

PROVIDENCE POINTE

A Mixed-Use Master Planned Community



SPECIFIC PLAN



Adopted by Fontana City Council - November 13, 2007



PROVIDENCE POINTE

A Mixed-Use Master Planned Community

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I. INTRODUCTION AND PROJECT SETTING

A. EXECUTIVE SUMMARY

1. PURPOSE

This Specific Plan document has been prepared to facilitate processing and approval of the PROVIDENCE POINTE development and its associated discretionary and administrative approvals. The PROVIDENCE POINTE Specific Plan provides detailed text and exhibits which describe the residential and commercial-retail uses, and associated improvements that are envisioned to occur within the project. Design guidelines and development standards contained within this Specific Plan will guide site planning, architecture, and landscape design to create a cohesive project identity. This Specific Plan document will guide the build-out of PROVIDENCE POINTE in a manner which is consistent with City and State policies and standards and assures that the project is developed in a coordinated manner.

2. SPECIFIC PLAN AUTHORITY AND USER'S GUIDE

The PROVIDENCE POINTE Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A General Plan does not show local streets, individual parcels, or site-specific land uses. A Specific Plan, on-the-other-hand, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. While a General Plan examines an entire City or County, a Specific Plan concentrates on the individual development issues of a region or particular property. The City of Fontana General

Plan contains objectives which mandate the preparation of Specific Plans to ensure that new development meets basic standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and cultural identity.

California Government Code Sections 65450 through 65457 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following detail:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
2. The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out items (1), (2), and (3) above.

5. A discussion of the relationship of the Specific Plan to the General Plan.

In response to government requirements, this Specific Plan has been prepared to provide the essential link between the policies of the Fontana General Plan and actual development in the project area. By functioning as a regulatory document, the PROVIDENCE POINTE Specific Plan provides a means of implementing and detailing the City of Fontana's General Plan. In this regard, all future development plans and entitlements within the Specific Plan boundaries shall be consistent with the standards set forth in this document. The PROVIDENCE POINTE Specific also ensures that new development meets basic standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and community identity.

In addition to the PROVIDENCE POINTE Specific Plan, an Environmental Impact Report (EIR) will be prepared and certified under the authority of the City of Fontana and in compliance with California Environmental Quality Act (CEQA) guidelines. The EIR is intended to serve as the project-wide Master Environmental Document for the PROVIDENCE POINTE Specific Plan and all subsequent development projects. Furthermore, the EIR is an informational document designed to provide decision-makers and members of the general public with a full understanding of the potential environmental effects of the development proposal. Together, the Specific Plan and EIR provide a path to properly develop PROVIDENCE POINTE, taking into account local goals, objectives and environmental considerations.

3. DISCRETIONARY ACTIONS AND APPROVALS

Concurrent with the filing of this Specific Plan and companion Environmental Impact Report, the project applicant also is applying for a General Plan Amendment, Change of Zone, Tentative Tract Map, Tentative Parcel Map, and Design Review. The project applicant seeks to amend the City of Fontana Land Use Plan Map to allow for the

proposed residential and commercial-retail uses within the PROVIDENCE POINTE project. Approval of the General Plan Amendment and Change of Zone from *Single Family Residential*, *General Commercial*, and *Activity Center Overlay* to *Specific Plan* (SP) would allow for the development of uses consistent with this Specific Plan. The companion Environmental Impact Report (EIR) discusses the impact of the development of the proposed Specific Plan area. Subsequent discretionary actions will include approvals of individual tentative maps (tract and parcel).

The City of Fontana is the Lead Agency for the PROVIDENCE POINTE Specific Plan, under whose authority this Specific Plan and accompanying EIR have been prepared. These two documents will be used by the following public agencies in connection with the following decisions:

1. City of Fontana Planning Commission

- Recommendation to the Fontana City Council as to certification of the PROVIDENCE POINTE EIR.
- Recommendation to the City Council regarding the adoption of the General Plan Amendment (GPA) by a resolution to change the land use designation of the PROVIDENCE POINTE property from *Single Family Residential* (R-SF), *General Commercial* (C-G), and *Activity Center Overlay* to *Specific Plan* (SP).
- Recommendation to the City Council regarding the adoption of the Change of Zone by Ordinance to change the zoning designation of the PROVIDENCE POINTE property from *Single Family Residential* (R-1), *General Commercial* (C-2), and *Activity Center Overlay* to *Specific Plan* (SP).
- Recommendation to the City Council regarding the adoption of the PROVIDENCE POINTE Specific Plan by resolution.

- Recommendation to the City Council as to approval of a series of Tentative Maps (tract and parcel) and Design Review implementing the PROVIDENCE POINTE Specific Plan.

2. Fontana City Council

- Certification of the PROVIDENCE POINTE EIR.
- Adoption by resolution of the General Plan Amendment to change the land use designation of the PROVIDENCE POINTE property to Specific Plan.
- Approval by Ordinance of the Change of Zone to rezone the property as Specific Plan (SP).
- Adoption by resolution of the PROVIDENCE POINTE Specific Plan.
- Adoption by resolution of subsequent Tentative Maps (tract and parcel) implementing the PROVIDENCE POINTE Specific Plan

Additionally, State law requires that all EIRs be reviewed by trustee and responsible agencies. A Trustee Agency is defined in Section 15386 of the CEQA Guidelines as “a state agency having jurisdiction by law over natural resources affected by a project which are held in trust for the people of the State of California.” Per Section 15381 of the CEQA Guidelines, the term Responsible Agency includes “all public agencies other than the Lead Agency which have discretionary approval power over the project.” Accordingly, the PROVIDENCE POINTE EIR shall be circulated to and reviewed by all appropriate trustee and responsible agencies prior to its certification by the City of Fontana and ultimate project approval.

4. PROJECT SUMMARY

The 35.0-acre PROVIDENCE POINTE property is located in the northern portion of the City of Fontana, north of Baseline Avenue and west of Citrus Avenue. The project site will be developed with a complementary mix of residential, commercial-retail, and recreational land uses. PROVIDENCE POINTE is anticipated to be developed with up to 205 detached and attached residential units, in conjunction with 10.2 acres of commercial-retail uses, and associated recreation and circulation improvements (see Table 1). The proposed land uses for PROVIDENCE POINTE will serve as a positive contribution to the City of Fontana through the establishment of a strong design theme that creates a unique project identity and builds community character. The PROVIDENCE POINTE project is consistent with the needs of the Fontana community by offering housing, recreation, and commercial-retail opportunities in an integrated, aesthetically pleasing, mixed-use master planned development.

**TABLE 1
LAND USE STATISTICAL SUMMARY**

LAND USE	ACRES	DENSITY (DU/AC)	MAXIMUM DWELLING UNITS
RESIDENTIAL			
Medium Density Residential (R-M)	13.2	6.4	85
Multi-Family Residential (R-MF)	7.7	15.6	120
Residential Sub-totals	20.9	9.8	205
NON-RESIDENTIAL			
General Commercial (C-G)	10.2	--	--
Recreation Facility (P-R)	0.5	--	--
Linear Park/Drainage Easement	1.1	--	--
Circulation/Landscaping	2.3	--	--
Non-Residential Subtotals	14.1	--	--
PROJECT TOTAL	35.0	5.9	205

5. PROJECT GOALS

The PROVIDENCE POINTE project is a mixed-use master planned development that is consistent with the City of Fontana's *Activity Center Overlay* designation, which is intended to provide additional residential housing, while creating commercial-retail opportunities and a sense of place. The project will provide for Medium Density (R-M) and Multi-Family (R-MF) residential uses, General Commercial (G-C), and associated recreation amenities integrated into one master development plan. The project will be complementary to surrounding land uses and will provide important elements of a vibrant community - housing, retail, and recreation. The goal of providing a master planned development that integrates well with surrounding land use patterns will be easily met with implementation of the PROVIDENCE POINTE Specific Plan.

More specifically, the objectives and goals of the PROVIDENCE POINTE project are to create:

- A comprehensive development plan that implements the applicable portions of the City of Fontana General Plan and Development Code and achieves the City's *Activity Center Overlay* development goals for this portion of Fontana.
- A development that includes a complementary mix of residential, commercial-retail, and recreational land uses for people to live, shop, dine, relax, and interact.
- Landscape and architecture elements that incorporate the City's theme of preserving the past with the current and future needs of the community.
- A project that enhances the original character of the region by embracing compatible architectural style elements that have historical precedence in Southern California.

B. SETTING

1. SITE LOCATION

As depicted in Figure 1, *Regional Map*, the PROVIDENCE POINTE project encompasses a total of 35.0 acres of land located within western San Bernardino County in the City of Fontana, California. The City of Fontana is situated approximately 52 miles east of the City of Los Angeles and 15 miles north of the City of Riverside, occupying approximately 36 square miles at the southern base of the San Gabriel Mountains. Regional access to the site and to the City of Fontana is provided by Interstate 10 (I-10), Interstate 15 (I-15) and State Route 210 (SR-210). More specifically, PROVIDENCE POINTE is located at the northwest corner of Baseline Avenue and Citrus Avenue, both of which provide major vehicular access to the site (see Figure 2, *Vicinity Map*). The property is bounded to the north by generally undeveloped land, isolated residences, and a fire station; to the south by Baseline Avenue; to the east by Citrus Avenue; and to the west by a storm drain easement and residential subdivision (see Figure 3, *Aerial Photograph*).

2. SITE CONDITIONS

The PROVIDENCE POINTE property lies on a broad alluvial plain formed by Lytle Creek and the San Sevaine Wash. This natural drainage system serves as the collector for a large watershed encompassing portions of both the San Gabriel and San Bernardino Mountains. No significant drainage courses cross the site and storm water drains as sheet flow generally from northeast to southwest. The project site lacks available surface water resources, which results in very low wildlife activity.

Topographically, the site is characterized as flat to gently sloping in a southwesterly direction as shown in Figure 4, *Topographic Map*. Elevations on-site range from 1,390 to 1,420 feet above mean sea level and therefore, the property does not have any distinguishing geologic formations or topographic features due to its relative flatness. Three

major active faults are located near the site, which include the San Andreas, San Jacinto-San Bernardino, and Cucamonga faults. There are no active faults crossing the Specific Plan area. The nearest active fault, the San Jacinto-San Bernardino Fault, is located approximately three and a half miles to the northeast of the project site. Additionally, the Cucamonga Fault is located approximately five miles north of the project site at the base of the San Gabriel Mountains.

Soils on the PROVIDENCE POINTE project site and throughout the City of Fontana consist primarily of coarse alluvium and silty sand eroded from the San Gabriel Mountains. Expansive soils are considered to be minimal in this area. The local groundwater table is relatively deep, and no foundation problems are expected as the result of fluctuations in the groundwater levels. The soils are generally well drained and the soil condition throughout the area will provide support for development under controlled grading and proper foundation design. Future grading of the site will be limited to excavation for foundations and associated infrastructure.

At present, the project site is generally undeveloped and was previously used for agriculture, farming, and cattle grazing. Historically, a number of small ranches and agricultural operations existed in the north Fontana area, including the PROVIDENCE POINTE project site. Structures were once present on the project site as a part of the agricultural and farming operations. The project site contains both native and non-native vegetation, the majority of which exists in a disturbed condition as a result of past maintenance activities (mowing, scraping, disking, spraying, etc.). Disturbed native and non-native vegetation consist primarily of wild oat, dove weed, Russian thistle, black mustard, grassland, and Eucalyptus trees. Over the years, the site appears to have been regularly cleared and plowed for weed and fire control purposes.

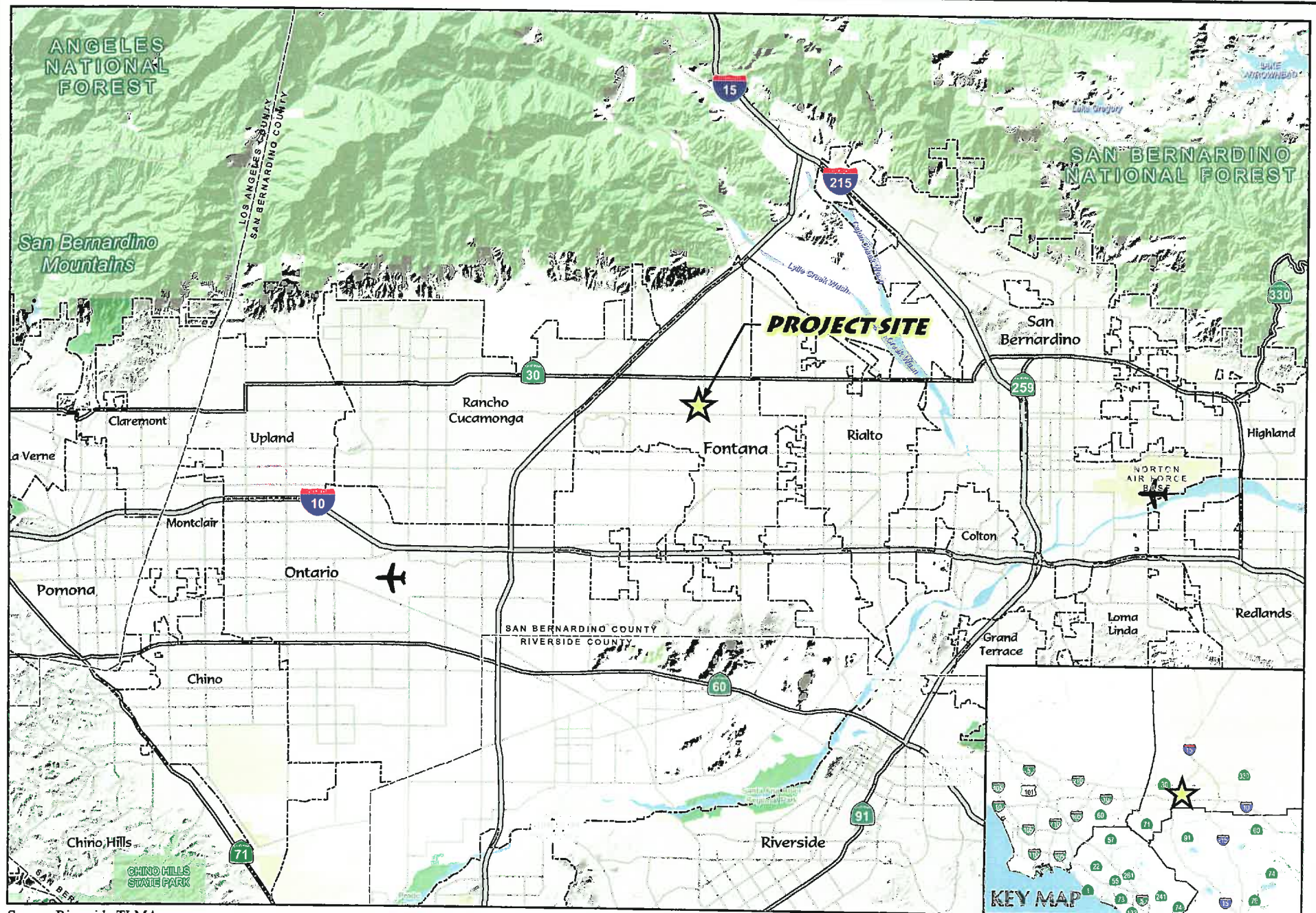


Figure 1
Regional Map



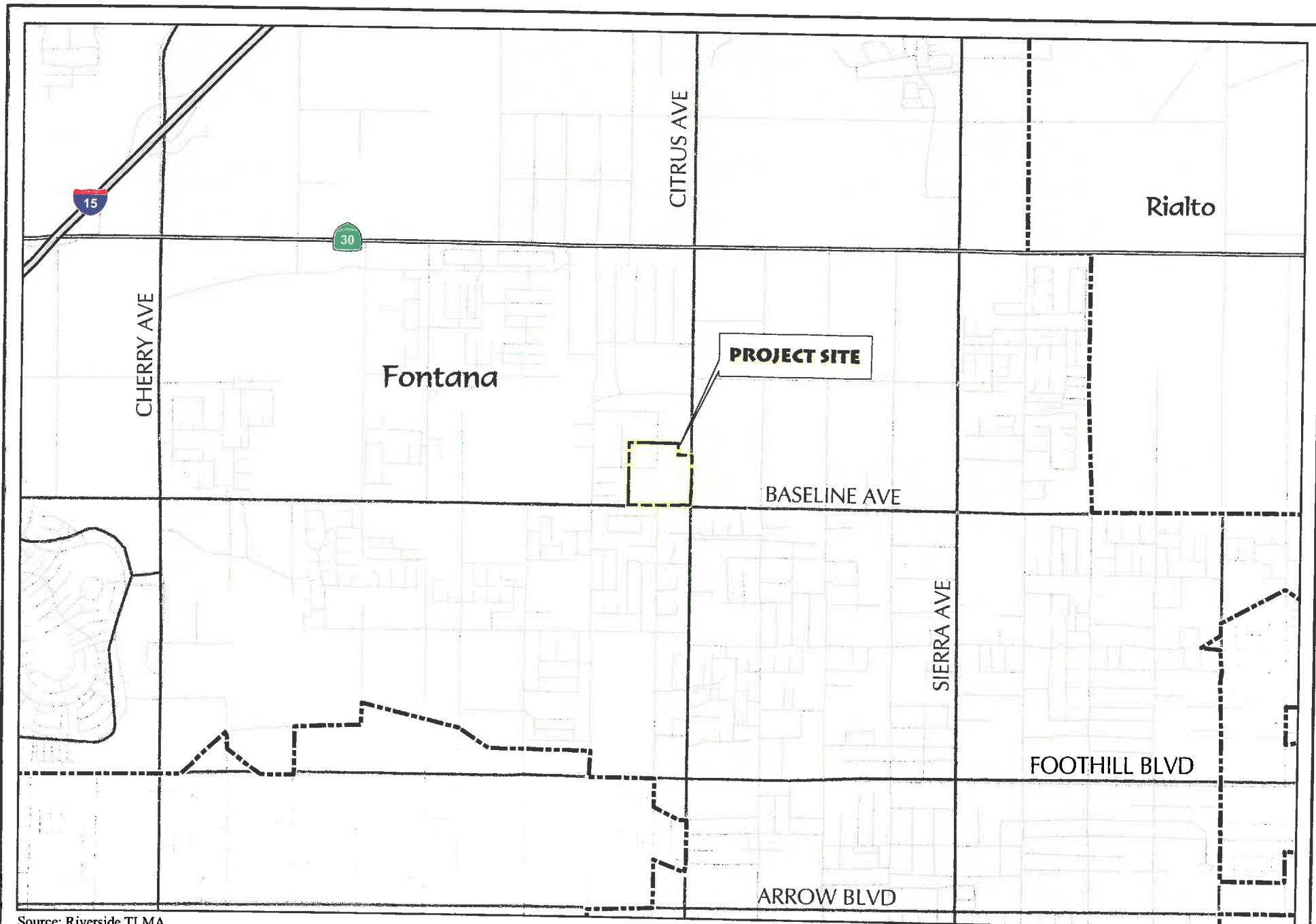


Figure 2
Vicinity Map



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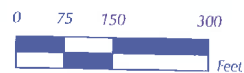
Source: Eagle Aerial (Flown 2006)

Figure 3
Aerial Photograph



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Sources: Eagle Aerial (Flown 2006), Hall & Foreman

Figure 4
Topographic Map



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3. SURROUNDING LAND USES AND DEVELOPMENT

PROVIDENCE POINTE is located in a newly developing area of North Fontana. At the present time, most of the surrounding property is either vacant, is developed with low density/single family residential uses, or is under construction as part of another master planned community (see Figure 5, *Existing and Surrounding Land Uses*). Surrounding land uses include vacant lands, isolated residences, and fire station to the north; Baseline Avenue and residential subdivision to the south; Citrus Avenue, vacant lands, and isolated residences to the east; and a storm drain easement and residential subdivision to the west.

Generally, residential land use is the dominant form of development within the City of Fontana, with the bulk of residential development devoted to single family homes. The central and southeastern portion of the City of Fontana is characterized as the older residential area, while the northern portion of the City is undergoing rapid development with new residential subdivisions along State Route 210 (SR-210) and Interstate 15 (I-15). Commercial developments are generally located along major highways and roadways throughout the City and along Interstate 10 (I-10) and I-15. Industrial land uses are primarily located in the southwestern portion of the City, along I-10 and parallel the Union Pacific Railroad.

Several major development projects have been approved in the vicinity of PROVIDENCE POINTE, including a number of Specific Plans: Sierra Lakes, Walnut Village, Hunter's Ridge, California Landings; Westgate, Coyote Canyon; Summit Heights, Citrus Heights, and Citrus Heights North.

4. PUBLIC SERVICE PROVIDERS

The general project area is served by a variety of local public utility providers that provide and maintain utilities associated with electricity, natural gas, water, storm and waste water, and solid waste disposal. Required public services and anticipated providers for the PROVIDENCE

POINTE Specific Plan area are listed in Table 3, *Public Service Providers*.

TABLE 2
PUBLIC SERVICE PROVIDERS

SERVICE	PROVIDER
Electricity	<i>Southern California Edison</i>
Gas	<i>Southern California Gas Company</i>
Water	<i>Fontana Water Company</i>
Sewer	<i>City of Fontana</i>
Solid Waste	<i>Burrtec Waste</i>
Land Fill	<i>Mid-Valley Sanitary Land Fill</i> <i>El Sobrante Land Fill</i>
Telephone	<i>SBC/Verizon</i>
Cable	<i>Adelphia Cablevision</i>
Police Protection	<i>Fontana Police Department</i>
Fire Protection	<i>San Bernardino Fire Department</i>
School Districts	<i>Fontana Unified School District</i> <i>Colton Unified School District</i> <i>Etiwanda Unified School District</i> <i>Rialto Unified School District</i> <i>Chaffey Joint Union School District</i>



Source: Eagle Aerial (Flown 2006)

Figure 5
Existing and Surrounding Land Uses



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C. LAND USE AND ZONING DESIGNATIONS

1. GENERAL PLAN DESIGNATION

The City of Fontana's General Plan Land Use Map designates the 35.0-acre PROVIDENCE POINTE site as *Single Family Residential* (R-SF), *General Commercial* (C-G), and *Activity Center Overlay*, as shown in Figure 6, *General Plan Land Use Designations*. The *Activity Center Overlay* designation is intended to accommodate a mix of land use types serving a particular residential neighborhood, including community serving commercial-retail, professional offices, service businesses, entertainment centers, and restaurants. Additionally, the *Activity Center Overlay* allows for residential development at the *Medium* (R-M and *Multi-Family* (R-MF) density designations if it is developed as a part of a Specific Plan. Because PROVIDENCE POINTE proposes to develop a mix of residential, commercial-retail, and recreational land uses, a Specific Plan will be prepared and adopted to provide direction related to site planning, architectural design, and site specific development regulations. Project compliance to the City of Fontana General Plan is summarized from the PROVIDENCE POINTE EIR in Appendix A of this Specific Plan. With project implementation, the property's Land Use Designation will be redesignated as *Specific Plan* (SP).

2. ZONING

The PROVIDENCE POINTE project site is zoned *Single Family Residential* (R-1), *General Commercial* (C-2), and *Activity Center Overlay* by the City of Fontana, as depicted on Figure 7, *Zoning Map*. While these designations would generally allow for the proposed mixed-use development envisioned to occur on-site, a Zone Change (ZC) is required to increase the project density and recognize the PROVIDENCE POINTE Specific Plan. With adoption of this Specific Plan, the project site's zoning will be changed to *Specific Plan* (SP). Development Regulations are contained in Section III of this Specific Plan document, which provide detailed zoning standards specifically tailored for the PROVIDENCE POINTE project.

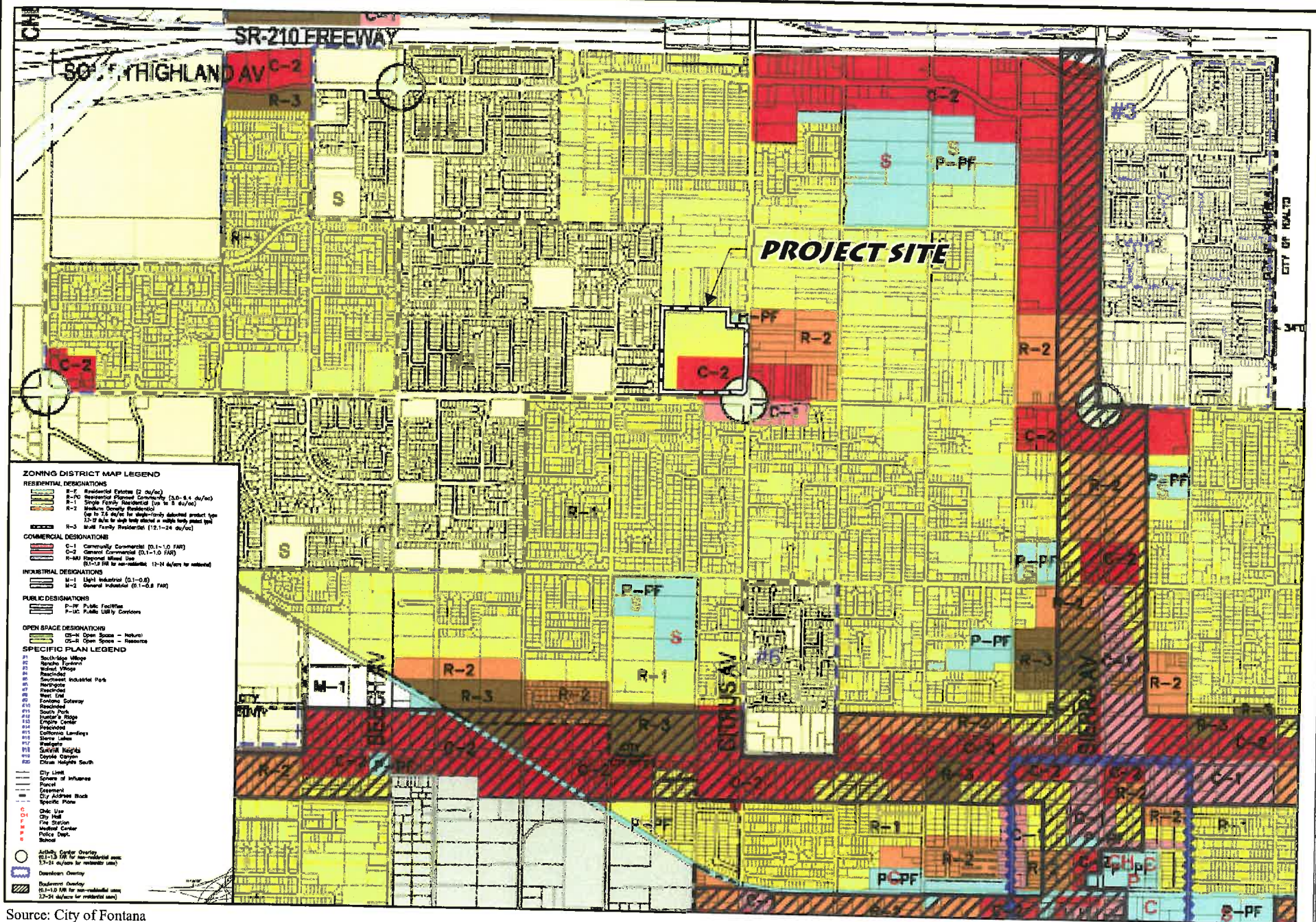


Figure 7
Zoning Map



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II. SPECIFIC PLAN PROGRAM ELEMENTS

A. OVERVIEW

Upon completion, PROVIDENCE POINTE will contain a high-quality, mixed-use master planned development, composed of up to 85 single family detached residential units, 120 multi-family units consisting of townhomes and flats, 110,000 square feet of commercial-retail, associated recreation and infrastructure improvements on a 35.0-acre property. Figure 8, *Specific Plan Land Use Plan*, illustrates the distribution of land uses within PROVIDENCE POINTE. The provision of commercial-retail and recreational land uses in combination with residential uses enhances the potential for creating a vibrant mixed-use master planned development. The development of PROVIDENCE POINTE will incorporate sound site planning designed to connect the various land uses and facilitate vehicular and pedestrian movement.

A *Conceptual Site Plan*, Figure 9, has been developed for illustrative purposes only and serves as a depiction of the development concepts envisioned for PROVIDENCE POINTE. Individual lot design, building footprints, and layouts are representative and based on design and

requirements set forth by this Specific Plan. Actual development may potentially vary from these conceptual representations. Review and approval of actual development plans will occur as implementing actions of this Specific Plan. Section V, *Implementation Plan*, details the submittal requirements and process for implementing the PROVIDENCE POINTE Specific Plan.

It is the intent of this Specific Plan to ensure that site development is accomplished in a logical and timely manner. Specific design elements, including the siting of compatible land uses, selection of complementary architectural design, and implementation of a unified landscape plan, have been conceived and consistently applied in order to assure a varied, fully integrated master planned development. A number of important issues were examined and considered during the preparation of this Specific Plan document, including market acceptance, economic viability, environmental sensitivity, and positive aesthetic contribution to the City of Fontana and its residents.

TABLE 3
DETAILED PLANNING AREA SUMMARY

LAND USE	PLANNING AREA	ACRES	DENSITY (DU/AC)	MAXIMUM DWELLING UNITS	MAXIMUM FLOOR AREA (SQUARE FEET)
General Commercial (C-G)	1	10.2	--	--	110,000
Medium Density Residential (R-M) -- 4,000 S.F. Lots	2	13.2	6.4	85	--
Multi-Family Residential (RLM) -- Townhomes and Flats	3	7.7	15.6	120	--
Recreation Facility (P-R)	4	0.5	--	--	--
Linear Park/Drainage Easement	--	1.1	--	--	--
Circulation/Landscaping	--	2.3	--	--	--
PROJECT TOTAL	--	35.0	5.9	205	110,000

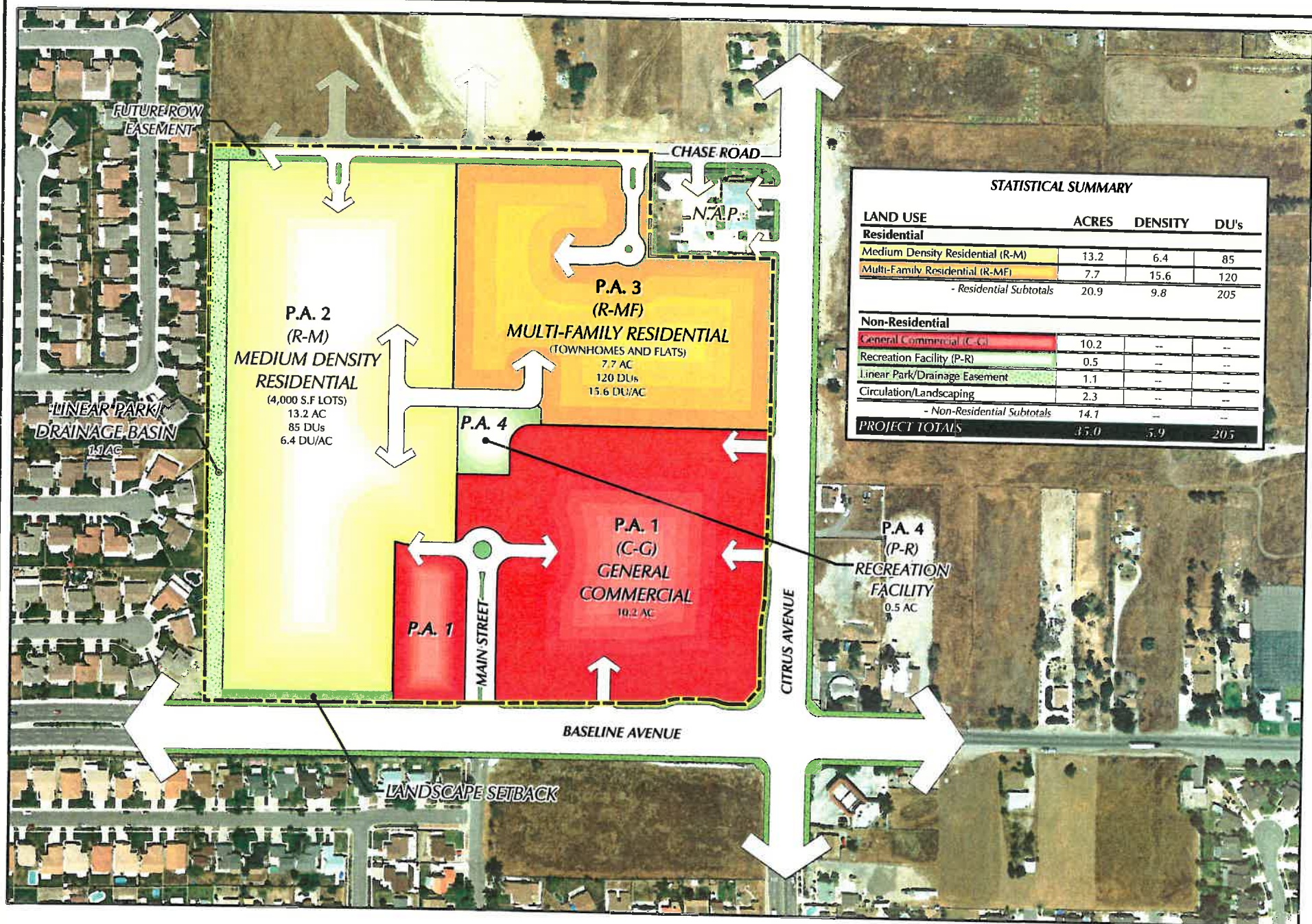


Figure 8
Specific Plan Land Use Plan

PROVIDENCE POINTE

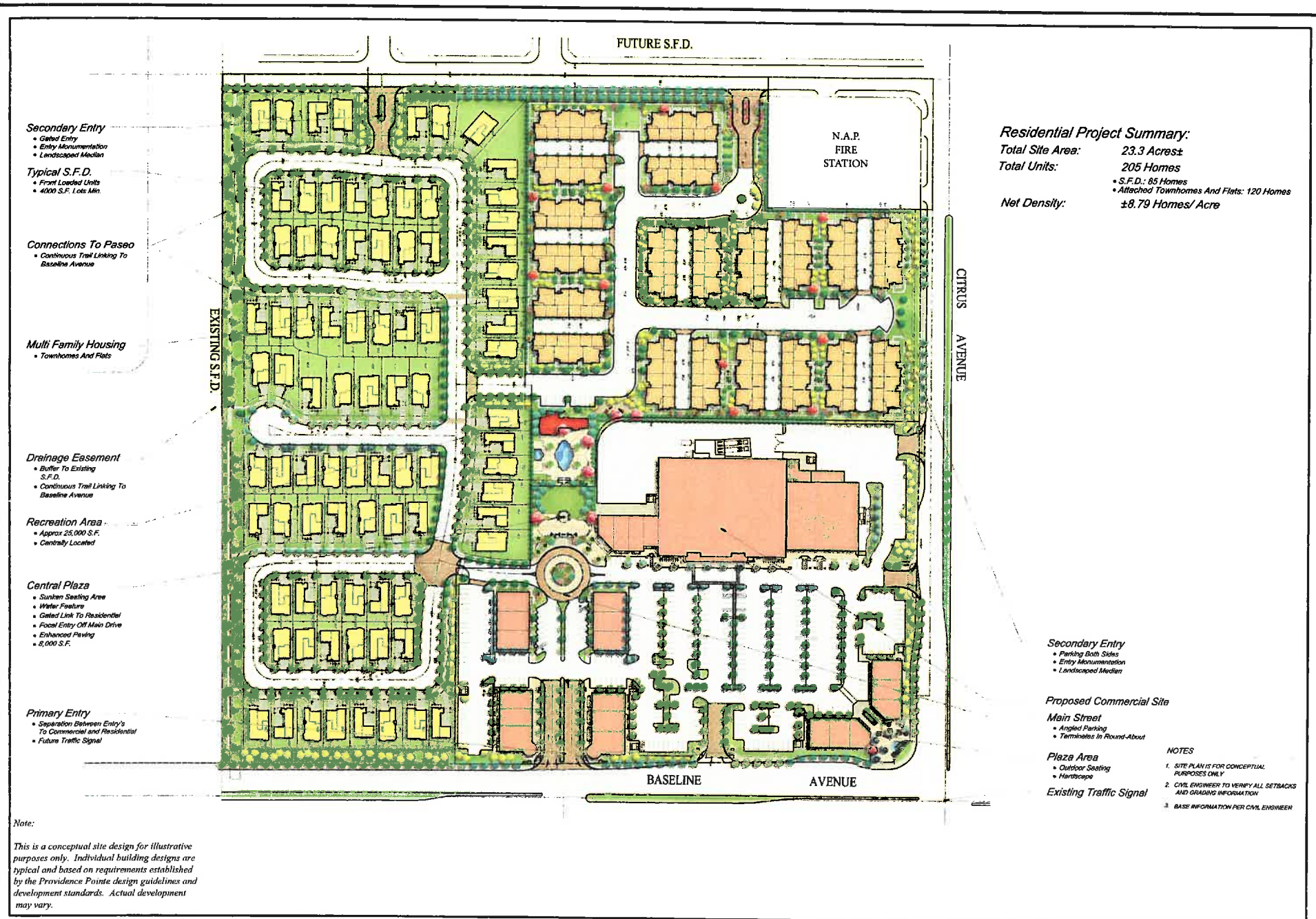


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Source(s):

WILLIAM HEZMALHALCH
ARCHITECTS INC.



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Figure 9
Conceptual Site Plan

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B. PLANNING AREAS

Distinct development areas, identified as “Planning Areas,” implement the planning objectives set forth for the PROVIDENCE POINTE Specific Plan. These planning areas arise from a logical organization of uses and planned units of development that will create the master planned environment envisioned for the project. Collectively, the various planning areas will generate a unique identity for PROVIDENCE POINTE through complementary architectural and landscape themes and a strong circulation network. A general description of each planning area is set forth below, while specific development standards and guidelines for design implementation are provided in Section III, *Development Regulations*, and Section IV, *Design Guidelines*.

1. PLANNING AREA 1 – GENERAL COMMERCIAL (C-G)

Located in the southeastern portion of the site, Planning Area 1 will provide for the development of up to 110,000 square feet of commercial-retail uses on 10.2 acres (see Figure 10, *Planning Area 1–Commercial Retail*). Commercial-retail uses are conveniently located and easily accessible for residents at the neighborhood level, thereby minimizing the amount of travel and distance for daily activities. The inclusion of commercial-retail land uses will create the opportunity to create a dynamic master planned community where people can live, work, and shop. This commercial-retail area is intended to offer a variety of uses, including retail, entertainment, restaurant, business, and professional uses. The employment opportunities that these uses create will address demands created by both the residents of PROVIDENCE POINTE and the region, and will contribute to a jobs-housing balance within the City of Fontana. General development standards for Planning Area 1, *General Commercial (C-G)*, are provided below and on Figure 10.

- Roadway landscape treatments, as shown on Figures 47 and 49, shall be provided along the project’s frontage with Baseline Avenue and Citrus Avenue.

