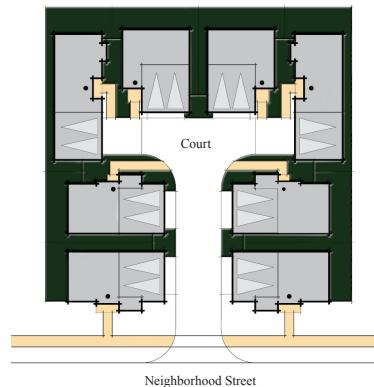
STREET-ADJACENT
PUBLIC SPACE



PRODUCT-ADJACENT
PUBLIC SPACE,
PRIVATELY OWNED

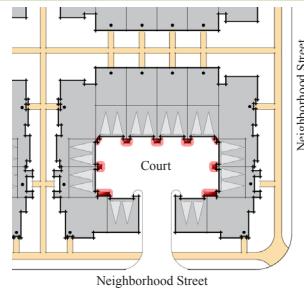


PRODUCT-ADJACENT
PRIVATE SPACE

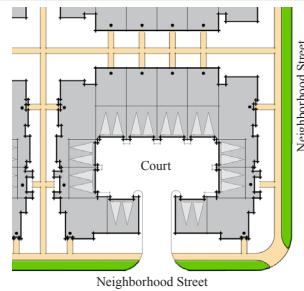


ATTACHED PASEO CLUSTER

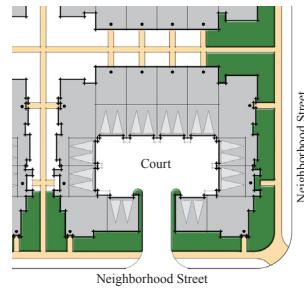
INTERIOR DRIVE COURT



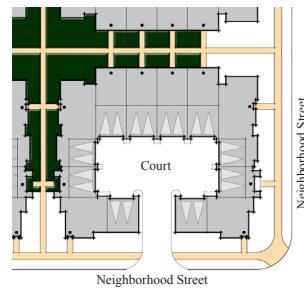
STREET-ADJACENT PUBLIC SPACE



PRODUCT-ADJACENT PUBLIC SPACE, PRIVATELY OWNED



PRODUCT-ADJACENT PRIVATE SPACE



ATTACHED GREEN COURT CLUSTER

INTERIOR
DRIVE COURT



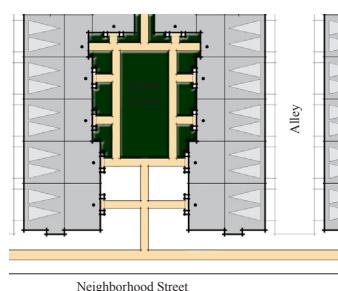
STREET-ADJACENT
PUBLIC SPACE



PRODUCT-ADJACENT
PUBLIC SPACE,
PRIVATELY OWNED



PRODUCT-ADJACENT
PRIVATE SPACE



7.4.6 Alternative Landscape Techniques



Individual residential property owners will be encouraged to utilize alternative landscaping techniques to reduce turf throughout the Arboretum. These alternative techniques include, but are not limited to:

1. Turf Limitations: limit the amount of turf in front yards based on yard size (i.e. 10% of total square footage with an 8' minimum dimension) or require front yards to be turf-free. Encourage use of various groundcover, inert natural materials, and/or native grasses instead.
2. Landscape Zones: group plants with similar water needs together to create distinct watering zones (mini oasis zone, transition zone, and natural zone). Lots may thus be laid out to with a smaller but highly visible area where regular irrigation is provided, but with other broad areas requiring little maintenance or watering.
3. Vertical Landscaping: orient landscape vertically rather than horizontally. Vertical landscaping requires less ground space and concentrates required watering. Vertical plantings can include trellises or large pots with small trees.
4. Wall Planting: when there are retaining wall conditions, create walls where plants can root into material behind the wall façade or where the rooting medium for the plants is contained within the wall structure. These walls can be made to convey a sense of local distinctiveness.
5. Native Grasses: plant native grasses in place of traditional turf to reduce water use, green waste and add variety to the landscape.
6. Creative Pavement Patterns: utilize visually pleasing paving options to create interesting groundcover patterns, without the use of turf.
7. Mulch / Decomposing Granite (DG): commonly used for paths and other paved surfaces. DG is much more permeable than conventional paving materials and can usually be installed at a much lower cost.
8. Outdoor Rooms: encourage use of outdoor spaces by creating outdoor "rooms" using pavement, walls, and planters which support drought tolerant planting materials.
9. Solar Orientated Landscaping: organize landscape based on sun exposure (west/south side requires direct sun and tolerates reflected heat, east side should have plants that require filtered or moderate sunlight, and north side needs shade tolerant plants).



The use of drought-tolerant and native plant species can be an attractive turf alternative in front yards and common landscaped areas.

7.4.7 Plant Material Guidelines

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to The Arboretum. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material selection for given project areas, shall have compatible drought-resistant characteristics. Irrigation programming can then be designed to minimize water application for the entire landscape setting.

PLANTING CONSTRAINTS

There are several planting and hardscape restrictions, constraints, and considerations which occur within The Arboretum, as follows:

- The landscape area between hardscape elements (i.e., curb, sidewalk) shall be no smaller than 4 feet in width (excluding planters in interior courts).
- Trees planted on small areas (less than 5' wide) require an 8-foot linear-type root barrier and their location must be approved by the Public Works Department.
- No trees higher than 20 feet are allowed in the SCE easement.
- Trees shall be centered in parkways, medians or planting areas, unless indicated as randomly spaced.

