

Coyote Canyon Road Specific Plan
Amendments Added

Amendment #1	Ordinance 1218	May 20 th 1997
Amendment #2	Resolution #2001-89	July 17 th 2001
Amendment #3	Ordinance 1354	July 17 th 2001
Amendment #4	Ordinance 1529	October 10 th 2006

#1
5/20/97

ORDINANCE NO. 1218

AN ORDINANCE OF THE CITY OF FONTANA APPROVING HUNTER'S RIDGE SPECIFIC PLAN AMENDMENT #5 (SPA #96-02) AND DEVELOPMENT AGREEMENT AMENDMENT #3 TO MODIFY THE LANGUAGE WITHIN THE SPECIFIC PLAN AND DEVELOPMENT AGREEMENT TEXT FOR THE CONSTRUCTION OF **COYOTE CANYON ROAD. THE SPECIFIC PLAN AMENDMENT ALSO INCLUDES NEW SPECIFIC PLAN TEXT TO ALLOW METAL PATIO COVERS THAT HAVE THE APPEARANCE OF WOOD STRUCTURES**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

WHEREAS, the City Council has received public testimony on the project and on the environmental analysis and determines that the amendments will not have a significant effect on the environment and a Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act.

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on April 28, 1997, considered Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3; and

WHEREAS, the Planning Commission on April 28, 1997, recommended to the City Council that Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3 be approved; and

WHEREAS, notice of the City Council public hearing concerning the Amendments were given pursuant to the Government Code by publication in the Herald News, a newspaper of general circulation within the City, on April 10, 1997; and

NOW, THEREFORE, be it resolved, determined, and ordered by the City Council of the City of Fontana, as follows:

SECTION 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

SECTION 2. The Hunter's Ridge Specific Plan and Development Agreement is hereby amended to read as per the attached **Exhibit A**:

Land Use

LEGEND

RESIDENTIAL

OF DU

ESTATE RESIDENTIAL		
RE-10000	50	1
SINGLE FAMILY RESIDENTIAL		
R1-7200	273	8
R1-5000	740	13
R1-4500	438	7
MULTI FAMILY RESIDENTIAL		
R3-2500 (TOWNHOUSE)	390	2
R3-1800 (APARTMENTS)	230	1
SUB-TOTAL	2,121	34

NON-RESIDENTIAL

COMMERCIAL (C)
 NEIGHBORHOOD COMMERCIAL

PUBLIC (P)

PARA
 ESTUDAR

ANSWER (C)

IMPROVED
 UNIMPROVED

STREET
NAME

SUB-TOTAL
TOTAL

PLANNING UNIT AREA DATA

1 PLANNING UNIT
R1 4500-ZONING DISTRICT
43.4 AC-MET ACRES
282 DU-MAXIMUM PERMITTED DWELLING UNITS

LETTERS 1 THROUGH 12 FOR SALE PADS
LETTERS 13 THROUGH 16 FOR RECAPTURE OR SALE PAD

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

www.orient.com/price-escalation-test

• ALTA SURVEY BY ROBERT, HORN & FROST, INC.
• J.P. KAPP & ASSOCIATES, INC.

EXHIBIT I-2.

PROPOSED

AMENDED 12/19/95

CITY COUNCIL ORD. NO. 1170

AMENDED 8/2/94

CITY COUNCIL ORD. NO. 1123

GENERAL PROVISIONS MATRIX
(Continued)

<u>Provision</u>	<u>Applicable To</u>
	<u>R C P O</u>

19. Outside Use Areas

X X X

Outside use or display in conjunction with a permitted use is allowed under a conditional permit. Such areas are included in coverage and floor area limitations. Such areas shall be designed and maintained to blend with the overall development and, where necessary, be screened from adjacent residential uses and roadways. Outside use areas shall not be overflow storage facilities. Outside display shall be allowed only during business hours. Limited time "Parking Lot" sales may be permitted by special provision in the conditional permit setting forth frequency; duration; extent; means of accommodating vehicular and pedestrian traffic; and security provisions.

20. Patios

X

Open patio covers shall be permitted within the rear yard setback area for all single-family detached residential units. Open patio covers may encroach into the required rear yards to a depth from the rear property line as follows:

4,500 sq. ft. lots: Five (5) feet*

5,000 sq. ft. lots: Five (5) feet*

7,200 sq. ft. lots: Refer to City's Development Code

10,000 sq. ft. lots: Refer to City's Development Code

* Note: Patio covers can not exceed more than 50% of lot width. Patio covers shall be constructed with support posts only and shall not have any walls (solid, transparent, translucent, lattice or otherwise).

All open patio covers shall be architecturally compatible with residential units and shall be constructed of wood or other similar materials (i.e., open lattice). No plastic or metal patio covers shall be permitted. Only metal patio covers with a clear and distinct wood appearance (this includes wood grain and a thickness to the metal to simulate a standard wooden lattice panel) shall be permitted; all other types of metal patio covers are not permitted.

The standards herein for open patio covers are not applicable to enclosed patio covers or additions (refer to City's Development Code).