- Primary and secondary entry monumentation, as shown on Figures 42 and 43, shall be provided along Baseline Avenue and Citrus Avenue.
- A landscape interface shall be provided between the commercial-retail uses in Planning Area 1 and residential uses in Planning Areas 2 and 3, as depicted on Figures 68 and 69.
- Please refer to Section III for specific *Development Regulations* and other related standards.
- Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

2. PLANNING AREA 2 – MEDIUM DENSITY RESIDENTIAL (R-M)

Planning Area 2 is located in the western portion of the site and will contain a maximum of 85 single family detached units located on 13.2 acres (see Figure 11, *Planning Area 2 – Medium Density Residential (R-M)*). Lot size shall be a minimum of 4,000 square feet and will be developed at a maximum density of 6.4 du/ac. The detached units in Planning Area 2 provide a continuation of the existing conventional single family residential uses to the west and serve as a transition to the commercial-retail and higher density uses within PROVIDENCE POINTE. General development standards for Planning Area 2, *Medium Density Residential (R-M)*, are provided below and on Figure 11.

- A roadway landscape treatment, as shown on Figure 48, shall be provided along the project’s frontage with Baseline Avenue.
- A landscape interface, as shown on Figure 69, shall be provided between the commercial-retail uses in Planning Area 1 and residential uses in Planning Area 2.

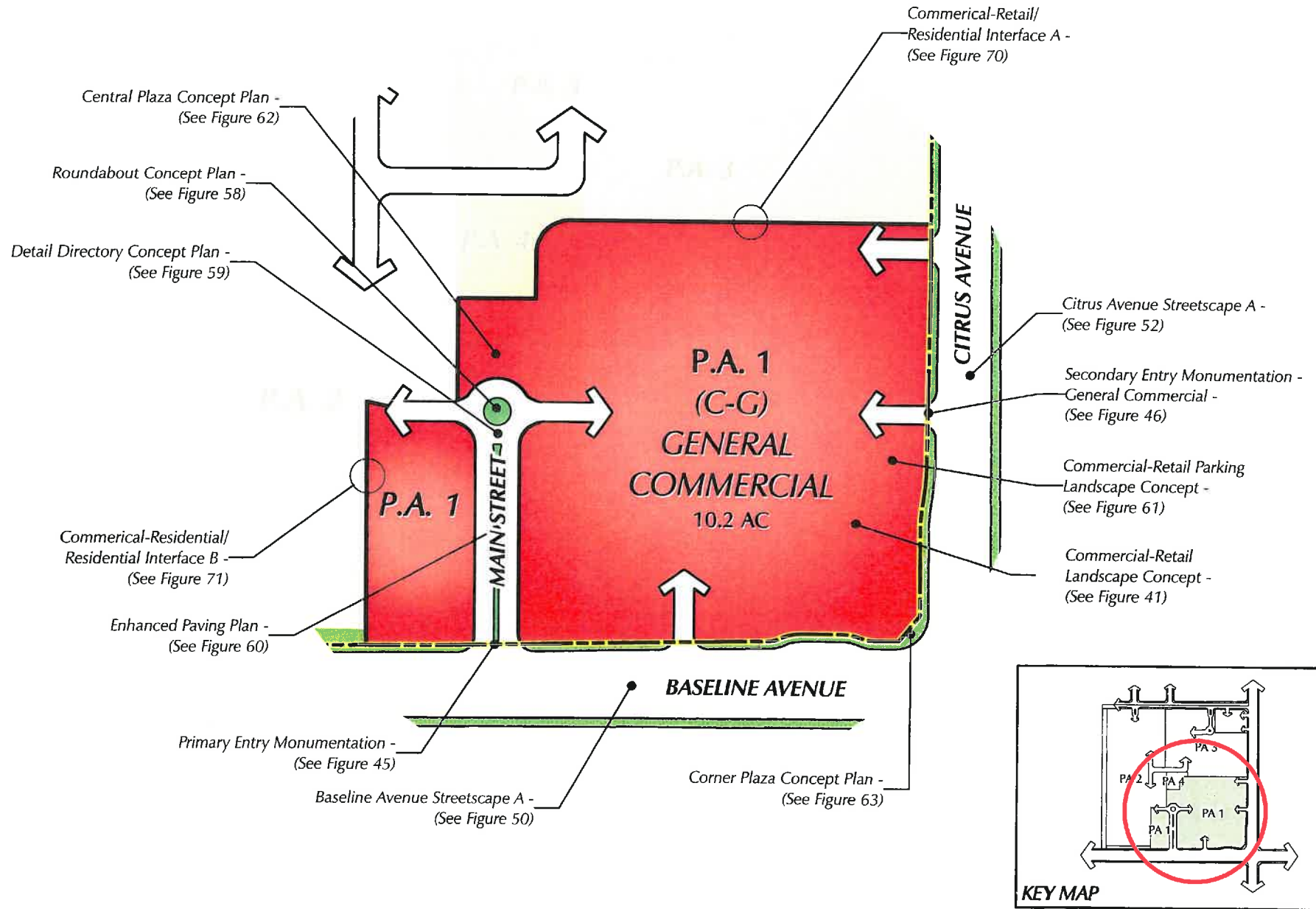


Figure 10
Planning Area 1 - General Commercial (C-G)



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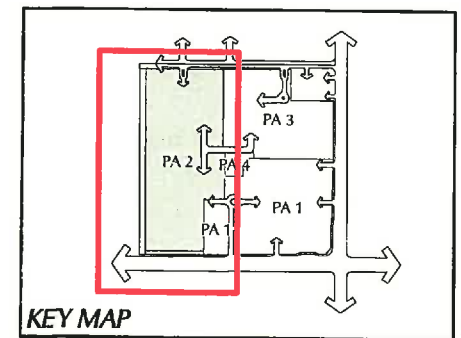
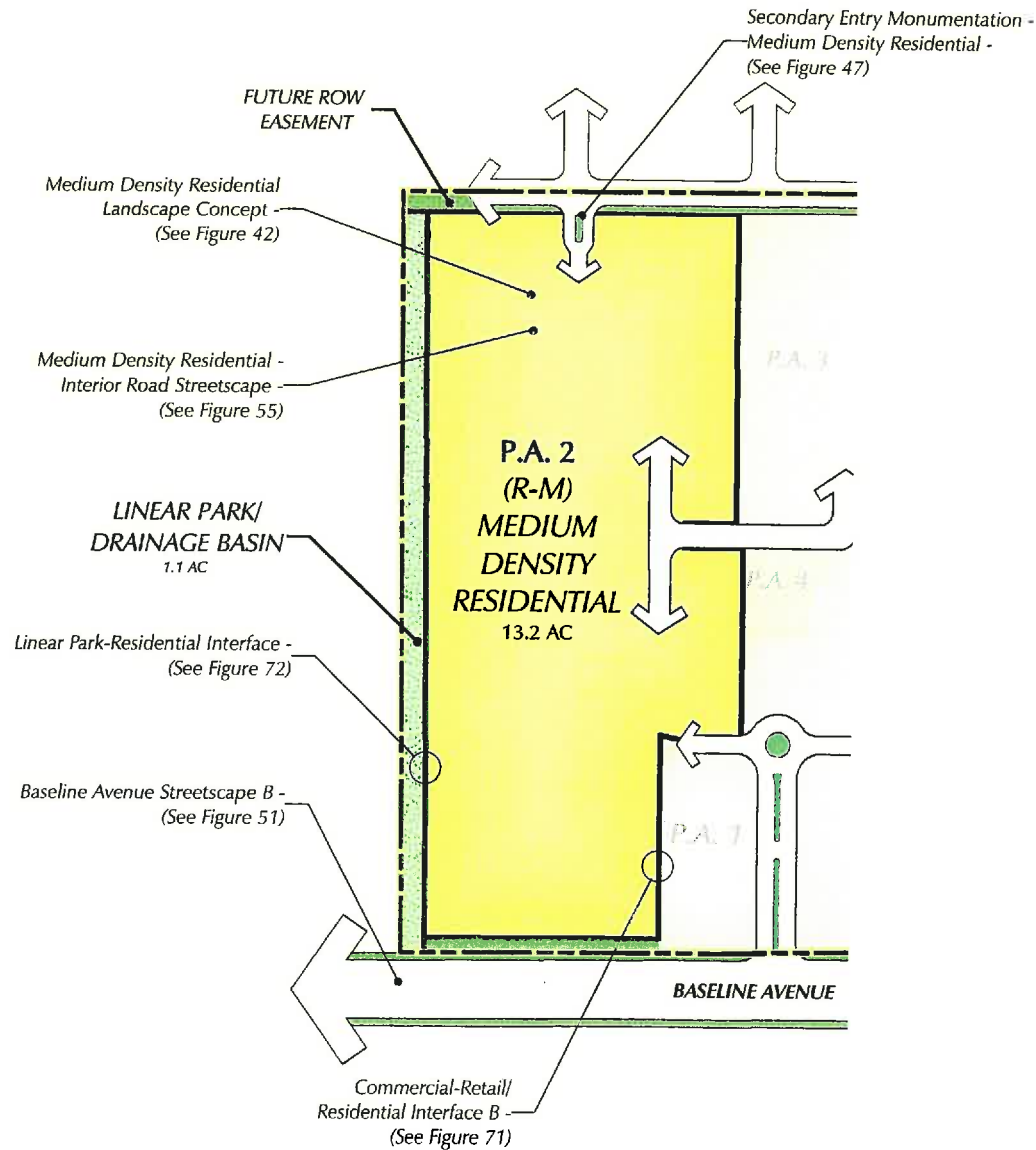


Figure 11
Planning Area 2 - Medium Density Residential (R-M)



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- A landscape interface, as shown on Figure 70 shall be provided between the linear park/drainage easement to the west and residential uses in Planning Area 2.
- Please refer to Section III for specific *Development Regulations* and other related standards.
- Please refer to Section IV for specific *Design Guidelines* and other related design criteria.

3. PLANNING AREA 3 – MULTI-FAMILY RESIDENTIAL (R-MF)

Planning Area 3 is located in the northeastern portion of the site and will contain a maximum of 120 multi-family attached units located on 7.7 acres (see Figure 12, *Planning Area 3 – Multi-Family Residential (R-MF)*). A combination of townhomes and flats will developed at a maximum density of 15.6 du/ac. In conformance with project goals, a combination of townhomes and flats are proposed, offering attached housing styles, sizes, and values that will appeal to a wide range of future PROVIDENCE POINTE residents. General development standards for Planning Area 3, *Multi-Family Residential (R-MF)*, are provided below and on Figure 12.

- Roadway landscape treatments, as shown on Figures 50 and 51, shall be provided along the project's frontage with Citrus Avenue and the Proposed Northern Roadway.
- A landscape interface, as shown on Figure 68, shall be provided between the commercial-retail uses in Planning Area 1 and residential uses in Planning Area 3.
- Please refer to Section III for specific *Development Regulations* and other related standards.
- Please refer to Section IV for specific *Design Guidelines* and

other related design criteria.

4. PLANNING AREA 4 – RECREATION FACILITY (P-R)

A 0.5-acre recreation facility is planned to be developed at the center of PROVIDENCE POINTE in Planning Area 4, providing a variety of passive and active recreational activities intended to service the community exclusively (see Figure 13, *Recreation Facility (P-R)*). The recreation facility is described in greater detail in Section IV, *Design Guidelines*. Proposed amenities for the recreation facility may include, but are not limited to:

- Clubhouse
- Swimming Pool
- Barbeque and Picnic Areas
- Gardens and Open Turf Areas
- Playground/Tot Lot
- Restrooms

Multi-Family Residential
Landscape Concept -
(See Figure 43)

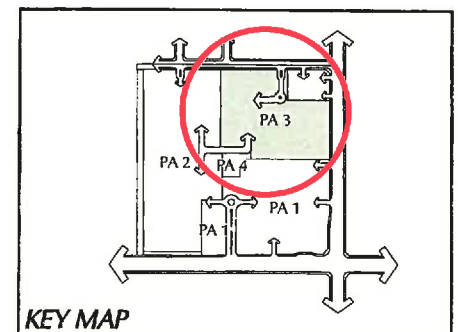
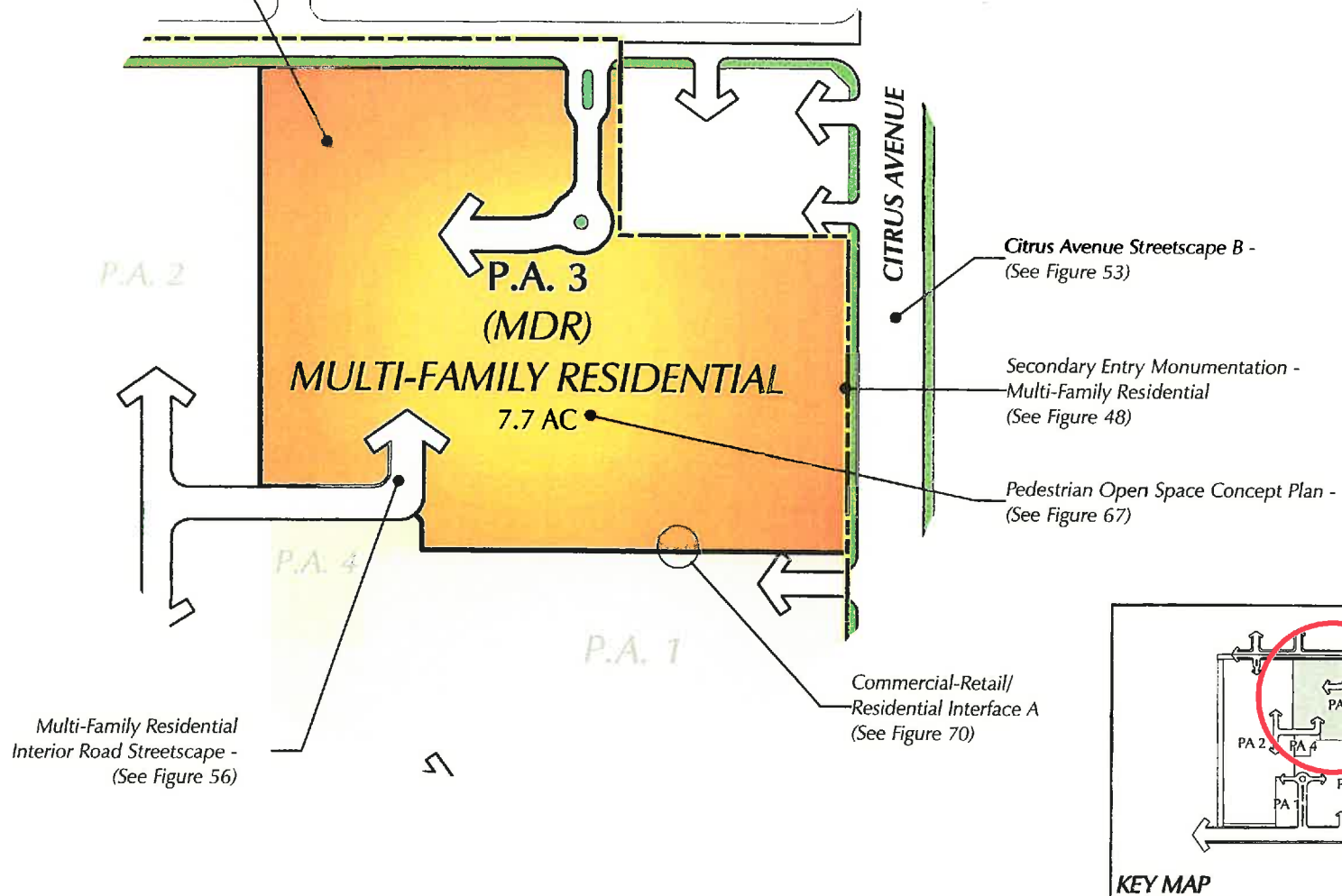


Figure 12
Planning Area 3 - Multi-Family Residential (R-MF)



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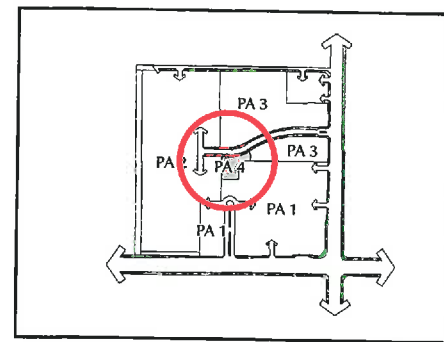
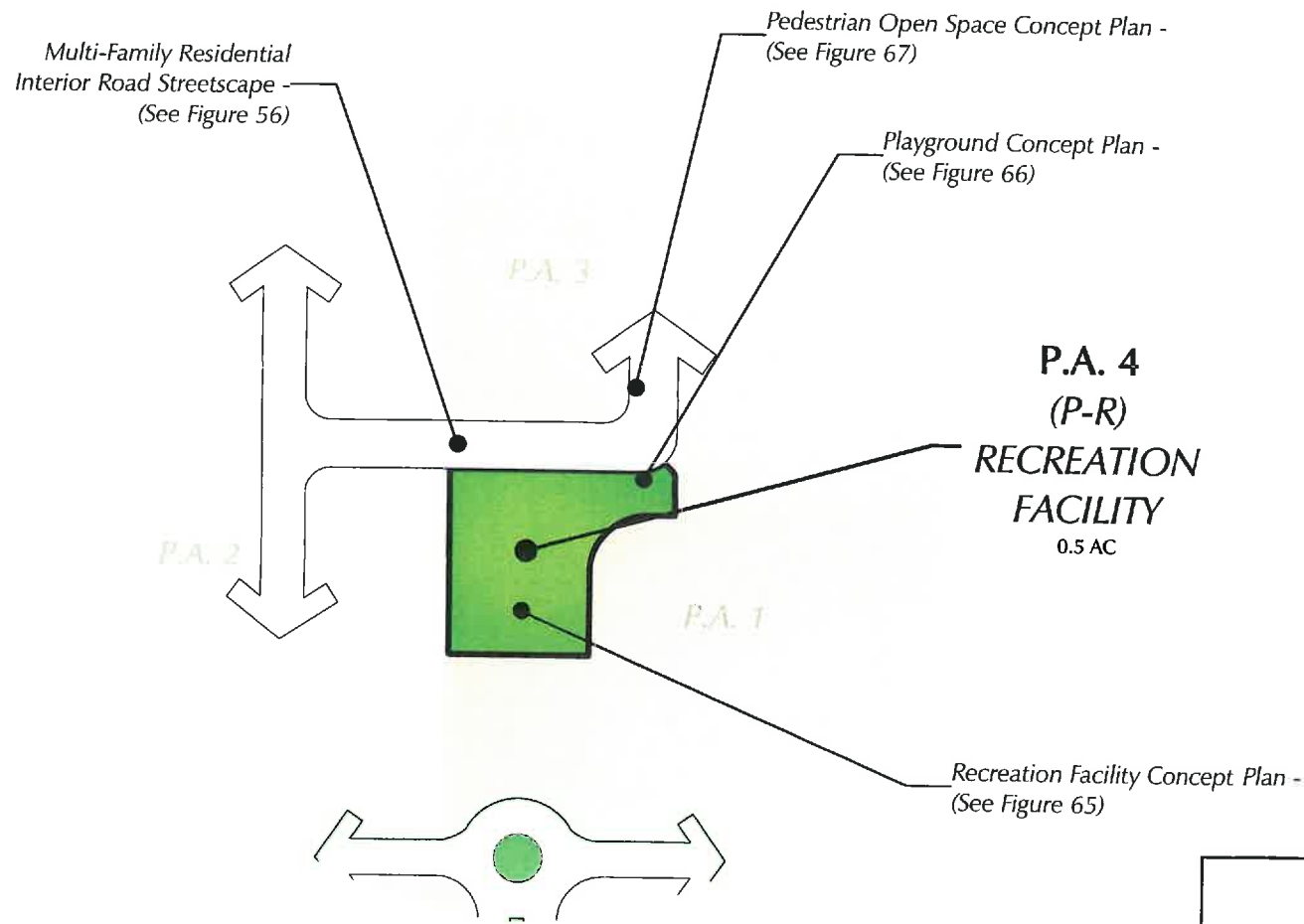


Figure 13
Planning Area 4 - Recreation Facility (P-R)



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C. CIRCULATION PLAN

PROVIDENCE POINTE'S improvement of the internal circulation network will ensure safe, direct, and convenient vehicular access to and through the project's various land uses. Figure 14, *Circulation Plan* illustrates the existing roadway network and proposed improvements, which is consistent with the City of Fontana's General Plan Circulation Element. Typical *Street Cross Sections* are depicted on Figures 15 through 17. Direct access to PROVIDENCE POINTE is provided by Baseline Avenue and Citrus Avenue. The residential areas within PROVIDENCE POINTE will be gated at its entries and will contain private internal streets.

With the exception of a new road (Chase Street) extending from Citrus Avenue along the northern project boundary and associated project-wide landscaping improvements, no major roadway modifications will be developed by this Specific Plan. To the extent possible, existing lane configurations and right-of-way improvements on exterior project roadways will be retained. If the required project CEQA document and associated Traffic Analysis determine that improvements to exterior project roadways are required, they shall be completed as a part of implementing the PROVIDENCE POINTE Specific Plan.

☐ Circulation Standards

1. The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on Figure 14, *Circulation Plan*, has been derived from the Master Circulation Plan outlined in the Traffic Analysis and will serve as the composite Circulation Plan for the PROVIDENCE POINTE Specific Plan.
2. Heavy through-traffic volumes will be eliminated from residential neighborhoods. Major roadways will be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors.
3. Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, *Design Guidelines*.
4. Major roadway improvements may be financed through an assessment district, developer impact fees, community facilities district, or similar financing mechanism.
5. All roads within the Specific Plan project boundary shall be constructed to appropriate City full or half-width standards as required for a requirement of the implementing tentative maps for the Specific Plan, subject to approval and modification by the City Engineer.

D. GRADING PLAN

The grading plan for PROVIDENCE POINTE will be tailored to the existing topography of the project site, as depicted on Figure 18, *Conceptual Grading Plan*. The existing site topography ranges in elevation from 1,390 to 1,420 feet above mean sea level, falling across the site in a southwesterly direction. Due to the relative flatness of the site, extensive landform alteration will not be necessary to develop the PROVIDENCE POINTE Specific Plan. Based on an evaluation of the project site where new development is proposed, soils and geologic conditions present no significant constraints to grading. The primary objectives of the grading plan are to: a) establish road grades that are consistent with those of the existing City streets around the site; b) provide stable development pads for new residential and commercial-retail structures, and associated recreation and parking; and c) balance the cut and fill grading quantities on-site as much as possible.

Grading for the development of PROVIDENCE POINTE will encompass the entire site and will require erosion control to prevent sedimentation and pollution discharges to the storm water systems. In addition, a

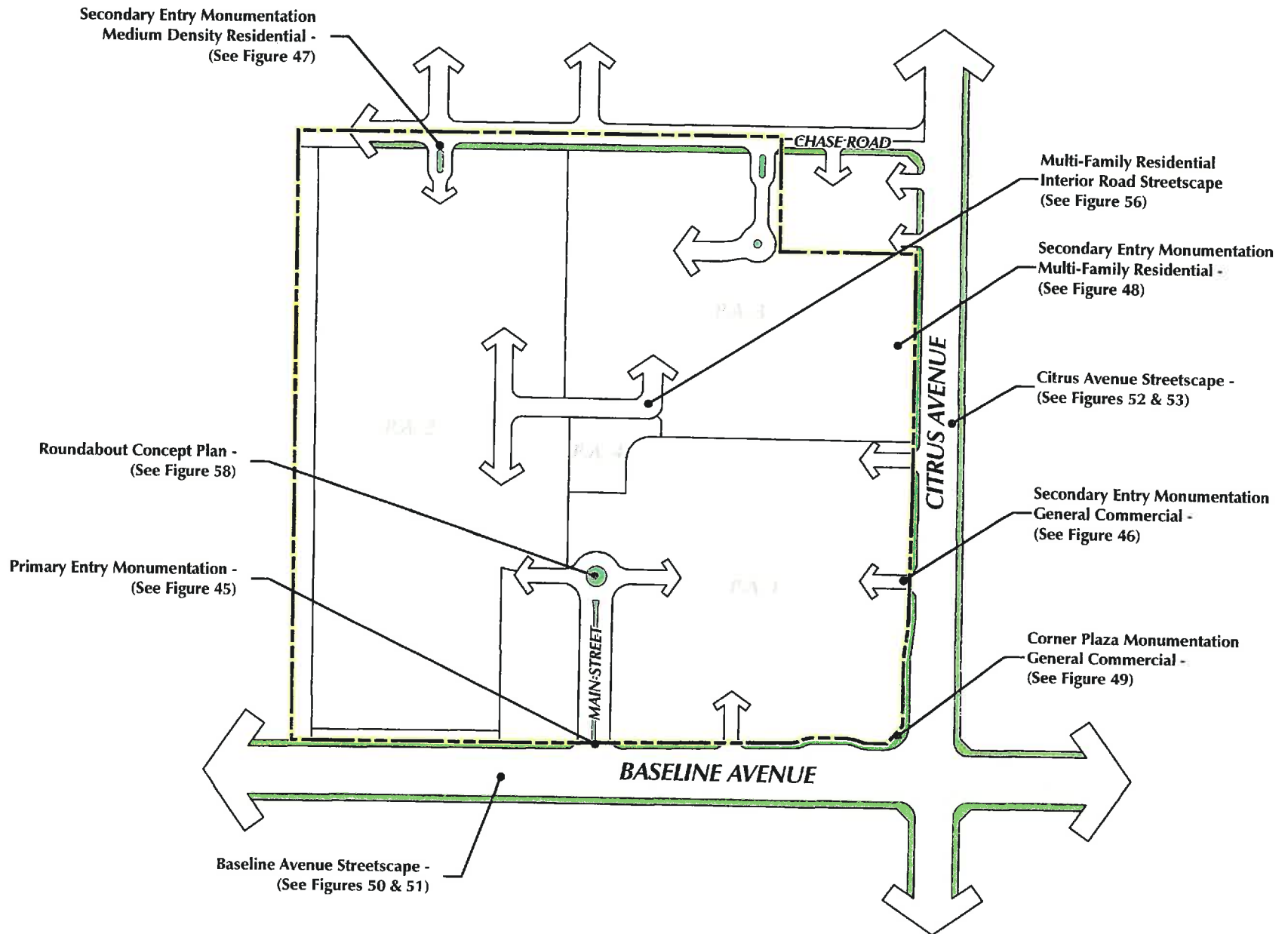


Figure 14
Circulation Plan

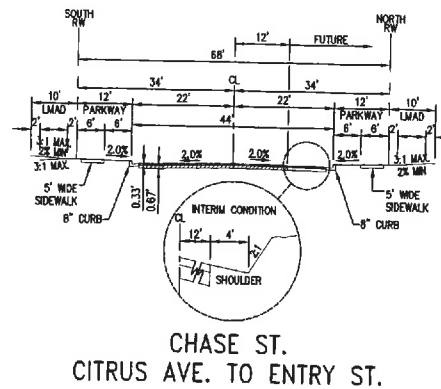
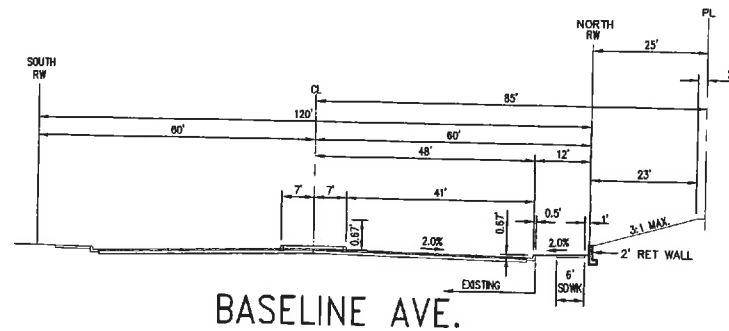
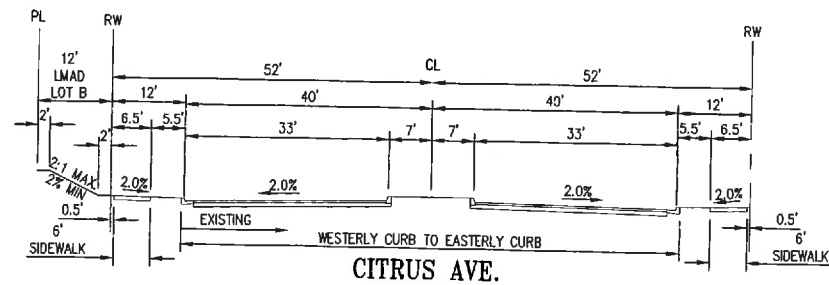


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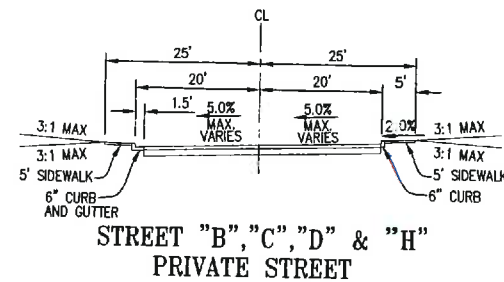
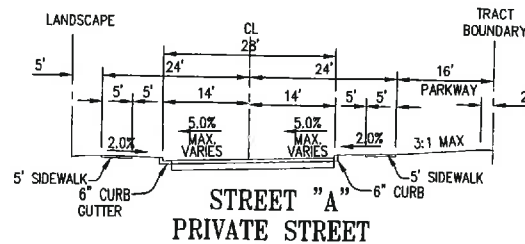
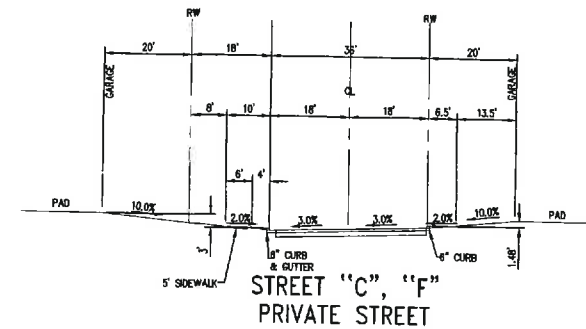
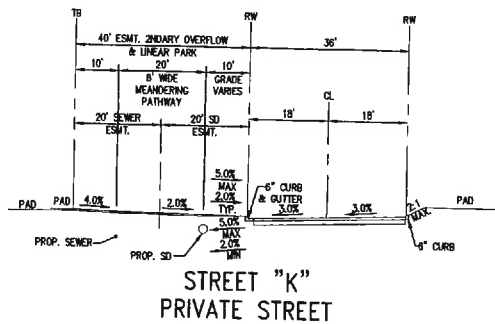
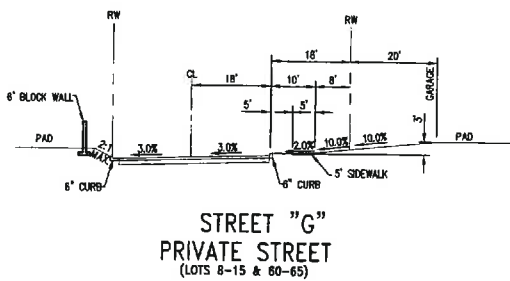
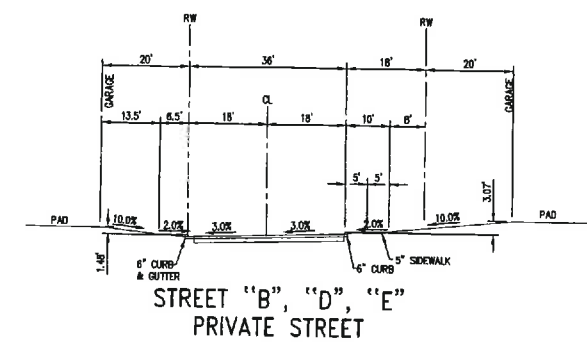
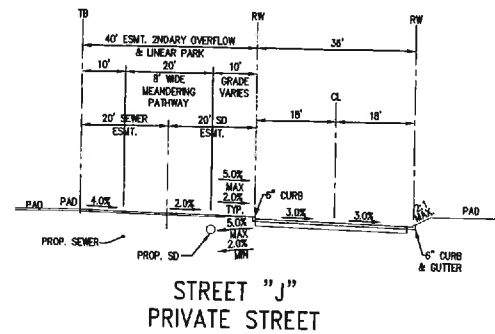
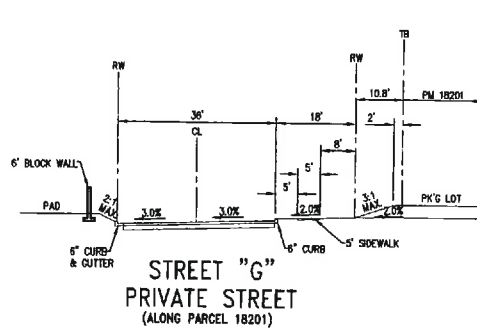
PROVIDENCE POINTE



Note:

Approval of the typical cross-sections and intersections is given in concept only. This approval does not relieve the design engineer from adhering to current city standards and standard engineering practices in place at time of plan development, as approval by city engineer.

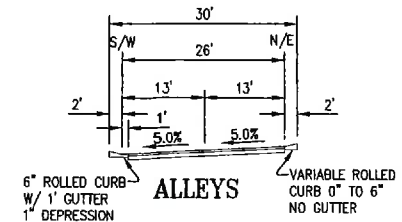
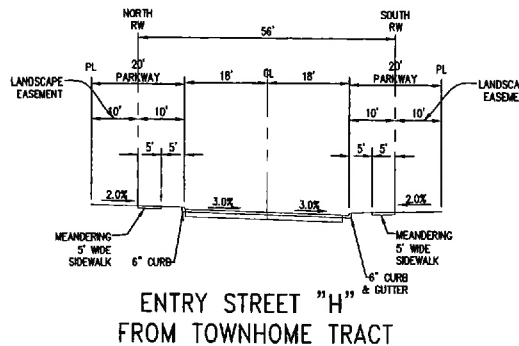
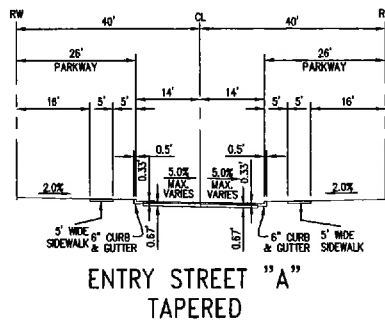
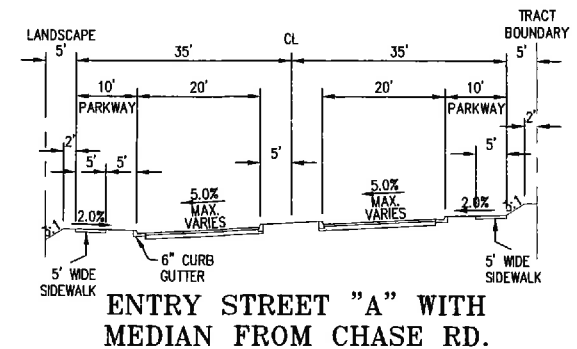
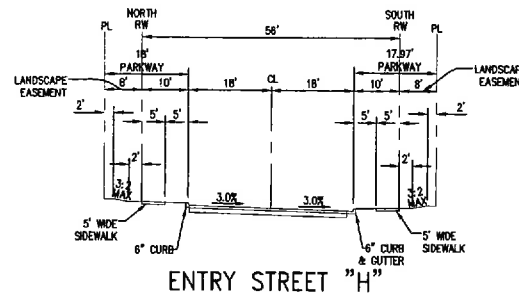
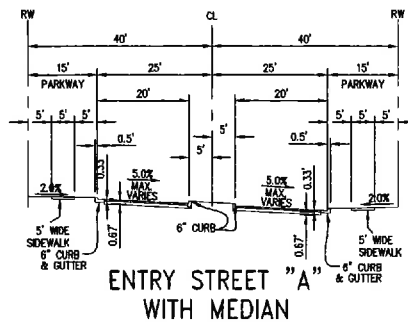
Source(s): 



Note:

Approval of the typical cross-sections and intersections is given in concept only. This approval does not relieve the design engineer from adhering to current city standards and standard engineering practices in place at time of plan development, as approval by city engineer.

Source(s):  T&B Planning, Inc.

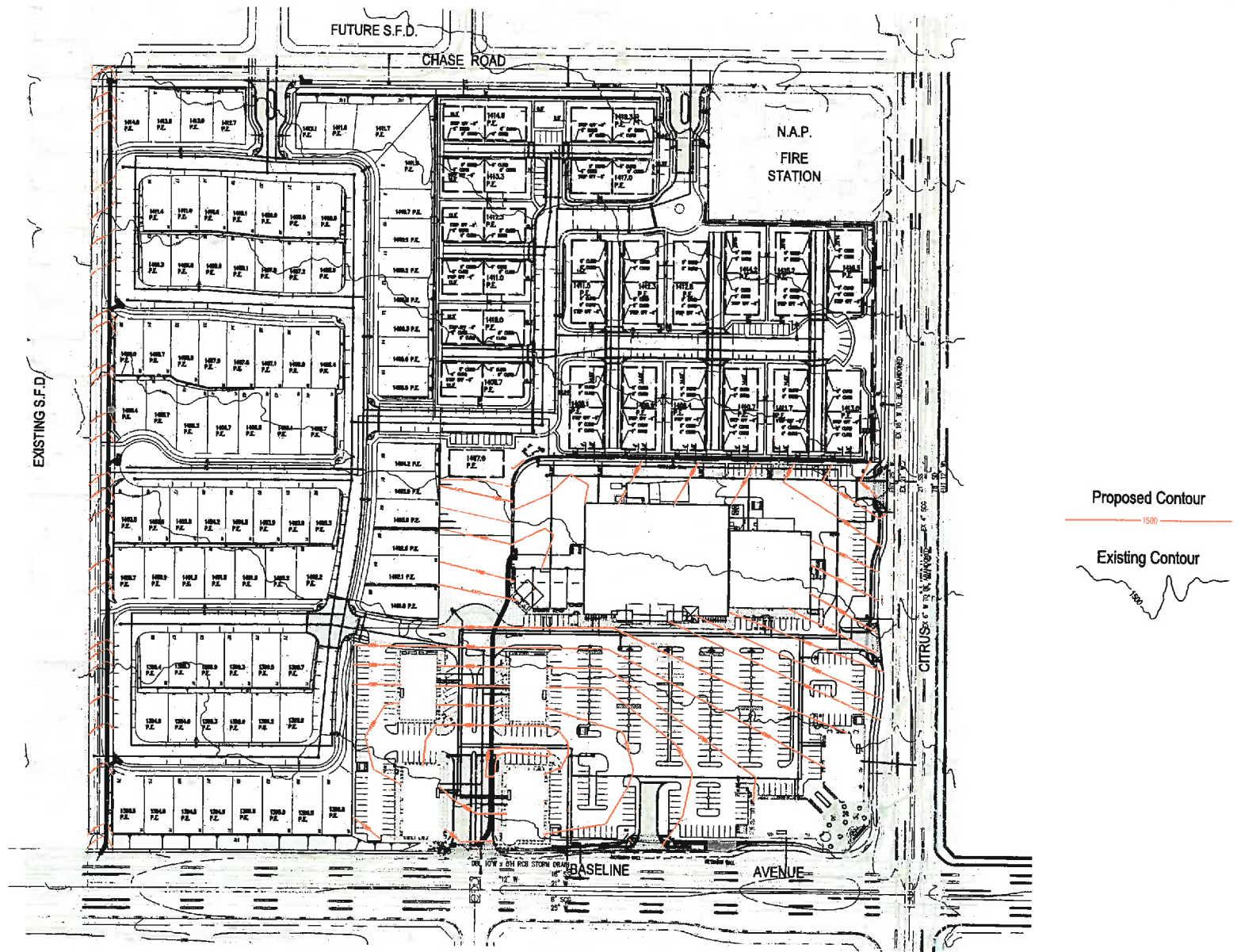


Note:

Approval of the typical cross-sections and intersections is given in concept only. This approval does not relieve the design engineer from adhering to current city standards and standard engineering practices in place at time of plan development, as approval by city engineer.