IRRIGATION

All irrigation systems installed in any commonly irrigated lots and which are maintained by the Homeowner Association or a Landscape Maintenance District, shall be designed to conform to the state's Water Conservation Assembly Bill 325 and any City of Fontana Guidelines currently in effect. All irrigation systems shall be installed in conformance with all City of Fontana Standards.

All landscaped areas to include neighborhood parkways shall be watered with a permanent underground irrigation system, and shall be designed with head-to-head or point-to-point 100 percent coverage. Landscape areas within the SCE easement

shall be watered using point irrigation system (drip or bubbler). No irrigation controllers or irrigation main lines are allowed within the SCE Easement.

Water-saving irrigation equipment shall be used, including flow sensors, moisture sensors, and using California Irrigation Management Information System (CIMIS).

PLANT PALETTE

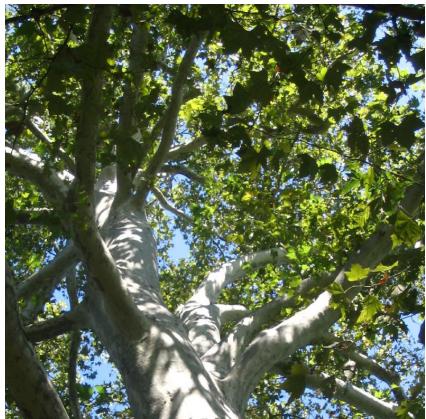
The plant palette for The Arboretum Specific Plan, accompanied by images of typical species, is presented in Table 7.4, *Plant Palette*, below. The plant palette describes the types and locations of species to be used in certain areas, including streetscapes, entryways, and park areas. Trees recommended for the Arboretum Park are indicated by a green marker ● next to the tree name within the Community Plant Palette.



Eucalyptus grandis



California Pepper Tree



London Plane Tree



Honey Locust

Table 7.4 Plant Palette

BOTANICAL NAME	COMMON NAME
EXTERIOR PERIMETER STREETS (Grapeland St., Citrus Ave., Casa Grande Ave., Sierra Ave.)	
Large-Scale Evergreen Street Trees and Median Island Trees	
<i>Alnus rhombifolia</i>	White Alder
<i>Cinnamomum camphora</i>	Camphora
<i>Eucalyptus leucoxylon</i>	White Ironbark
<i>Eucalyptus microtheca</i>	Coolibah
<i>Eucalyptus robusta</i>	Swamp Mahogany
<i>Eucalyptus viminalis</i>	Eucalyptus
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Pinus halepensis</i>	Aleppo Pine
<i>Pinus pinea</i>	Italian Stone Pine
<i>Podocarpus gracilior</i>	Fern Pine
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Quercus wislizenii</i>	Interior Live Oak
<i>Schinus molle</i>	California Pepper Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia</i> 'True Green'	Chinese Evergreen Elm
Large Scale Deciduous Accent Trees	
<i>Luquidambar straciflua</i>	American Sweet Gum
<i>Olea europaea</i>	Olive
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i>	London Plane Tree; 'Bloodgood'
<i>Populus nigra</i> <i>italica</i>	Lombardy Popular
<i>Zelkova serrata</i>	Saw Leaf Zelkova





Jacaranda



Crape Myrtle



Magnolia



Camphor Tree

Flowering Accent Trees

<i>Bauhinia variegata</i>	Purple Orchid Tree
<i>c Chitalpa tashkentensis</i>	Chitalpa
<i>Cupaniopsis anacardioides</i>	Carrot Wood Tree
<i>Glenditsia triancanthos</i>	Honey Locust
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia; 'DD Blanchard'
<i>Pyrus calleryana</i>	Ornamental Pear; 'Aristocrat'

Shrubs

See Overall Arboretum Plant Palette

Median Island Shrubs (30" High Maximum)

See Overall Arboretum Plant Palette

INTERNAL PERIMETER STREETS (Cypress Ave., Duncan Canyon Road)

Large-Scale Street Tree and Median Island Trees

Duncan Canyon Road

<i>Cinnamomum camphora</i>	Camphora
<i>Eucalyptus viminalis</i>	Eucalyptus
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus virginiana</i>	Southern Live Oak
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Pistacia chinensis</i>	Chinese Pistache
<i>Platanus acerifolia</i>	London Plane Tree; 'Bloodgood'
<i>Podocarpus gracilior</i>	Fern Pine
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Schinus molle</i>	California Pepper Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia 'True Green'</i>	Chinese Evergreen Elm
<i>Zelkova serrata</i>	Saw Leaf Zelkova





Purple Orchid Tree



Saw Leaf Zelkova



Chinese Fringe Tree



Ornamental Pear

Cypress Avenue

<i>Cinnamomum camphora</i>	Camphora
<i>Eucalyptus viminalis</i>	Eucalyptus
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Platanus acerifolia</i>	London Plane Tree; 'Bloodgood'
<i>Podocarpus gracilior</i>	Fern Pine
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Quercus wislizenii</i>	Interior Live Oak
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia 'True Green'</i>	Chinese Evergreen Elm
<i>Zelkova serrata</i>	Saw Leaf Zelkova