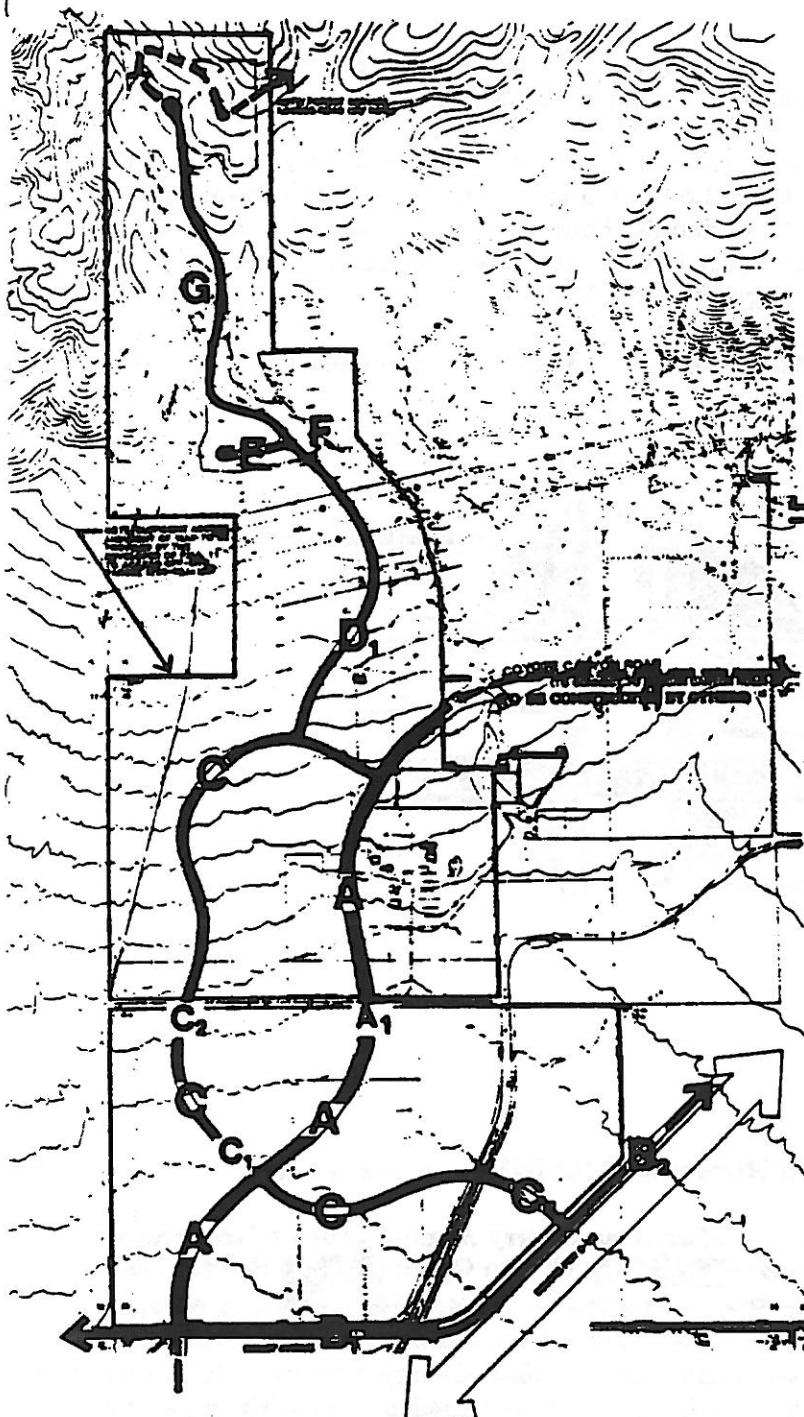
R C P O

II-50

Amended 6/20/95
City Council Ord. No. 1158

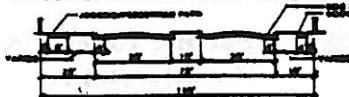
Amended 12/19/95
City Council Ord. No. 1170

PROPOSED



Circulation Plan

A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)

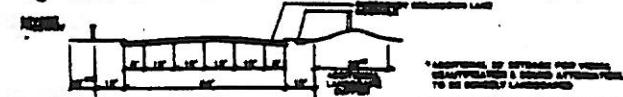


A1 REFER TO PAGE III-9.

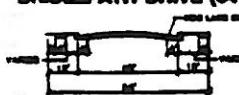
B1 SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



B2 SECONDARY HIGHWAY - DUNCAN CANYON/P-15 (86' ROW)



C BRIDLEPATH DRIVE (84' ROW)

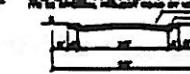


C1 C2 REFER TO PAGE III-9

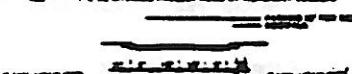
D1 FOXBOROUGH DRIVE (85' ROW)



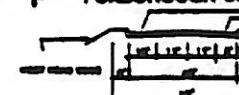
D2 LOCAL ROAD/TYPICAL (86' ROW)



E TRAILHEAD DRIVE (86' ROW)



F FOXBOROUGH DRIVE (88' ROW)



G FOXBOROUGH DRIVE (78' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:

CITY COUNCIL ORDS. NOS. 1123(8/2/94)

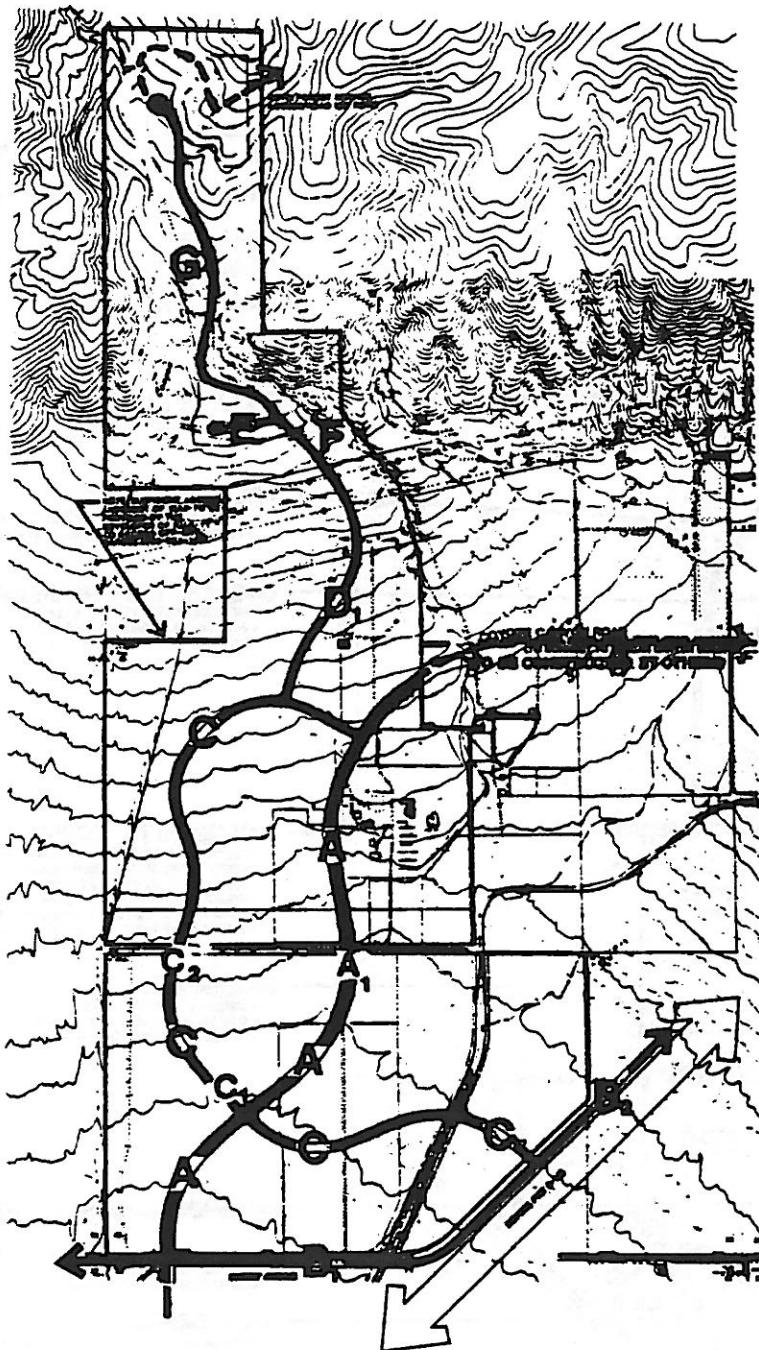
1170(12/19/95)