Source(s): H&B & Freeman, Inc.

Figure 17
Street Cross-Sections C



Note:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the Providence Pointe design guidelines and development standards. Actual development may vary.

Source(s): Hill & Knowlton, Inc.

Figure 18
Conceptual Grading Plan



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Notice of Intent (NOI) will be filed with the State Water Resources Control Board for coverage under the General Permit and a Storm Water Pollution Prevention Plan (SWPPP) will be prepared for the site. The *Conceptual Grading Plan* has been designed to accommodate drainage and a street system that meets City of Fontana standards for acceptable infrastructure gradients.

☐ **Grading Standards**

1. All grading activities shall be in substantial conformance with the provisions outlined herein and shall implement grading related mitigation measures outlined in the Preliminary Geotechnical Report for the project site.
2. Grading shall conform to City of Fontana *Zoning and Development Code* regulations.
3. All streets shall have a gradient not to exceed 15%. Channels, swales, ditches, and cross slopes for linear parks, paths, etc. shall be designed to prevent ponding and to minimize erosion.
4. Grading plans shall implement measures to control runoff, erosion and dust.
5. The applicant shall be responsible for maintenance and upkeep for all planting and irrigation systems until those operations are the responsibility of other parties.
6. If any historic or prehistoric remains are discovered during grading operations, a qualified archaeologist should be consulted to ascertain significance.
7. All clearing, grading or excavation shall comply with the appropriate National Pollution Discharge Elimination System (NPDES) permit requirements. A Storm Water Pollution Protection Plan (SWPPP) shall be prepared and approved by the

Regional Water Quality Control Board prior to any grading activity.

E. WATER PLAN

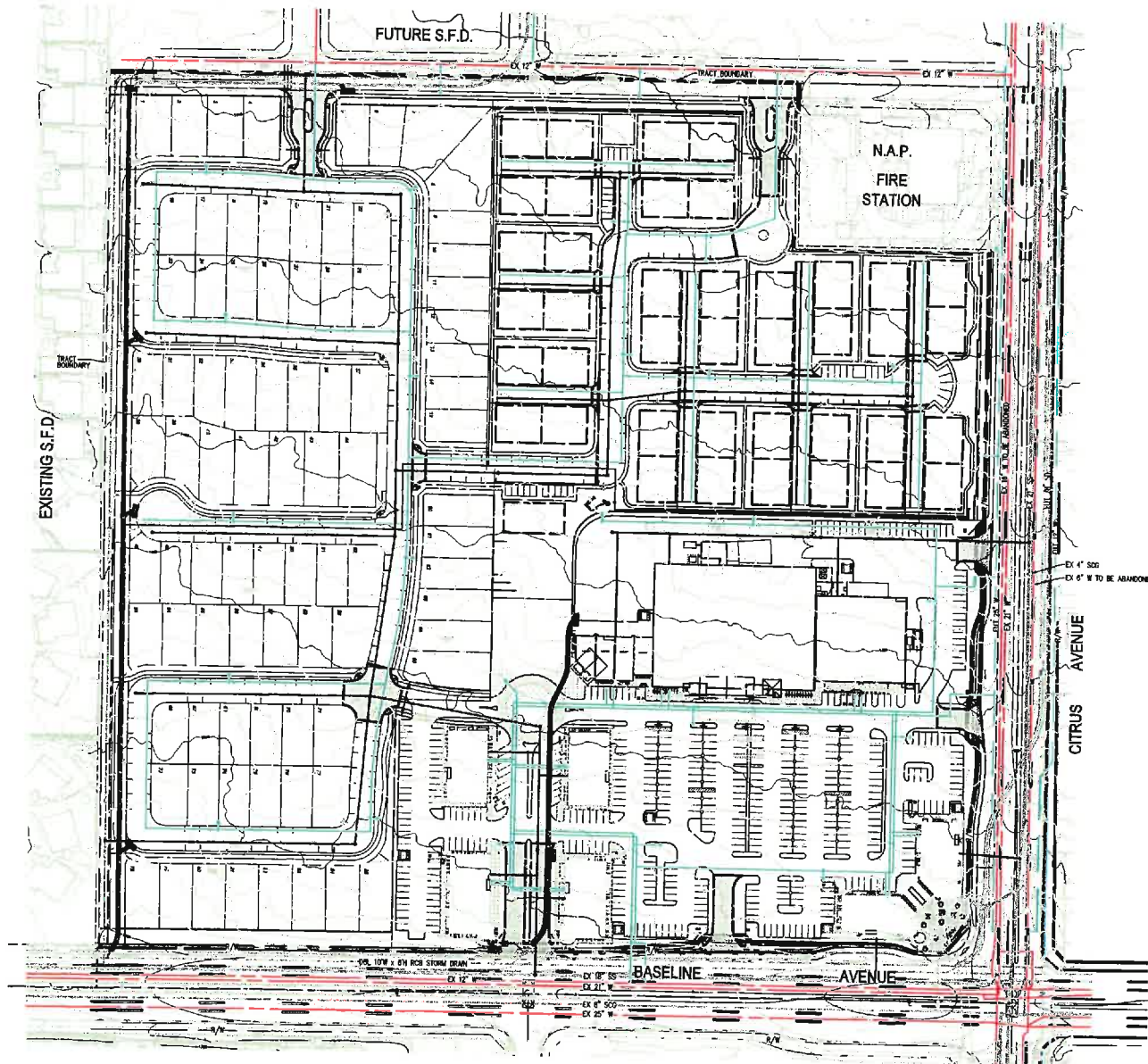
The Fontana Water Company (FWC) provides water service to the area. FWC operates a reservoir, transmission mains, and local lines serving properties located primarily east of Beech Avenue and south of Summit Avenue. Domestic water will service the residential, commercial, recreation, and common landscape areas of PROVIDENCE POINTE. FWC draws water for supply to their service area from stream flow in the Lytle Creek region and from numerous wells within the Chino groundwater basin. The water company's infrastructure consists of reservoir tanks, booster pump facilities, and a network of pipeline facilities to deliver water throughout its service area.

The primary connection point available for the PROVIDENCE POINTE Specific Plan is located in Baseline Avenue, via a 12-inch transmission main. Secondary connections are also available via a 12-inch transmission main in Chase Road and 21-inch main in Citrus Avenue. All transmission mains are located within street right-of-way. PROVIDENCE POINTE will be served by a looped system connected from Baseline Avenue northerly through the project to Chase Road (see Figure 19, *Conceptual Water Plan*). An additional loop extends westerly from Citrus Avenue to the north/south interim loop of the project site.

Within the internal project roadways, water lines owned and maintained by FWC will serve to provide domestic service to each proposed residence and commercial-retail tenant as well as supplying sufficient fire flows to fire hydrants placed in accordance with San Bernardino County Fire Department standards.

☐ **Water and Sewer Standards**

1. Water and sewerage disposal facilities shall be installed in



Note:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the Providence Pointe design guidelines and development standards. Actual development may vary.

Source(s): T&B Planning, Inc.

Figure 19
Conceptual Water Plan



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accordance with the requirements and specifications of the City of Fontana and the San Bernardino County Health Department.

2. All water and sewer lines shall be placed underground.
3. Will serve letters shall be obtained from the Fontana Water Company prior to approval of a subdivision map and/or development plan for commercial uses in accordance with the State Subdivision Map Act.
4. If available, the developer shall obtain reclaimed water for irrigating common landscaped areas on the project site, to the satisfaction of the City of Fontana Public Works Department.
5. The developer shall furnish one copy of the water system plan to the City of Fontana Fire Department for review and approval prior to the approval of final engineering plans. Plans shall conform to the hydrant types, location and spacing, and the system shall meet fire flow requirements. The required water system, including fire hydrants, shall be installed and accepted by the appropriate water agency, prior to combustible building materials being placed on the job site.
6. The developer shall design for domestic water and minimum fire flow requirements to the project in compliance with the City of Fontana standards and provide hydraulic calculations for review and approval. The proposed water network shall be designed for the required volume and pressure.

F. SEWER PLAN

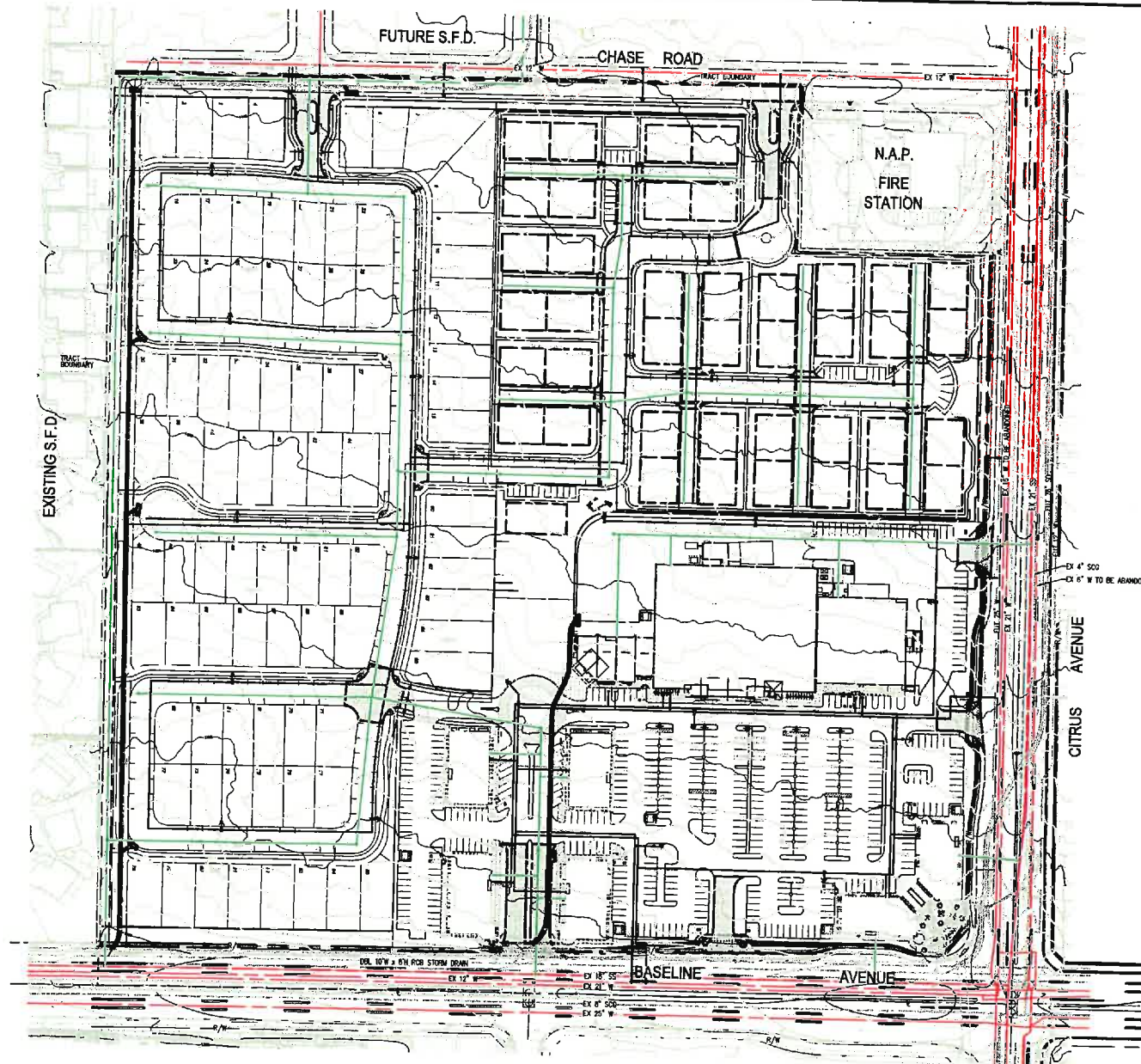
The City of Fontana is responsible for the collection of wastewater within its corporate limits, which includes the PROVIDENCE POINTE project site. The City contracts with the Inland Empire Utilities Agency (IEUA), formerly the Chino Basin Municipal Water District, for wastewater treatment.

The proposed sewer plan will consist of a series of sewer mains on-site, which will connect to larger off-site sewer mains located in Baseline Avenue and Citrus Avenue, 18-inch and 21-inch respectively. Pursuant to a request by the City of Fontana, a private 8-inch onsite sewer will be constructed to serve the project, connecting to the existing facilities in Baseline Avenue and Citrus Avenue (see Figure 20, *Conceptual Sewer Plan*). Use of force mains or pump stations is not anticipated as part of development of the PROVIDENCE POINTE project site. Sewage disposal facilities shall be installed in accordance with the requirements and specifications of the State Department of Health Services and the San Bernardino County Health Department.

G. DRAINAGE PLAN

A drainage system has been developed for PROVIDENCE POINTE, as illustrated on Figure 21, *Conceptual Drainage Plan*. PROVIDENCE POINTE is located generally in the San Sevaine Creek watershed. Existing topographic relief consists of relatively flat contours, with the existing site drainage generally sheet flowing in a southerly-southwesterly direction. No 100-year floodplains are located on the site. Development of the project site will increase runoff as a result of creating impervious surfaces such as paved streets, driveways, and foundations for structures. The proposed storm drain system will consist of pipes within the streets and a variety of concrete inlet and outlet structures. The PROVIDENCE POINTE drainage plan is designed to direct runoff from the project site into the existing City-wide storm drain network located within and adjacent to the site. The project site's drainage will be collected in an on-site storm drain, which ultimately will connect into the existing Baseline Avenue storm drain. This facility is a double 10-inch x 8-inch reinforced concrete box which flows westerly in Baseline Avenue and has been designed to accommodate the runoff generated by the PROVIDENCE POINTE development.

Recent changes in the National Pollutant Discharge Elimination System (NPDES) requirements from the Regional Water Resources Control Board require the site to comply with the Standard Urban Storm Water



Proposed Sewer

Existing Sewer

Note:

This is a conceptual site design for illustrative purposes only. Individual building designs are typical and based on requirements established by the Providence Pointe design guidelines and development standards. Actual development may vary.

Source(s):  Hall & Foreman, Inc.

Figure 20
Conceptual Sewer Plan



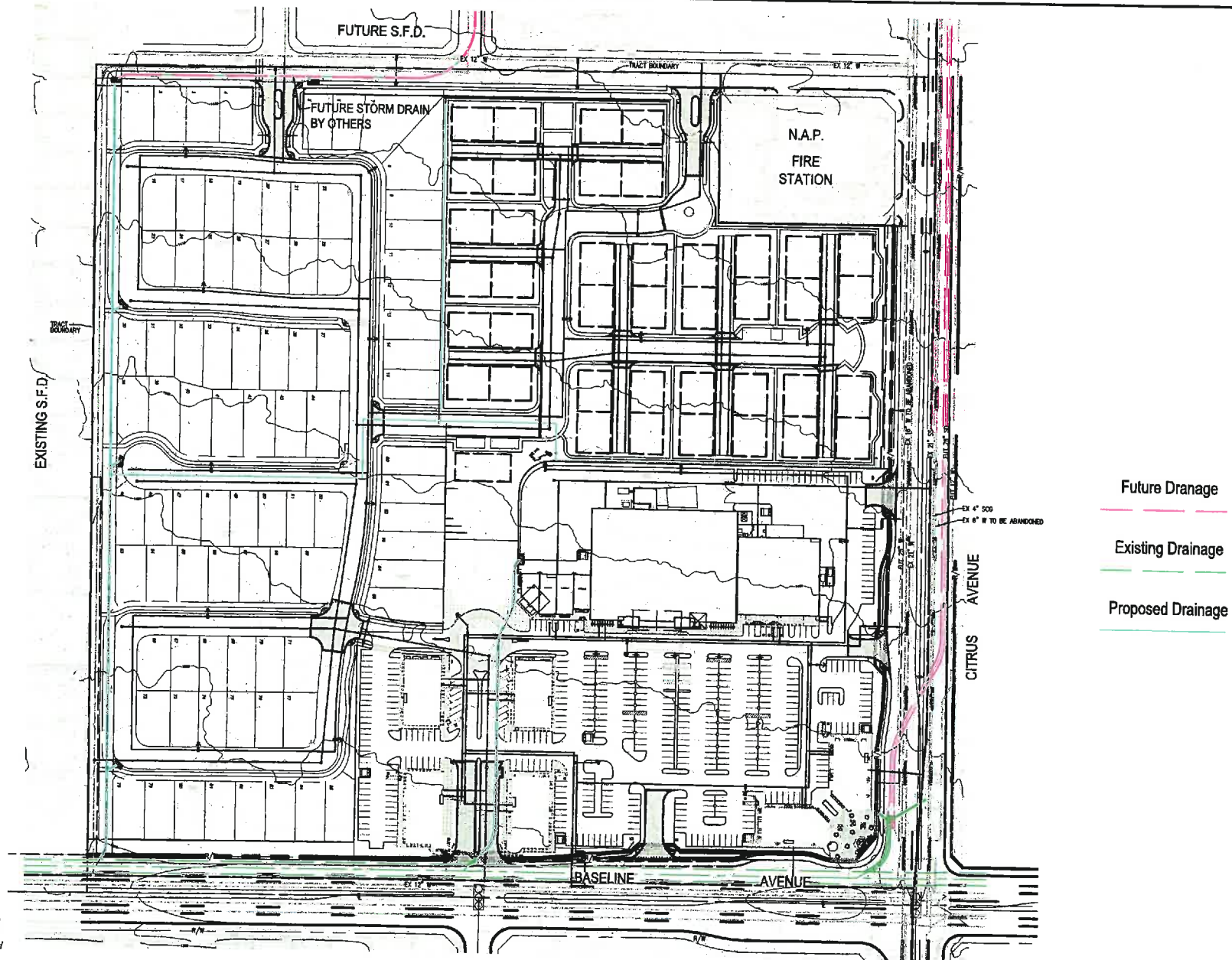
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Note:

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Source(s):  T&B Planning, Inc.

Figure 21
Conceptual Drainage Plan



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Management Plan (SUSMP). In addition, the proposed systems will be designed to provide for treatment of the first flush water volume as required by the SUSMP.

☐ **Drainage Standards**

1. Drainage and flood control facilities and improvements, including any necessary channelization, shall be provided in accordance with RCFCWCD and City of Fontana requirements.
2. Major drainage facilities within road right-of-ways and drainage easements are proposed to be maintained by the City of Fontana and/or RCFCWCD. Maintenance responsibilities for local drainage will be determined upon filing of individual tract maps.
3. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least five acres total land area, or activity which is part of a larger common plan of development of five acres or greater, shall comply the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; monitoring programs; etc.

III. DEVELOPMENT REGULATIONS

A. PURPOSE AND INTENT

The development regulations contained in this section shall be enforced to implement the PROVIDENCE POINTE Specific Plan. These standards and regulations are consistent with the land use goals and objectives of the City of Fontana General Plan and Development Code and provide the basic criteria which will govern all development within the boundaries of the PROVIDENCE POINTE Specific Plan.

In accordance with California Government Code Section 65860, each City within the state of California must adopt a zoning and development code which is consistent with the City's general plan. The City of Fontana has adopted a zoning ordinance and development code that is consistent with and serves to implement the City's adopted General Plan. This Specific Plan implements the General Plan on the PROVIDENCE POINTE property. The standards identified in this Section shall apply only to the PROVIDENCE POINTE Specific Plan area. These site-specific standards are tailored for this Specific Plan and do not apply outside of the Specific Plan area boundaries.

Development within the Specific Plan area shall be subject to the review processes discussed in Section V, *Implementation*, of this document. In addition to the Development Standards and criteria identified herein, development within the PROVIDENCE POINTE Specific Plan shall comply with the *Zoning and Development Code* (Chapter 30) for the City of Fontana. Should a conflict arise between a Chapter 30 provision(s) and any standard(s) or regulation(s) contained herein, the standards and regulations of this Specific Plan shall take precedence.

B. GENERAL PROVISIONS

PROVIDENCE POINTE will provide for a mixture of residential, commercial-retail, and recreational land uses integrated within a master planned mixed-use community. The residential uses on-site provide a

"built in" market if commercial-retail uses are developed within the site. Conversely, the commercial-retail uses provide immediate day-to-day convenience shopping and services for residents within and outside of PROVIDENCE POINTE. Site development standards are intended to make such uses compatible to and harmonious with the character of surrounding residential and general commercial development.

To ensure the orderly and coordinated development of land uses proposed for PROVIDENCE POINTE, development standards have been established for implementation of the Specific Plan Land Use Plan, as detailed below. In addition to these general guidelines, specific development standards for each land use are thoroughly discussed later in this section to complement the diverse land uses. The following general provisions apply to all development within the Specific Plan boundaries.

1. The total Specific Plan area shall be developed with a maximum of 205 dwelling units and 110,000 square feet of commercial-retail and on 35.0 acres, as illustrated in Figure 7, *Specific Plan Land Use Plan*. In no case shall the total dwelling units or commercial-retail floor area exceed 205 units or 110,000 square feet, respectively, without amending this Specific Plan.
2. General uses permitted will include Medium Density Residential (R-M), Multi-Family Residential (R-MF), General Commercial (C-G), Recreation Facility (P-R), and associated landscape and infrastructure improvements.
3. The proposed number of dwelling units contained in an implementing subdivision application may exceed the maximum units specified in any one Planning Area by not more

than ten percent (10%) without an amendment to this Specific Plan, provided that either an equal or greater number was unused in a previously or concurrently approved application within another Planning Area or an equal or greater number is subtracted from a future Planning Area, or a combination of the two. In no case shall the total number of dwelling units exceed 205.

4. Minor boundary and acreage variations (up to 10%) in the planning areas shall be permitted, subject to approval of the Director of Community Development, without an amendment to the Specific Plan document.
5. Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified in the PROVIDENCE POINTE Specific Plan, based upon but not limited to the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) sensitivity to neighborhood design through lot and street layouts; and f) development standards as proposed by this Specific Plan.
6. Uses and development standards will be in accordance with the *Development Regulations* contained in Section IV and will further be defined by Specific Plan objectives, design guidelines, and future detailed development proposals including subdivisions, plot plans, design review, site plan review, and/or conditional use permits.
7. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, site plan, specific plan amendment, or any land use application required to implement the Specific Plan, unless said proposal is determined to be consistent with the EIR that accompanies this Specific Plan and does not require subsequent environmental documentation, or is exempt from the provisions

of CEQA. The CEQA review shall be prepared as part of the review process for these implementing projects.

8. Designation, dedication, and/or payment of fees for parkland will be based on the final number of dwelling units and corresponding population generated by PROVIDENCE POINTE and will satisfy both City and State requirements for parkland.
9. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the City of Fontana Planning Division verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
10. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, equestrian, and/or bicycle).
11. If necessary, roadways, infrastructure, and open space may be coordinated by and paid for through an assessment or community facilities district to facilitate construction, maintenance and management.
12. Development within the Specific Plan shall be in accordance with the mandatory requirements of all City of Fontana and state laws and shall conform substantially to the approved Specific Plan as filed with the City of Fontana Planning Division, unless otherwise amended.
13. Definitions for terminology used in this Section comply with the definitions contained in the City of Fontana *Zoning and Development Code*, Article I, Section 30-11. Rules for interpretation of this Section shall be as provided in the City of Fontana *Zoning and Development Code*, Article I, Section 30-5, 6, and 7.

C. DEVELOPMENT STANDARDS

The following subsections set forth the development standards for the individual planning areas of the PROVIDENCE POINTE Specific Plan. This subsection has been prepared in accordance with California Government Code 65450 and all applicable development and design standards of the City of Fontana *Zoning and Development Code*, with some modification to provide flexibility and encourage innovative use of land within the PROVIDENCE POINTE Specific Plan area.

1. PLANNING AREA 1 – GENERAL COMMERCIAL (C-G)

- (a) Table 4, *General Commercial Development Standards*, sets forth minimum site development standards for commercial-retail development in Planning Area 1.
- (b) Permitted and conditionally permitted uses in areas designated for development within Planning Area 1 shall be those allowed under the *General Commercial (C-2)* zone of the City of Fontana *Zoning and Development Code* (Chapter 30, Article VI, Division 3 – Use Regulations).
- (c) Except as provided above, all other zoning requirements shall be the same as those requirements identified in the *General Commercial (C-2)* zone of the City of Fontana *Zoning and Development Code* (Chapter 30, Article VI).

2. PLANNING AREA 2 – MEDIUM DENSITY RESIDENTIAL (R-M)

- (a) Table 5, *Residential Development Standards - Single Family*, sets forth minimum site development standards for residential development in Planning Area 2.
- (b) Patio, Deck, and Trellis Additions:
 - Wood framed trellis or patio cover additions in rear yard conditions only. Minimum side and rear yard

setback shall be 5 feet.

- Second story deck addition in rear yards only. Minimum side yard shall be 5 feet. Minimum rear yard setback shall 10 feet.
 - Coverage of rear yard with patio, trellis, or deck additions cannot exceed 50% of usable rear yard.
 - All patio, trellis, or deck additions must be approved by H.O.A. and proper city agency.
- (c) Permitted and conditionally permitted uses in areas designated for development within Planning Area 2 shall be those allowed under the *Medium Density Residential (R-2)* zone of the City of Fontana *Zoning and Development Code* (Chapter 30, Article V, Division 3 – Use Regulations).
 - (d) Except as provided above, all other zoning requirements shall be the same as those requirements identified in the *Medium Density Residential (R-2)* zone of the City of Fontana *Zoning and Development Code* (Chapter 30, Article V).
 - (e) Model home complexes and/or sales trailers, and associated parking facilities, landscaping, monumentation, and flags shall be permitted within residential planning areas, subject to temporary use permit (TUP) approval by the City of Fontana.

3. PLANNING AREA 3 – MULTI-FAMILY RESIDENTIAL (R-MF)

- (a) Table 5, *Residential Development Standards – Multi-Family*, sets forth minimum site development standards for residential development in Planning Area 3.
- (b) Permitted and conditionally permitted uses in areas designated for development within Planning Area 3 shall be those allowed under the *Multi-Family Residential (R-3)* zone of the City of

**TABLE 4
GENERAL COMMERCIAL DEVELOPMENT STANDARDS**

STANDARD	REQUIREMENT
<i>Minimum Lot Size</i>	No minimum requirement
<i>Minimum Lot Width/Depth</i>	No minimum requirement
<i>Maximum Lot Coverage</i>	50%
<i>Maximum Floor Area</i>	110,000 square feet
<i>Minimum Yard Setback:</i>	
<i>Front Yard Setback</i>	No minimum requirement
<i>Rear Yard Setback</i>	No minimum requirement
<i>Landscape Setback</i>	15 feet
<i>Rear Yard Setback – Abutting Citrus & Baseline Avenue</i>	15 feet
<i>Rear Yard Setback – Buildings on Main Street Abutting Baseline Avenue</i>	9 feet
<i>Rear Yard Setback – Abutting Residential</i>	25 feet
<i>Side Yard Setback</i>	20 feet
<i>Side Yard Setback – Abutting Public Street</i>	15 feet
<i>Side Yard Setback – Abutting Residential</i>	20 feet
<i>Maximum Building Height</i>	45 feet
<i>Off-Street Parking:</i>	
<i>Minimum Parking Spaces</i>	Per Chapter 30, Article VI, Division 2 of the City of Fontana Zoning and Development Code
<i>Full-Size Parking Space</i>	19 x 9
<i>Minimum Parking Isle Width</i>	26 feet
<i>Maximum Lighting Height</i>	30 feet
<i>Maximum Wall and Fence Height</i>	10 feet
<i>Permitted Uses</i>	Per Chapter 30, Article VI, Division 3 of the City of Fontana Zoning and Development Code
<i>Landscaping</i>	12% of Planning Area
<i>Signage</i>	Master Sign Program or Per Chapter 3 of the City of Fontana Zoning and Development Code

TABLE 5
RESIDENTIAL DEVELOPMENT STANDARDS SUMMARY

DEVELOPMENT STANDARD	MEDIUM DENSITY RESIDENTIAL (R-M)	MULTI-FAMILY RESIDENTIAL (R-MF)
PLANNING AREA	2	3
<i>Maximum Dwelling Units</i>	85	120
<i>Minimum Lot Size</i>	4,000 square feet	10,000 square feet
<i>Minimum Width</i>	35 feet	70 feet
<i>Minimum Depth</i>	80 feet	100 feet
<i>Maximum Coverage</i>	60%	60%
<i>Minimum Front Yard Setbacks:</i>		
Living	14 feet	26 feet
Garage	22 feet	N/A
Porch/Courtyard	10 feet	10 feet
<i>Minimum Street Side Yard Setbacks:</i>		
Living	5 feet	5 feet
Porch/Courtyard	5 feet	5 feet
<i>Minimum Side Yard Setback</i>	5 feet	N/A
<i>Minimum Rear Yard Setback</i>	10 feet	N/A
<i>Minimum Distance Between Buildings:</i>		
Main Structure	10 feet	10 feet
Architectural Projections	4 feet	4 feet
<i>Maximum Building Height:</i>		
Main Structure	35 feet	55 feet
Architectural Projections	40 feet	60 feet
<i>Maximum Wall and Fence Height</i>	6 feet	6 feet
<i>Off Street Parking</i>	10 feet (adjacent to commercial)	10 feet (adjacent to commercial)
<i>Guest Parking</i>	2 garage spaces	2.5 garage spaces
<i>Minimum Private Usable Open Space</i>	N/A	1 space per 3 units
<i>Permitted Uses</i>	N/A	75 square feet per unit
<i>Signage</i>	Per Chapter 30, Article V, Division 3 of the City of Fontana Zoning and Development Code	
	Per Chapter 3 of the City of Fontana Zoning and Development Code	

- (c) Fontana *Zoning and Development Code* (Chapter 30, Article V, Division 3 – Use Regulations).
- (d) Except as provided above, all other zoning requirements shall be the same as those requirements identified in the *Medium Density Residential* (R-3) zone of the City of Fontana *Zoning and Development Code* (Chapter 30, Article V).
- (e) Model home complexes and/or sales trailers, and associated parking facilities, landscaping, monumentation, and flags shall be permitted within residential planning areas, subject to temporary use permit (TUP) approval by the City of Fontana.

4. PLANNING AREA 4 – RECREATION FACILITY
(P-R)

All applicable development standards and guidelines contained within the City of Fontana *Zoning and Development Code* (Chapter 30) shall be applicable to Recreation Facility in Planning Area 4 of the PROVIDENCE POINTE Specific Plan.

IV. DESIGN GUIDELINES

A. PURPOSE AND INTENT

The PROVIDENCE POINTE Design Guidelines provide a general framework for architecture, landscaping, entry monumentation, and signage in order to ensure a high-quality development. The overall goal of the PROVIDENCE POINTE Design Guidelines is to create a master planned development that builds upon and compliments an existing built environment. These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, builders, and others involved in the development of PROVIDENCE POINTE. Through collaboration and cooperation between the master developer, the builder(s), and the City of Fontana, the development of PROVIDENCE POINTE is destined to be a successful and desirable addition to the Fontana community. These Design Guidelines are in addition to the existing City Design Guidelines, to the extent reasonably possible to accomplish the goals of this Specific Plan and City of Fontana.

The specific objectives of the Design Guidelines are to:

- Provide guidance to builders, engineers, architects, and landscape architects, and other professionals in order to obtain the desired design quality envisioned for PROVIDENCE POINTE by the master developer and the City of Fontana.
- Provide the City of Fontana with the necessary assurances that PROVIDENCE POINTE will be developed in accordance with a certain design quality and character as set forth in this document.
- Provide guidance to City staff, the Planning Commission, and the City Council in the review of future development projects in the Specific Plan area.

- Maintain sensitivity to adjacent uses through adherence to these design guidelines by establishing setback, building orientation, signage, and lighting guidelines.
- Provide design guidelines which permit the PROVIDENCE POINTE Specific Plan area to develop its own theme and character while allowing it to interface with and respond to the character and design fabric of adjacent areas.

The Design Guidelines are intended to be flexible and work in concert with the *Development Standards* contained in Section III of this Specific Plan. They are subject to modification over time so as to allow for response to unanticipated conditions, such as changes in taste, community desires and the marketplace. Yet, it is critical that these guidelines are followed in a manner consistent with the established design theme in order to create a unified concept while providing the opportunities for diversity and visual interest, which are so apparent in the most successful master planned developments in Southern California.

This Specific Plan document recognizes that the development of PROVIDENCE POINTE will play a vital role and serve as a visual gateway into the City of Fontana. This document and the design guidelines contained herein support the City's planning concept and expands upon the goals outlined in the Fontana General Plan for this site. Taking into account the unique project location, an over-arching design concept has been consistently applied throughout the project to establish a unified master planned mixed-use development.

The photographs, sketches, and other graphic representations in these Design Guidelines are offered as general visual aids in understanding

the basic intent of the design theme and its key implementing elements. The design components presented in this document are provided for informational purposes and are to be used in identifying the desired design composition for each Planning Area within PROVIDENCE POINTE. Design components are provided as a palette of character, materials, and colors defining elements that should be reflected in the commercial-retail and residential design proposals.

B. INTRODUCTION

PROVIDENCE POINTE is a strategically organized development that is interconnected and links to the pedestrian and vehicular circulation network. The sequencing of public spaces and pedestrian and vehicular flow across the site have been developed to promote a pedestrian-oriented urban environment. The fabric of residential and commercial areas have unique architectural styles and identity, will be interwoven by a strong network of pedestrian linkages and a cohesive landscape, hardscape, pedestrian focal nodes, and signage program. The palette of rich materials and warm vibrant colors will accentuate various areas, creating a rich tapestry of styles, functions, and visual and sensory experiences. As such, there is no overriding design style for the entire project, except one: quality.

The Design Guidelines section of the PROVIDENCE POINTE Specific Plan consists of two principal components: Architectural Design Guidelines and Landscape Design Guidelines. These components define the design concept, physical character, and theme of Providence Pointe, and will be addressed in more detail within the Design Guidelines.

The Architectural Design Guidelines articulate the characteristics of the built environment. Elements such as architectural theme, building massing and scale, materials and colors, and site planning guidelines combine to form a distinctive identity that defines PROVIDENCE POINTE as a high-quality mixed-use development. This section also identifies certain key architectural and site design elements that should be considered in both commercial-retail and residential development within

PROVIDENCE POINTE.

The Landscape Design Guidelines are comprised of key project and master planned components such as project entries and theme intersections, streetscapes, community walls and fences, land use transitions, and pedestrian focal points. The Landscape Design Guidelines present general requirements relative to plant material guidelines, irrigation, planting and maintenance, and signage. The plant palette provides a specific list of plants that are compatible with the overall project design theme while implementing a distinctive “signature” for each area within PROVIDENCE POINTE. When implemented, the landscaping theme will help establish PROVIDENCE POINTE a vibrant and cohesive development.

C. ARCHITECTURAL DESIGN GUIDELINES

1. COMMERCIAL ARCHITECTURE

1.1 DESIGN CHARACTER

The goal of the commercial design guidelines is to promote visual compatibility and individuality for PROVIDENCE POINTE and the various land uses planned to occur on-site. These guidelines do not promote rigid adherence to style descriptions but assist in the design direction and quality of the end product. Achieving variety and diversity in mixed-use architecture is a key objective of the development plan for PROVIDENCE POINTE. For inspiration, PROVIDENCE POINTE has embraced compatible architectural styles that have historical precedence in Southern California and throughout the world and are capable of contemporary interpretation and variation in a modern urban environment. The intent is to avoid “stage-front” architecture, while encouraging the application of detail and materials authentic to the spirit and character of the style. The concept for commercial architecture is to keep with the residential architectural themes which are proposed for the community of PROVIDENCE POINTE.

The architectural style of PROVIDENCE POINTE strives to reflect a blend of the traditional and contemporary built environment. This architectural palette, reflective of historical urban villages and town centers that grow and transform over time, is woven together through a strong, unifying thread of hardscape and softscape, including signs, fixtures, banners, benches, trellises, and canopies. Conceptual renderings, vignettes, and elevations of the proposed architectural elements and styles for PROVIDENCE POINTE are provided on Figures 22 through 28.

1.2 DESIGN PRINCIPLES

□ Project Design Standards and Guidelines

1. At a minimum, buildings located within the commercial-retail area should address a street, a required pedestrian path, or a semi-public plaza.
2. Ground floors of buildings adjacent to major streets should be placed adjacent to the street edge to encourage pedestrian activity.
3. Major tenants or individual buildings at key locations should incorporate public plazas at focal points and at activity centers. Use of water elements in selected areas is encouraged.
4. Buildings should be designed to locate high activity uses, such as restaurants and entertainment facilities, adjacent to major pedestrian ways.
5. Parking should not dominate the experience along any designated pedestrian path and off-street parking should be traversed by landscaped areas. Large open parking lots should be divided into smaller, less imposing lots.

6. Continuity should be maintained through the use of unified or complementary pedestrian amenities, landscaping and similar design features.
7. Outdoor uses are strongly encouraged along pedestrian ways, as well as providing the highest level of detail and interest at ground level. Plazas and courtyards are encouraged to be used as transition areas between public and private spaces.
8. Alternative paving and bollards should be used to provide for separation of pedestrian and vehicular circulation within the same right-of-way.

1.3 BUILDING MASS AND SCALE

□ Project Design Standards and Guidelines

1. Architecture should be comprised of simple and distinct masses. Masses should be expressed with clean, sharp edges and corners. A simple hierarchy should be established among the various masses.
2. Dramatic departures in form, scale, and style should not be permitted. Buildings should be designed to create smooth transitions in scale through the use of low and mid-rise building forms or through the use of terraced elevations.
3. Long, uniform façades should be avoided by creating visual interest through the use of courtyards, varied building setbacks, arcades, windows and towers.
4. Architectural elements and accessories should be provided on the building mass, including but not limited to, arcades, balconies, towers, awnings, colorful banners, and decorative lighting features.