Flowering Trees

Duncan Canyon Road and Cypress Avenue

<i>Castanospermum australe</i>	Moreton Bay Chestnut
<i>Cupaniopsis anacardioides</i>	Carrot Wood Tree
<i>Lagerstroemia indica</i>	Crape Myrtle (Duncan Canyon Road)
<i>Magnolia grandiflora</i>	Southern Magnolia (Cypress Avenue)
<i>Pyrus calleryana</i>	Ornamental Pear; 'Aristocrat'
<i>Olea europaea</i>	Olive
<i>Quercus ilex</i>	Holley

SCE Easement Street Trees

Duncan Canyon Road

<i>Lagerstroemia indica</i>	Crape Myrtle
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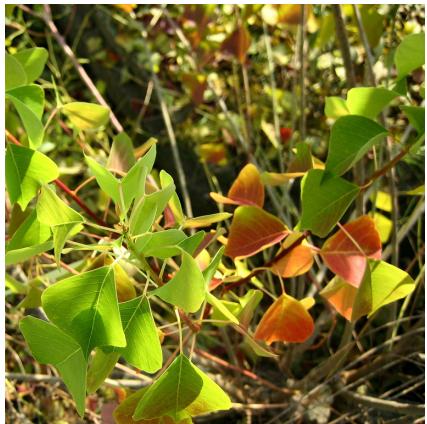
SCE Easement Shrubs

See Overall Arboretum Plant Palette

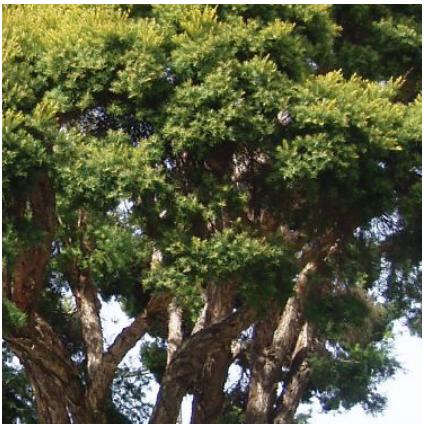
Vines (On Perimeter Streetscene Walls)

See Overall Arboretum Plant Palette





Chinese Tallow Tree



Flaxleaf Paperbark



Kangaroo Paw



Buxus

ARBORETUM TRAIL AT COLLECTOR STREETS

Street Trees – All of the following trees shall be used along the Arboretum trail to create plant diversity along this corridor.

<i>Bauhinia blakeana</i>	Hong Kong Orchid Tree
<i>Bauhinia variegata</i>	Purple Orchid Tree
<i>Cinnamomum camphora</i>	Camphor Tree
<i>Cupaniopsis anacardioides</i>	Carrot Wood
<i>Jacaranda mimosifolia</i>	Jacaranda
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Magnolia grandiflora</i>	Southern Magnolia; 'DD Blanchard'
<i>Olea europaea</i>	Olive
<i>Platanus acerifolia</i>	London Plane Tree; 'Bloodgood'
<i>Podocarpus gracilior</i>	Fern Pine
<i>Pyrus calleryana</i>	Ornamental Pear; 'Aristocrat'
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Schinus molle</i>	California Pepper Tree
<i>Tristania conferta</i>	Brisbane Box
<i>Ulmus parvifolia 'True Green'</i>	Chinese Evergreen Elm
<i>Zelkova serrata</i>	Saw Leaf Zelkova

Background / Windbreak Trees

<i>Alnus rhombifolia</i>	White Alder
<i>Eucalyptus microtheca</i>	Coolibah
<i>Eucalyptus robusta</i>	Swamp Mahogany
<i>Eucalyptus leucoxylon</i>	White Ironbark
<i>Eucalyptus viminalis</i>	Eucalyptus
<i>Pinus canariensis</i>	Canary Island Pine
<i>Pinus eldarica</i>	Afghan Pine
<i>Populus nigra italicica</i>	Lombardy Popular

Shrubs

See Overall Arboretum Plant Palette





Jerusalem Sage



Pink Melaleuca



Dwarf Strawberry Tree



Bougainvillea

Vines (On Perimeter Streetscene Walls)

See Community Plant Palette

COLLECTOR STREETS

Street Trees

- Arbutus marina
- Bauhinia blakeana
- Bauhinia variegata
- Cinnamomum camphora
- Cupaniopsis anacardioides
- Eucalyptus viminalis
- Fraxinus oxycarpa
- Koelreuteria bipinnata
- Lagerstroemia indica
- Magnolia grandiflora
- Melaleuca linariifolia
- Olea europaea
- Pinus canariensis
- Pinus eldarica
- Platanus acerifolia
- Podocarpus gracilior
- Pyrus calleryana
- Quercus agrifolia
- Rhus lancea
- Sapium sebiferum
- Schinus molle
- Sophora japonica
- Tristania conferta
- Ulmus parvifolia 'True Green'
- X chitalpa tashkentensis
- Zelkova serrata
- No Common Name
- Hong Kong Orchid Tree
- Purple Orchid Tree
- Camphora
- Carrot Wood Tree
- Eucalyptus
- 'Raywood'; Raywood Ash
- Chinese Flame Tree
- Crape Myrtle
- Southern Magnolia; 'DD Blanchard'
- Flaxleaf Paperbark
- Olive
- Canary Island Pine
- Afghan Pine
- London Plane Tree; 'Bloodgood'
- Fern Pine
- 'Aristocrat'; Ornamental Pear
- Coast Live Oak
- African Sumac
- Chinese Tallow Tree
- California Pepper Tree
- Japanese Pagoda Tree
- Brisbane Box
- Chinese Evergreen Elm
- 'Pink Dawn'; Chitalpa Tree
- Saw Leaf Zelkova