III-8

PROPOSED

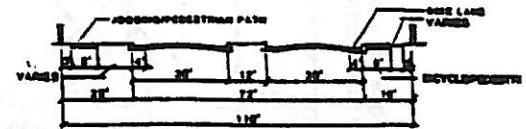


EXHIBIT III

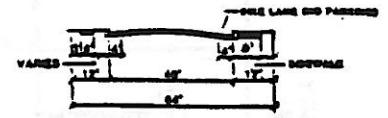


Circulation Plan

A1 MAJOR DIVIDED HIGHWAY CHERRY AVENUE (110' ROW)



C1 BRIDLEPATH DRIVE (64' ROW)



C2 BRIDLEPATH DRIVE (64' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123

PROPOSED

III-9



EXHIBIT III-9A

Land Use

LEGEND

RESIDENTIAL

• OF DU

ESTATE RESIDENTIAL		
<input type="checkbox"/>	RE-10000	50
SINGLE FAMILY RESIDENTIAL		
<input type="checkbox"/>	R1-7200	273
<input type="checkbox"/>	R1-5000	740
<input type="checkbox"/>	R1-4500	438
MULTI FAMILY RESIDENTIAL		
<input type="checkbox"/>	RS-2500 (TOWNHOUSES)	399
<input type="checkbox"/>	RS-1800 (APARTMENTS)	230
		SUB-TOTAL 2,121

NON-RESIDENTIAL

COMMERCIAL (C)

 NEWMARK COMMERCIAL

PAPERS

PARK

1000

Open (o)

卷之三

www

STREETS

1000

SUB-TOTAL
TOTAL

PLANNING UNIT AREA DATA

1 PLANNING UNIT
AMA KENNEDY U
R1 4000 - ZONING DISTRICT
43.4 AC - NET ACRES
2002 BBL - MAXIMUM FLOW

1. **What is the best form of government?**

Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF PONTANA

RECOMMENDED FOR BASIC INFORMATION
• ALTA SURVEY BY ROBERT, BISH &
• SP. BISH & ASSOCIATES, INC.