Source(s): **Perkowitz + Ruth**
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Figure 22
Typical Commercial-Retail Architecture - Aerial Perspective



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Source: **Perkowitz+Ruth**
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Figure 23
Typical Commercial-Retail Architecture - Vignette A



Source: **Perkowitz+Ruth**
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Figure 24
Typical Commercial-Retail Architecture - Vignette B



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Source: **Perkowitz+Ruth**
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Figure 25
Typical Commercial-Retail Architecture - Vignette C



Source: **Perkowitz + Ruth**
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Figure 26
Typical Commercial-Retail Architecture - Elevations A



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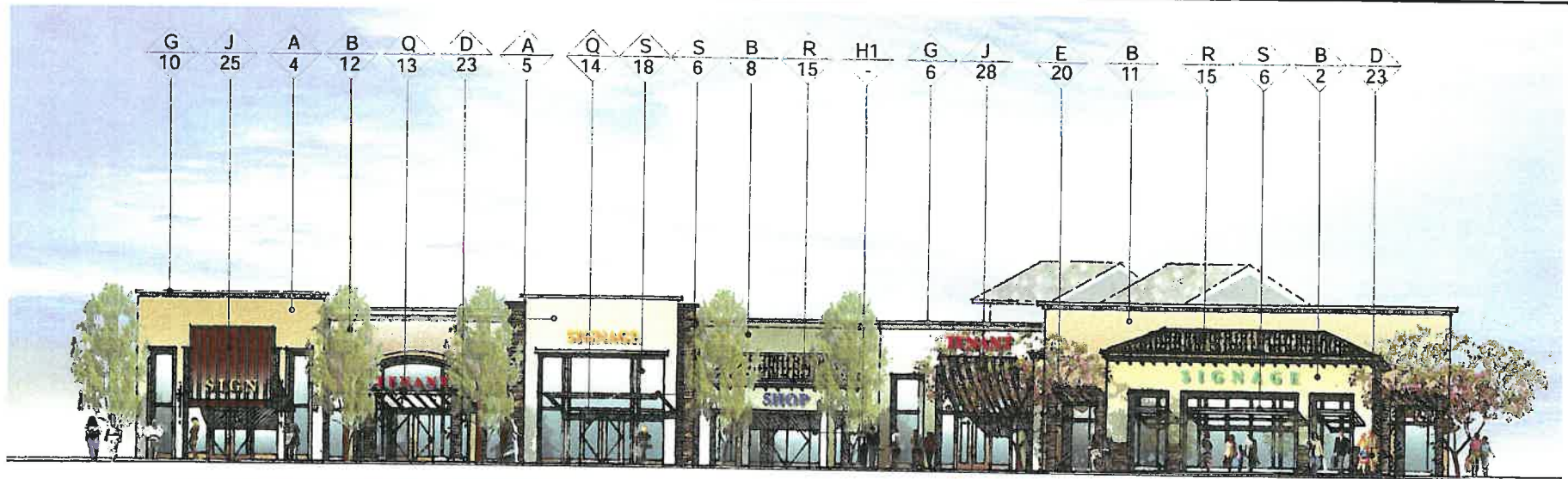
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Source: **Perkowitz + Ruth**
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Figure 27
Typical Commercial-Retail Architecture - Elevations B



Source: **Perkowitz + Ruth**
ARCHITECTS

Figure 28
Typical Commercial-Retail Architecture - Elevations C

5. Roof lines should to be articulated with shorter elements to reduce building mass. Occasional sloped roof forms should be introduced over special areas and special functions to create visual interest.

1.4 BUILDING MATERIALS AND COLORS

☐ *Project Design Standards and Guidelines*

1. The commercial areas are an integral part of the overall community. The materials and colors should be compatible with the surrounding development. Color is intended to act as a primary theme-conveying element and should be reflective of the architectural style.
2. Building materials should be durable and convey a sense of permanence. The textural and material quality of building's facade is important. Traditional materials including stone, brick, concrete, precast concrete, metal, block, and stucco should be used creatively to provide a sense of permanence.
3. Exterior building materials should be of natural character that would reflect the character of the surrounding environment.
4. Color is intended as a primary theme element of the community consistent with indigenous elements of the environment. Accents are encouraged which are lighter or darker to highlight the character of the structure. Bright and non-earth tone colors are not encouraged except as accents.

1.5 ROOF FORM AND MATERIALS

☐ *Project Design Standards and Guidelines*

1. Principal roof forms should be gable or hip with pitches from 4:12 to 6:12.

2. All roof material should ensure continuity in texture, color, and character to the architectural styles.
3. The design should create interesting building masses by varying rooflines and by maximizing offsets to roof planes where possible. Combining single-story elements with two-story elements is encouraged.
4. Flat roofs with parapet walls are acceptable but should also be used in combination with simple pitched gable, hip or shed roof forms.
5. Mechanical equipment on roofs should be screened from view of highway, roadways and residential homes with materials consistent with those of the building.

1.6 PARKING AND VEHICULAR CIRCULATION

☐ *Project Design Standards and Guidelines*

1. Parking lots should generally be placed away from the street, preferably behind buildings.
2. Adequate areas for maneuvering, loading, and emergency vehicle access should be accommodated on site.
3. Parking areas should be arranged to minimize conflicts with commercial loading activities.
4. Large parking lot areas should be divided into a series of smaller connected lots separated by additional landscaping and buildings.
5. Commercial loading and parking should generally be located to the side and rear of buildings with the exception of handicap and short-term parking lots which may be sited between the street and building entrances.

1.7 SERVICE, LOADING, AND EQUIPMENT AREAS☐ **Project Design Standards and Guidelines**

1. Storage for supplies, merchandise, and similar materials should be prohibited on the roofs of any buildings.
2. Service, loading, and storage areas should be separated from pedestrian and private automobile circulation.
3. Service areas, loading docks, and equipment areas should be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments.
4. For screening of loading, service, and/or storage areas to be effective, a minimum treatment height of six (6) feet should be used.

1.8 COMMERCIAL-RETAIL OUTDOOR LIGHTING☐ **Project Design Standards and Guidelines**

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas should be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property
2. Service area lighting should be contained within the service yard boundaries and enclosure walls. No light spillover should occur outside the service area.
3. Energy conservation, safety, and security should be emphasized during the designing and siting of project lighting.

4. No specific design is prescribed and variations in treatments should be allowed; however, light fixtures and standards should be coordinated along public rights-of-way and within individual districts.
5. Color schemes for signage should relate to other signs and graphics within the development in order to achieve a coordinated sense of identity.
6. Parking areas should use lighting standards and fixtures that are consistent with and a continuation of the character of the development and structures.
7. Exposed neon should not be permitted. All neon tubes should be hidden from view.

2. RESIDENTIAL ARCHITECTURE

2.1 DESIGN CHARACTER

The residential architecture of PROVIDENCE POINTE will reflect the architectural themes and styles prevalent in Southern California. Although a design style is not required by the City, the PROVIDENCE POINTE project will include the following:

- A minimum of three (3) distinct architectural styles (i.e. Craftsman, Spanish, European Country, etc.) for *Medium Density Residential* areas to encourage the use of consistent design features and building materials. *Multi-Family Residential* areas should have a minimum of three (3) distinct architectural styles (i.e. French Country, Spanish, and Craftsman, etc.).
- A minimum of three (3) different elevations per architectural style.

The design goal of PROVIDENCE POINTE is to achieve contemporary interpretations of several historical styles rather than exact recreations. In order to achieve an appropriate interpretation of a particular style, it is important to maintain consistency within each architectural style. Interpretation of the selected architectural styles should address the economics of today's market, as well as meet the codes and standards within the building industry. In keeping with this approach, these design guidelines are intended to present images of architectural components and details representative of those anticipated for the homes within PROVIDENCE POINTE.

Allowing a variety of architectural styles emphasizes the importance of designing creative and fresh residential neighborhoods and homes. Architectural design creativity, attention to detail, and respect of the building's scale and massing along residential streets will be expected to be a quality equal to or exceeding that of residential homes and

neighborhoods within the surrounding communities. Design features will be incorporated into each residence and may include front porches, interesting doors and windows, creative garage placement, front yard setback variations, and varying architectural setbacks. The intent is to create a community of quality homes. Implementation of the project draws upon the various styles to achieve a cohesive sense of place and identity for the PROVIDENCE POINTE community. Figures 29 through 36 provide conceptual renderings and elevations of design elements and details associated with architectural styles initially identified for PROVIDENCE POINTE, which include but are not limited to Craftsman, Spanish, European Country, and French.



Source:

WILLIAM HEZMALHALCH
ARCHITECTS INC.

Figure 29
Typical Residential Architecture - Aerial Perspective



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Source:

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Figure 30
Medium Density Residential - Craftsman Architectural Style



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Source:

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Figure 31
Medium Density Residential - Spanish Architectural Style



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Source:



Figure 32
Medium Density Residential - European Country Architectural Style



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Source:



Figure 33
Multi-Family Residential - French Architectural Style



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Source(s):



Figure 34
Multi-Family Residential - Spanish Architectural Style



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Source(s):



Figure 35
Multi-Family Residential - Craftsman Architectural Style



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Source(s):



*Figure 36
Recreation Facility - French Country Architectural Style*



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TABLE 6
MEDIUM DENSITY RESIDENTIAL (4,000 SQUARE FOOT LOTS) – ARCHITECTURAL STYLES SUMMARY

DESIGN ELEMENT	CRAFTSMAN ARCHITECTURAL STYLE	SPANISH ARCHITECTURAL STYLE	EUROPEAN COUNTRY ARCHITECTURAL STYLE
ROOF	<ul style="list-style-type: none"> • 4:12 minimum roof pitch • Shingle texture flat concrete tiles • Basing gable roof side-to-side or front-to-back with cross gables • 12-18 inch overhangs 	<ul style="list-style-type: none"> • 4:12 minimum roof pitch • Barrel or 's'-shaped concrete tiles • Main hip or gable roof with various intersecting hip or gable roof elements • 0-18 inch overhangs 	<ul style="list-style-type: none"> • 4:12 minimum roof pitch • Barrel shaped or flat concrete tiles • Main gable roof with secondary gable/hip roofs over two-story elements • 6-12 inch overhangs
WALLS	<ul style="list-style-type: none"> • Light sand finish • Cementious or wood-like siding material inside gable on front elevation 	<ul style="list-style-type: none"> • Light sand finish 	<ul style="list-style-type: none"> • Light sand finish • Stone veneer at feature areas on front elevation
WINDOWS	<ul style="list-style-type: none"> • Vertically-hung upper mullioned windows at front elevation and area visible from public view • Windows often ganged together • White vinyl windows • Cementious window trim 	<ul style="list-style-type: none"> • Multiple-grid windows at front elevation and areas visible from public view • White vinyl windows • Stucco over foam window trim 	<ul style="list-style-type: none"> • Vertically-shaped, multiple-grid windows at front elevation and in main front rooms • Single-grid windows on side and rear elevations
DOORS	<ul style="list-style-type: none"> • Paneled doors 	<ul style="list-style-type: none"> • Paneled doors 	<ul style="list-style-type: none"> • Paneled doors
COLORS	<ul style="list-style-type: none"> • Light earth tone colors 	<ul style="list-style-type: none"> • White tone body with accent trim 	<ul style="list-style-type: none"> • Body colors are variety of earth colors (ochre, beige, tan, and yellow)
DETAILS	<ul style="list-style-type: none"> • Entry porches with heavy square columns with a stone pier • Arts and crafts style lighting • Cutout brackets on front elevation • Shutters are encouraged on front elevations 	<ul style="list-style-type: none"> • Arched stucco or wooden entry porches • Exposed rafter tails • Decorative tiles or gable end detailing • Decorative wrought iron detailing • Manufacture-shaped foam trim and corbels 	<ul style="list-style-type: none"> • Decorative stucco over foam trim around windows and doors • Exposed rafter tails • Decorative gable details such as wrought iron design • Shutters at feature window on front elevation • Awnings encouraged on front elevation

TABLE 7
MULTI-FAMILY RESIDENTIAL (TOWNHOMES AND FLATS) – ARCHITECTURAL STYLES SUMMARY

DESIGN ELEMENT	FRENCH COUNTRY ARCHITECTURAL STYLE	SPANISH ARCHITECTURAL STYLE	CRAFTSMAN ARCHITECTURAL STYLE
ROOF	<ul style="list-style-type: none"> • 4:12 to 7:12 minimum roof pitch • Flat concrete roof tiles • Main hip or gable roof with intersecting hip or gable roof elements • Continuous fascias with 6-12 inch overhangs 	<ul style="list-style-type: none"> • 4:12 minimum roof pitch • Barrel or 's' shaped concreted tiles • Main hip or gable roof with intersecting hip or gable roof elements • 0-18 inch overhangs 	<ul style="list-style-type: none"> • 4:12 minimum roof pitch • 6-18 inch overhangs • Main hip or gable roof with intersecting hip or gable roof elements • Flat concrete roof tiles
WALLS	<ul style="list-style-type: none"> • Light to medium stucco finish 	<ul style="list-style-type: none"> • Sand finish or light lace stucco finish 	<ul style="list-style-type: none"> • Light sand or light lace stucco finish • Cementitious or wood-like siding material inside gable ends
WINDOWS	<ul style="list-style-type: none"> • Tall narrow windows with multiple grids • Stucco over foam window trim at all front elevations • Bay windows encouraged 	<ul style="list-style-type: none"> • Multiple-grid windows at front elevation and areas visible from public view • White vinyl windows • Stucco over foam window trim 	<ul style="list-style-type: none"> • Vertically-hung upper-mullioned windows, often ganged together • White vinyl windows • Stucco over foam window trim
DOORS	<ul style="list-style-type: none"> • Paneled doors 	<ul style="list-style-type: none"> • Paneled doors 	<ul style="list-style-type: none"> • Paneled door
CHIMNEYS	<ul style="list-style-type: none"> • UL approved termination cap • Trim element at crown of chimney structure 	<ul style="list-style-type: none"> • UL approved termination cap • Trim element at crown of chimney structure 	<ul style="list-style-type: none"> • UL approved termination cap • Trim element at crown of chimney structure
COLORS	<ul style="list-style-type: none"> • Body colors are varieties of earth tone colors with varied trim accents 	<ul style="list-style-type: none"> • White tone body with accent trim 	<ul style="list-style-type: none"> • Light earth tone body colors
DETAILS	<ul style="list-style-type: none"> • Shutters • Enclosed eaves • Wrought iron details and railing • Cornice corbel details 	<ul style="list-style-type: none"> • Arched stucco or wooden entry porches • Exposed rafter tails • Decorative tiles or gable end detailing • Decorative wrought iron railing • Manufacture-shaped foam trim and corbels • Decorative round tiles 	<ul style="list-style-type: none"> • Gable end detailing • Arts and Crafts style lighting • Manufacture-shaped foam trim and corbels • Brackets are encouraged at entry elements with Arts and Crafts inspired shapes

2.2 ARTICULATION OF BUILDING FACADES

☐ Project Design Standards and Guidelines

1. Long unarticulated building facades should be avoided by incorporating varying setbacks of the building footprint in a varied fashion along the residential street.
2. Projecting architectural features such as bowed or bay windows, columns, offset roof planes, and similar features should be used to create both vertical and horizontal articulation on the building elevations.
3. Design elements should also be included on the rear facades and sides of homes which are adjacent to or visible from public streets or open spaces.
4. Houses should be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks to create a diverse streetscene.
5. Special design features, such as covered front porches, garage placement to the rear of a lot, use of multiple floor plans, window and door articulation, extended overhangs and building edge treatments (such as arbors, awnings, or trellises) are highly encouraged.
6. Windows should be framed with compatible materials to create well-defined "edge" treatments and be designed to provide distinctive shadows on the building facades.

2.3 MASSING AND SCALE

☐ Project Design Standards and Guidelines

1. Single-story components such as porches, reduced heights of living spaces, and/or garage areas should be used to create a

sense of variety within the streetscene and to break up building massing.

2. Long, unbroken facades and box-like forms should be avoided. Building facades should be broken up to give the appearance of a collection of smaller structures.
3. Reduce large expanses of flat walls by utilizing projections and recesses to provide shadow and relief at exterior walls and roof areas.
4. Combine one and two-story architectural elements when appropriate for the architectural style, including patio walls and balconies to break up exterior walls.
5. Use simple roof forms and provide interest by jogging the rooflines, varying plate lines, and roof heights.
6. Balconies, if used, should be used to break up wall masses and take advantage of views. Chimneys should be used as an architectural form but should be simple in design. Materials and colors should match or compliment those used on the main buildings.
7. Homes should be designed with entries, windows, front porches, and living areas placed directly adjacent to the street on most plan variations, while recessing the garages, where possible.

2.4 GARAGES

(see Figure 37)

☐ Project Design Standards and Guidelines

1. The visual impact of garages should be reduced by the use of additional setbacks from the curb face where garage doors must face the street or by the use of rear garages (including detached

GARAGES



ROOF DESIGN



Source(s):

W
WILLIAM HEZMALHAUGH
ARCHITECTS INC.



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Figure 37
Residential Architectural Details #1

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garages) where possible.

2. Garages should not be located along street property lines but may face private streets or driveways in “paseo-type” residential products.
3. All new residences with garages should be provided with roll-up (i.e. on tracks) garage doors (either sectional wood-like or steel).
4. Wooden garage doors are permitted when designed to eliminate deterioration due to panel separation. In selecting wooden garage doors, special attention should be given to the design, durability, and longevity of the product.
5. Garage doors should have style specific patterns. No flush metal panel doors should be allowed, except for doors with custom applied trim accent.
6. Garage door window patterns should be designed to be consistent with the style of the home where present.

2.5 VARIED ROOF PLANES AND MATERIALS (see Figure 37)

☐ **Project Design Standards and Guidelines**

1. Roof articulation may be achieved by changes in plane or by the use of traditional roof forms such as gables, hips, and dormers.
2. A variety of roofs styles should be permitted, including hip, gable, and shed roofs. The roof design should follow the wall planes and roof pitch should be consistent with the architectural style.

3. In general, simple massing consistent with the style is required. Roofs should be configured in basic roof shapes based on the plan configuration forms to which they are covering. A variety of roof breaks (roofs that turn a corner or change elevation) should be provided only when appropriate. Overly complicated roofs that detract from the elegance of style should be avoided.
4. Roof materials and colors selected for an architectural style should reflect the elements that are typically used in that style. Roof colors should be soft and warm rather than bright and bold, thus avoiding an overpowering visual intrusion to the community’s appearance and character.
5. All flashing, sheet metal, vent stacks and pipes should be painted to match the adjacent building surfaces.
6. Roofs should be constructed of non-combustible materials. Acceptable materials include clay and concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal.

2.6 DOORS (see Figure 38)

☐ **Project Design Standards and Guidelines**

1. Deep set openings are encouraged to convey the impression of wall thickness and create strong shadows. Front door surround treatment, including a cover for weather protection, should use decorative trim appropriate to the style, a recess, or sidelights.
2. Exterior doors should be decorative and visually interesting.
3. All doorways should be recessed into walls a minimum of 2” to enhance wall thickness and solidity of design.

FRONT ENTRIES



WINDOWS & TRIM



SHUTTERS



Source(s):

WILLIAM MEZMALMALCH
ARCHITECTS INC

Figure 38
Residential Architectural Details #2



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4. Front entry doors should be wood, wood appearance or wood and glass, designed to be consistent with the style.
5. French doors are suggested to be wood with aluminum cladding with divided lites or minimum architectural appearance grade aluminum.

2.7 WINDOWS (see Figure 38)

☐ *Project Design Standards and Guidelines*

1. A variety of window treatments should occur. Dormer windows and decorative shutters should be incorporated into the building design.
2. Circular, elliptical, or other special window shapes may be used as accent windows, appropriate to each architectural style.
3. Windows should have multiple grids as required by the individual architectural style. Window trim and window grids should be included on all visible elevations from the street or public areas.
4. Energy efficient and ultraviolet protective glazing should be permitted. However, no highly reflective glazing may be used.
5. Window insect screens may be used and should cover the entire window, not just the operable portion. Screen material colors may be bronze, brown or black.

2.8 BALCONIES AND PORCHES

☐ *Project Design Standards and Guidelines*

1. Porches should be used to articulate and reduce mass, as well as

to provide shadow relief. Where architectural style and density are appropriate, stoops may be used instead of porches.

2. Porches, balconies, and trellis structures should be compatible with the overall architectural theme, style, and design of the structure.
3. Materials used to construct balconies and porches should be appropriate to the designated architectural style.
4. Covered porches, balconies, and other shade elements should be integrated into the architecture of the house, and not appear as an afterthought in the design.
5. Second-story covered balconies and decks should be designed to be appropriate to the style of the house, sized to be meaningful and useful spaces, and positioned to minimize disruption to the privacy of neighbors.

2.9 MATERIALS AND COLORS (see Figure 39)

☐ *Project Design Standards and Guidelines*

1. Changes in building materials and/or colors are encouraged to help visually break up the massing and scale of multi-story elevations.
2. The color of buildings should be compatible with and integrate with the materials chosen for the architecture. Accent colors that compliment the designated color scheme may be applied to doors, windows, shutters, trim and special features for visual interest.
3. To promote visual interest, a mixture of cool and warm building materials and roof colors should be incorporated into each townhome structure.

ORNAMENTAL IRON



EXTERIOR TREATMENTS



Source(s):

W
WILLIAM NEZMALMALCH
ARCHITECTS INC



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Figure 39
Residential Architectural Details #3

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4. Several color schemes should be provided to promote variation and interest.
5. Clay, concrete, or ceramic tiles that compliment the primary building color(s) should be used at building entries to create visual focal points.
6. Brick, tile, and stone are encouraged as paving and wall accents. Faux finish materials are not encouraged, but may be used if they are of a high quality.
7. Wrought iron details should be incorporated to enhance the front facade and should be appropriate to the architectural style of the structure.
8. Where wood is used as an architectural trim or element, it should be rough sawn or smooth face stucco.

C. LANDSCAPE DESIGN GUIDELINES

1. INTRODUCTION

The PROVIDENCE POINTE Landscape Design Guidelines establish a landscape theme for the master planned community and set forth general criteria for landscaping to enhance the environment. The purpose of the landscape design guidelines is to establish landscape standards that will contribute to the thematic development of the PROVIDENCE POINTE community identity. These guidelines establish landscape criteria for streetscapes, entry monumentation, recreational amenities, plant palette, walls and fences, and lighting. When implemented, they will serve to create a unifying fabric for PROVIDENCE POINTE.

The PROVIDENCE POINTE landscaping theme is driven by the desire to create an identifiable sense of place within the site and will assist tremendously in providing a successful addition to the Fontana community. Landscape and streetscape elements will be used to create visual continuity throughout PROVIDENCE POINTE. Design elements such as entries, streetscapes, and walls and fences will establish a design theme for the project by reinforcing the design hierarchy and by providing visual gateways. These features are created through a thematic blend of landscape, hardscape, and planting elements. Figure 40, *Conceptual Landscape Plan – Key Map*, has been provided as a graphic key for the community landscape elements that will be developed and constructed as a part of the PROVIDENCE POINTE project. Additionally, individual landscape concepts are provided for the commercial-retail, medium density residential, and multi-family residential areas on Figures 41 through 43.

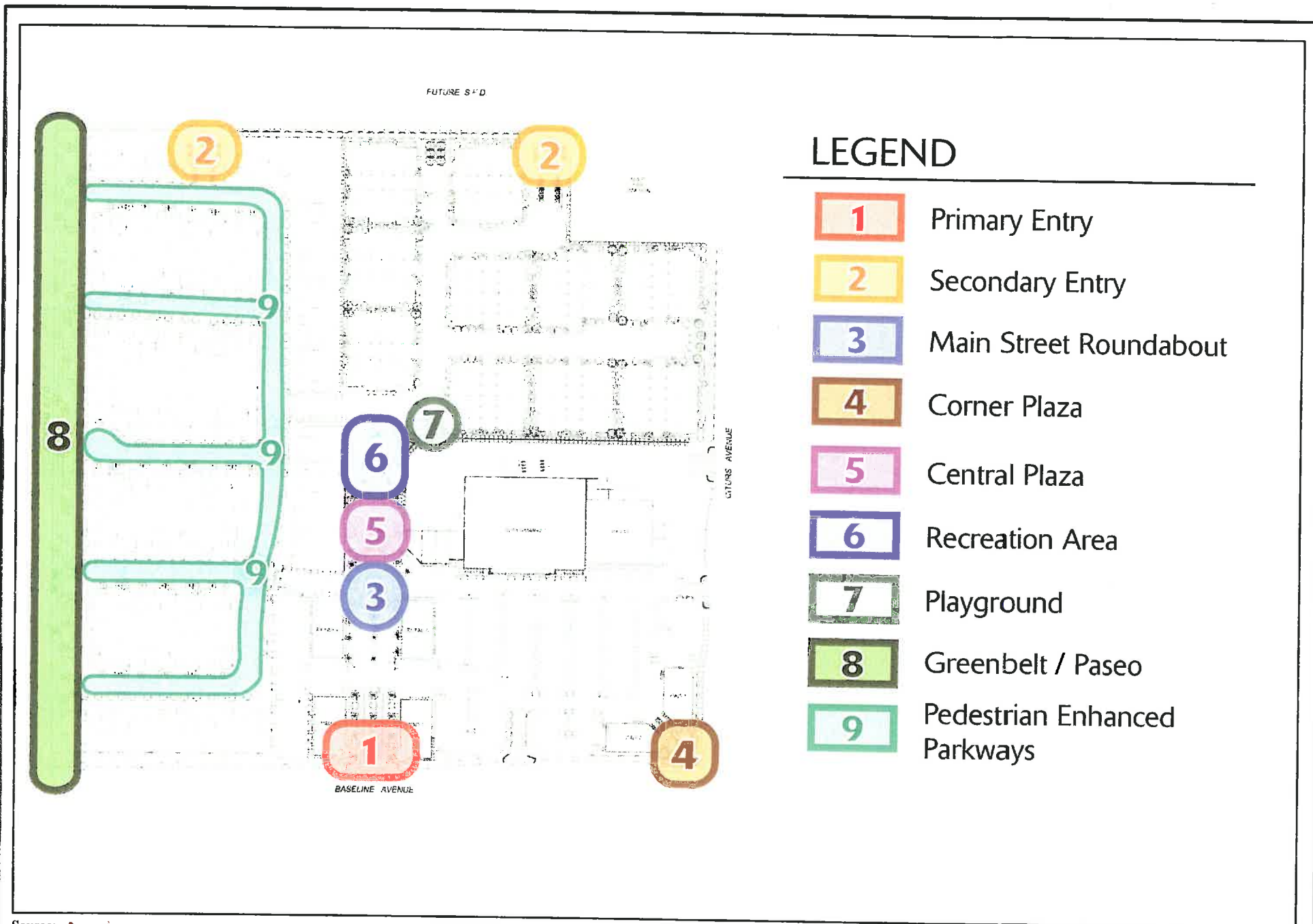
The landscape theme for PROVIDENCE POINTE should incorporate a compatible plant palette of trees, shrubs, and ground covers. Careful thought has been given to integrate the structural and aesthetic elements of a balanced master planned development. Once a particular plant or plant combination is used for a particular application, it should be repeated in similar areas of the project to reinforce a sense of cohesion

within the development. Landscape design should not, however, result in monotony or lack of variety or biological diversity. The following section provides a description and graphic concepts of landscape elements for the overall project area. These elements should be detailed at the submittal of tentative map, site development plan, or other discretionary permit for each area of development. The landscape design is based on the vision and goals of the PROVIDENCE POINTE Specific Plan.

2. ENTRY MONUMENTATION

Entry monuments serve several important purposes and careful consideration should be given to the design of project entries. Entry features should be designed to assist passing motorists to easily identify the development and should complement the overall appearance of the greater community of which it is a part. The intent of project monumentation design is to create visual gateways into PROVIDENCE POINTE and to provide aesthetically pleasing entry statements that highlight the distinctiveness of the master planned development. Entry monumentation within PROVIDENCE POINTE will establish the design theme by reinforcing the design hierarchy and creating a thematic blend of hardscape and planting elements. The *Monumentation Plan*, Figure 44, depicts conceptual locations of monumentation for the PROVIDENCE POINTE development.

The PROVIDENCE POINTE Specific Plan provides for entries in areas that will define a more intimate and related grouping of uses. Each entry monument setting is site specific and should be comprised of a blending of construction features, signage, and landscape and hardscape which enhances the overall outlook of PROVIDENCE POINTE. Monumentation will be established at the entrances located along Baseline Avenue, Citrus Avenue, proposed northern project roadway, and corner plaza at



Source: *ima design*

Figure 40
Conceptual Landscape Plan - Key Map



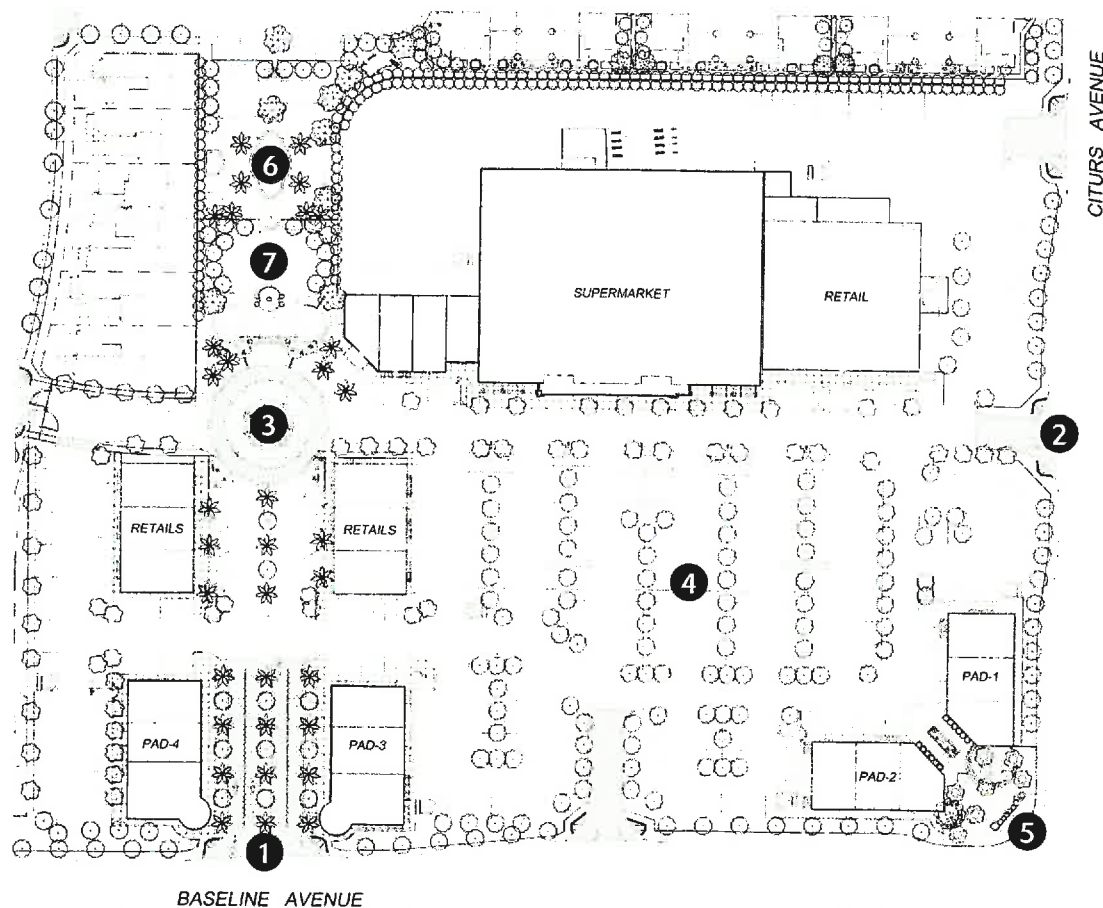
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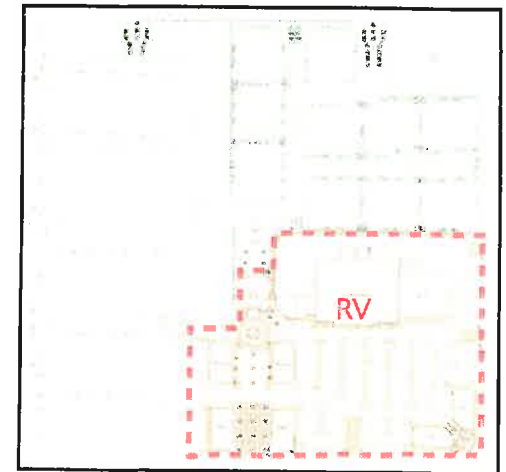


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PROVIDENCE POINTE



Key Map



- ① Main Retail Entry
- ② Secondary Entry
- ③ Main Street Roundabout
- ④ Parking Area
- ⑤ Corner Plaza
- ⑥ Recreation Area
- ⑦ Central Plaza



Source: *ima design*

Figure 41
Commercial-Retail Landscape Concept



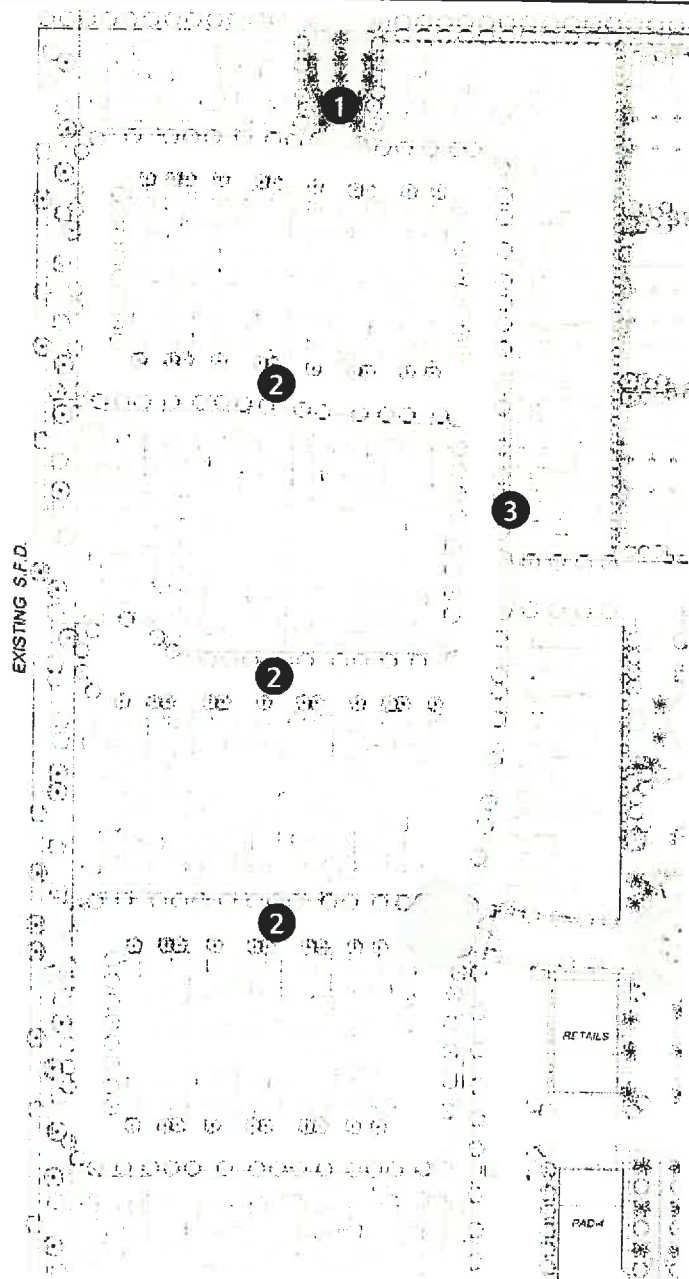
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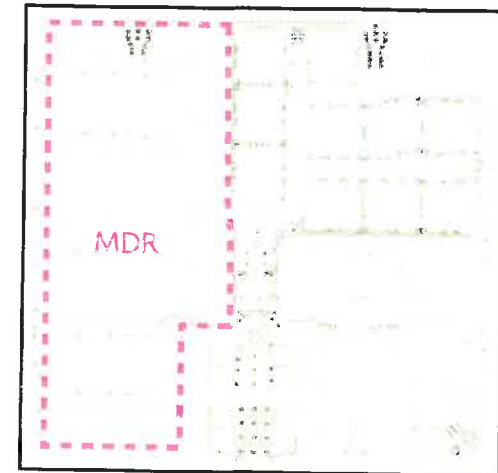


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PROVIDENCE POINTE



Key Map



- ① Secondary Entrance
- ② MDR Road
- ③ Pedestrian Enhanced Parkway

Source: *ima design*

Figure 42
Medium Density Residential Landscape Concept



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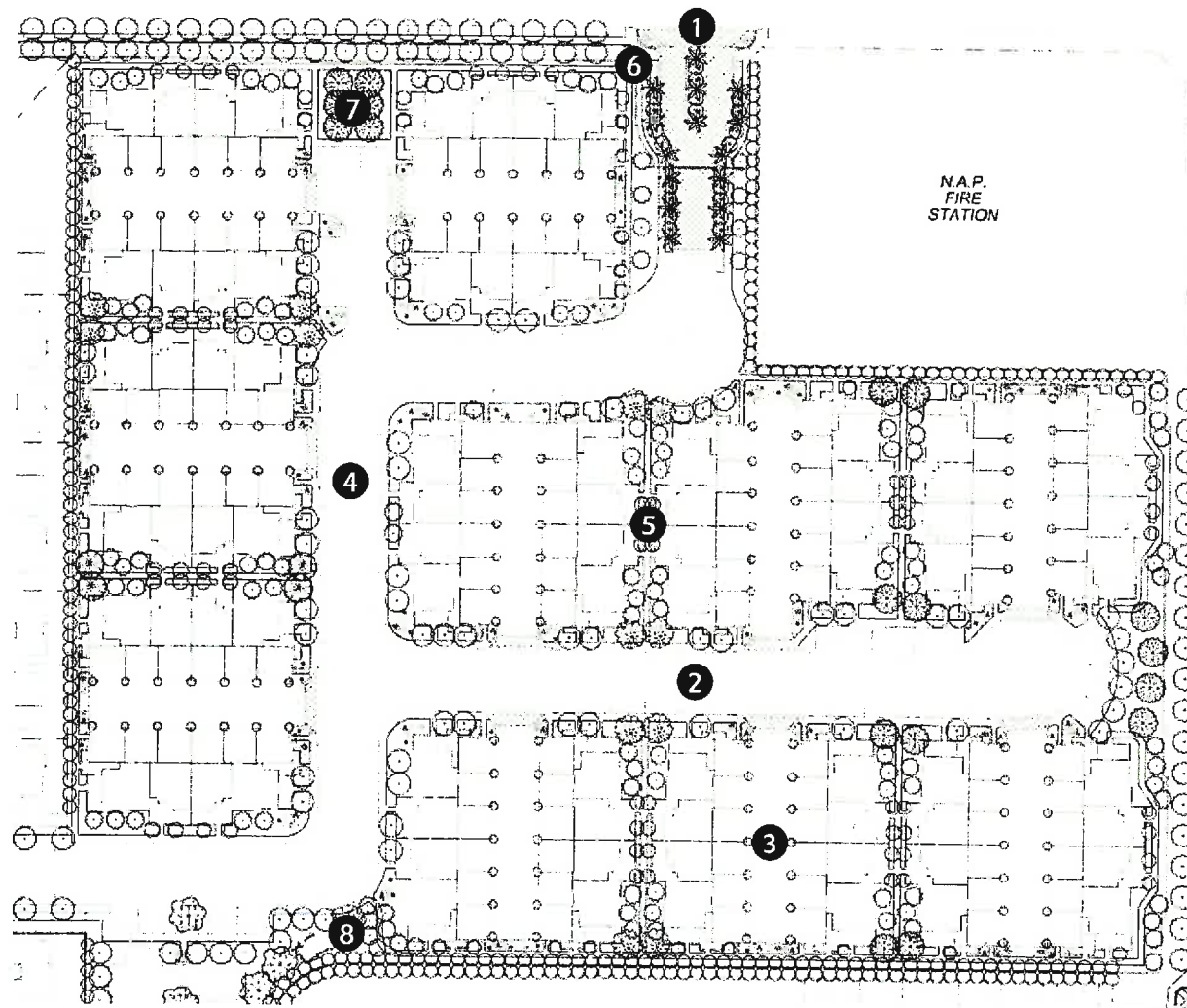
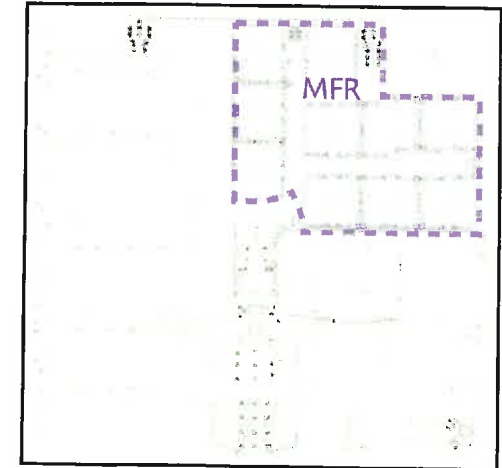
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PROVIDENCE POINTE