DESIGN GUIDELINES



Purple Leaf Plum



Boston Ivy



Mexican Bush Sage



Pink Powder Puff

Shrubs

See Overall Arboretum Plant Palette

Vines (On Perimeter Streetscene Walls)

See Overall Arboretum Plant Palette

COMMUNITY PROJECT ENTRIES

Specimen Trees

Olea europaea	Olive
Pinus Pinea	Italian Stone Pine
Platanus acerifolia 'bloodgood'	London Plane Tree
Quercus agrifolia	Coast Live Oak
Quercus virginiana	Southern Live Oak
Schinus molle	California Pepper Tree

Vertical Evergreen Backdrop Tree

Cupressus sempervirens	Italian Cypress
Magnolia grandiflora	Southern Magnolia; 'DD Blanchard'
Pinus canariensis	Canary Island Pine
Populus nigra 'Italica'	Lombardy Poplar
Prunus caroliniana	Carolina Laurel Cherry

Entry Monumentation Thematic Shrubs

Arbutus unedo 'compacta'	Dwarf Strawberry Tree
Agave sp.	Agave
Aloe sp.	Aloe
Anigozanthus flavidus	Kangaroo Paw
Bougainvillea sp.	Bougainvillea
Buxus japonica 'Green Beauty'	Buxus
Dasylirion wheeleri	Desert Spoon
Festuca glauca	Blue Fescue
Lavendula stoechas 'Otto Quast'	Spanish Lavender

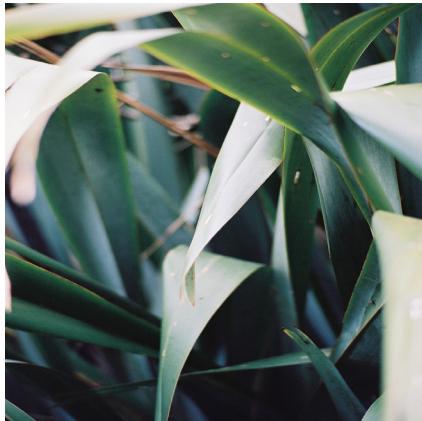




Bronze Loquat



Pink Dawn



New Zealand Flax



Crabapple

<i>Leonotis leonurus</i>	Lion's Tail
<i>Melaleuca nesophila</i>	Pink Melaleuca
<i>Muhlenbergia rigens</i>	Deer Grass
<i>Muhlenbergia rigida</i>	Purple Muhly
<i>Phlomis fruticosa</i>	Jerusalem Sage
<i>Phormium tenax</i> (Varieties)	New Zealand Flax
<i>Pittosporum tobira</i> (Varieties)	Tobira
<i>Rhaphiolepis umbellata minor</i>	No Common Name
<i>Rosa floridunda</i> 'Iceberg'	Rose
<i>Rosa</i> 'Flower Carpet'	Landscape Rose
<i>Rosmarinus officinalis</i> (Varieties)	Rosemary
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Santolina chamaecyparissus</i>	Lavender Cotton
<i>Westringia fruticosa</i>	'Morning Light' Coast Rosemary

Vines / Espaliers

<i>Bougainvillea</i> sp.	Bougainvillea
<i>Calliandra haematocephala</i> (espalier)	Pink Powder Puff
<i>Distictus buccinatoria</i>	Red Trumpet Vine
<i>Grewia caffra</i> (Espalier)	Lavender Star Flower
<i>Parthenocissus tricuspidata</i>	Boston Ivy
<i>Rosa</i> sp.	Climbing Rose

PRIMARY AND SECONDARY ENTRIES

Specimen Trees

<i>Pinus pinea</i>	Italian Stone Pine
<i>Platanus acerifolia</i> 'bloodgood'	London Plane Tree
<i>Olea europaea</i>	Olive
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Schinus molle</i>	California Pepper Tree





Agave



Box Leaf Euonymus



Blue Fescue



Southern Magnolia

Vertical Evergreen Backdrop

<i>Cupressus sempervirens</i>	Italian Cypress
<i>Magnolia grandiflora</i>	Southern Magnolia; 'DD Blanchard'
<i>Pinus canariensis</i>	Canary Island Palm

Flowering Entry Backdrop Tree

<i>Arbutus marina</i>	No Common Name
<i>Cassia excelsa</i>	Crown of Gold
<i>Chitalpa tashkantensis</i>	'Pink Dawn'; Chitalpa Tree
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Prunus cerasifera</i>	Purple Leaf Palm

Trees in Pots

<i>Eriobotrya deflexa</i>	Bronze Loquat
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Laurus nobilis</i> (Standard)	Bay Tree
<i>Magnolia grandiflora</i>	Southern Magnolia; 'DD Blanchard'
<i>Malus hybrid</i>	Crabapple

Shrub Hedge Row

<i>Buxus japonica</i> 'Green Beauty'	Buxus
<i>Euonymus japonica</i> 'Microphyllus'	Box Leaf Euonymus
<i>Ligustrum japonica</i> 'Texanum'	Texas Privet
<i>Rhaphiolepis umbellata</i> minor	No Common Name

ICON MONUMENTATION

Intersection Heritage Trees

<i>Cinnamomum capidora</i>	Camphor Tree
<i>Quercus agrifolia</i>	Coast Live Oak
<i>Schinus molle</i>	California Pepper Tree

Vertical Backdrop Trees

<i>Alnus rhombifolia</i>	White Alder
<i>Liquidambar styraciflua</i>	American Sweet Gum





Lavender Cotton



Tobira

Magnolia grandiflora

Populus nigra 'italica'

Southern Magnolia; 'DD Blanchard'

Lombardy Popular

Shrub Hedge Row

Buxus japonica

'Green Beauty'

Buxus raphiolepis umbellata minor

NCN

Euonymus japonica 'Microphyllus'

Box Leaf Euonymus

Icon Monumentation Thematic Shrubs

Agave Sp.