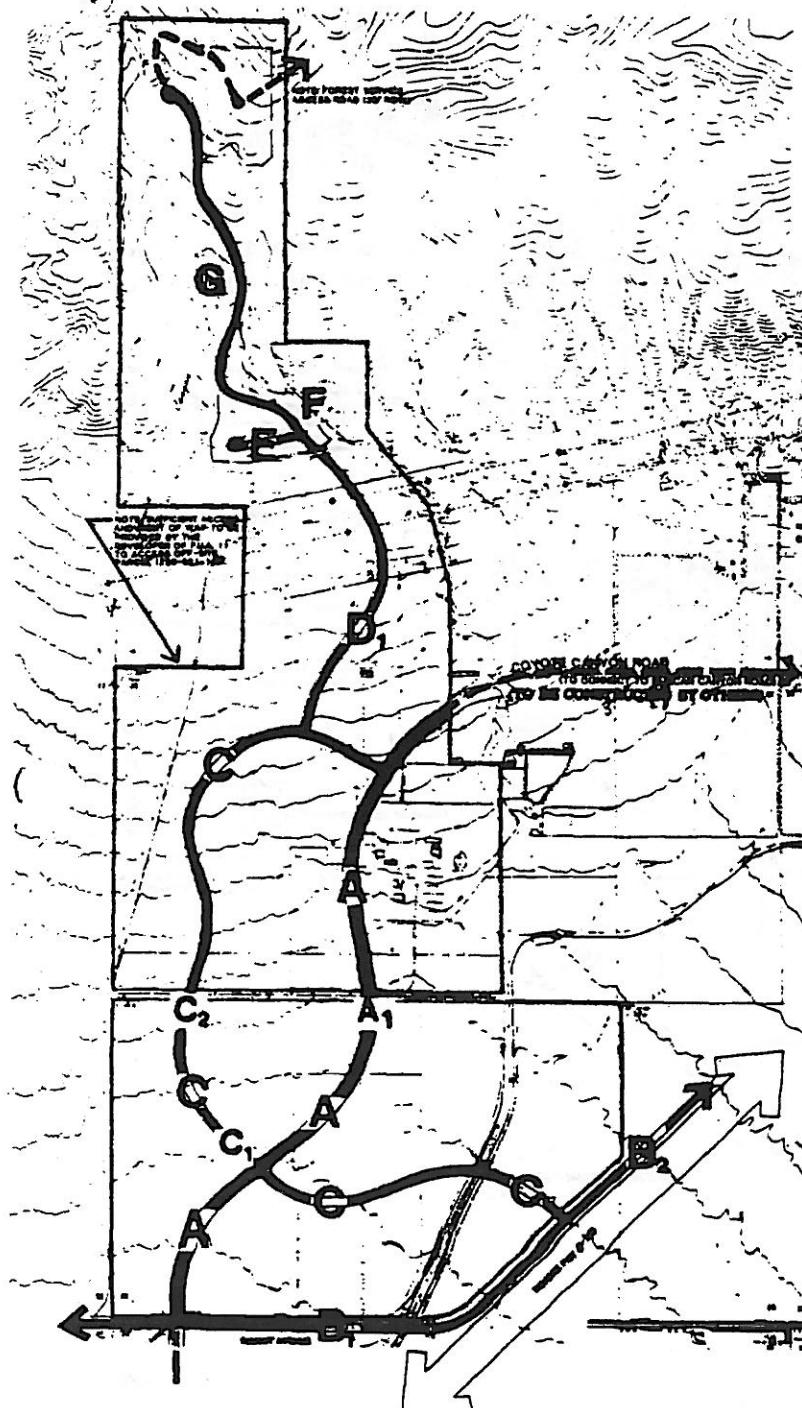


EXHIBIT V-2

PROPOSED

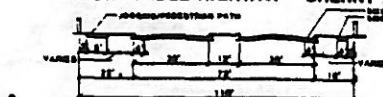
**AMENDED 12/19/95
CITY COUNCIL ORD. NO. 1170
AMENDED 8/2/94
CITY COUNCIL ORD. NO. 1123**

100



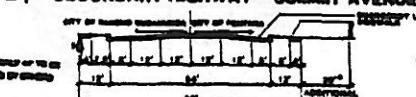
Circulation Plan

A MAJOR DIVIDED HIGHWAY - CHERRY AVENUE (110' ROW)



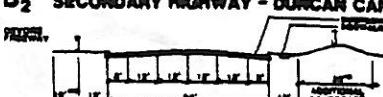
A1 REFER TO PAGE V-16

B1 SECONDARY HIGHWAY - SUMMIT AVENUE (88' ROW)



* ADDITIONAL 20' RETRACE TO BE PROVIDED FOR VISUAL SCREENING

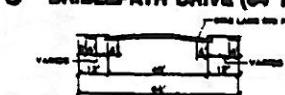
B2 SECONDARY HIGHWAY - DUNCAN CANYON/I-15 (88' ROW)



* ADDITIONAL 20' RETRACE FOR VISUAL BEAUTIFICATION & SOUND ATTENUATION TO BE PROVIDED

** LANDSCAPE TREATMENT FOR FURTHER SCREENING

C BRIDLEPATH DRIVE (64' ROW)

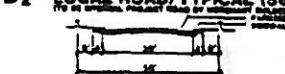


C1, C2 REFER TO PAGE V-16

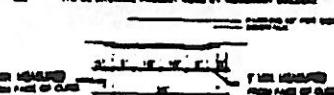
D1 FOXBOROUGH DRIVE (58' ROW)



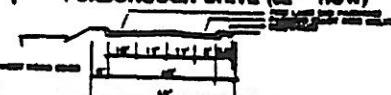
D2 LOCAL ROAD/TYPICAL (56' ROW)



E TRAILHEAD DRIVE (50' ROW)



F FOXBOROUGH DRIVE (52' ROW)



G FOXBOROUGH DRIVE (70' ROW)



Hunter's Ridge

A SPECIFIC PLAN PREPARED FOR THE CITY OF FONTANA

AMENDED:
CITY COUNCIL ORDS. NOS. 1123(8/2/94)
1170(12/19/95)

PROPOSED

V-16

EXHIBIT V

- a. Due to its perimeter location in the northwest corner of the city the project will become a turning point in the city circulation plan. Cherry Avenue is therefore proposed by the General Plan circulation element as both a north-south and east-west connector to create a "loop road" that links Cherry Avenue through the project, ~~across Coyote Canyon Road and 1-15, to Citrus Avenue.~~
- b. Due to its existing rural setting the project roads should also act as a transition from Fontana's flat land suburban communities to the rural and scenic resources provided by the San Gabriel Mountains. This may be accomplished by the modified road sections herein. These roads are intended to provide a rural effect streetscape that will safely carry the cumulative traffic and accommodate emergency pull out needs, while at the same time producing an expanded variable width parkway. A major element of this concept is the incorporation of jogging and pedestrian walkways into the road parkways and utility easements.

3. Circulation Plan Street and Highway Classifications

a. Major Divided Highway - Cherry Avenue (110-foot right-of-way)

Cherry Avenue is proposed as a four lane, divided highway connecting Cherry Avenue through the project to ~~and terminates at~~ Coyote Canyon Road and ~~eventually to Citrus Avenue.~~ Traffic volumes range from 15,000 to a maximum of 27,000 vehicles per day.

The City of Fontana Circulation element, as well as the traffic study for the project (see Hunter's Ridge EIR) identify Cherry Avenue as a secondary highway (88-foot right-of-way). However, due to the desired rural character for the road it is proposed that an enlarged parkway and median be used. This additional width produces a section that is an enlarged secondary highway or a modified divided highway.

The proposed roadway will provide a median and four (4) travel lanes. Bicycle lanes will be provided on both sides of the road (4').

The parkways are intended to vary in width and will be designed to accommodate pedestrian traffic and 8-foot jogging path. (See Open Space and Streetscape Plan for landscape guidelines for this scenic corridor).