Key Map

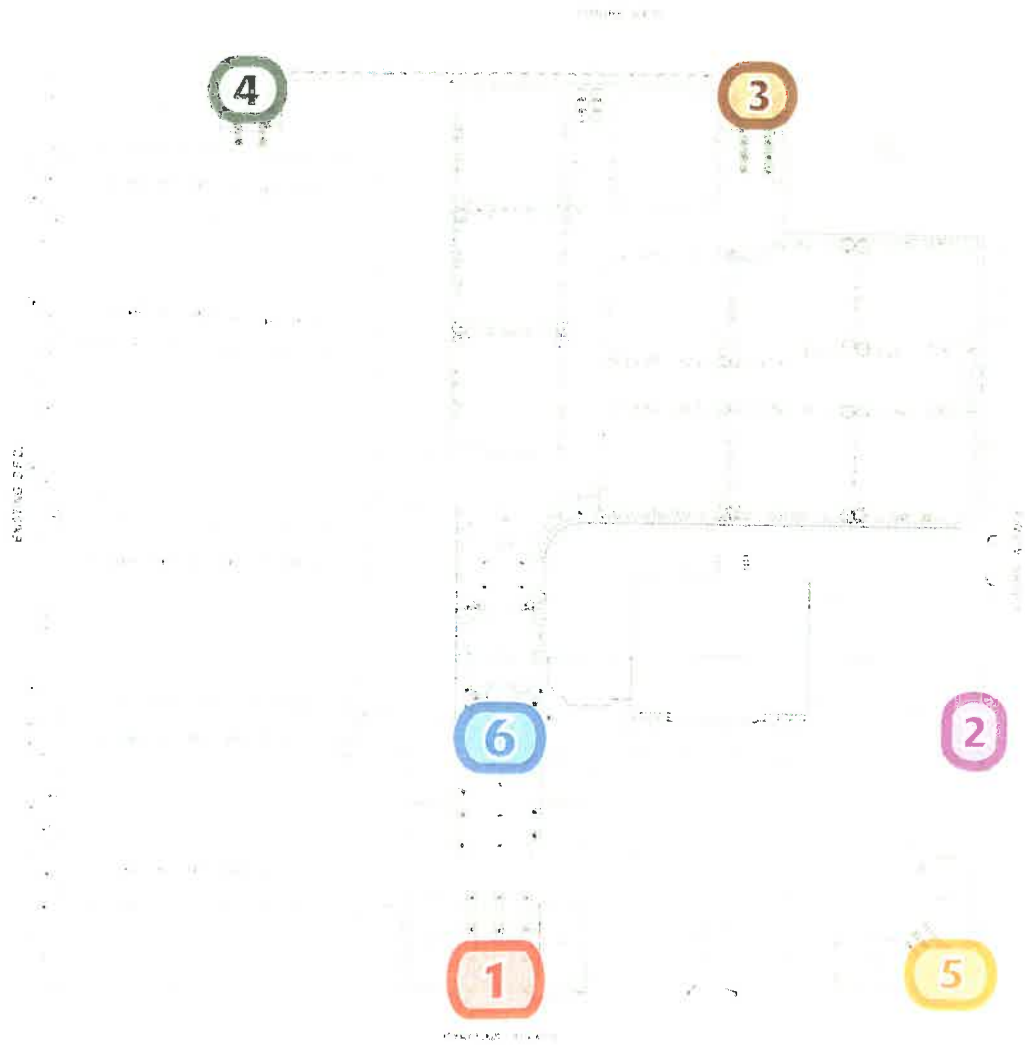


- ① Secondary Entry
- ② Secondary Road
- ③ Auto Court
- ④ MFR Road
- ⑤ Pedestrian Mews
- ⑥ Signage
- ⑦ Pedestrian Open Space
- ⑧ Playground

Source: *ima design*

Figure 43
Multi-Family Residential Landscape Concept





LEGEND

- 1 Primary Entry / Retail Monumentation
- 2 Secondary Entry / Retail Monumentation
- 3 MFR Monumentation
- 4 MDR Monumentation
- 5 Corner Plaza Monumentation
- 6 Detail Directory

Source: *ima design*

Figure 44
Monumentation Plan



not to scale

the intersection of Baseline Avenue and Citrus Avenue, as depicted on Figures 45 through 49. The primary entry monumentation establishes the character for development within PROVIDENCE POINTE, emulates the unique landscape theme required to facilitate an urban environment, and provides a strong landmark which reinforces the distinctiveness of the community. The primary entry monumentation is intended to utilize landscape and hardscape materials which contribute to the consistent implementation of the PROVIDENCE POINTE design theme. Secondary entry monumentation will convey the overall identity of PROVIDENCE POINTE by selectively repeating the plant palette and theme at the primary entry, but at a less intense scale.

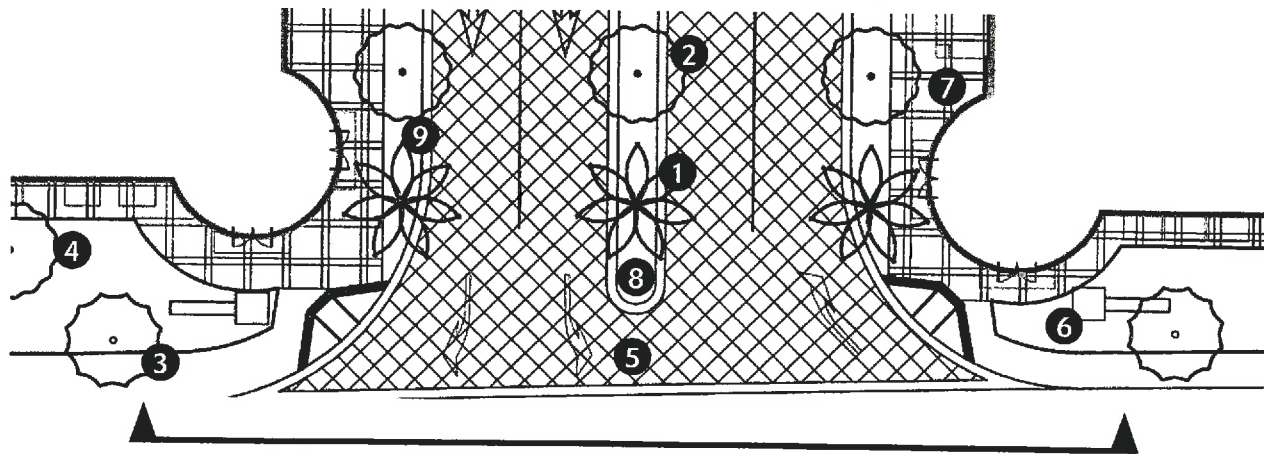
3. STREETSCAPES

Roadway streetscapes adjacent to and within PROVIDENCE POINTE are critical in maintaining the perception, unification, and quality of the master planned development. The development plan for PROVIDENCE POINTE will strongly encourage landscaping and hardscape within and adjacent to the site that is sensitive to the needs of the community. Vehicle considerations should also be recognized, striking a balance between the needs of both the pedestrian and the automobile. Landscaping of perimeter and internal streets will help provide continuity throughout the project and create an appropriate connection with adjacent areas (see Figure 50 through 57). Street trees and groundcover should reflect the project's design theme and be selected from the project's plant palette. Additionally, a round-a-bout and detail directory will play an important role in the vehicular experience of PROVIDENCE POINTE and is at the heart of the community, providing the culmination of the entry experience (see Figures 58 and 59).

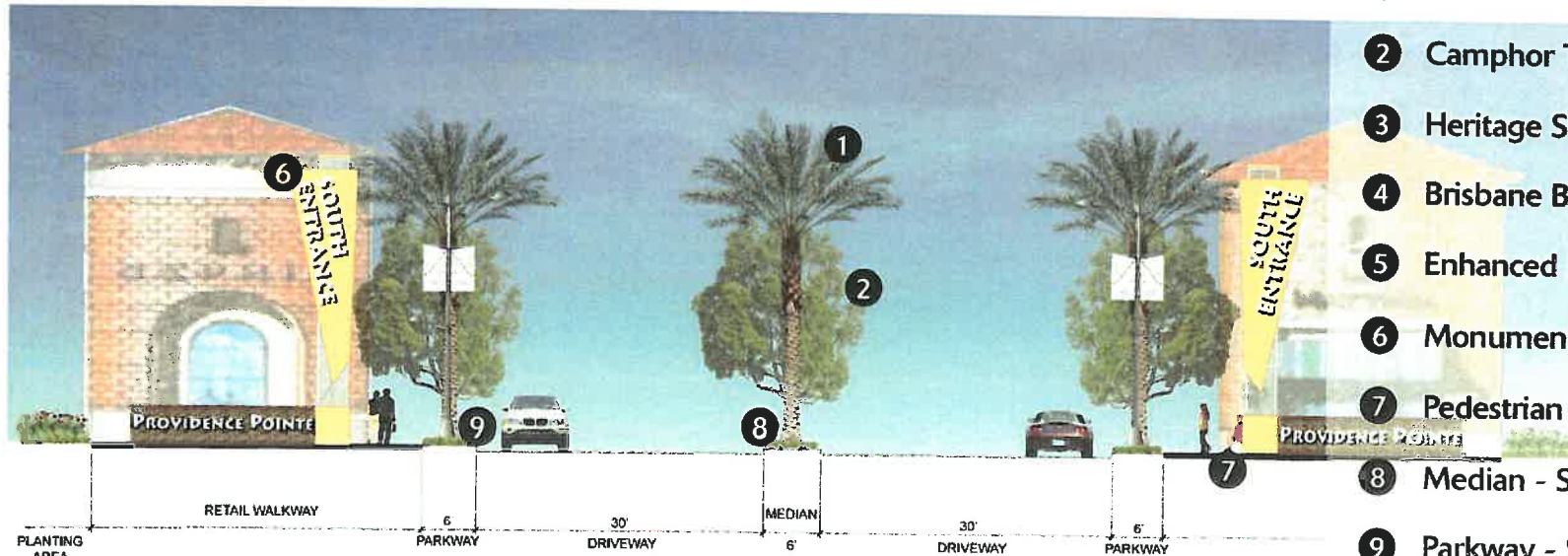
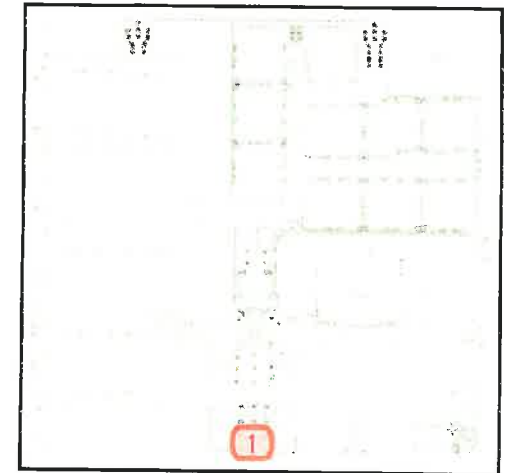
4. ENHANCED PAVING AND SURFACE PARKING

Enhanced paving and surface parking landscape treatments will be located throughout the project site to help create a sense of arrival into the various areas of PROVIDENCE POINTE (see Figure 60). Major elements of the streetscape and surface parking treatments include

thematic paving, strategic placement and use of landscape and hardscape, which enhance the streetscene and reduce the monotony of parking lots. The enhanced paving will work in concert with the surface parking landscape treatments, which together will promote visual interest and identity for the community. No enhanced paving shall occur in the public right-of-way.



Key Map

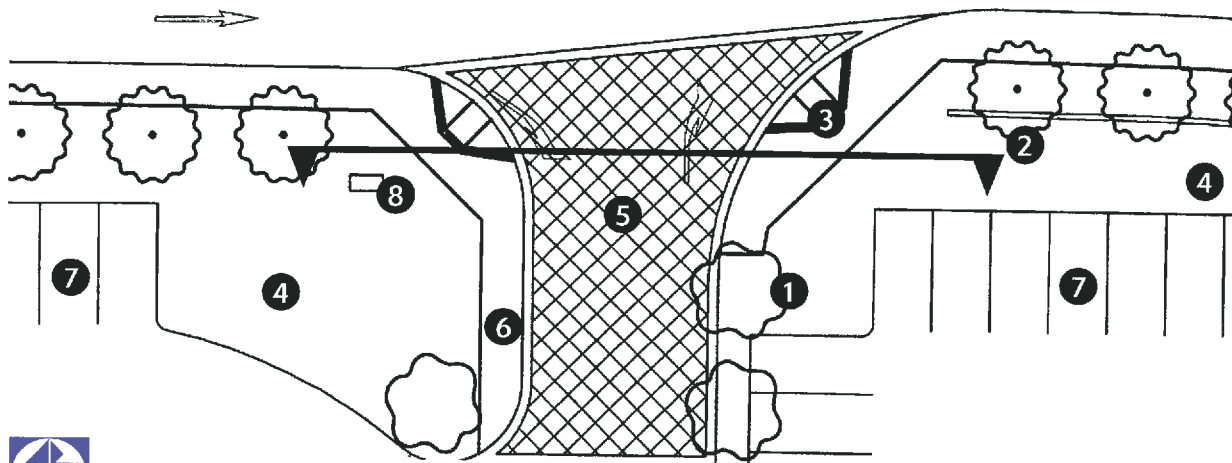


- 1 Date Palm
- 2 Camphor Tree
- 3 Heritage Southern Live Oak
- 4 Brisbane Box
- 5 Enhanced Paving
- 6 Monument Sign
- 7 Pedestrian Walk
- 8 Median - Shrub Planting
- 9 Parkway - Shrub Planting

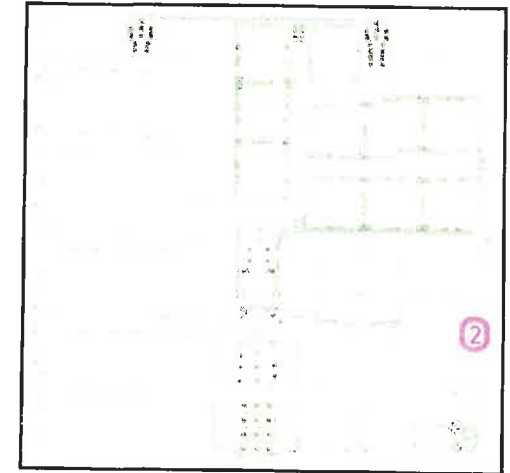
Source: *ima design*

Figure 45
Primary Entry Monumentation

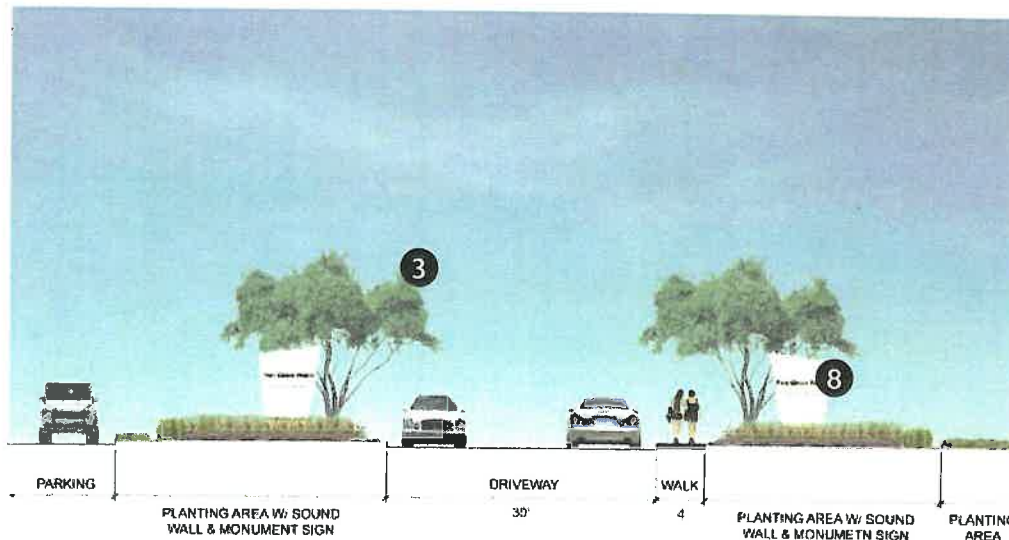




Key Map



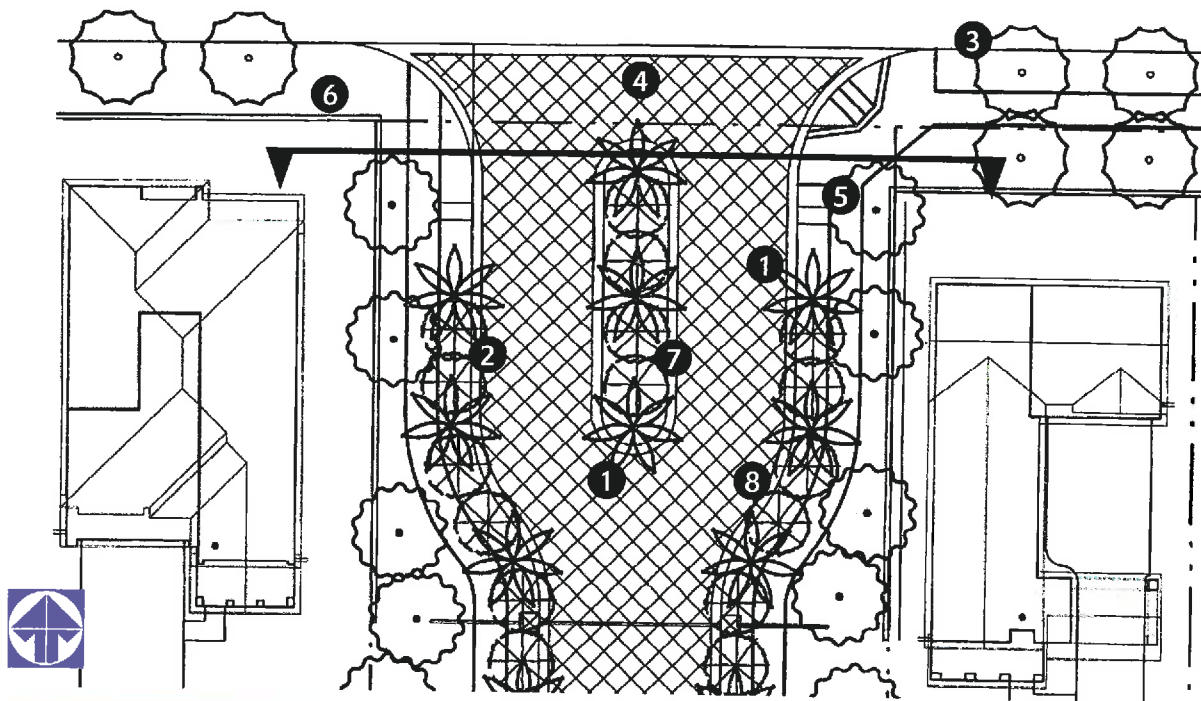
- 1 Swan Hill Olive Tree
- 2 London Plane Tree
- 3 Corner Ramp
- 4 Planting Area
- 5 Enhanced Paving
- 6 Pedestrian Walk
- 7 Parking Area
- 8 Monument Sign



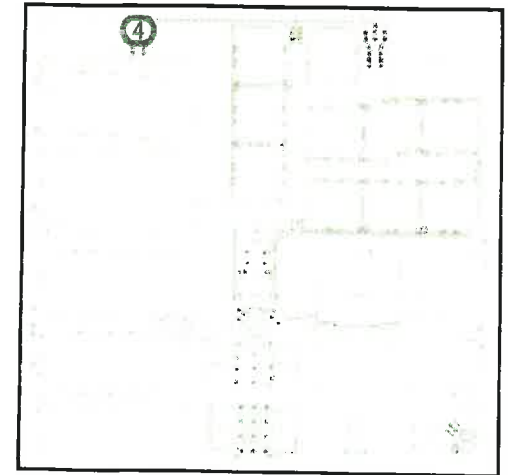
Source: *ima design*

Figure 46
Secondary Entry Monumentation - General Commercial (Planning Area 1)

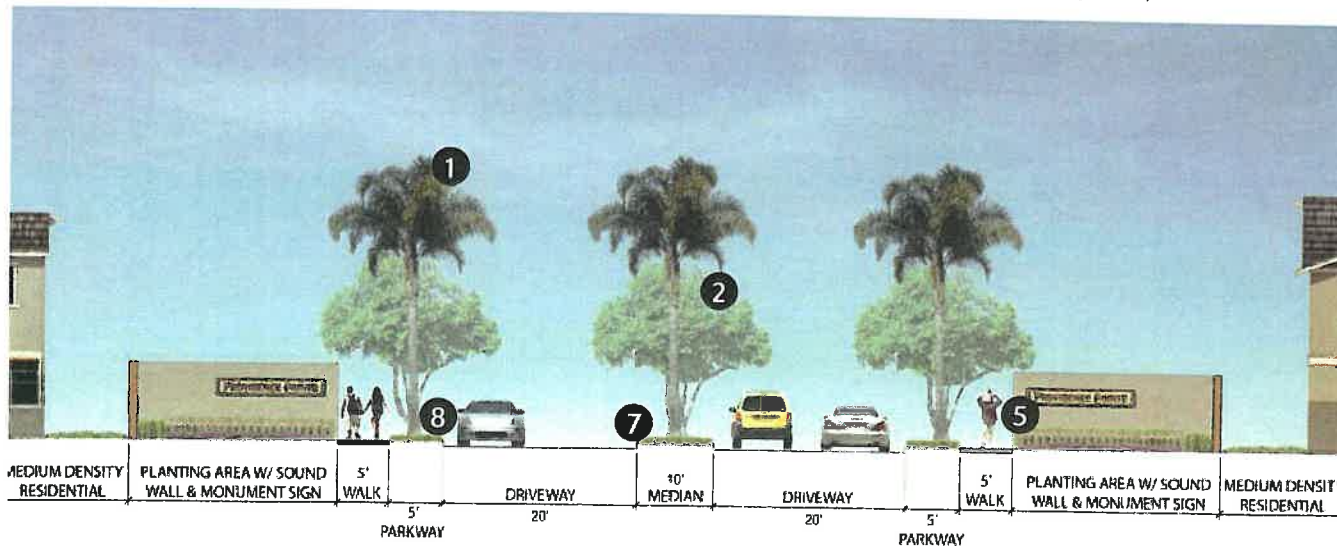




Key Map



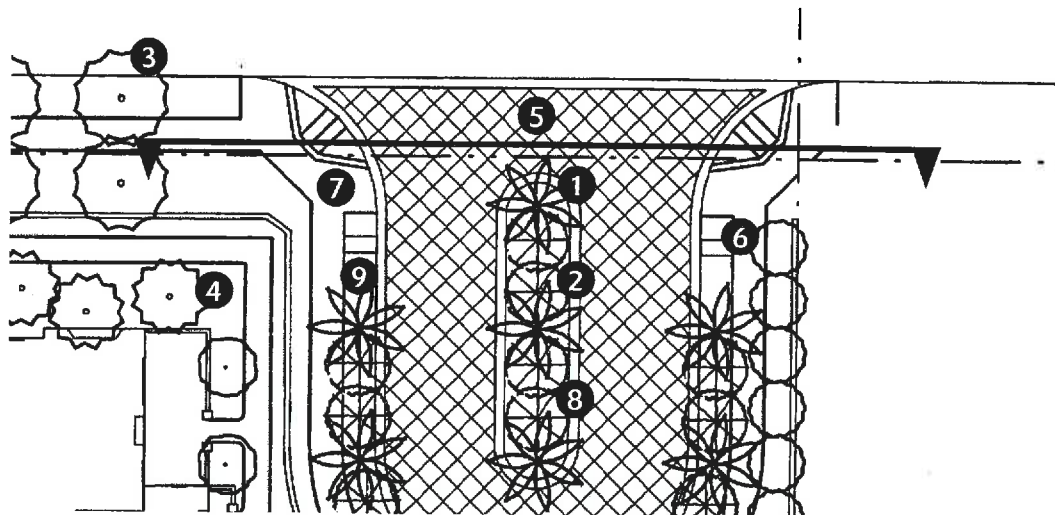
- ① Queen Palm
- ② Glossy Privet
- ③ Heritage Southern Live Oak
- ④ Enhanced Paving
- ⑤ Signage
- ⑥ Pedestrian Walk
- ⑦ Median - Shrub Planting
- ⑧ Parkway - Shrub Planting



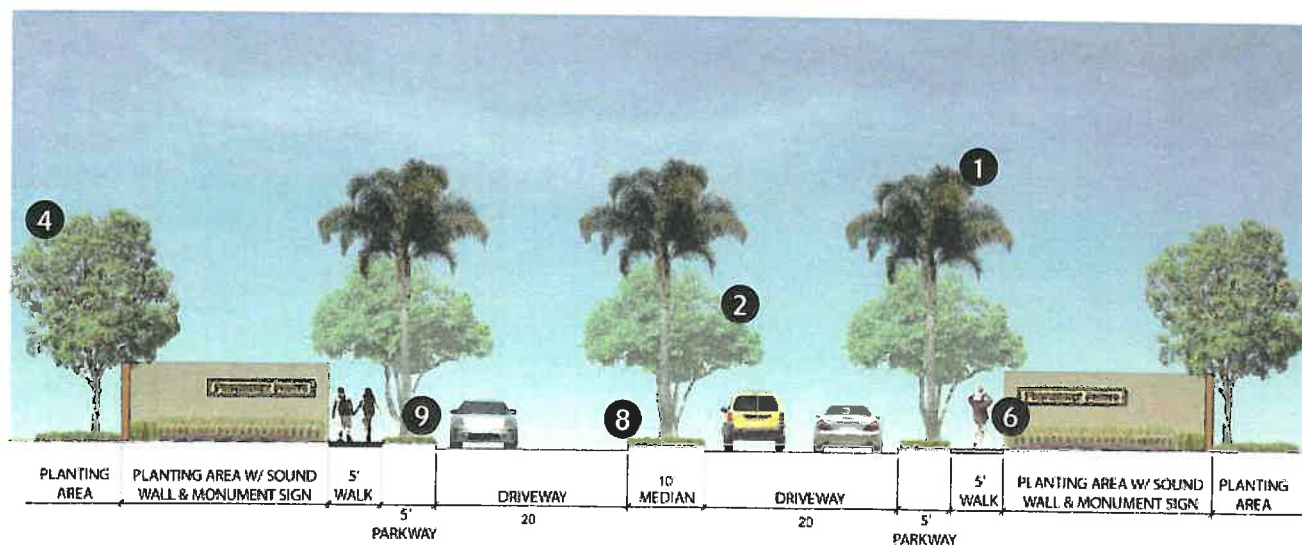
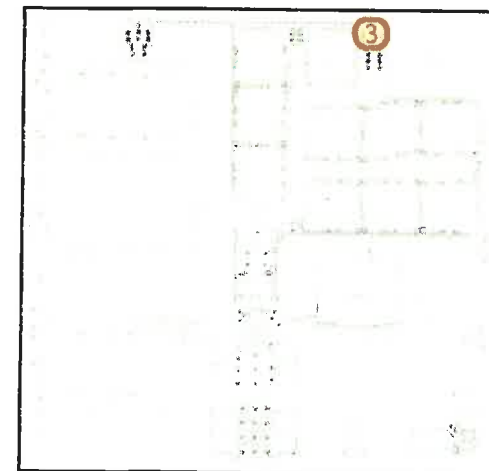
Source: **ima design**

Figure 47
Secondary Entry Monumentation - Medium Density Residential (Planning Area 2)





Key Map

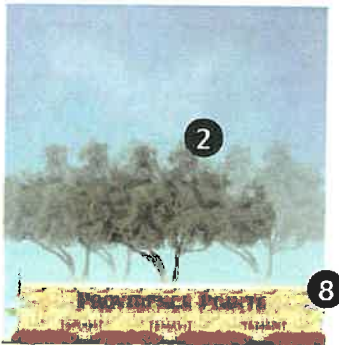
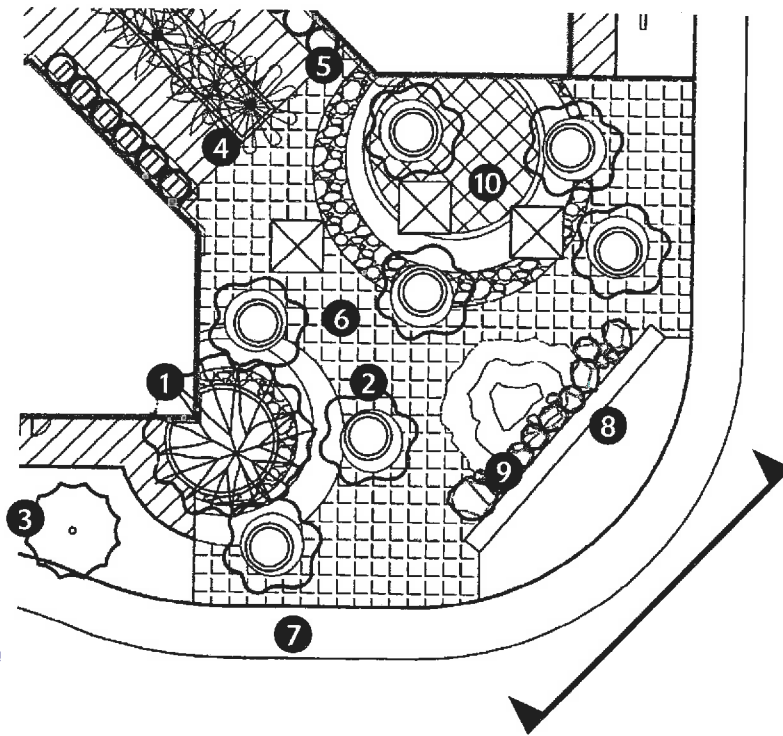


- 1 Queen Palm
- 2 Glossy Privet
- 3 Heritage Southern Live Oak
- 4 Brisbane Box
- 5 Enhanced Paving
- 6 Signage
- 7 Pedestrian Walk
- 8 Median - Shrub Planting
- 9 Parkway - Shrub Planting

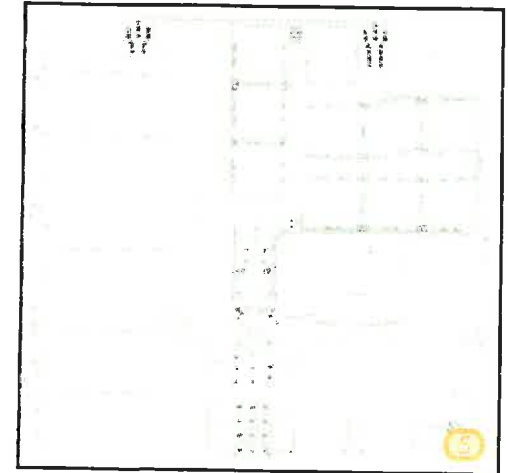
Source: *ima design*

Figure 48
Secondary Entry Monumentation - Multi-Family Residential (Planning Area 3)





Key Map

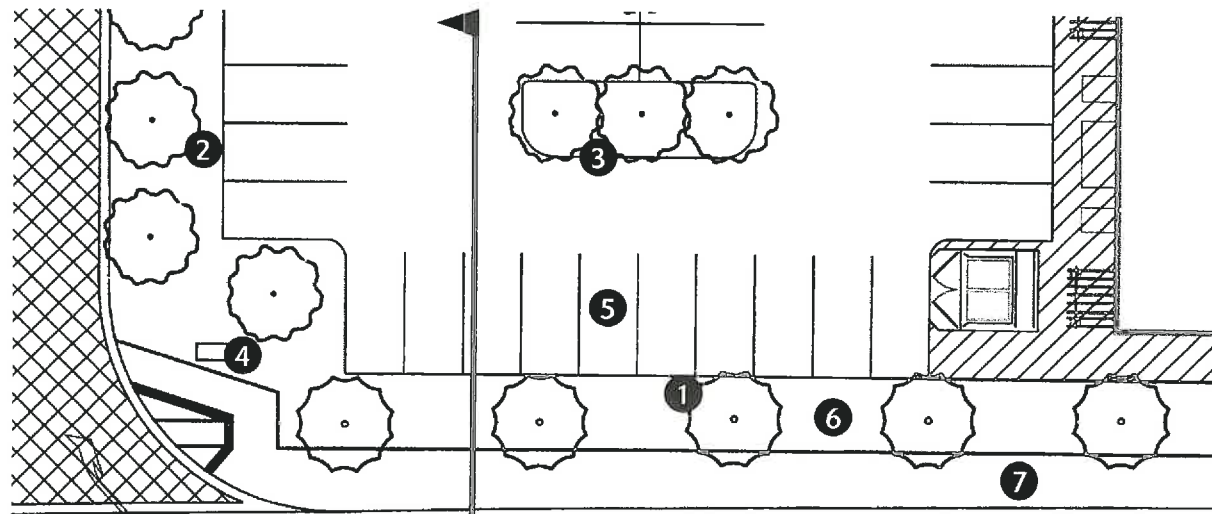


- ① Southern Magnolia
- ② Swan Hill Olive Tree
- ③ Heritage Southern Live Oak
- ④ Palm Group
- ⑤ Pod
- ⑥ Enhanced Paving
- ⑦ Pedestrian Walk
- ⑧ Monument Sign
- ⑨ Pond
- ⑩ Seating Area

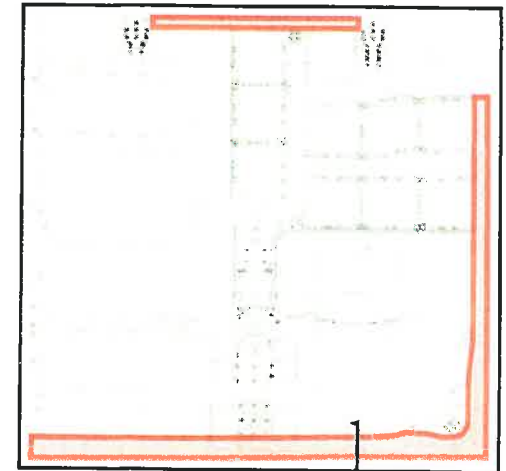
Source: *ima design*

Figure 49
Corner Plaza Monumentation - General Commercial (Planning Area 1)

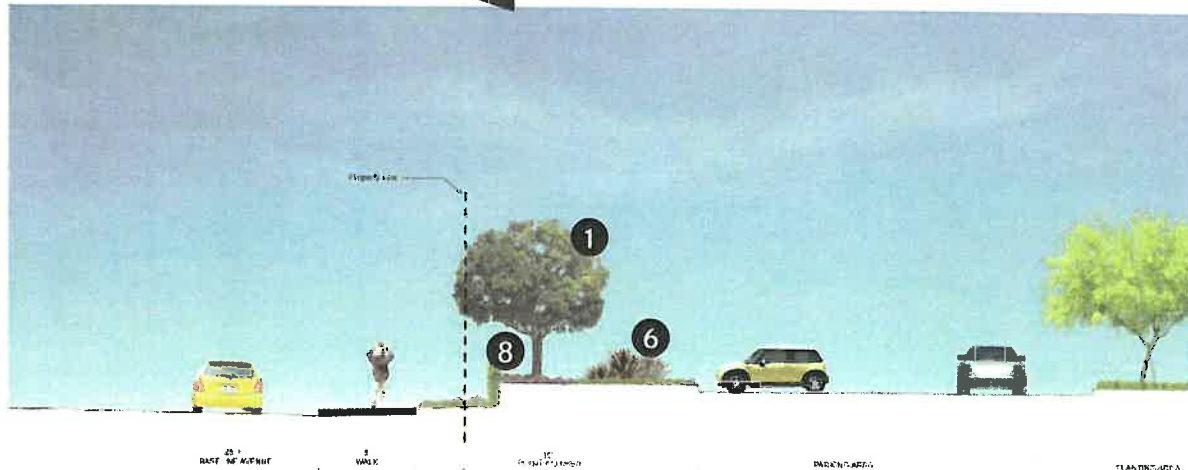




Key Map



- 1 Heritage Southern Live Oak
- 2 Camphor Tree
- 3 Desert Museum
- 4 Signage
- 5 Parking Area
- 6 Planting Area
- 7 Pedestrian Walk
- 8 Shrub Screen



SCALE: 1/8" = 1'