Agave

Aloe Sp.

Aloe

Anigozanthus flavidus

Kangaroo Paw

Arbutus unedo 'Compacta'

Dwarf Strawberry Tree

Bougainvillea sp.

Bougainvillea

Buxus japonica 'Green Beauty'

Buxus

Dasylirion wheeleri

Desert Spoon

Festuca glauca

Blue Fescue

Lavendula stoechas 'Otto Quast'

Spanish Lavendar

Leonotis leonarus

Lion's Tail

Muhlenbergia rigens

Deer Grass

Muhlenbergia rigida

Purple Muhly

Phlomis fruticose

Jerusalem Sage

Phormum tenax (Varieties)

New Zealand Flax

Pittosporum tobira

Tobira

Raphiolepis umbellata minor

No Common Name

Rosa floridunda

'Iceberg' Rose

Rosa 'Flower Carpet'

Landscape Rose

Rosmarinus officinalis (Varieties)

Rosemary

Salvia leucantha

Mexican Bush Sage

Santolina chamaecyparissus

Lavender Cotton

Westringia fruticosa 'Morning Light'

Coast Rosemary

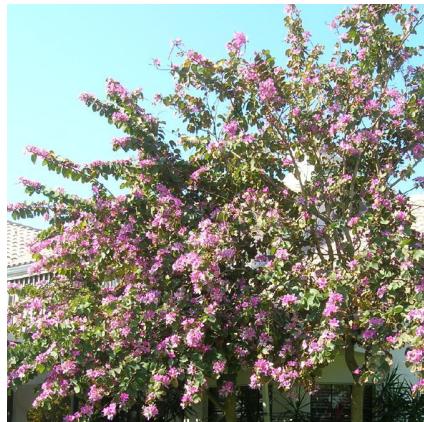




Hybrid Palo Verde



Mexican Fan Palm



Hong Kong Orchid Tree



Holly Oak

COMMUNITY PLANT PALETTE (All Areas Except SCE Easement, including Recreation Centers, Parks, Streetscenes, and On Site Landscaping)

Palm Trees

- *Bauhea armata* Blue Mexican Palm
- *Chamaerops humilis* Mediterranean Fan Palm
- Phoenix dactylifera* Date Palm
- Washingtonia robusta* Mexican Fan Palm

Local Street Trees

- Arbutus marina* No Common Name
- Bauhinia blakeana* Hong Kong Orchid Tree
- Bauhinia variegata* Purple Orchid Tree
- Cercidium hybrid 'desert museum'* Hybrid Palo Verde
- Cinnamomum camphora* Camphora
- Cupaniopsis anacardioides* Carrot Wood
- Eucalyptus viminalis* Eucalyptus
- Koelreuteria bipinnata* Chinese Flame Tree
- *Lagerstroemia indica* Crape Myrtle
- Magnolia grandiflora* Southern Magnolia; 'DD Blanchard'
- Melaleuca linariifolia* Flaxleaf Paperbark
- Olea europaea* Olive
- Pinus canariensis* Canary Island Pine
- Pinus eldarica* Afghan Pine
- Platanus acerifolia* London Plane Tree; 'Bloodgood'
- Podocarpus gracilior* Fern Pine
- Pyrus calleryana 'Aristocrat'* Ornamental Pear
- Quercus agrifolia* Coast Live Oak
- *Rhus lancea* Africian Sumac
- Sapium sebiferum* Chinese Tallow Tree
- Schinus molle* California Pepper Tree

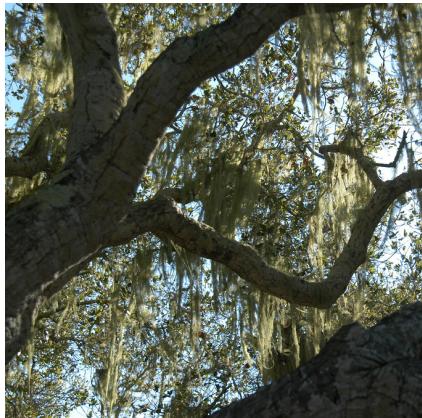
- Plants appropriate for the Arboretum Park



Carolina Laurel Cherry



Long Leaved Yellow Wood



Coast Live Oak



European White Birch

- Plants appropriate for the Arboretum Park

Sophora japonica

Japanese Pagoda Tree

Tristania conferta

Brisbane Box

Ulmus parvifolia 'True Green'

Chinese Evergreen Elm

- *X chitalpa tashkentensis 'Pink Dawn'*

Chitalpa Tree

Zelkova serrata

Saw Leaf Zelkova

Vertical Evergreen Trees

Cupresses sempervirens

Italian Cypress

- *Eucalyptus grandis*

N.L.N.