2) ~~Coyote Canyon Road: As mentioned above, the extension of Coyote Canyon Road as a two lane facility (from the east property boundary and Cherry Avenue) to Duncan Canyon Road at Lytle Creek Road will provide sufficient roadway capacity to accommodate traffic as the rest of the project is built.~~

~~This road will be constructed over existing natural terrain as a thirty-one feet (31') wide paved half section (two thirteen-foot (13') lanes and a five feet (5') graded shoulder; no curb, gutter, sidewalk or landscaping). Such construction shall serve as a secondary access road and shall be completed prior to issuance of a Certificate of Occupancy for any residential unit in Phase 2. The developer shall coordinate design and construction of the improvements with San Bernardino County and the City. The construction of Coyote Canyon Road as a full public street shall not be the responsibility of the Master Developer.~~

~~NOTE: Overpass improvements on the future Coyote Canyon Road/Duncan Canyon Road at the Devore Freeway: If required by the City, shall be the responsibility of the developers of property within an area of benefit defined by the City, in its discretion; but Hunter's Ridge development shall be exempt from any fees or other exactions in connection therewith.~~

3) **Summit Avenue, East of Cherry Avenue:** This road will be improved by the Master Developer by completing improvements to the northside of Summit Avenue. These improvements include thirty-two feet (32') of paving comprising two twelve-foot (12') travel lanes and one eight-foot (8') parking lane, curb, gutter and sidewalk within twelve-foot (12') of parkway, street lighting and a twenty-foot (20') landscape buffer. The obligations of the Master Developer as set forth herein are in lieu of any other traffic mitigation obligations (including, without limitation, fees) which may be otherwise be imposed by the City. Future requirements for full street improvements to the southside of Summit Avenue, east of Cherry Avenue to the I-15 Freeway, shall not be the responsibility of the Master Developer.

c. Secondary Highway Landscape Treatment (88' R.O.W.)

There are two secondary highways, both of which border the southern borders of the project: Duncan Canyon Road and Summit Avenue. ~~NOTE: A future secondary highway, Coyote Canyon Road, to the northeast, will be partially built by this project (see page V-24 for implementation).~~

1) Duncan Canyon Road and 30' Freeway Buffer:

(See plan and section following).

This area abuts Duncan Canyon Road and the Devore Freeway. The uses along this edge are high density residential and moderate density single family. Sound attenuation may be an issue. The plant materials used will be placed in informal groupings of upright, columnar and canopy trees with evergreen flowering shrubs and a 50-50 ratio of lawn to flowering groundcover below. The following guidelines will apply to this 30' landscape setback zone:

- a) **Landscape Buffer Zone:** A continuous buffer zone of 30 feet in depth will be provided (see following exhibit) and landscaped to soften the freeway edge, highlight the project identity, and shall tie into the scenic corridor treatments. The plant materials chosen will be rural in character and informal.
 - A community theme wall shall be built within the 30' setback to screen residential uses from freeway noises and views.
 - The height of the wall will be 6 feet (unless it is determined by the city that greater height is desired for sound attenuation).
 - A landscaped berm (6 feet maximum height, 2:1 or 3:1 if turfed) will be permitted for sound attenuation and visual screening.
 - Project signage will be allowed if incorporated into this wall or may be freestanding, but shall be limited to:
 - o Identification: project name; name of the adjacent apartment complex, and a consolidated real estate sign (6' x 4') at each end of the buffer zone.
 - o Letter Size: 12" maximum height for project name; and 6" for real estate project signs and apartment. Note: freestanding signs must conform to the Sign Guidelines contained herein.

RECORDING REQUESTED BY:

[Exempt from filing fees pursuant to
Government Code Section 6103]

City of Fontana

WHEN RECORDED MAIL TO:

**The City of Fontana
8353 Sierra Avenue
Fontana, CA 92335
Attn: City Manager**

(Space above for Recorder's Use)

Prior Recording Information:

Document No. 91-402395 recorded
October 22, 1991

Document No. 95-073663 recorded
March 10, 1995

Document No. 96-0027047 recorded
January 25, 1996

AMENDMENT NO. 3 TO DEVELOPMENT AGREEMENT

(HUNTER'S RIDGE)

between

**THE CITY OF FONTANA
a municipal corporation**

and

**FIRST CITY/HUNTER'S RIDGE LIMITED PARTNERSHIP
a California limited partnership**

D. Concurrently with the City's consideration of this Amendment, City is processing a revision to the Specific Plan ("Specific Plan Amendment No. 5") and a negative declaration to the FEIR pursuant to the California Environmental Quality Act ("Negative Declaration"), in contemplation of amending the development concept for Hunter's Ridge in the manner described in this Amendment and that Specific Plan Amendment No. 5. The development concept as thereby modified is sometimes herein referred to as the "Updated Hunter's Ridge Plan".

E. Developer and City have, as of April 4, 1995, executed an Implementation Agreement (referred to herein, as amended August 7, 1995, as the "Implementation Agreement"). Certain provisions of the Implementation Agreement were amended pursuant to Section 5.d of Development Agreement Amendment No. 2.

F. Developer and City have, as of October 30, 1996, executed an agreement entitled "AGREEMENT RESOLVING OUTSTANDING ISSUES AND CHANGING WATER SYSTEM DEVELOPMENT OBLIGATIONS" (herein, the "Water Agreement") amending certain obligations of the City and the Developer in connection with the water delivery system for Hunter's Ridge.

G. Developer has provided a revised traffic study, dated July 5, 1996, to the City, which discusses the improvements to Coyote Canyon Road from the Project to the I-15 freeway contemplated by mitigation provisions of the Specific Plan and the FEIR. The revised traffic study concludes that the Hunter's Ridge project does not cause a capacity deficiency which would necessitate the construction of Coyote Canyon Road.

H. The City Council has found that this Amendment has been adopted pursuant to the authority of Government Code Sections 65864 through 65869.5 applicable to development agreements, and in conformance with all applicable law, is consistent with the City's General Plan and the Specific Plan, and will promote the general welfare and orderly development of the City.

I. City has received waivers and consents from all merchant builders of property in Hunter's Ridge who are not parties to this Amendment agreeing to be bound to changes in the Development Agreement which are entered into by and between City and Developer; therefore, this Amendment shall apply to all property within the Hunter's Ridge Planned Community for which building permits have not been issued as of the date hereof.

7. Notices. All notices required or provided for under this Amendment shall be in writing and delivered in person or sent by certified mail, postage prepaid. Notice required to be given to the City shall be addressed as follows:

Community Development Department
City of Fontana
8353 Sierra Avenue
P.O. Box 518
Fontana, California 92334-0518
Attn: Director of Community Development

Notices required to be given to the Developer shall be addressed as follows:

First City/Hunter's Ridge Limited Partnership
c/o Alper Development, Inc.
11111 Santa Monica Blvd., Suite 500
Los Angeles, California 90025
Attn: Corporate Secretary

A party may change its address by giving notice in writing to the other party and thereafter notices shall be addressed and transmitted to the new address. All notices given hereunder shall be deemed to have been received when personally delivered, or 48 hours after deposit in a United States Post Office registered certified mail, return receipt requested, postage prepaid, addressed as set forth above.