Source: *ima design*

Figure 50
Baseline Avenue Streetscape A



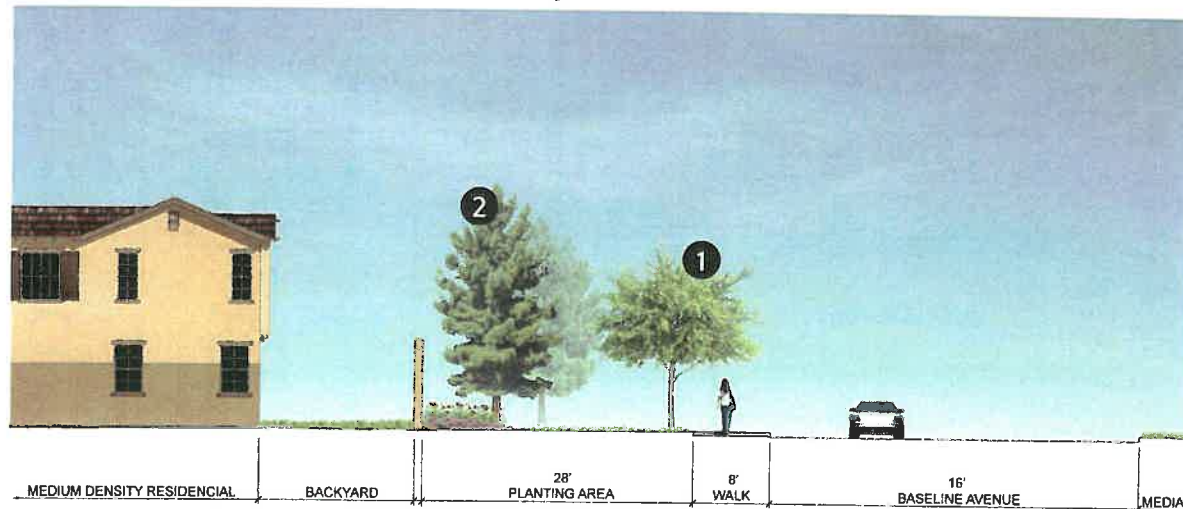
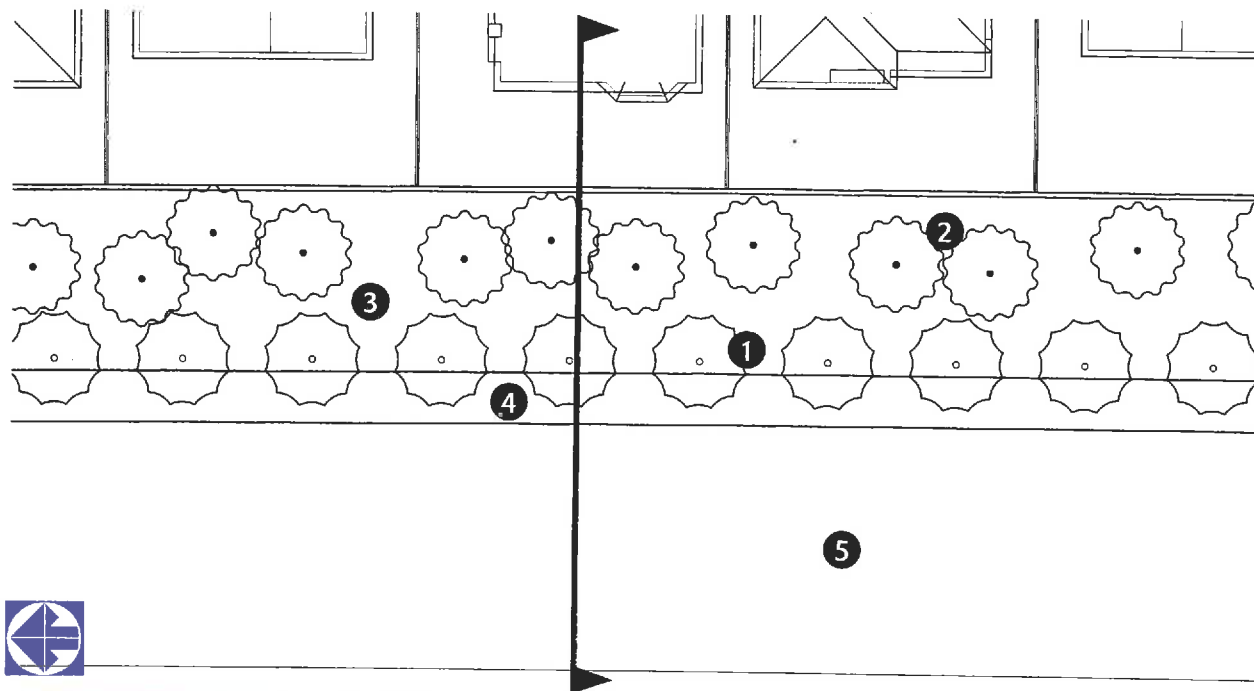
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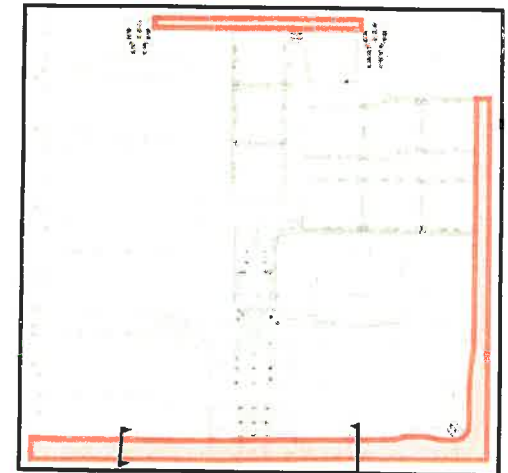


not to scale

PROVIDENCE POINTE



Key Map



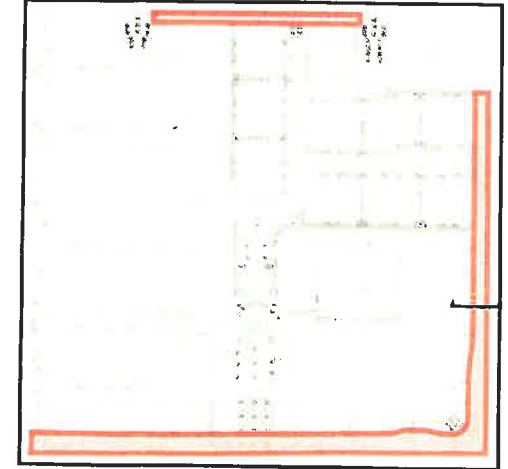
- ① Heritage Southern Live Oak
- ② Afghan Pine
- ③ Planting Area
- ④ Pedestrian Walk
- ⑤ Baseline Avenue

Source: *ima design*

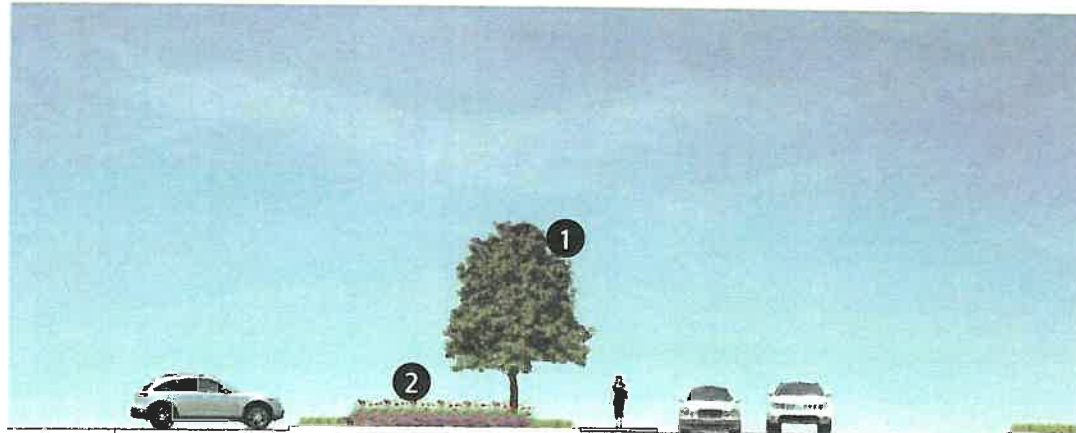
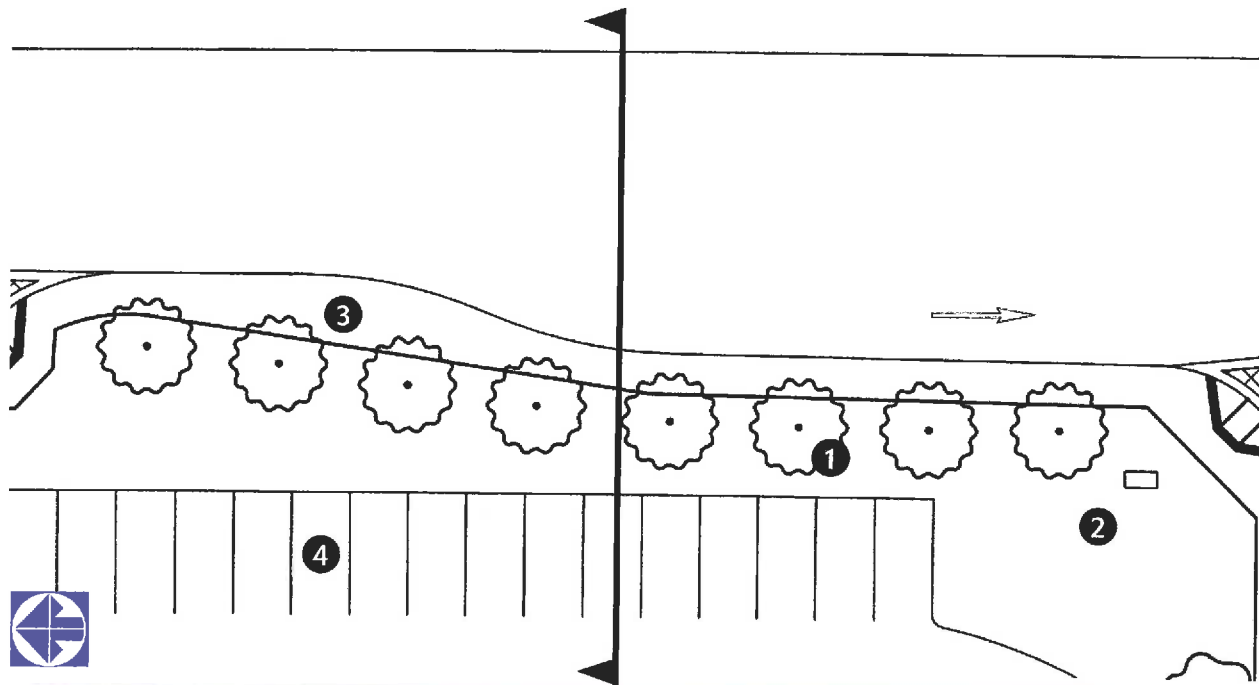
Figure 51
Baseline Avenue Streetscape B



Key Map



- 1 London Plane Tree
- 2 Planting Area
- 3 Pedestrian Walk
- 4 Parking Area

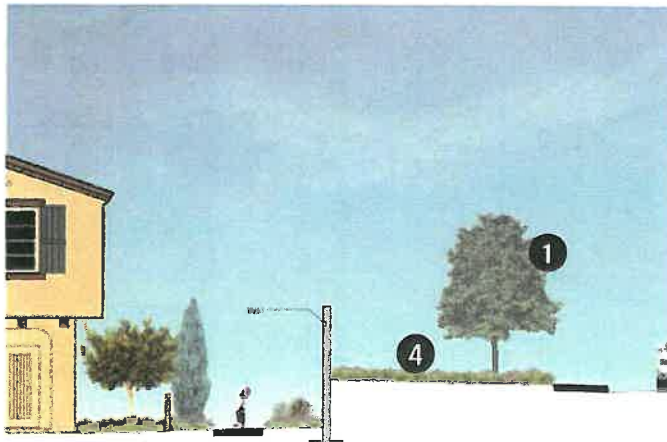
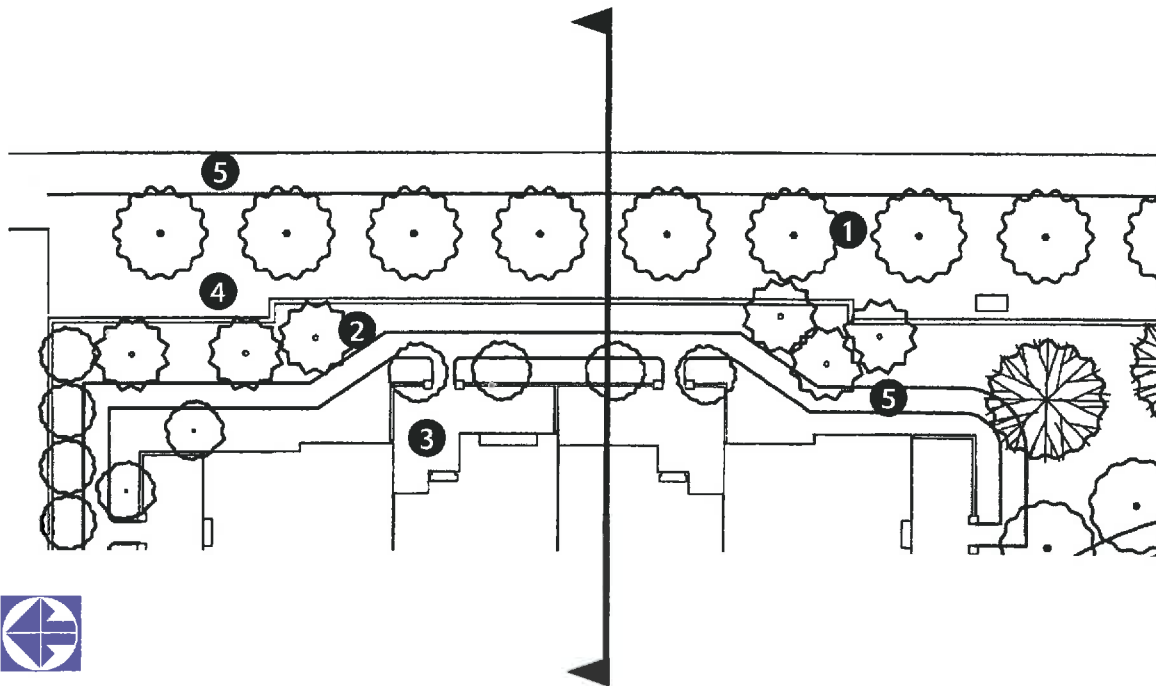


PARKING SPACE 15' PLANTING AREA 5' WALK CITRUS AVENUE MEDIAN

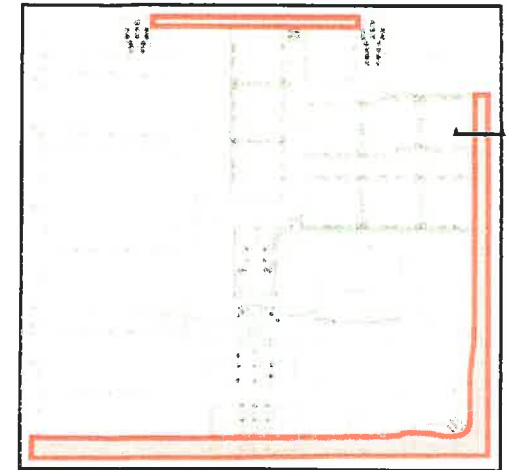
Source: *ima design*

Figure 52
Citrus Avenue Streetscape A





Key Map

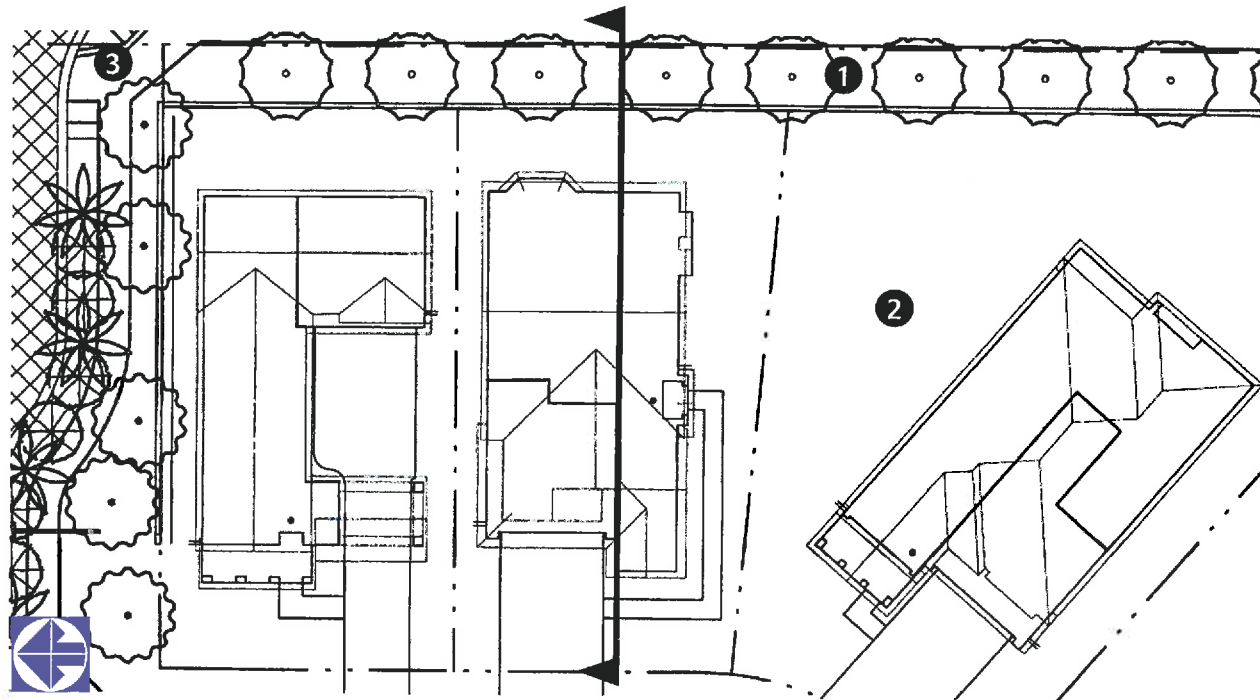


- ① London Plane Tree
- ② Brisbane Box
- ③ Private Patio
- ④ Planting Area
- ⑤ Pedestrian Walk

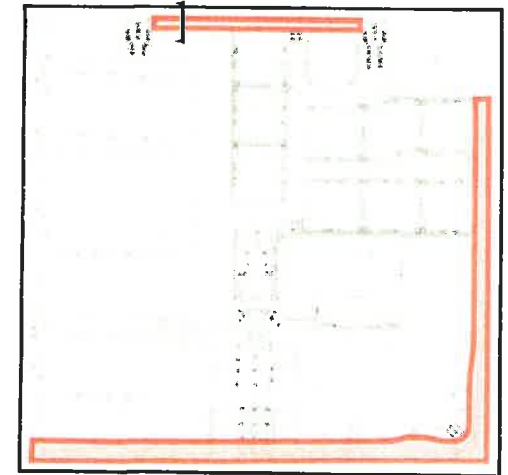
Source: *ima design*

Figure 53
Citrus Avenue Streetscape B





Key Map



- ① Heritage Southern Live Oak
- ② Planting Area
- ③ Pedestrian Walk



MULTI-FAMILY RESIDENTIAL 3 WALK 2 PLANTING AREA 1 PLANTING AREA 4 CAR

Source: *ima design*

Figure 54
Proposed Northern Roadway Streetscape



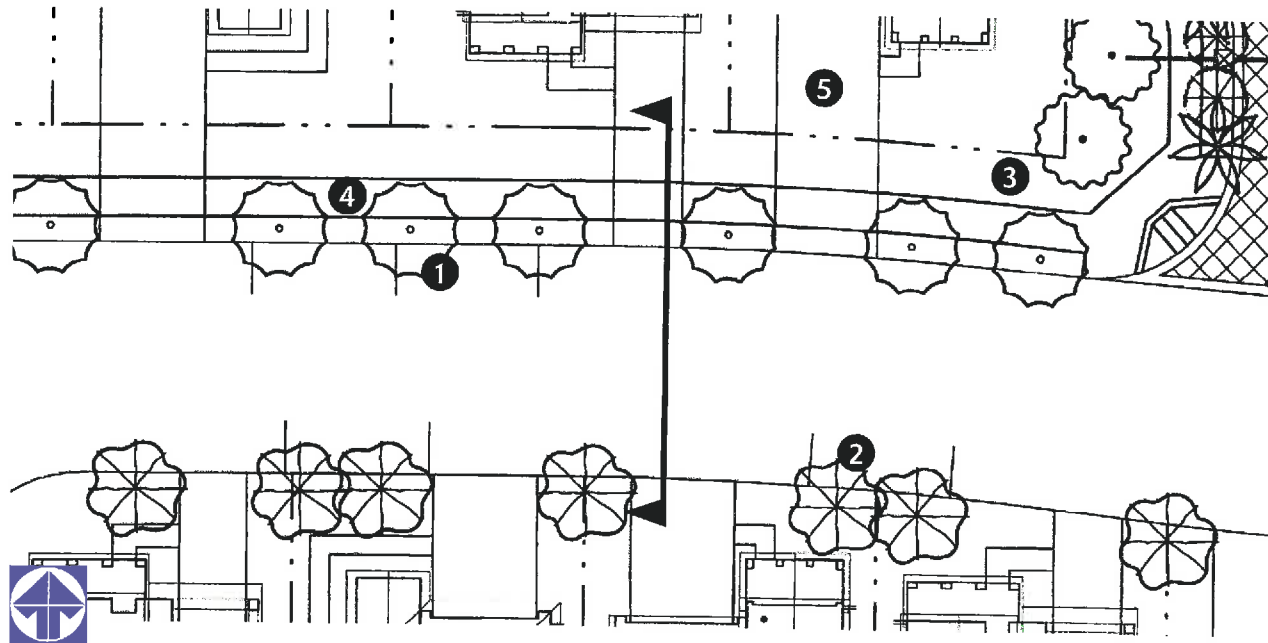
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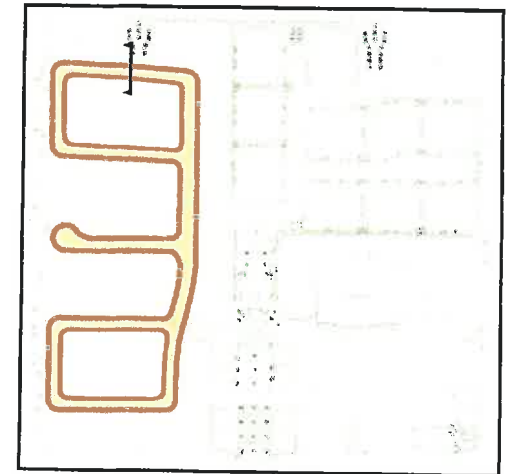


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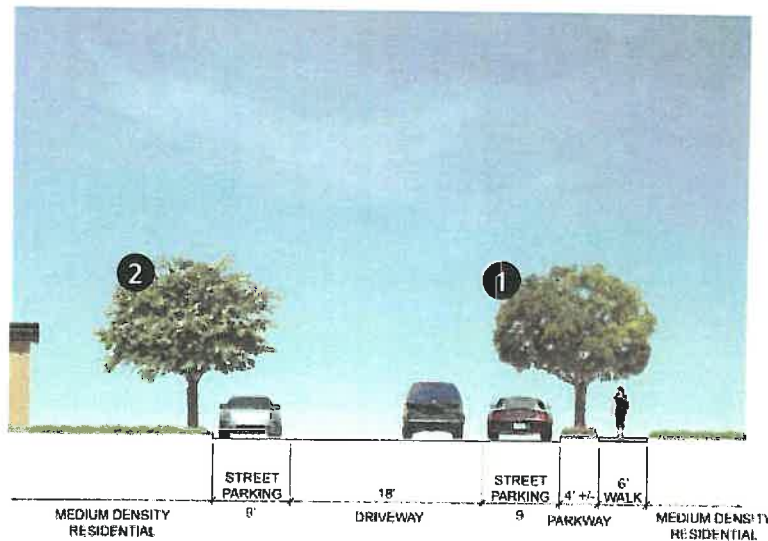
PROVIDENCE POINTE



Key Map



- ① Heritage Southern Live Oak
- ② Tuscarora Crape Myrtle
- ③ Planting Area
- ④ Pedestrian Walk
- ⑤ Driveway



Source: *ima design*

Figure 55
Medium Density Residential Interior Road Streetscape



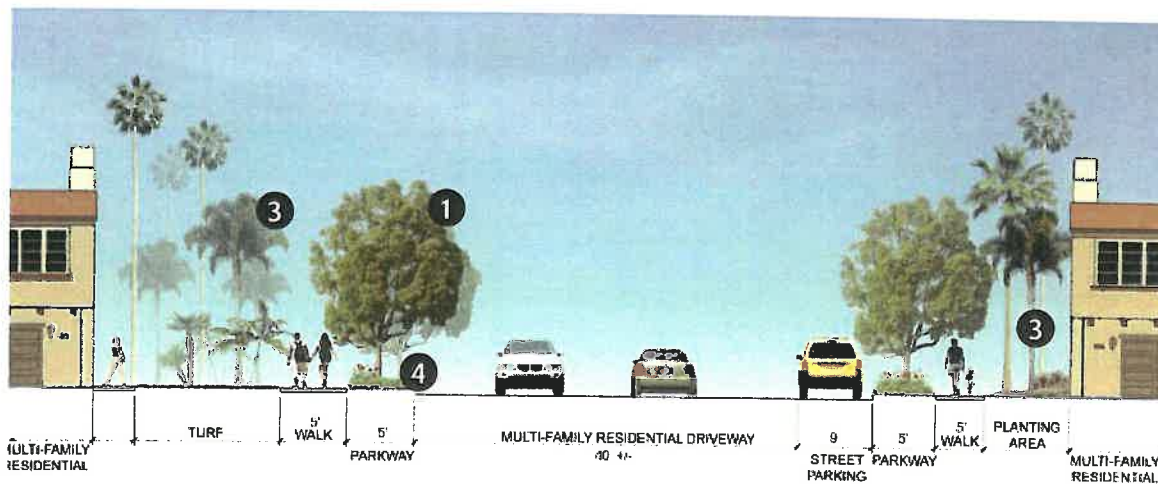
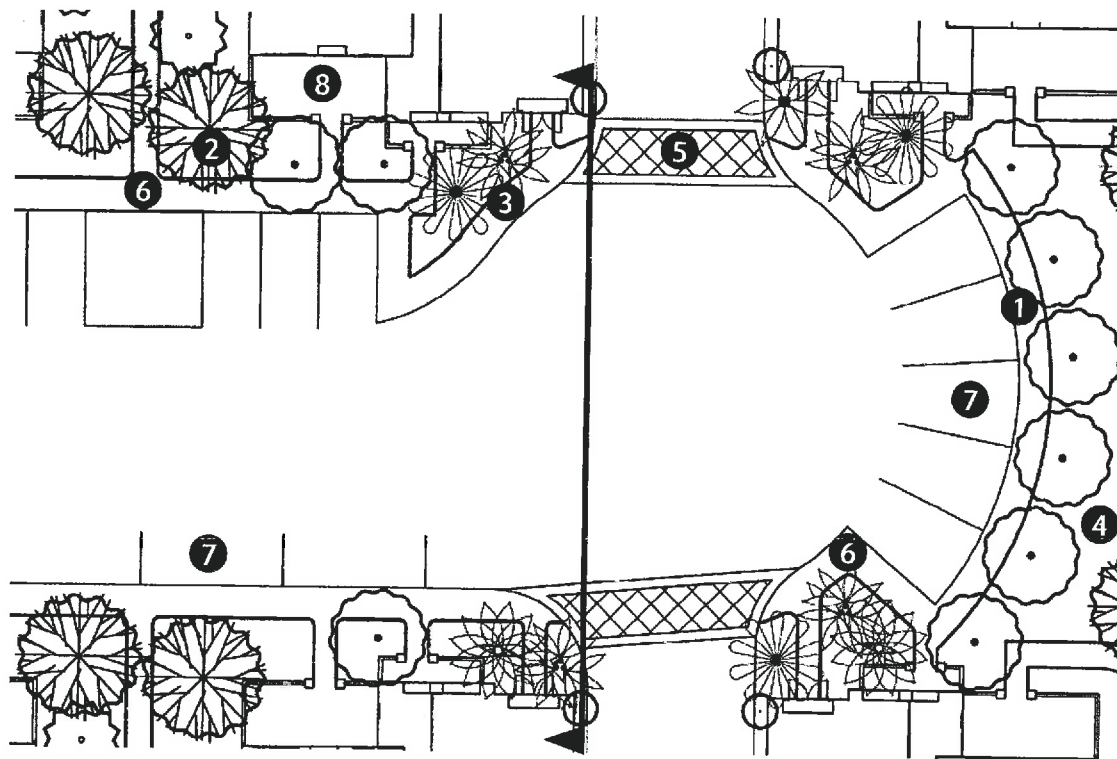
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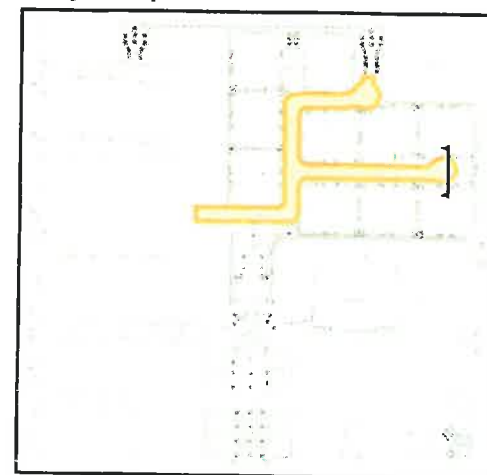


not to scale

PROVIDENCE POINTE



Key Map



- ① Camphor Tree
- ② Chinese Flame Tree
- ③ Palm Group
- ④ Planting Area
- ⑤ Enhanced Paving
- ⑥ Pedestrian Walk
- ⑦ Street Parking
- ⑧ Private Patio

Source:

ima design

Figure 56
Multi-Family Residential Interior Road Streetscape



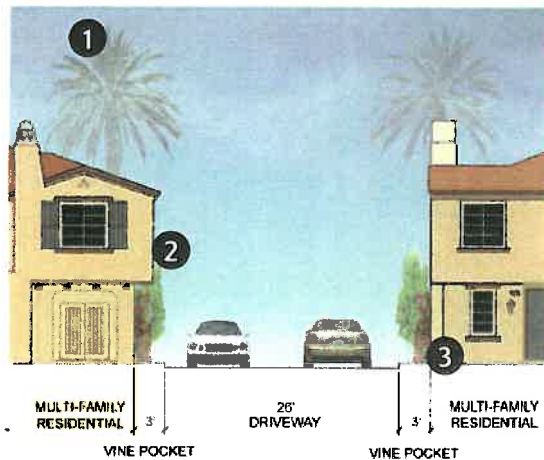
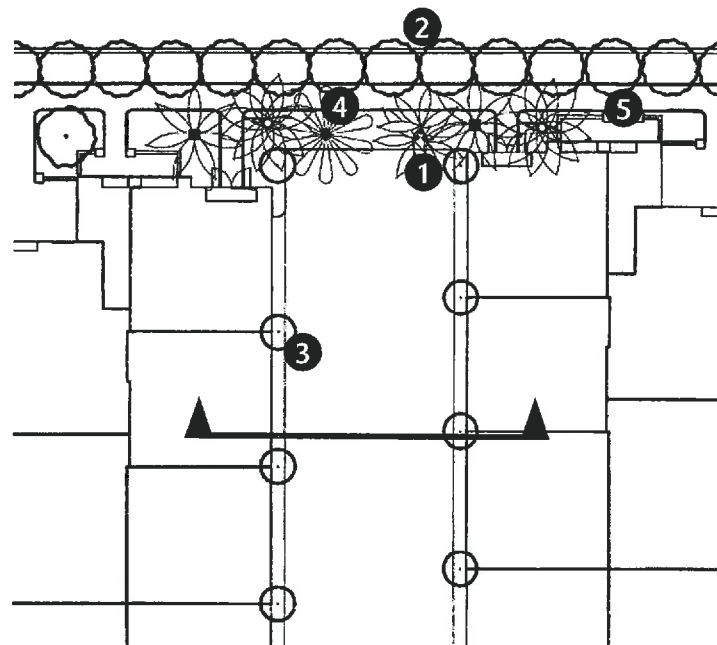
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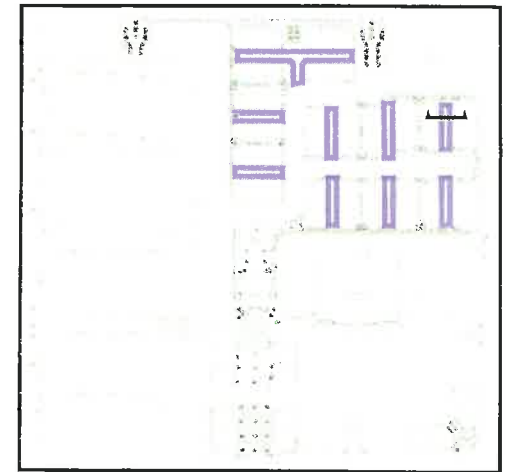


not to scale

PROVIDENCE POINTE



Key Map

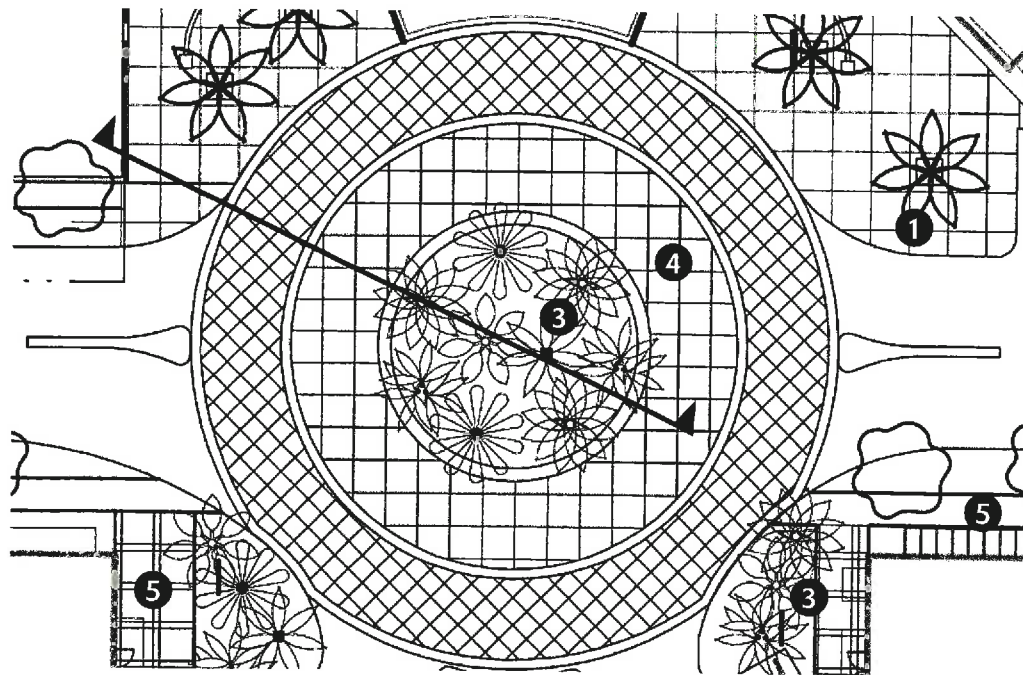


- 1 Palm Group
- 2 Long-Leafed Yellowwood (Screen)
- 3 Planting Area w/ Vine Pocket
- 4 Screen Wall
- 5 Pedestrian Walk

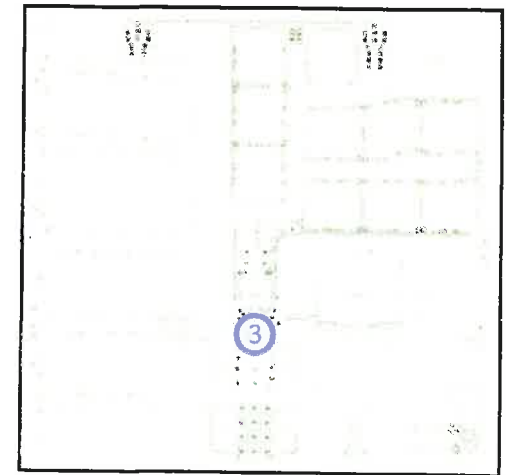
Source: *ima design*

Figure 57
Multi-Family Residential Private Drive Streetscape

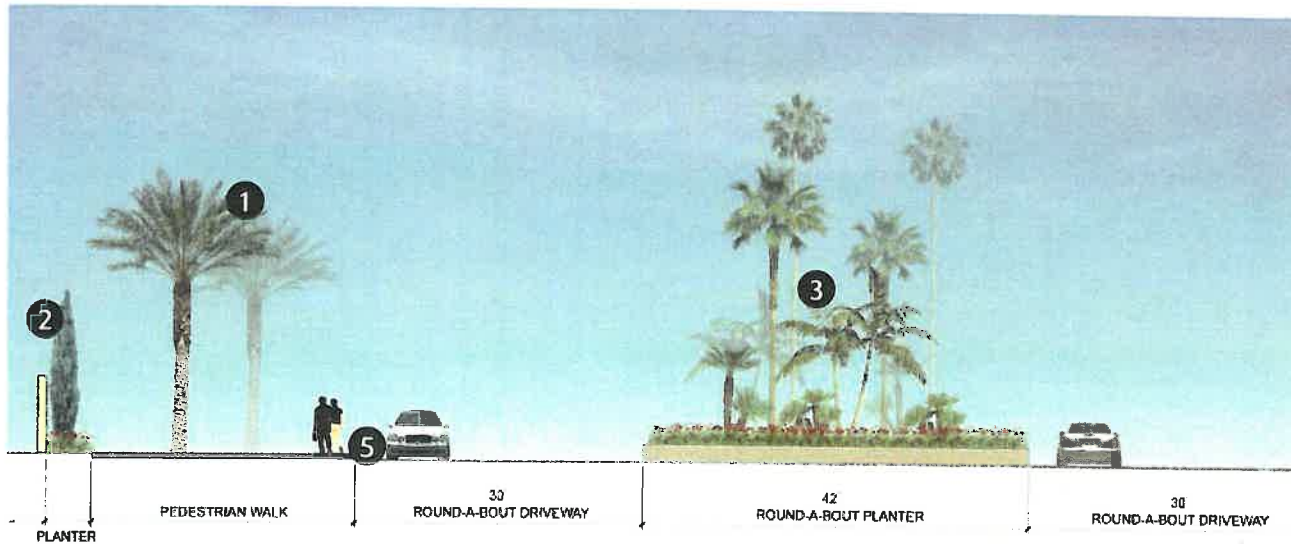




Key Map



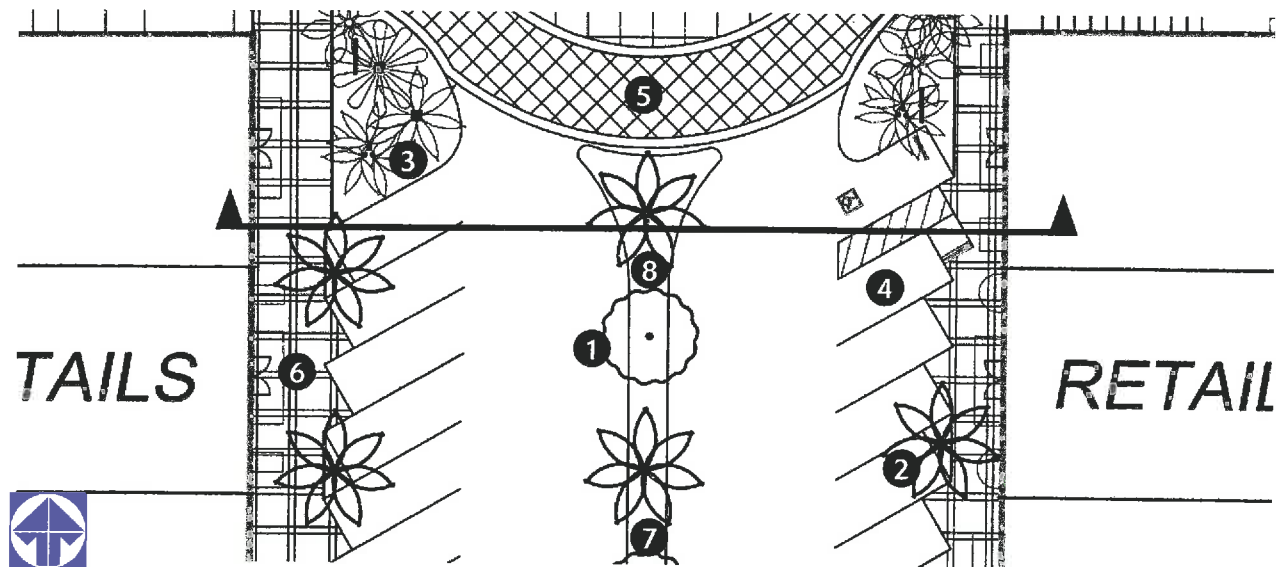
- ① Date Palm
- ② Blue Pyramid Arizona Cypress
- ③ Palm Group
- ④ Enhanced Paving
- ⑤ Pedestrian Walk