Magnolia grandiflora

Southern Magnolia; 'DD Blanchard'

Pinus canariensis

Canary Island Palm

Podocarpus henkelii

Long Leaved Yellow Wood

Podocarpus macrophyllus

Yew Pine

Prunus caroliniana

Carolina Laurel Cherry

Park Large Scale Trees

- *Cinnamomum camphora*

Champhor Tree

- *Olea europaea*

Olive (Fruitless Varieties)

- *Pinus pinea*

Italian Stone Pine

- *Pistacia chinensis*

Chinese Pistache

Platanus racemosa

California Sycamore Tree

- *Platanus acerifolia 'Bloodgood'*

London Plane Tree

- *Quercus agrifolia*

Coast Live Oak

- *Quercus virginiana*

Southern Live Oak

Schinus molle

California Pepper Tree

Ulmus parvifolia 'True Green'

Chinese Evergreen Elm

Recreation Center Accent Trees

Arbutus marina

NCN

Citrus Sp.

Citrus

Cupaniopsis anacardioides

Carrot Wood Tree

Feijoa sellowiana

Pineapple Guava





Coyote Bush



Little John



California Sycamore Tree



Creeping Acacia

- Plants appropriate for the Arboretum Park

Magnolia grandiflora

Phoenix dactylifera

● *Podocarpus gracilior*

Quercus agrifolia

Washingtonia robusta

Deciduous Accent and Flowering Trees

Acacia smallii

Betula pendula

● *Castanospermum australe*

Cercis mexicana

● *Glenditsia triancanthos*

'Italica'

● *Lagerstroemia indica*

● *Leptospermum laevigatum*

● *Liquidambar styraciflua*

Liriodendron tulipifera

Platanus acerifolia 'Bloodgood'

Platanus racemosa

Populus nigra

Prunus cerasifera

Sapium sebiferum

Sophora japonica

Tipuana tipu

X chitalpa tashkentensis

Southern Magnolia; 'DD Blanchard'

Date Palm

Fern Pine

Coast Live Oak

Mexican Fan Palm

Desert Sweet Acacia

European White Birch

Moreton Bay Chestnut

Mexican Redbud

Honey Locust

Lombardy Poplar

Crape Myrtle

Australian Tea Tree

American Sweet Gum

Tulip Tree

London Plane Tree

California Sycamore

Purple Leaf Plum

Chinese Tallow Tree

Japanese Pagoda Tree

Tipu Tree

Chitalpa Tree

Overall Arboretum Shrubs and Ground Covers (All Areas Except SCE Easement)

Acacia redolens 'Desert Carpet'

Creeping Acacia

Agapanthus africanus

Lily-of-the-Nile

Agave sp.

Agave

Aloe sp.

Aloe

Anigozanthos sp.

Kangaroo Paw

Arbutus unedo 'Compacta'

Strawberry Tree





Rockrose



Promrose Jasmine



Red Hot Poker



Pride of Madeira

● Plants appropriate for the Arboretum Park

Baccharis pilularis	Coyote Bush
Bougainvillea	Bougainvillea
Buxus japonica 'Green Beauty'	Boxwood
Calliandra haematocephala	Pink Powder Puff
Callistemon citrinus	'Little John'; Lemon Bottlebrush
Camellia sasaqua	Sun Camellia
Carissa sp.	Natal Plum
Cassia Sp.	Senna
Cercis occidentalis	Western Redbud
● Chamaerops humilis	Mediterranean Fan Palm
Cistus sp.	Rockrose
Cotoneaster sp.	Cotoneaster
Cuphea hyssopifolia	False Heather
Cupressus sempervirens	Italian Cypress
Dietes bicolor	African Iris
Dietes vegeta	Fortnight Lily
Dodonea viscosa	Hopseed Bush
Echium fastuosum	Pride of Madeira
Euonymus japonica (Varieties)	Evergreen Euonymus
Europs 'pectinatus' And 'viridis'	Euryops
Feijoa sellowiana	Pineapple Guava
Festuca glauca	Blue Fescue
Helictotrichon sempervirens	Blue Oat Grass
Hesperaloe parviflora	Red Yucca
Heteromeles arbutifolia	Toyon
Hibiscus syriacus	Rose of Sharon
Ilex sp.	Holly
Jasminum mesnyi	Promrose Jasmine
Jasminum officinale	Common White Jasmine
Kniphofia uvaria	Red Hot Poker