8. Attorneys' Fees. In the event of any action or proceeding, including an arbitration or a reference pursuant to Section 638, et seq., of the Code of Civil Procedure brought by any Party, including a Developer and/or successor Developer, against any other Party or its successor in interest against the other Party or its successor in interest under this Amendment, the prevailing Party shall be entitled to its reasonable attorneys' fees and costs for prosecution, defense, consultation, or advice in such action or proceeding. In addition to the foregoing award of attorneys' fees to the prevailing Party, the prevailing Party in any action on this Amendment shall be entitled to its attorneys' fees incurred in any post-judgment proceedings to collect or enforce the judgment. This provision is separate and several and shall survive the merger of this Amendment into any judgment on this Amendment.

MAPS, PAGES 9 THROUGH 11, INCLUSIVE, RECORDS OF SAID COUNTY ("Alaska's Phase IV Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 5, INCLUSIVE, OF TRACT NO. 14275-4, RECORDED OCTOBER 9, 1996, IN BOOK 263 OF MAPS, PAGES 12 THROUGH 14, INCLUSIVE, RECORDS OF SAID COUNTY ("Alaska's Phase V Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 6, INCLUSIVE, AND LOTS 21 THROUGH 40, INCLUSIVE, OF TRACT NO. 14275-4, RECORDED APRIL 23, 1996 IN BOOK 261 OF MAPS, PAGES 59 THROUGH 62, INCLUSIVE, RECORDS OF SAID COUNTY ("Alaska's Phase VI Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 42, INCLUSIVE, OF TRACT NO. 14271-1, RECORDED OCTOBER 22, 1996 IN BOOK 263 OF MAPS, PAGES 41 THROUGH 46, INCLUSIVE, RECORDS OF SAID COUNTY ("Alaska's Phase I Property"); AND

ALSO EXCLUDING THEREFROM LOTS 1 THROUGH 31, INCLUSIVE, OF TRACT NO. 14275, RECORDED NOVEMBER 21, 1996 IN BOOK 263 OF MAPS, PAGES 67 THROUGH 70, RECORDS OF SAID COUNTY ("Alaska's Phase VII Property").

This space is for the
County Clerk's stamp

PROOF OF PUBLICATION (2015.5 C.C.P.)

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not small than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, To-wit: May 22, 1997.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 22nd day of May 1997.



Signature

City of Fontana Summary of Adopted Ordinance #1218 PO#96-25428

CITY OF FONTANA
FONTANA, CALIFORNIA

SUMMARY OF ADOPTED ORDINANCE NO. 1218

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular meeting scheduled on Tuesday, May 20, 1997, in the City Hall Council Chambers, 8353 Sierra Avenue, said Council adopted Ordinance No. 1218, approving Hunter's Ridge Specific Plan Amendment #5 (SPA #96-02) and Development Agreement Amendment #3 to modify the language within the Specific Plan and Development Agreement text for the construction of Coyote Canyon Road. The Specific Plan Amendment also includes new specific plan text to allow metal patio covers that have the appearance of wood structures.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335

AYES: Mayor Eshleman, Council Members Hooper, Mancha, Nuaim, Roberts

NOES: None.

ABSENT: None

CITY COUNCIL OF THE CITY OF FONTANA

David R. Eshleman, Mayor

Kathy Montoya

City Clerk

Publish: May 22, 1997

FONTANA HERALD NEWS

16920 Spring Street
P.O. Box 549
Fontana, California 92334
Phone (909) 822-2231 Fax (909) 355-9358

7/17/01

A RESOLUTION APPROVING GENERAL PLAN AMENDMENT #00-001, AN AMENDMENT MODIFYING LAND USES IN THE RANCHO FONTANA SPECIFIC PLAN; GENERAL PLAN AMENDMENT #00-006, AN AMENDMENT TO CHANGE THE LAND USE DESIGNATION OF THE NEW PLANNING AREA 11 IN THE SUMMIT HEIGHTS SPECIFIC PLAN; AND GENERAL PLAN AMENDMENT #00-007, AN AMENDMENT TO THE LAND USE POLICY MAP TO CHANGE THE GENERAL PLAN FROM R-E (RESIDENTIAL ESTATES) TO R-PC (RESIDENTIAL PLANNED COMMUNITY) AND MODIFY THE LAND USE ELEMENT FOR THE COYOTE CANYON SPECIFIC PLAN

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on October 23, 2000, June 25, 2001, and May 30, 2001 considered General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 respectively; and

WHEREAS, on October 23, 2000, June 25, 2001, and May 30, 2001, the Planning Commission recommended to the City Council that General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 be approved; and

WHEREAS, Notice of the City Council public hearing concerning General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 was given pursuant to the Government Code by publication in The Herald News, a newspaper of general circulation within the City, on June 28, 2001.

NOW THEREFORE, be it resolved, determined, and ordered by the City Council of the City of Fontana as follows:

Section 1. The General Plan designations for the Rancho Fontana Specific Plan shall be amended per Specific Plan Amendment #00-001 (Rancho Fontana Specific Plan Amendment #7), General Plan Amendment #00-001, and per Attachment A.

Section 2. The General Plan designations for the Summit Heights Specific Plan shall be amended per Specific Plan Amendment #00-005 (Summit Heights Specific Plan Amendment #1), General Plan Amendment #00-006, and per Attachment B.

Section 3. The General Plan designations for the Coyote Canyon Specific Plan shall be per Specific Plan #00-002 (Coyote Canyon Specific Plan), General Plan Amendment #00-007, and per Attachment C.