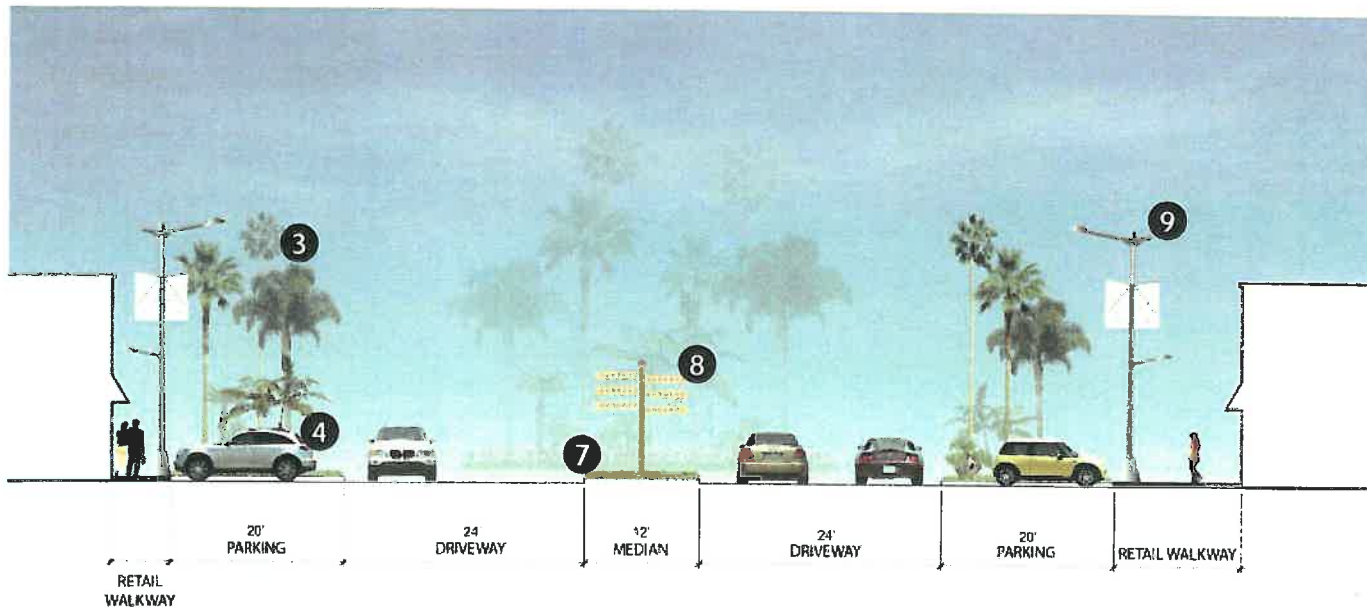
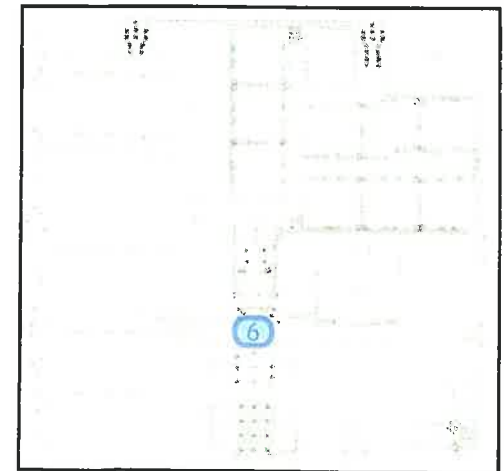
Source: *ima design*

Figure 58
Roundabout Concept Plan





Key Map

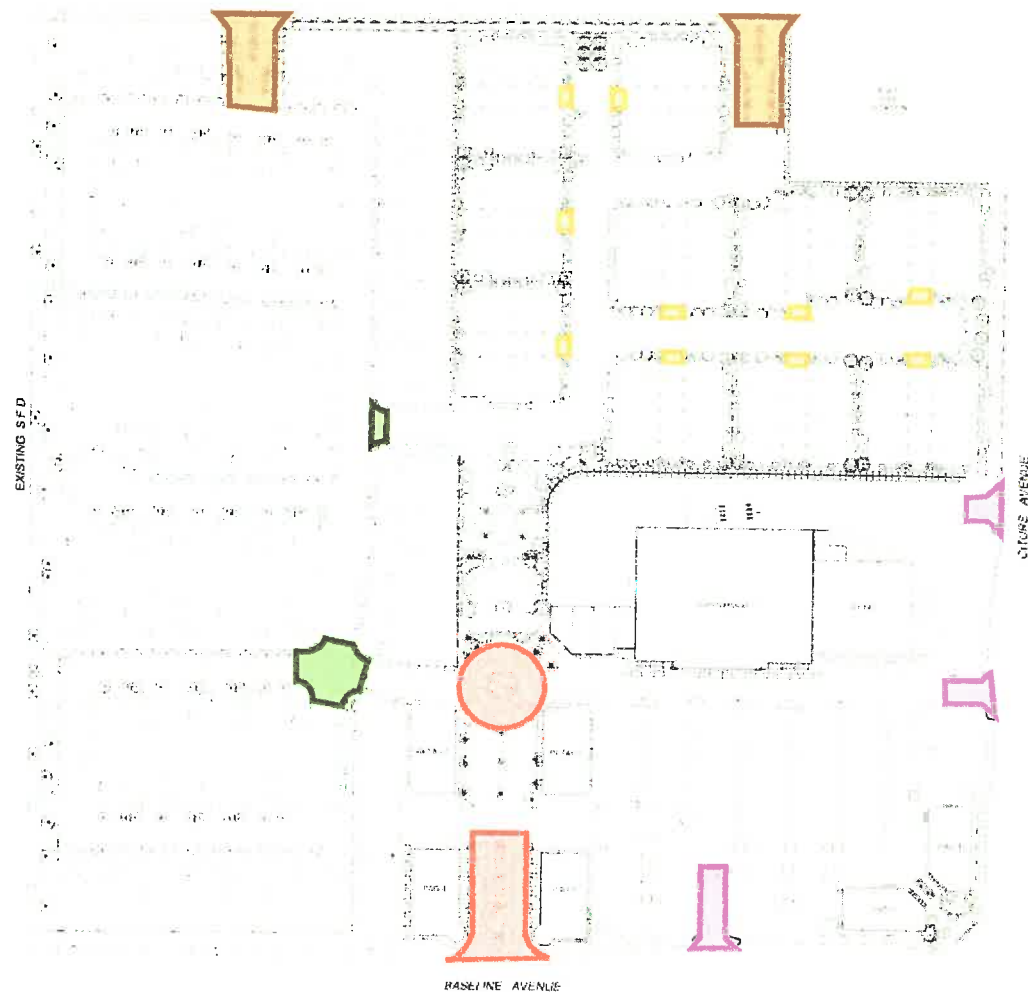


- 1 Camphor Tree
- 2 Date Palm
- 3 Palm Group
- 4 Parking Area
- 5 Enhanced Paving
- 6 Pedestrian Walk
- 7 Median - Shrub Planting
- 8 Detail Directory
- 9 Light Pole / Banner

Source: *ima design*

Figure 59
Detail Directory Concept Plan





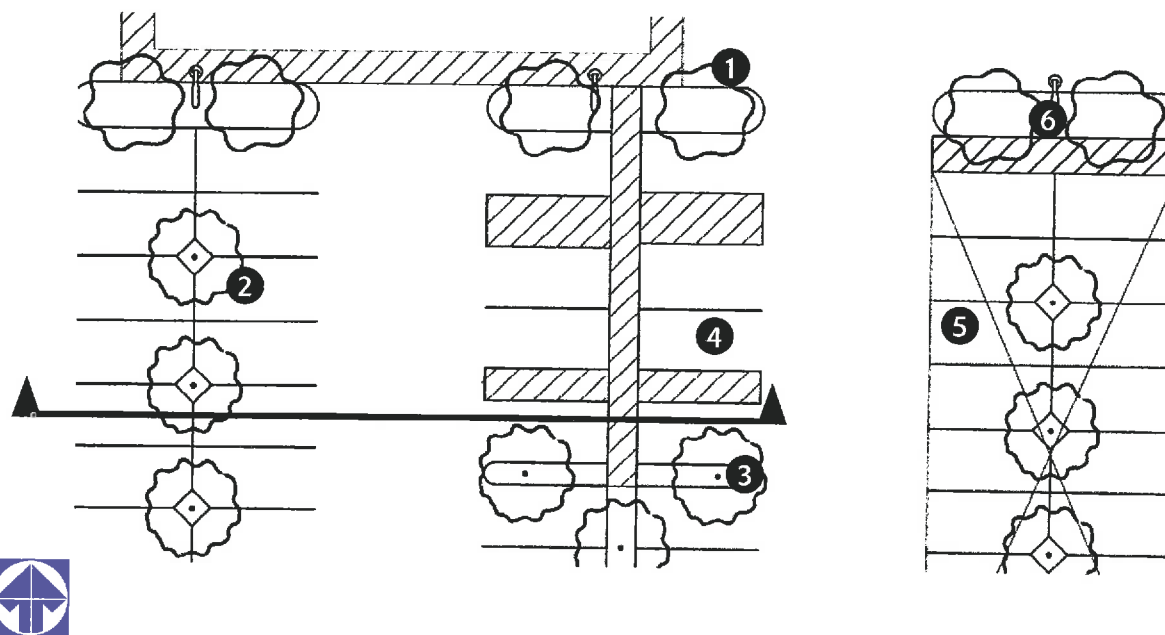
CONCRETE PAVERS

- Primary Entry & Main Street
- Secondary Entry
- Minor Entry
- MFR Auto Mews
- MDR Corner / Intersection

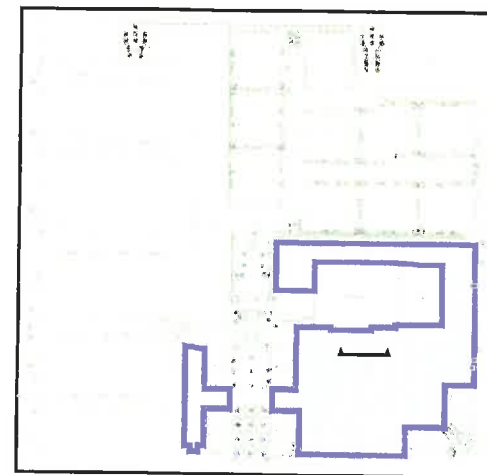
Source: *ima design*

Figure 60
Enhanced Paving Plan

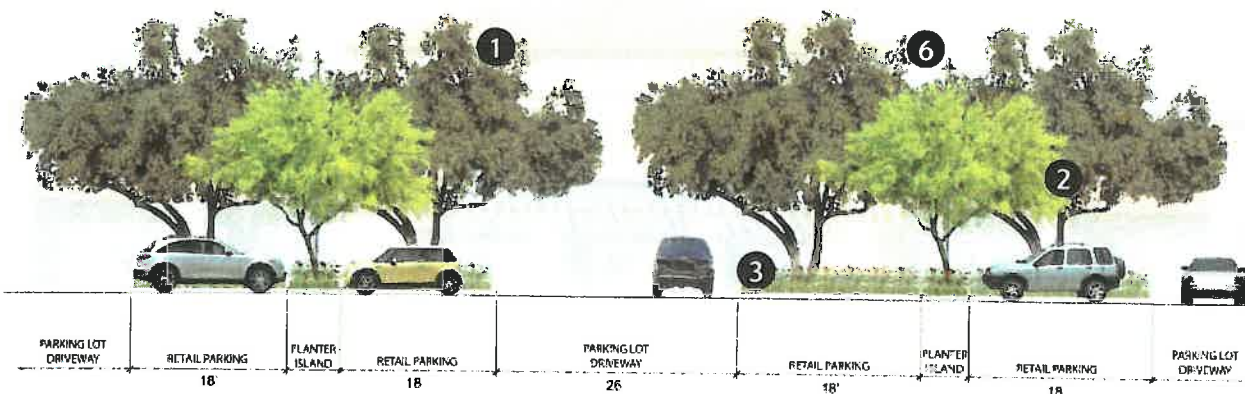




Key Map



- ① Swan Hill Olive Tree
- ② Desert Museum Palo Verde
- ③ Planting Area
- ④ Handicap Parking
- ⑤ Standard Parking
- ⑥ Light Pole



Source: *ima design*

Figure 61
Commercial - Retail Parking Landscape Concept



5. PLAZAS, RECREATION, AND LINEAR PARKS/PASEOS

Recent trends in development, suburban growth, and urban revitalization have led to the increasing use of pedestrian-oriented design as an effective land use planning tool to create urbanized communities like PROVIDENCE POINTE. In conceiving a development plan for PROVIDENCE POINTE, one of the primary goals was to create a pedestrian-oriented urban environment that is walkable and inviting. PROVIDENCE POINTE will not be just another group of stores behind large parking lots, but rather a community that provides pedestrian comfort and accessibility between residential and commercial-retail areas and captures the lifestyle and imagination of today's consumer. This goal is to be achieved by the strategic placement of pedestrian focal nodes, plazas, and amenities dispersed throughout the development. Additionally, an interconnected network of internal circulation elements and pedestrian paths shaped by a cohesive landscape and enhanced hardscape knit this mixed-use development together.

The pedestrian-friendly infrastructure within PROVIDENCE POINTE helps to promote a sense of place and an urban experience that is a joy to walk and share with friends and family. The numerous pedestrian focal nodes and amenities facilitate an environment conducive to social interaction and exchange, and provide essential qualities required to support the goals of a vitalized mixed-use urban development. The encouragement of human activity throughout the development and activating of pedestrian paths is paramount to the success of PROVIDENCE POINTE. By improving upon the basic framework already in place, an identifiable sense of place and positive image will be created for PROVIDENCE POINTE and the Fontana community in a manner that provides richness and builds character.

5.1 PLAZAS

A central plaza will be located at the heart of PROVIDENCE POINTE and will serve as a major green area for the community. The central plaza is envisioned as a classic open space that provides an area to retreat from

the retail scene and ample opportunities for people to gather, interact, and relax. A multi-purpose lawn area will encompass a large focal tree, lush landscape, active pavement patterning, exciting hardscape, and seating to give a small informal passive recreation type environment (see Figure 62, *Central Plaza Concept Plan*).

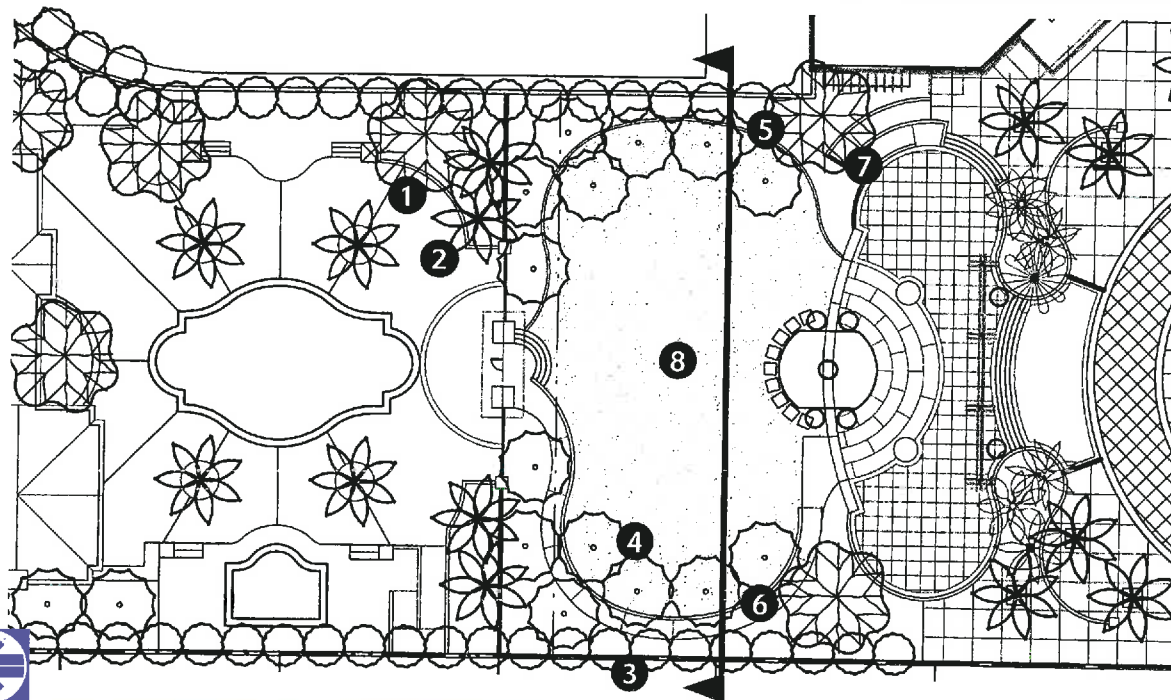
A corner plaza will be located at the intersection of Baseline Avenue and Citrus Avenue, which is designed to attract pedestrians and motorists into the PROVIDENCE POINTE project. This pedestrian-scaled corridor will be vital for providing sufficient gathering areas and facilitates movement within PROVIDENCE POINTE. Major elements within the corner plaza will include outdoor seating and dining areas, fountain, and meticulous hardscape and landscape design (see Figure 63, *Corner Plaza Concept*).

5.2 RECREATION FACILITY AND AMENITIES

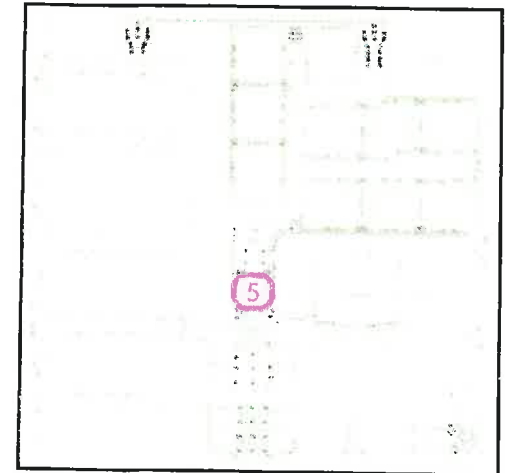
Recreational amenities for future residents of PROVIDENCE POINTE will play an important role in the overall design of the community (see Figures 64 through 69). Therefore, a recreation facility, playground, and pedestrian open space areas have been strategically placed within the project to provide future residents with ample recreational opportunities. Proposed amenities for the recreation facility may include, but are not limited to:

- Clubhouse
- Swimming Pool
- Barbeque and Picnic Areas
- Gardens and Open Turf Areas
- Playground/Tot Lot

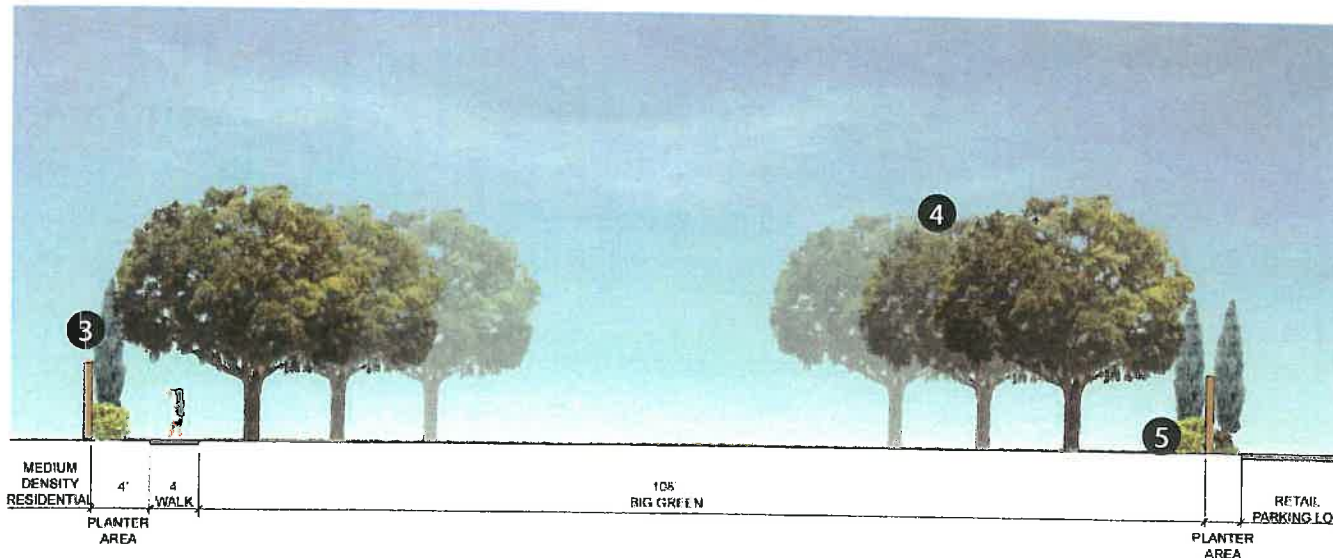
The recreation center shall be connected to other portions of the residential development via private internal circulation elements, linear park, and paseos.



Key Map



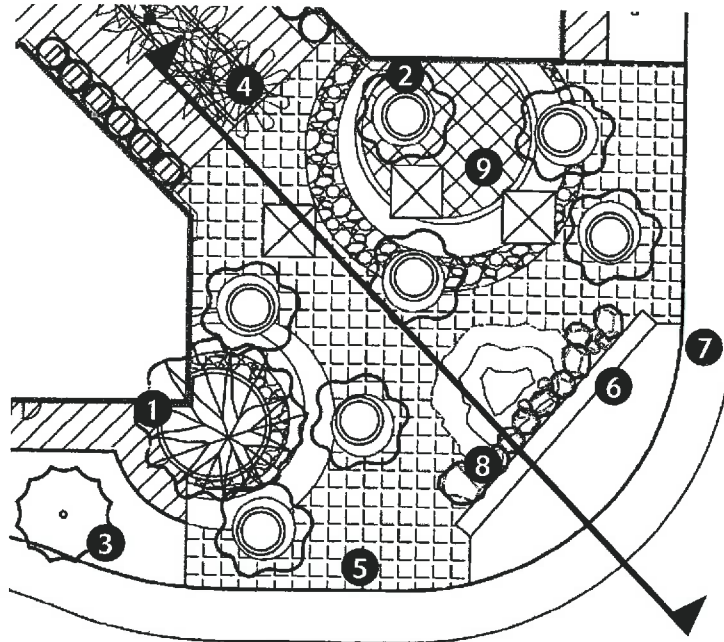
- ① Accent Canopy Tree
- ② Date Palm
- ③ Blue Pyramid Arizona Cypress (Screen)
- ④ Heritage Southern Live Oak
- ⑤ Shrub Hedge
- ⑥ Pedestrian Walk
- ⑦ Ramp
- ⑧ Big Green - Turf



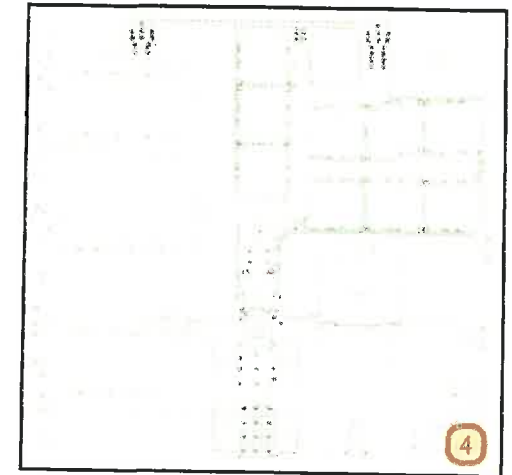
Source: *ima design*

Figure 62
Central Plaza Concept Plan

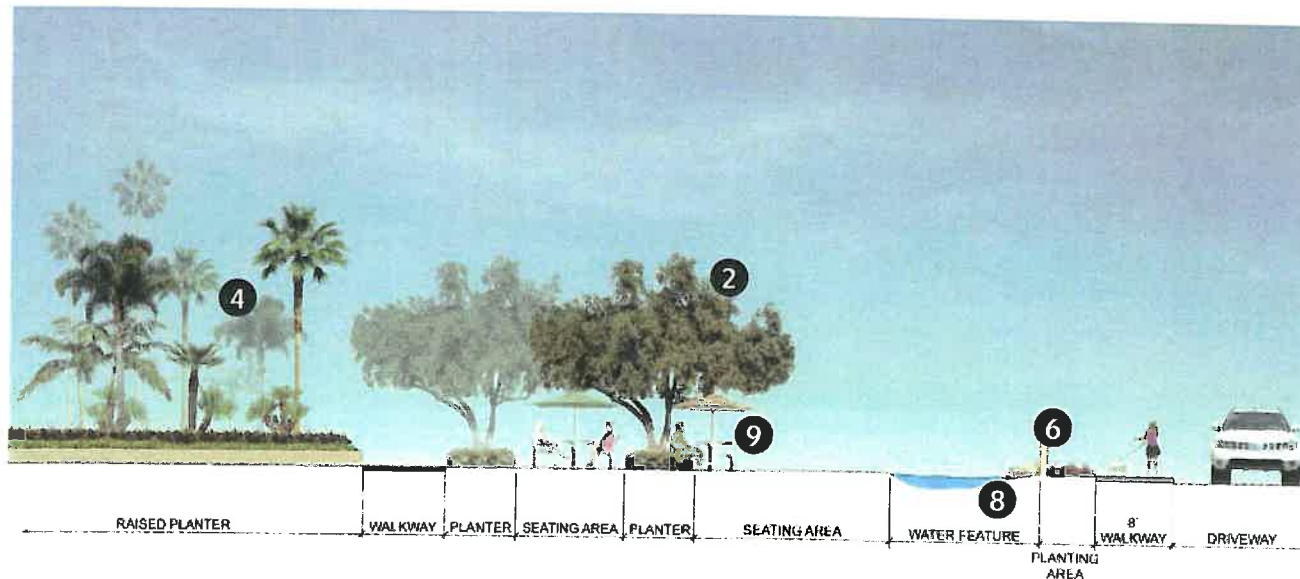




Key Map



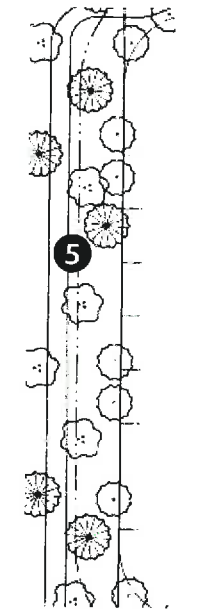
- 1 Southern Magnolia
- 2 Swan Hill Olive Tree
- 3 Heritage Southern Live Oak
- 4 Palm Group
- 5 Enhanced Paving
- 6 Monument Sign
- 7 Pedestrian Walk
- 8 Water Feature
- 9 Seating Area



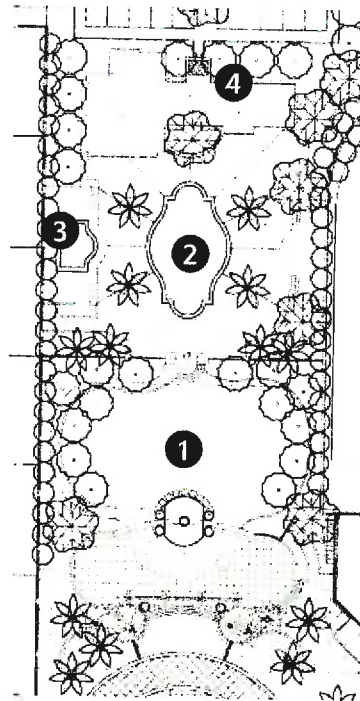
Source: *ima design*



Figure 63
Corner Plaza Concept Plan

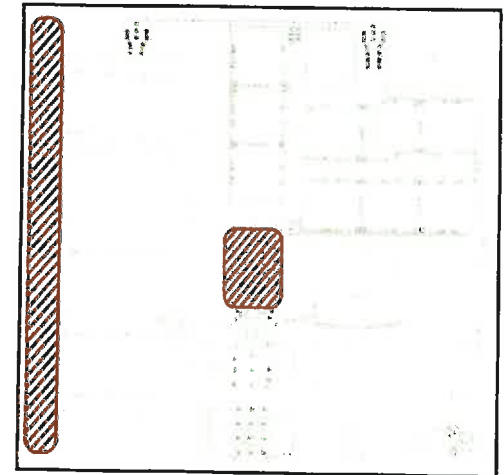


Greenbelt / Paseo



Central Plaza /
Recreation Area

Key Map

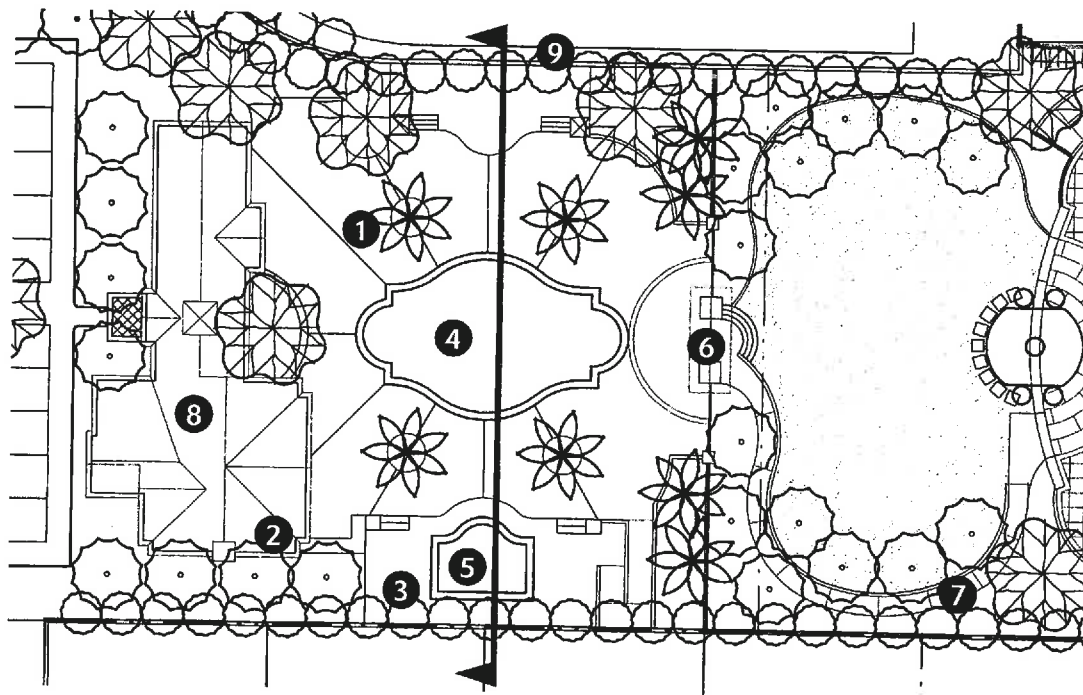


- ① Big Green
- ② Heated Pool
- ③ Heated Spa
- ④ Clubhouse
- ⑤ Pedestrian Walk

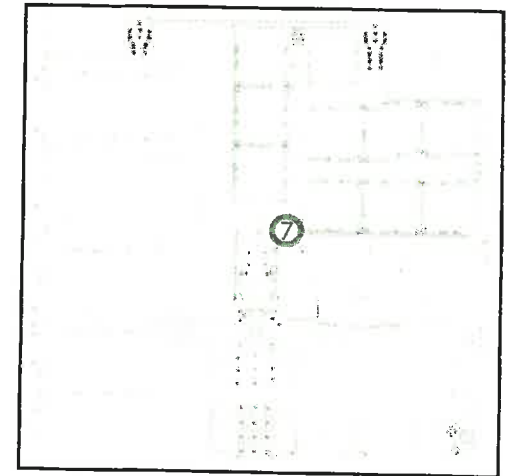
Source: *ima design*

Figure 64
Community Recreation and Open Space - Key Map

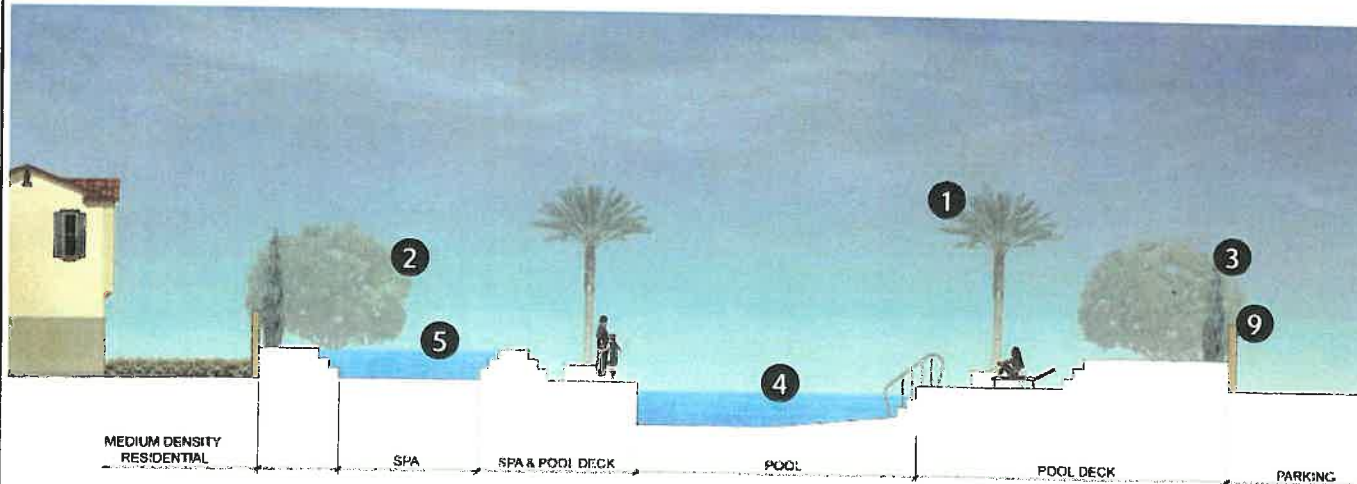




Key Map



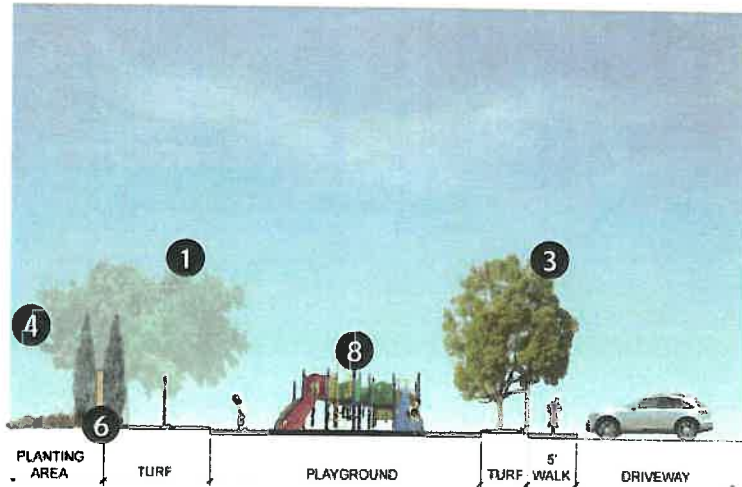
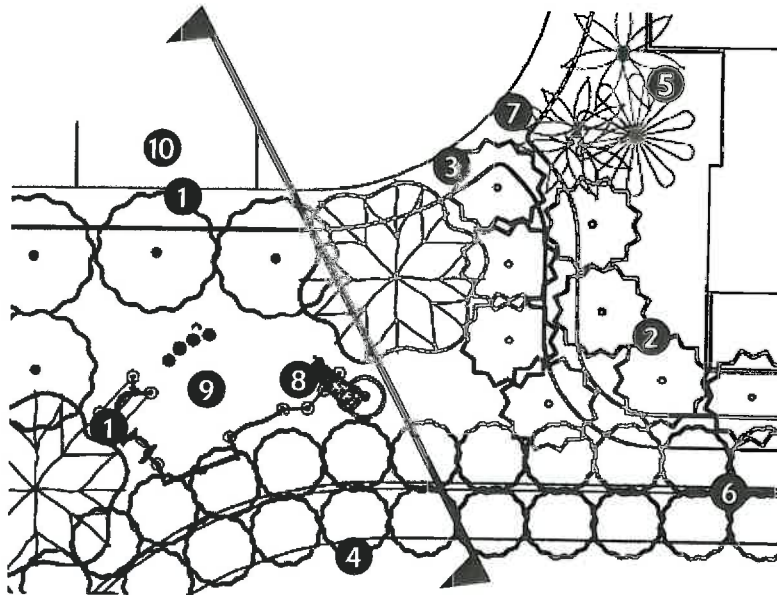
- 1 Date Palm
- 2 Heritage Southern Live Oak
- 3 Blue Pyramid Arizona Cypress (Screen)
- 4 Heated Pool
- 5 Heated Spa
- 6 Trellis
- 7 Pedestrian Walk
- 8 Clubhouse
- 9 Screen Wall



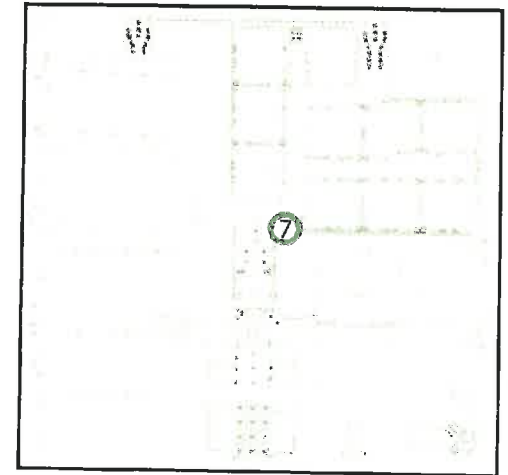
Source: *ima design*

Figure 65
Recreation Facility Concept Plan





Key Map



- 1 Accent Canopy Tree
- 2 Brisbane Box
- 3 Camphor Tree
- 4 Blue Pyramid Arizona Cypress (Screen)
- 5 Palm Group
- 6 Masonry Split Face Block Wall with Cap
- 7 Pedestrian Walk
- 8 Playground and Equipment
- 9 Turf Area
- 10 Street Parking

Source: *ima design*

Figure 66
Playground Concept Plan



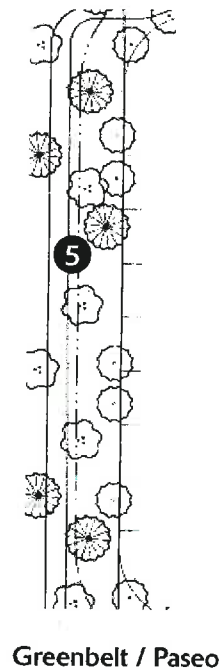
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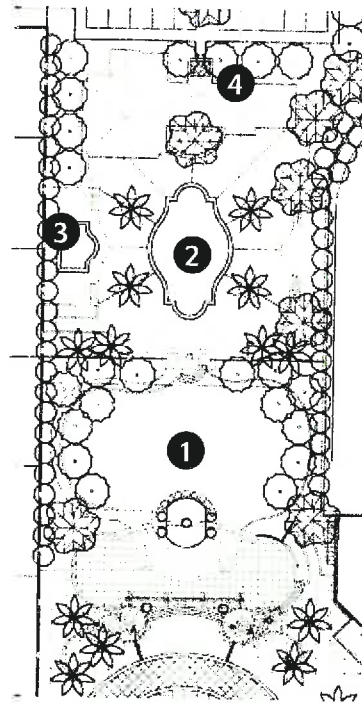


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PROVIDENCE POINTE

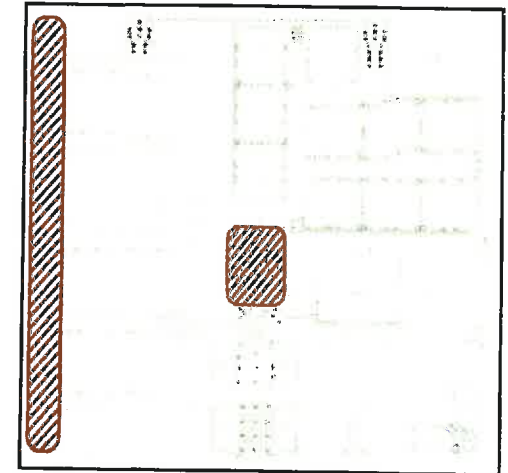


Greenbelt / Paseo



Central Plaza /
Recreation Area

Key Map



- ① Big Green
- ② Heated Pool
- ③ Heated Spa
- ④ Clubhouse
- ⑤ Pedestrian Walk



Source: *ima design*

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Figure 67
Pedestrian Open Space Concept Plan

PROVIDENCE POINTE

5.3 LINEAR PARKS/PASEOS

A linear park system has been designed to facilitate pedestrian movement and interconnect the various land uses and amenities within the PROVIDENCE POINTE community. Pedestrian connections are planned at the end of the medium density residential cul-de-sacs to create a greenbelt corridor that extends the north-south axial of the PROVIDENCE POINTE project site (see Figure 68, *Linear Park Concept Plan*). Additionally, the multi-family residential units are designed around a common landscaped paseo, which provide an additional passive use area for residents of PROVIDENCE POINTE (see Figure 69, *Multi-Family Residential Paseo Concept Plan*). The design of the linear parks and paseos should work in concert with the internal circulation network to direct pedestrians to the recreation facility, community amenities, and the commercial-retail center.