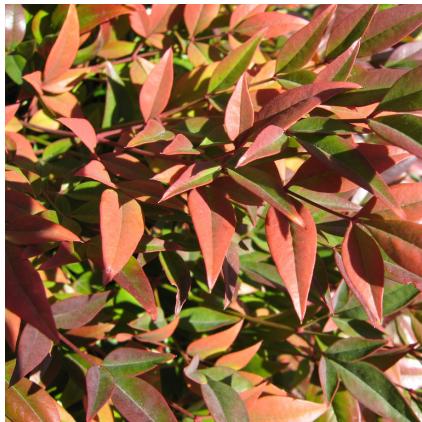




Cape Plumbago



Orange Jasmine



Heavenly Bamboo



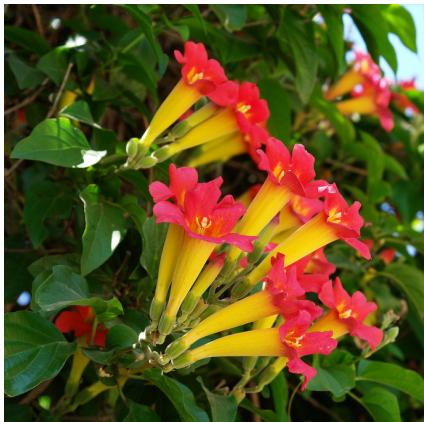
Lady Bank's Rose

- Plants appropriate for the Arboretum Park

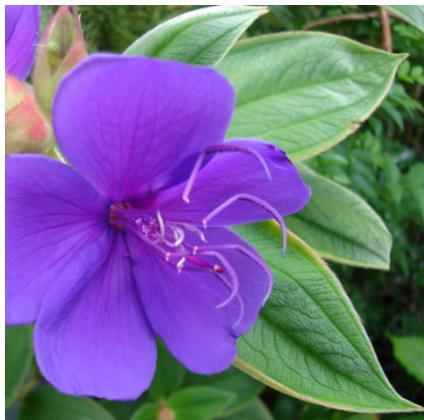
Lantana montevidensis	Trailing Lantana
Lavandula sp.	Lavender
Leonotis leonurus	Lion's Tail
● Leptospermum scoparium (Varieties)	New Zealand Tea Tree 'Texanum'; Texas Privet
Ligustrum japonica	Giant Lily Turf
Liriope gigantea	Lily Turf
Liriope muscari	Hall's Japanese Honeysuckle
Lonicera japonica 'Halliana'	Pink Melaleuca
Melaleuca nesophila	Deer Grass
Muhlenbergia rigens	Purple Muhly
Muhlenbergia rigida	Orange Jasmine
Murraya paniculata	Myoporum
Myoporum 'Pacificum'	No Common Name
Myoporum parvifolium 'Putah Creek'	Dwarf Myrtle
Myrtus communis 'Compacta'	Greek Myrtle
Myrtus communis	Heavenly Bamboo
Nandina 'Gulf Stream'	Russian Sage
Perovskia artiplicifolia	Jerusalem Sage
Phlomis fruticosa	Pigmy Date Palm
Phoenix roebelenii	New Zealand Flax
Phormium tenax (Varieties)	No Common Name
Photinia fraseri	Tobria
Pittosporum tobira (Varieties)	Cape Plumbago
Plumbago auriculata	Long Leaved Yellow Wood
Podocarpus henkelii	Yew Pine
Podocarpus macrophyllus	Firethorn
Pyracantha sp.	No Common Name
Rhaphiolepis 'Majestic Beauty'	No Common Name
Rhaphiolepis Umbellata 'Minor'	India Hawthorn
Rhaphiolepis sp.	



Cape Honeysuckle



Red Trumpet Vine



Princess Flower



Currant

Rosa 'Iceberg'	Rose
Rosa banksiae	Lady Bank's Rose
Rosmarinus officinalis (Varieties)	Rosemary
Salvia leucantha	Mexican Bush Sage
Santolina chamaecyparissus	Lavender Cotton
Sarcococca ruscifolia	Sweet Box
Tecomaria capensis	Cape Honeysuckle
Ternstroemia japonica	No Common Name
Teucrium chamaedrys 'Prostratum'	Bush Germander
Tibouchina urvilleana	Princess Flower
Trachelospermum jasminoides	Star Jasmine
Tulbaghia violacea	Society Garlic
Viburnum suspensum	Sandankwa Viburnum
Viburnum tinus 'Spring Bouquet'	Laurustinus
Westringia fruticosa	Westringia
Xylosma congestum 'Compacta'	Shiny Xylosma

Vines

Bougainvillea	Bougainvillea
Distictis buccinatoria	Red Trumpet Vine
Hardenbergia violacea	'Happy Wanderer'; Lilac Vine
Parthenocissus tricuspidata	Boston Ivy
Polygonum aubertii	Silver Lace Vine
Wisteria sinensis	Chinese Wisteria
Vitis spp. 'Thompson Seedless'	Thompson Seedless Grape
Vitis spp. 'Rogers Red Leaf'	Rogers Red Leaf Grape
Vitis spp. 'Ruby Seedless'	Ruby Seedless Grape
Vitis spp. 'Concord'	Concord Grape
Vitis spp. 'Golden Muscat'	Golden Muscat Grape

Turf

100% Tall Fescue	Sod or Seed
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Coffeeberry



Deer Grass



Flannelbush



Texas Ranger

SCE EASEMENT

Trees

<i>Chilopsis linearis</i> 'Dark Storm'	Desert Willow
<i>Citrus</i> sp.	Citrus Trees
<i>Feijoa sellowiana</i>	Pineapple Guava
<i>Lagerstroemia indica</i>	Crape Myrtle
<i>Prunus cerasifera</i>	Purple Leaf Plum

Shrubs and Ground Cover

<i>Acacia redolens</i> 'Desert Carpet'	Creeping Acacia
<i>Arctostaphylos</i> 'Pacific Mist'	Pacific Mist Manzanita
<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita
<i>Artemisia</i> 'Powis Castle'	Wormwood
<i>Artemisia arborescens</i>	Sagebrush
<i>Baccharis pulularis</i>	Dwarf Coyote Bush
<i>Baccharis</i> 'Centennial'	Hybrid Coyote Bush
<i>Carpenteria californica</i>	Bush Anemone
<i>Encelia californica</i>	Coast Sunflower
<i>Fremontodendron</i> 'California Glory'	Flannelbush
<i>Hesperaloe parviflora</i>	Red Yucca
<i>Heteromeles arbutifolia</i>	Toyon
<i>Kniphofia uvaria</i>	Red Hot Poker
<i>Leucophyllum frutescens</i>	Texas Ranger
<i>Muhlenbergia</i> sp.	Deer Grass
<i>Opuntia ficus indica</i>	Thornless Beavertail Cactus
<i>Penstemon azureus</i>	Azare Penstemon
<i>Rhamnus californica</i>	Coffeeberry
<i>Rhamnus crocea</i>	Redberry
<i>Rhus integrifolia</i>	Lemonade Berry
<i>Ribes</i> sp.	Currant



Matilija Poppy



Woolly Blue Curls

Romneya coulteri
Salvia sp.
Sisyrinchium bellum
Trichostema lanatum

Matilija Poppy
Sage
Blue Eye Grass
Woolly Blue Curls

FRUIT BEARING PLANT MATERIAL
All Areas and within SCE Easement
(Varieties to be under 20' in height).