ORDINANCE NO. 1354

**AN ORDINANCE OF THE CITY OF FONTANA APPROVING ZONE
CHANGE #00-006 AND APPROVING SPECIFIC PLAN #00-002
(COYOTE CANYON SPECIFIC PLAN)**

WHEREAS, Coyote Canyon LLC/Colorado Pacific Construction ("Applicant") has submitted a request for approval of a Zone Change #00-006 and Specific Plan #00-002 (Coyote Canyon Specific Plan), as on file in the Planning Division; and

WHEREAS, the City Council is authorized to adopt zone changes within the City pursuant to Municipal Code; and

WHEREAS, the City Council is authorized to adopt specific plans controlling the development of land within the City pursuant to the Municipal Code; and

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on May 30, 2001, considered Zone Change #00-006 and Specific Plan #00-002 (Coyote Canyon Specific Plan) and recommended that the City Council adopt the Zone Change and Specific Plan (Coyote Canyon Specific Plan); and

WHEREAS, on July 17, 2001 the City Council held a noticed public hearing concerning Zone Change #00-006 and Specific Plan #00-002 (Coyote Canyon Specific Plan); and

WHEREAS, the City Council has reviewed and certified the Environmental Impact Report for the Coyote Canyon Specific Plan and adopted a Statement of Overriding Considerations relative thereto; and

WHEREAS, the City Council has approved General Plan Amendment #00-007 submitted by the applicant, pertaining to certain amendments to the General Plan necessary to ensure the Coyote Canyon Specific Plan's conformance with the City's General Plan.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find Zone Change #00-006 is consistent with the goals and policies of the General Plan.

Section 2. Find and determines that Specific Plan #00-002 (Coyote Canyon Specific Plan) is in substantial compliance with the objectives contained in Fontana Municipal Code and

**AN ORDINANCE OF THE CITY OF FONTANA APPROVING
AMENDMENT NO. 1 TO THE COYOTE CANYON SPECIFIC
PLAN DEVELOPMENT AGREEMENT BETWEEN THE CITY
OF FONTANA, AND CENTEX HOMES.**

**THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, DOES HEREBY
ORDAIN AS FOLLOWS:**

Section 1. The Coyote Canyon Specific Plan Development Agreement is hereby amended as described in the attached **Exhibit "A"** attached hereto and incorporated herein by reference.

Section 2. Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

Section 3. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Herald News, a local newspaper of general circulation, published in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 10th day of October, 2006.

READ AND APPROVED AS TO LEGAL FORM:



City Attorney

Recorded at request of)
Clerk, City Council)
City of Fontana)
When recorded return to)
City of Fontana)
8353 Sierra Avenue)
Fontana, CA 92335)
Attention: City Clerk)
)
)
)
)
)
)

Exempt from Filing Fees Gov. Code section 6103

**AMENDMENT NO. 1 TO THE COYOTE CANYON SPECIFIC PLAN
DEVELOPMENT AGREEMENT**

between

**THE CITY OF FONTANA,
a California municipal corporation**

and

**CENTEX HOMES
a Nevada general partnership**

AMENDMENT NO. 1 TO THE COYOTE CANYON SPECIFIC PLAN DEVELOPMENT AGREEMENT

This Amendment No. 1 to the Coyote Canyon Specific Plan Development Agreement (hereinafter the "**DA Amendment**") is dated September 26, 2006 for reference purposes and amends that certain Development Agreement dated December 7, 2004, between THE CITY OF FONTANA, a California municipal corporation, ("**City**") and CENTEX HOMES, a Nevada general partnership ("**Owner**").

WHEREAS, Owner and the City previously entered into that certain Coyote Canyon Specific Plan Development Agreement (the "**Development Agreement**"), which was approved by the City by its adoption of Ordinance No. 1471 at its meeting of December 7, 2004. The Development Agreement was recorded on January 25, 2005 in San Bernardino County Official Records as Document No. 2005-0056354; and

WHEREAS, Owner and City have agreed to amend Section 7.3.1 of the Coyote Canyon Development Agreement to require Owner to construct the Neighborhood Park by the 450th building permit and have the park completed, accepted and dedicated in fee simple to the City by the 600th building permit ;and

WHEREAS, Owner and City have agreed to amend Section 7.4.3.1 of the Coyote Canyon Development Agreement to amend and change the credit amount for street improvements from \$986,050 to \$1,111,050 against the Congestion Management Program (CMP) Fair Share Contribution for the Coyote Canyon Project, leaving Owner responsible to pay \$124,555; and

WHEREAS, the terms and conditions of this DA Amendment have undergone extensive review by City and the City Council and have been found to be fair, just and reasonable; and

WHEREAS, all of the requirements of the California Environmental Quality Act ("CEQA") have been met with respect to this DA Amendment, and City has reviewed, considered, and certified, concurrent with this DA Amendment, that certain Environmental Impact Report No. SCH 2000091085 ("EIR") and adopted a Statement of Overriding Considerations and a Mitigation Monitoring Plan ("SOC/MMRP") applicable thereto; and

WHEREAS, this DA Amendment is consistent with the Fontana Comprehensive General Plan and Coyote Canyon Specific Plan; and

WHEREAS, all of the aforementioned actions taken and approvals given by City have been duly taken and approved in accordance with all applicable legal requirements for notice, public hearings, findings, votes, and other procedural matters in accordance with Government Code Sections 65864 *et seq.*, Fontana Municipal Code Section 30-101, Fontana Municipal Code Section 21-53, and Resolution 217 (the "Development Agreement Law and Development Agreement Procedures"); and

WHEREAS, pursuant to Fontana Municipal Code Section 21-53, the City Council has found that the project approved by this DA Amendment will be of major significance.

C O V E N A N T S

NOW, THEREFORE, in consideration of the above recitals and of the mutual covenants hereinafter contained and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree to amend the Agreement as follows:

1. DEFINITIONS AND EXHIBITS.

1.1 Definitions. Unless otherwise expressly defined in this DA Amendment, all capitalized terms shall have the meaning ascribed to those terms in the Development Agreement.

2. AMENDMENT.

2.1 Section 7.3.1 of the Development Agreement is hereby amended in its entirety to read as follows:

Section 7.3.1 Neighborhood Park. Owner shall, at its own cost, expense and liability, develop and Dedicate approximately 13.2 acres of the Property as a Neighborhood Park (as identified in the Specific Plan) with those certain improvements identified in Exhibit C attached hereto and incorporated by this reference, in accordance with the plans and specifications to be approved by the City in accordance with Exhibit C hereto, in accordance with the Existing Land Use Regulations, subject to the Reservations of Authority. The final improvements to be installed by Owner shall be consistent in type, extent, quality, and cost with the improvements described on Exhibit C. The Neighborhood Park shall be a public park, open to all members of the public. Prior to the issuance of the 450th building permit for a residential unit in the Project, the Neighborhood Park shall be substantially complete and the maintenance period shall have begun. Prior to the issuance of the 600th building permit for a residential unit within the Project, the Neighborhood Park shall be completed, accepted and Dedicated in fee simple to the City as provided in Section 7.12 and the Infrastructure Phasing Plan.