6. LANDSCAPE INTERFACES

Perimeter edge treatments consist of the streetscape corridors which enclose the Specific Plan area. Special treatment within these corridors will include ample building setbacks which will create adequate separation between public streets and private homes. The installation of landscaping treatments and a perimeter sound attenuation theme wall, in addition to building setbacks for new homes, will provide adequate separation from adjacent Baseline Avenue and Citrus Avenue. Streetscape landscaping will occur along the project side of each of these roadways and will include trees, groundcover, and sidewalk installation. In the areas where a roadway does not separate the residential uses from adjacent property, a block wall will be installed and building setbacks will provide separation from these uses. In addition, careful consideration should be given to landscape buffering between the residential areas, commercial-retail uses, and linear park, which will generally include building setbacks and walls. Figure 70 through 72 provide a conceptual depiction of these important landscape interfaces.

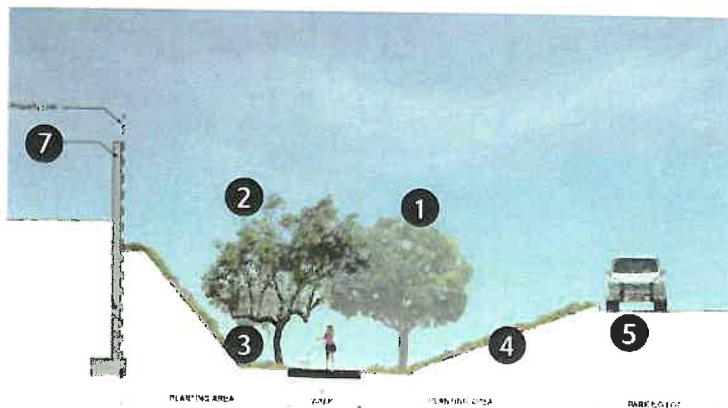
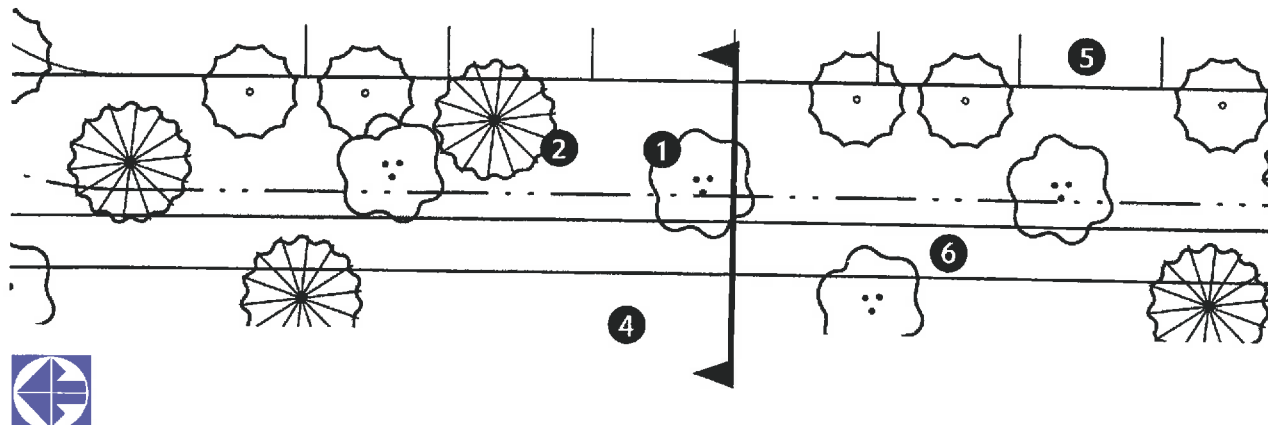
7. PLANT PALETTE

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to PROVIDENCE POINTE. The plant material palette has been selected for its appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material groupings should be designed to minimize water application for the entire landscape setting. Consideration should be given to the location of trees to avoid potential long term problems with tree roots and should be consistent with the City of Fontana landscaping standards. Use of existing plant materials in key areas will be a desired feature of PROVIDENCE POINTE. Figures 73 and 74, *Plant Palette*, provide a listing of plant material identified for use in the streetscapes, entries, and other special areas of PROVIDENCE POINTE. Other species can also be used, subject to the approval by the City of Fontana.

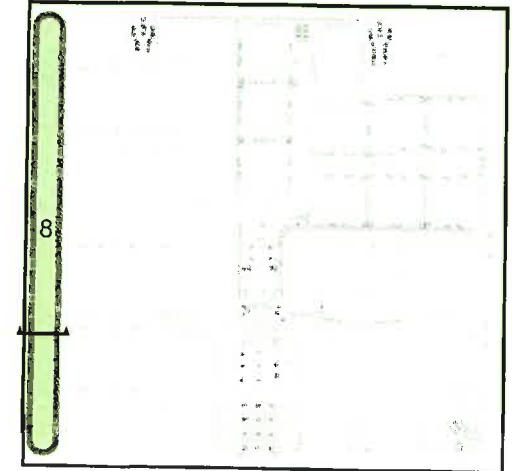
8. WALLS AND FENCES

Walls and fences are visually prominent and can form a unifying element of design. On the other hand, if not properly located and designed, they can be a detriment by providing an overbearing sense of "confinement" with little or no visual relief. While a project without walls may be a desirable objective, it is recognized that walls and fencing cannot be completely avoided for reasons of privacy, public health, safety, and project identity.

The intent of the PROVIDENCE POINTE Specific Plan is to maintain open views and encourage access to public areas within the project. Where walls and fencing are required (e.g., noise attenuation, privacy) or desirable (e.g., entry monumentation and residential buffers), the improvements should be designed and constructed in a manner compatible with the scale, texture, and color of the surrounding environment. Where unavoidable, designs should integrate walls and fences with other site components including signage, structures, and



Key Map



- 1 California Sycamore
- 2 Desert Willow
- 3 Crape Myrtle
- 4 Planting Area
- 5 Street Parking
- 6 Pedestrian Walk
- 7 Existing Wall

Source: *ima design*

Figure 68
Linear Park Concept Plan

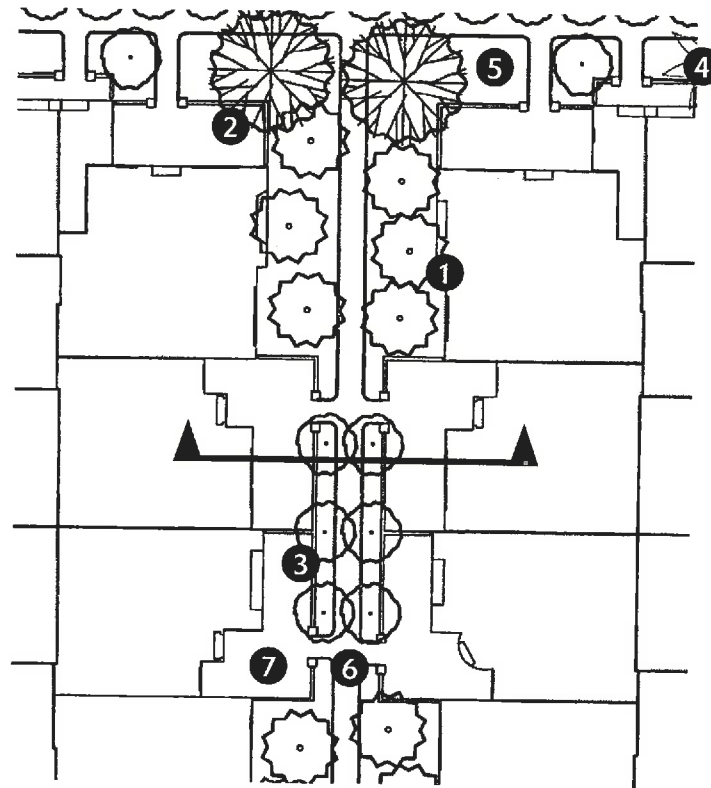


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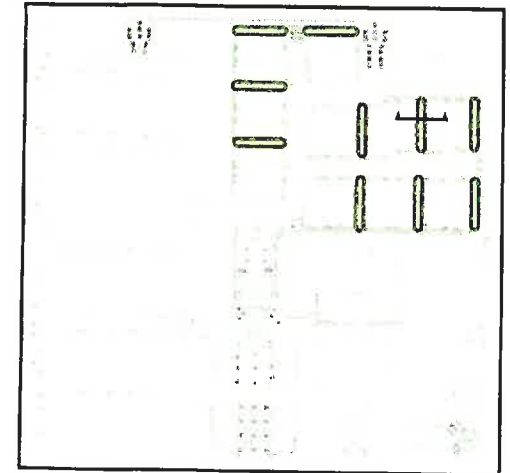


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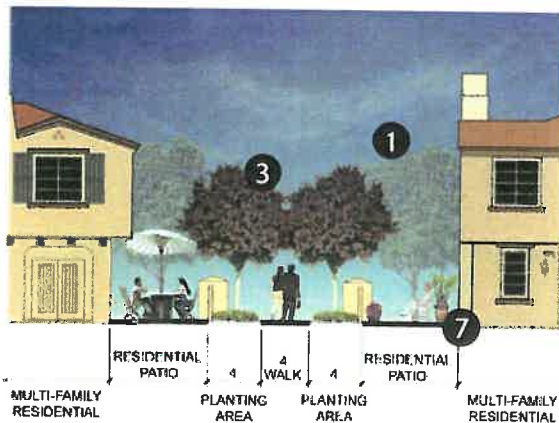
PROVIDENCE POINTE



Key Map



- ① Brisbane Box
- ② Southern Magnolia
- ③ Purple Leaf Plum
- ④ Palm Group
- ⑤ Planting Area
- ⑥ Pedestrian Walk
- ⑦ Private Patio



Source: *ima design*

Figure 69
Multi-Family Residential Paseo Concept Plan

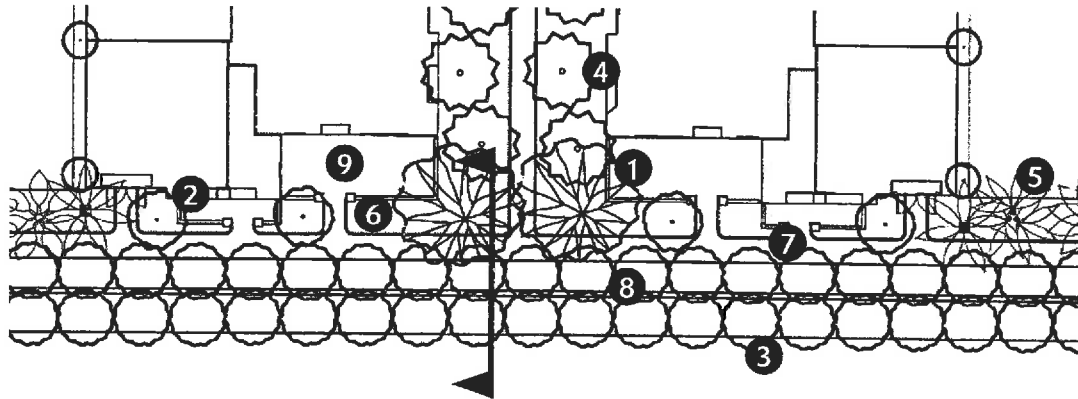


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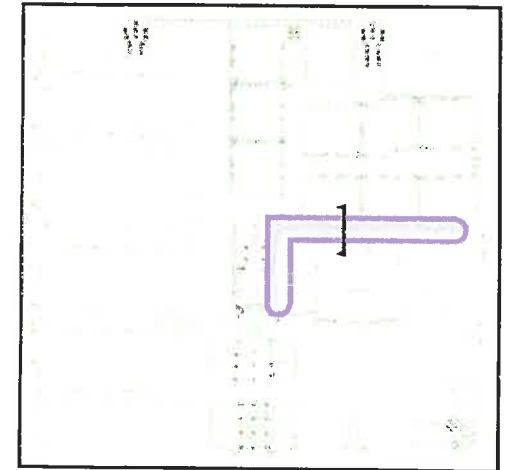


not to scale

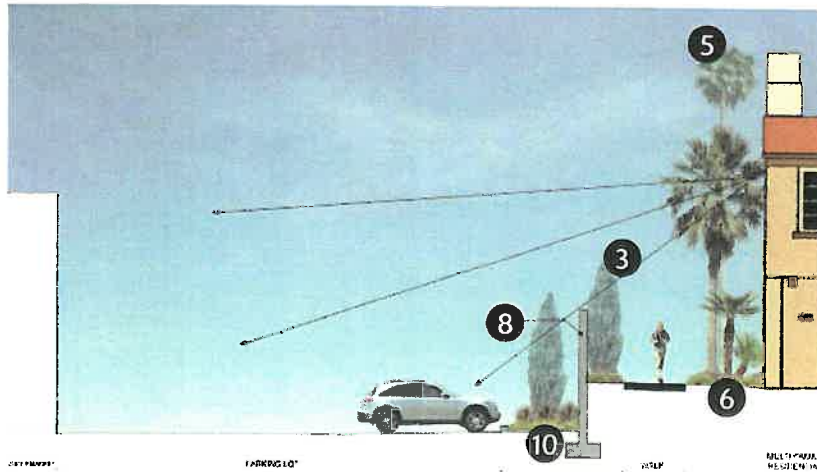
PROVIDENCE POINTE



Key Map



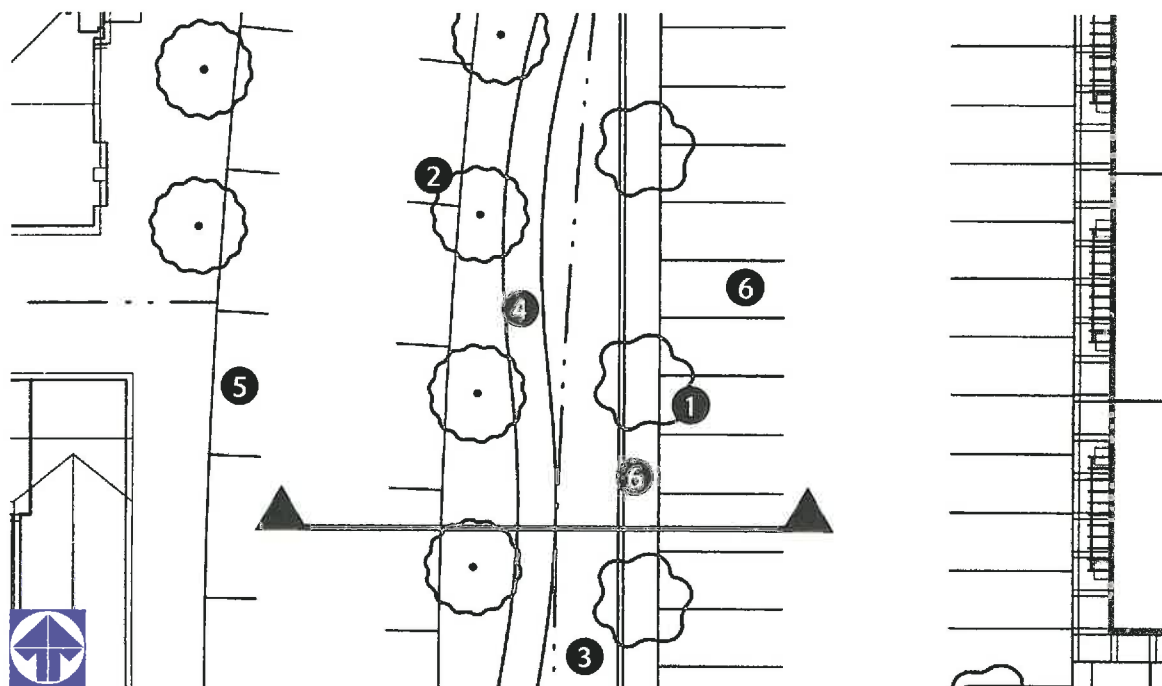
- 1 Southern Magnolia
- 2 Chinese Pistache
- 3 Blue Pyramid Arizona Cypress (Screen)
- 4 Brisbane Box
- 5 Palm Group
- 6 Planting Area
- 7 Pedestrian Walk
- 8 9' Masonry Split Face Block Wall with Cap
- 9 Patio



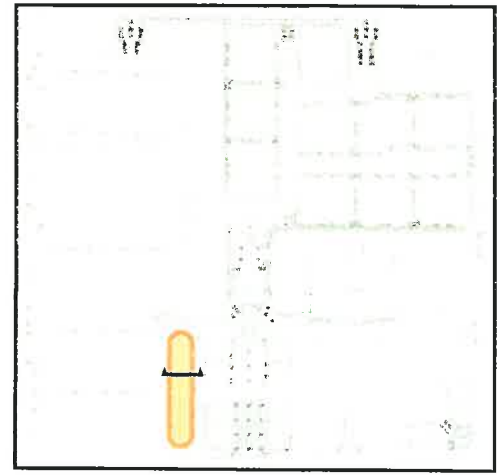
Source: *ima design*

Figure 70
Commercial-Retail / Residential Interface A

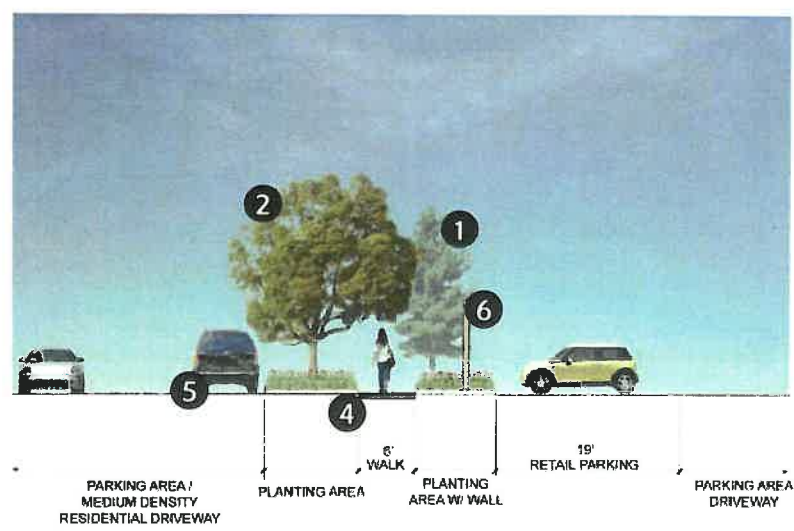




Key Map



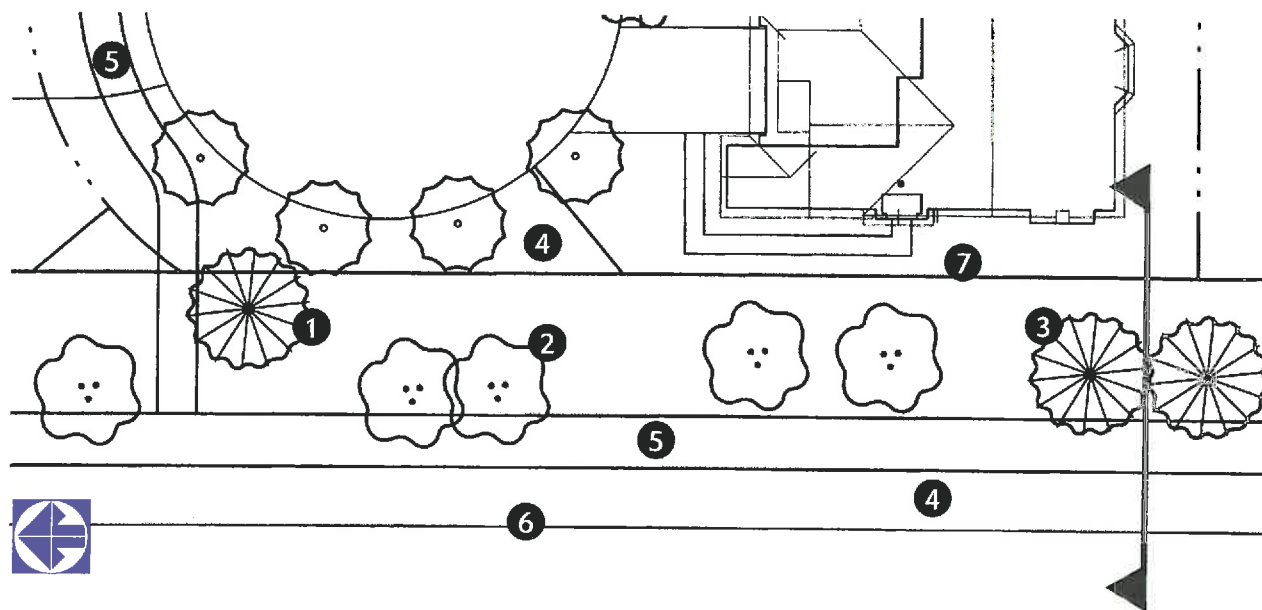
- ① Swan Hill Olive Tree
- ② Camphor Tree
- ③ Planting Area
- ④ Meandering Walk
- ⑤ Street Parking
- ⑥ 9' Masonry Split Face Block Wall with Cap



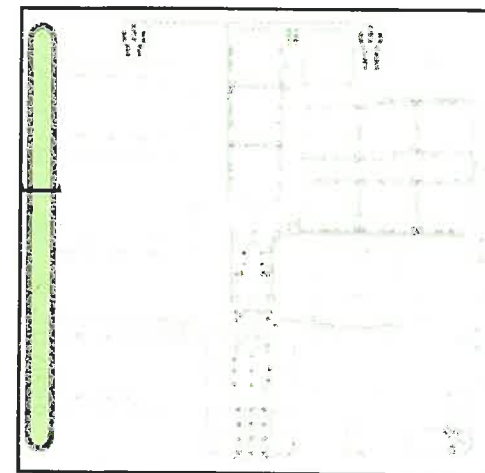
Source: *ima design*

Figure 71
Commercial-Retail / Residential Interface B

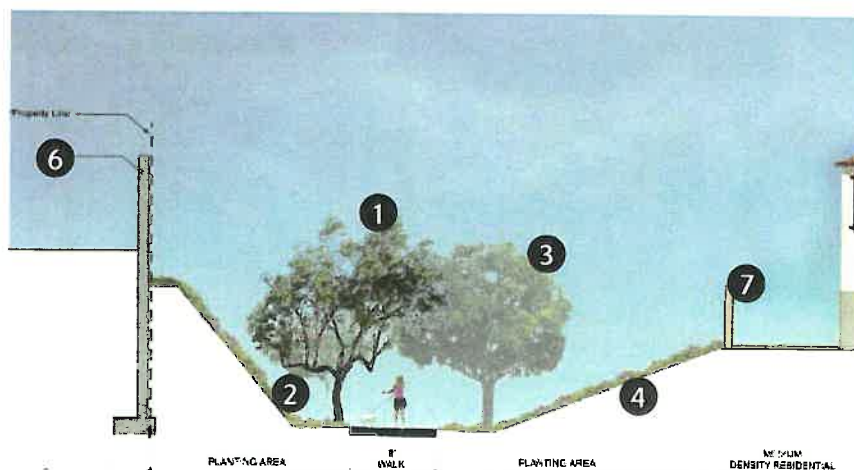




Key Map



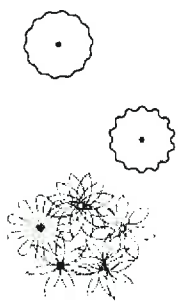

- 1 Desert Willow
- 2 Crape Myrtle
- 3 California Sycamore
- 4 Groundcover and Turf
- 5 Pedestrian Walk
- 6 Existing Wall
- 7 6' Masonry Split Face Block Wall with Cap

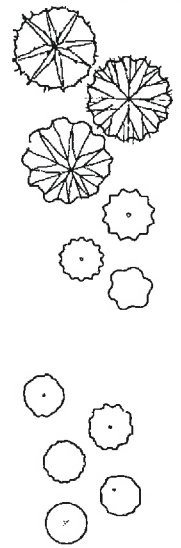


Source: *ima design*

Figure 72
Linear Park/Residential Interface
























	BOTANICAL NAME	COMMON NAME
		
	Cinnamomum Camphora	Camphor Tree
	ALT. Liquidambar styraciflua 'Rotundaloba'	Rotundaloba Sweet Gum
	Podocarpus gracilior	Fern Pine
	Ulmus parvifolia 'Drake'	Evergreen Elm
	Pinus eldarica	Afghan Pine
	Chamaerops humilis	Mediterranean Fan Palm
	Phoenix reclinata	Senegal Date Palm
	Washingtonia robusta	Mexican Fan Palm
	Syagrus romanzoffianum	Queen Palm
	Podocarpus henkelii	Long-Leafed Yellowwood
	ALT. Cupressus sempervirens	Italian Cypress
	Raphiolepis indica	India Hawthorn
	Photinia fraseri	Photinia

	BOTANICAL NAME	COMMON NAME
		
	Schinus molle	California Pepper Tree
	Koelreuteria bipinnata	Chinese Flame Tree
	Magnolia grandiflora	Southern Magnolia
	Lophostemon confertus	Brisbane Box
	Prunus cerasifera	Purple Leaf Plum
	Olea europaea 'Swan Hill'	Swan Hill Olive
	ALT. Geijera Parviflora	Australia Willow
	Prunus cerasifera	Flowering Plum
	Raphiolepis indica	Indian Hawthorn
	Eriobotrya deflexa	Bronze Loquat
	Chitalpa tashkentensis	Violet Chitalpa
	Pistacia chinensis	Chinese Pistache
	Ginkgo biloba	Maidenhair Tree
	Juniperus chinensis 'Torulosa'	Hollywood Juniper

Source: *ima design*

Figure 73
Plant Palette - Sheet A

	BOTANICAL NAME	COMMON NAME		BOTANICAL NAME	COMMON NAME
PERIMETER STREETS			MEDIUM DENSITY RESIDENTIAL DRIVES		
	<i>Quercus virginiana</i> 'Heritage'	Heritage Southern Live Oak		<i>Quercus virginiana</i> 'Heritage'	Heritage Southern Live Oak
	<i>Pinus eldarica</i>	Afghan Pine		<i>Lagerstroemia hybrid</i> 'Tuscarora'	Tuscarora Crape Myrtle
PRIMARY ENTRY			RETAIL PARKING AREA		
	<i>Phoenix dactylifera</i>	Date Palm		<i>Magnolia grandiflora</i>	Southern Magnolia
	<i>Cinnamomum Camphora</i>	Camphor Tree		<i>Cercidium</i> 'Desert Museum'	Desert Museum Palo Verde
SECONDARY ENTRY				<i>Olea europaea</i> 'Swan Hill'	Swan Hill Olive
	<i>Syagrus romanzoffianum</i>	Queen Palm	GREENBELT / PASEO		
	<i>Ligustrum lucidum</i>	Glossy Privet		<i>Chilopsis linearis</i>	Desert Willow
RECREATION AREA				ALT. <i>Lagerstroemia indica</i>	Crape Myrtle
	<i>Rhus lancea</i>	African Sumac		<i>Platanus racemosa</i>	California Sycamore
	ALT. <i>Schinus molle</i>	California Pepper		<i>Podocarpus gracilior</i>	Fern Pine
	<i>Quercus virginiana</i> 'Heritage'	Heritage Southern Live Oak	TURF	ALT. <i>Pinus eldarica</i>	Afghan Pine
	<i>Cupressus arizonica</i> var. <i>glabra</i>	Blue Pyramid Arizona Cypress		<i>Marathon Fescue III</i>	Turf
	Blue Pyramid				

Source: *ima design*

Figure 74
Plant Palette - Sheet B

landscape and hardscape.

Walls and fencing within PROVIDENCE POINTE should reflect an appropriate balance of function and aesthetic quality. All walls and fences within the project should be designed as integral elements of building architecture or complementary to the architecture and landscape character. Walls and fencing will be used to establish identity, provide protection from roadway and other noise, and allow privacy and security in residential areas. Proposed locations for the walls and fences within PROVIDENCE POINTE are depicted on Figure 75, *Wall and Fence Plan*. To the extent possible, existing walls and fences located adjacent to the project site shall be retained and/or improved as necessary. Wall and fence details should be provided for review and approval by the City of Fontana Planning Division as a part of implementing this Specific Plan.

□ **Project Design Standards and Guidelines**

1. Appropriate materials include stone, stone veneer, split face/precision block, tubular steel, concrete, stucco pilasters, wrought iron, vinyl, wood, and glass.
2. Solid walls which are visible from public roadways should incorporate design elements to reduce monotony.
3. The placement of a wall should minimize the visual impact of the wall and maximize its effectiveness as mitigation for noise and privacy.
4. Wall materials and patterns should be compatible with adjacent building materials.
5. Walls should be treated as extensions of structures and use materials and colors complimentary of the overall architectural design.
6. Chain link fencing shall not be permitted.

7. The perimeter fencing of Planning Area 3 (Multi-Family Residential), should be decorative, tubular steel with pilasters and without stoops, wherever sound attenuation is not required.
8. A low-level barrier (i.e., tubular steel fence, or decorative bollards) shall be provided around the tot lot.

6. LIGHTING

The design issue of “lighting” includes street lighting, as well as building and landscape accent lighting, and sign illumination. The following basic principles should be considered in the provision of lighting:

1. Street lights should provide a safe and desirable level of illumination for both motorists and pedestrians without intruding into residential areas.
2. Lighting fixtures should relate to the human scale, especially in pedestrian areas.
3. Lighting and lighting fixtures should complement the design and character of each sub-planning area in which they are placed.
4. All lighting should be pedestrian oriented and friendly but should not be obtrusive or offensive.
5. All street lighting should be decorative and conform to City standards or an approved theme lighting program, and should be approved by the City Engineer.
6. Illuminated entries should consider direct lighting low to the ground and be limited to only the immediate vicinity of the entry.

8. Lighting should be designed to minimize light spillage onto adjacent and nearby properties.
9. Light fixtures should be decorative and located throughout the project, as approved by the City of Fontana Planning Division.
10. Bollard lighting shall be provided in the Linear Park along the western project boundary.



CONCEPTUAL WALL & FENCE SCHEDULE

LEGEND	MATERIAL	HEIGHT
	Existing Wall	-
	Masonry Split Face Block Wall with Cap and Vines	9'
	Masonry Split Face Block Wall with Cap	5'
	CMU Wall with Cap	5'
	Ornamental Iron Fence	6'
	Security Gate	-

Source: *ima design*

Figure 75
Wall and Fence Plan



V. IMPLEMENTATION PLAN

A. INTRODUCTION

This Specific Plan represents a framework of development for the PROVIDENCE POINTE mixed-use master planned development. Implementation of the project requires the approval of numerous additional discretionary entitlements over the life of project build-out. This section sets forth the procedures needed to implement the approved Specific Plan and the procedures required for amendment of the Specific Plan, if necessary. The methods and procedures for implementation and administration of this Specific Plan document are contained in this section.

B. SPECIFIC PLAN ADOPTION

The City of Fontana *Zoning and Development Code* Section 30-15 states that: *"A specific plan may be adopted when it is deemed necessary or desirable to establish a specific plan of land uses and development standards for an area to assist with the implementation of general plan goals."* California Government Code Section 65453 (a) states that: *"A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body."* Therefore, the PROVIDENCE POINTE Specific Plan will be adopted by Ordinance in accordance with City and State policies.

C. SPECIFIC PLAN TERMINATION

If after a period of 60 months from the effective date of this Specific Plan, no actions have been taken by the applicant to develop in accordance with the provisions of this plan, the city, after publishing a concurrent 30 calendar day notice and mailing a 30 calendar day notice

to the applicant, property owner(s), and property owners within 660 feet of the Specific Plan boundaries, may declare the plan null and void. Actions which would demonstrate that the applicant is in the process of developing a plan are the recording of a final tract map or parcel map or the securing of a valid grading or building permit and initiating actual construction such as to qualify vested rights.

D. PHASING PLAN

Development within the community of PROVIDENCE POINTE will be phased in a logical sequence, in response to market demands. Ultimate phasing by recordation of phased final tract maps will be finalized at time of sale to merchant builders based on market demands. Adjustments to the phasing sequence are permitted provided that infrastructure, including roads, utilities, and public facilities, are available to service the phase in question.

E. MAINTENANCE AND FINANCING

Successful operation of maintenance districts and associations are important in maintaining quality in a project area. It is anticipated that maintenance responsibilities for public roadways will be maintained by the City of Fontana through the Public Works Department. Other common project facilities may be divided among a Master Homeowners' Association (HOA), Neighborhood Associations, a Landscape and Lighting Maintenance District (LLMD), and/or similar maintenance mechanisms. Final decisions regarding maintenance entities shall be made at a future stage of project design review and in concert with appropriate agencies.

PROVIDENCE POINTE will institute a comprehensive financing plan for

the development of the proposed master planned mixed-use community. The comprehensive financing plan will utilize both public and private funding mechanisms to generate the capital needed for the implementation and construction of the proposed project. Public funding mechanisms may include assessment districts, Community Facility Districts (CFD), and LLMD.

F. DESIGN REVIEW

PROVIDENCE POINTE will be processed through the City of Fontana's two-part development review process: 1) the Planning Approval process, and 2) the Plan Checking process, as appropriate. The Planning Approval process involves review of plans for zoning compliance and design review (see Chapter 22.48 of the City of Fontana Development Code). Prior to the issuance of grading and building permits which may require approval by the City of Fontana Planning Commission, the project also will be processed through Plan Checking, where a detailed technical review of the working drawings will occur. During this review process, the City will determine whether the drawings are in conformance with this Specific Plan, the Building Code, City Standards, and Conditions of Approval.

G. SUBSEQUENT APPLICATION PROCESS

Approval of the PROVIDENCE POINTE SPECIFIC PLAN indicates acceptance by the City Council of a general framework of development. Part of that framework establishes specific development standards that constitute the zoning regulations for the PROVIDENCE POINTE Specific Plan. It is further anticipated that this Specific Plan will be implemented through a final subdivision map.

It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the development of PROVIDENCE POINTE. Any modifications to the Specific Plan shall occur in accordance with the subsequent application process described in this section.

Modifications to the Specific Plan may occur through two separate processes. The first category, "Substantial Conformance," as defined below, allows for minor changes to the Specific Plan without a public hearing and may be approved by the Community Development Director. All other proposed changes are considered "Formal Amendments" and are required to be reviewed for approval by the Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and standards of the PROVIDENCE POINTE Specific Plan.

Amendments may be requested at any time pursuant to Section 65453(a) of the California Government Code. If the amendment is deemed major by the Director of Community Development, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications, as defined herein, will be processed administratively by the Administrative Review process.

Depending on the nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162.

1. SUBSTANTIAL CONFORMANCE

Upon determination by the Community Development Director for Community and Development Services, certain modifications to the Specific Plan text, graphics, and/or project design may not require a Formal Amendment (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Community Development Director. The Community Development Director shall retain the discretion to refer any such request for modification to the Planning Commission.

- Expansions or reductions of the net acreage covered by a given Planning Area within the Specific Plan by no more than 15% of that stated within this Specific Plan.

- Transfer of up to 10% of the dwelling units in a planning area, provided the maximum unit count for the Specific Plan as a whole does not exceed 205 units.
- Realignment or modifications of streets serving the project, lot lines, easement locations, and grading adjustments.
- Changes to the Phasing Plan, provided infrastructure is available to serve the phase as determined by the City Engineer.
- Modification of design criteria such as architectural details, landscape treatments, fencing, and entry treatments.
- Implementation of additional landscape treatments.
- Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer.
- Changes in utility and/or infrastructure servicing agency for the project.
- Landscape, wall material, wall alignment, and streetscape modifications which are consistent with the design guidelines contained in this Specific Plan as determined by the Planning Division.
- Modifications to Architectural Design Guidelines, such as variation of materials within the particular architectural style and minor variations in colors.
- Revisions to project text and graphics which do not substantially change the intent of the PROVIDENCE POINTE Specific Plan.
- Modifications to architecture, plotting, and unit or building size that have been previously reviewed and approved through the design review process.

- Specific modifications of a similar nature to those listed above, which are deemed minor by the Director of Community Development, which are in keeping with the intent of this Specific Plan and which are in conformance with the City of Fontana General Plan.
- Any other proposed changes that are determined by the Director of Community Development to be minor modifications.

2. FORMAL AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code 65450, *et. seq.* Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include Section 65450, *et. seq.* of the California Government Code and the City of Fontana *Zoning and Development Code*.

3. EFFECTIVE DATE

All Formal Amendments, as defined in this Section and that are adopted by ordinance, shall take effect thirty (30) days after final adoption by the Fontana City Council.

GENERAL PLAN CONSISTENCY ANALYSIS

SUMMARY TO BE INSERTED FROM EIR DOCUMENT