- Apple 'Gordon'
- Apricot (All)
- Cherry (All)
- Citrus (All)
- Crab Apple (All)
- Nectarine (All)
- Olives (All)
- Peach (All)
- Pear (All)
- Plum (All)
- Pomegranate (All)
- Quince (All)



Blue Eye Grass



Peach Tree

- Plants appropriate for the Arboretum Park



7.4.8 Pedestrian and Bicycle Connectivity

1. Incorporate walking and bicycling paths to provide transportation alternatives and contribute to a healthy lifestyle. Ensure connections and access for pedestrian and bicycle paths to non-residential uses and recreational facilities.
2. Pedestrian and bicycle routes along roadways and paseos shall incorporate pedestrian amenities, such as benches, shade structures, and lighting.
3. Meandering trails and sidewalks that are separated from the street by landscaping are desirable.
4. Trails and paseos shall be clearly marked with consistent signage and well lit.
5. Provide accessible, secure and lockable bicycle storage facilities at strategic locations throughout residential areas and the parks and trails system to make bicycle use a convenient and safe transportation choice. For example, centralized bicycle facilities incorporated into residential projects as well as recreational amenities facilitate resident perception that such amenities are sensible cycling destinations.



Pedestrian Connectivity with Wayfinding Signage

7.4.9 Walls and Fences

1. Solid walls and fences shall not dominate the street scene. They shall be used for noise attenuation, privacy, spatial delineation, and shielding of incompatible adjacent uses.
2. View fences (which are partially solid and see-through material such as wrought iron) provide a visually attractive alternative to solid walls and fences. They allow for safety and privacy while preserving views and creating a more visually appealing neighborhood. View fences shall be used instead of solid walls when feasible, especially around the Arboretum Park and facing onto parks and paseos.
3. Wall faces that are visible to the public shall be constructed of attractive materials, such as split face block. Pilasters shall be incorporated into wall design with spacing of approximately 100 feet, especially at entries and important community intersections.
4. Walls and/or wall surfaces not visible to the public do not need the same high level of design detail.
5. Trees, vines, and landscaping shall be used to soften the visual appearance of the walls.
6. Walls and fences shall be made of durable yet attractive materials that complement the adjacent architecture. When solid walls are necessary, precision block, split-face block, stone, concrete, stucco with pilasters and caps, or materials with similar visual qualities shall be used. Likewise, view fences shall incorporate visually attractive materials such as tubular steel, wrought iron, and stone (or faux-stone) in areas where they are highly visible.

7. Long, monotonous walls are to be avoided. Walls shall have breaks, recesses, and offsets, especially at entries and important intersections. Long walls shall be made more attractive and visually interesting through the incorporation of surface articulation and pilasters.
8. Trees, shrubs, and vines soften the visual appearance of walls and are required.
9. Walls shall provide convenient pedestrian gates to ensure ease of pedestrian circulation.



Residential view fencing



Wall softened with landscaping

7.4.10 General Lighting

1. Attractive and consistent lighting elements shall be provided along roadways within the neighborhood. The height, brightness, and spacing of the lighting elements shall be appropriate to the scale and speed of the roadway.
2. Pedestrian-scale lighting shall be provided in areas with nighttime use, such as paseos and walkways. The type, style, and intensity of pedestrian lighting shall reflect the use of the character of the area.
3. To preserve views of the night-time sky, lighting elements shall minimize glare, spill over, and light pollution. Direct outdoor lighting downward.
4. Utilize shielded fixtures, avoiding overhead lighting of areas such as walkways.
5. Provide low-contrast lighting and use low-voltage fixtures and energy-efficient bulbs, such as compact fluorescent (CFL) and light emitting diode (LED) bulbs.
6. Lighting fixtures shall be compatible with the architectural styles of surrounding buildings and yet consistent throughout the community.
7. Lighting standards shall be consistent with City safety and illumination requirements.

Iconic landscaping and buildings within the project shall be spotlighted to provide visual accent and directional reference, but done so in a sensitive way that minimizes unnecessary glare, spill over, and light pollution.

7.4.11 Outdoor Lighting

The following areas will be lighted:

- Recreation Centers
- Public Parks
- All neighborhood pocket parks
- Paseos and pedestrian walks (when away from a streetscene edge)
- Monumentation Signage
- Gated and nongated vehicular entry areas
- Specimen trees at entry areas

Active use areas shall be safety lit for users. Fixtures shall not be placed or directed in such a manner causing glare of excessive light to fall on adjacent residences or sites. Iconic landscaping and buildings within the project shall be spotlighted to provide visual accent and directional reference, but done so in a sensitive way that minimizes unnecessary glare, spill over, and light pollution.

Final size, placement, wall age, intensity and amount of lighting required per use area shall be at the direction of the City of Fontana.



Example of outdoor lighting of public common areas