Notwithstanding the above, the high-rise lights provided for night use of the Neighborhood Park playing field(s) shall be approved by the City and be installed and made operational by the Owner prior to the issuance of any building permit for any residential unit on any lot within Tentative Tract Map Nos. 16325 and 16325-2. Additionally, no building permit shall be issued to any lot within fifteen hundred feet (1500') of the western and/or southern boundaries of the Neighborhood Park Site as established as of the date of this Agreement. This prohibition on the issuance of building permits specifically excludes the issuance of permits for up to twelve (12) model homes (six each in Tentative Tract Map Nos. 16325 and 16325-2), provided that said model homes have been otherwise approved by the Community Development Department.

2.2 Section 7.4.3.1 of the Development Agreement is hereby amended in its entirety to read as follows:

Section 7.4.3.1 Congestion Management Program (CMP) Fair Share Contribution. The Congestion Management Program (CMP) required to be prepared pursuant to the EIR and the Mitigation Monitoring Plan requires Owner to pay a fair share contribution towards circulation improvements in the amount of One Million Two Hundred Thirty Five Thousand Six Hundred Five Dollars (\$1,235,605). Owner is entitled to offset against such amount the sum of One Million One Hundred Eleven Thousand Fifty Dollars (\$1,111,050), representing the agreed upon credit for those Circulation Improvements to be Dedicated to the City in accordance with Section 7.4.1, as well as additional street improvements to the north side of Coyote Canyon Road in the amount of \$125,000 leaving an unsatisfied obligation of One Hundred Twenty Four Thousand Five Hundred Fifty Five Dollars (\$124,555). In satisfaction of this obligation, Owner has paid the sum of Three Hundred Eighty Three Dollars and Ninety Three Cents (\$383.93) at the time of and as a condition to the issuance of a building permit for all 301 residential units within tracts 16352, 16325-1, 16325-2 and 16326 of the Project, for a total of One Hundred Fifteen Thousand Five Hundred Sixty Two Dollars and Ninety Three Cents (\$115,562.93). Owner shall also pay Three Hundred Eight Three Dollars and Ninety Three Cents (\$383.93) per residential unit in TR16290, TR16290-1, and/or TR16290-2, until the residual amount of Eight Thousand Nine Hundred Ninety Two Dollars and Seven Cents (\$8,992.07) has been paid, thereby satisfying the total obligation of One Hundred Twenty Four Thousand Five Hundred Fifty Five Dollars (\$124,555) for the CMP Fair Share Contribution for the Coyote Canyon Project; upon payment of the total obligation, no further CMP fees or contributions will be required for the remainder of residential building permits within TR16290, TR16290-1 or TR16290-2. If, however, Owner has exceeded the amount of Eight Thousand Nine Hundred Ninety Two Dollars and Seven Cents (\$8,992.07) through the payment of fees in TR16290, TR16290-1, and/or TR16290-2 prior to the effective date of the ordinance adopting this DA Amendment, Owner shall be eligible to request a reimbursement for any contribution in excess of Eight Thousand Nine Hundred Ninety Two Dollars and Seven Cents (\$8,992.07).

The per unit figures noted above were calculated based on the assumption that the Project will contain Six Hundred Fifty (650) residential units. If, at full Project build out, Owner has paid, in the aggregate, less than One Hundred Twenty Four Thousand Five Hundred Fifty Five Dollars (\$124,555), then the Owner shall, within thirty (30) days following written demand from the City, pay a sum representing the difference between One Hundred Twenty Four Thousand Five Hundred Fifty Five Dollars (\$124,555), and the actual sums paid to the City pursuant to this Section 7.4.3.1.

3. **NO FURTHER AMENDMENT.** Except as set forth in this DA Amendment, the Development Agreement shall remain in full force and effect and all of the terms and conditions set

4. forth in the Development Agreement shall apply with equal force and effect to the parties hereto.

//
//
//
//
//

IN WITNESS WHEREOF, the parties hereto have executed this DA Amendment on the dates set forth below.

CITY OF FONTANA

By: _____
Kenneth R. Hunt
City Manager

CENTEX HOMES
a Nevada general partnership

By: _____
Debbie Brazill
Deputy City Manager

By: Centex Real Estate Corporation
a Nevada corporation
Managing General Partner

ATTEST:

By: _____
Name: David Hahn
Its: Division President

City Clerk, Fontana

APPROVED AS TO LEGAL FORM:

BEST, BEST & KRIEGER

By: _____
City Attorney

STATE OF CALIFORNIA _____
COUNTY OF _____

On _____ before me, _____ a
Notary Public in and for said county and state, personally appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

(Seal)

STATE OF CALIFORNIA
COUNTY OF _____

On _____ before me, _____ a
Notary Public in and for said county and state, personally appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

(Seal)

STATE OF CALIFORNIA
COUNTY OF _____

On _____ before me, _____ a
Notary Public in and for said county and state, personally appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

(Seal)

STATE OF CALIFORNIA _____
COUNTY OF _____

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Notary Public in and for said county and state, personally appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

STATE OF CALIFORNIA)
COUNTY OF _____)

On _____ before me, _____ a
Notary Public in and for said county and state, personally appeared _____
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s)
is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or
the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature _____

PROOF OF PUBLICATION (2015.5 C.C.P.)

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Friday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, Oct 13, 2006

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 13th day of October

This space is for the
County Clerk's stamp

SUMMARY OF ADOPTED ORDINANCE No. 1529 AFF# 31407

**SUMMARY OF ADOPTED
ORDINANCE NO 1529.**
NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, October 10, 2006, in the City Hall Council Chambers, 8353 Sierra Avenue, adopted Ordinance No. 1529, an Ordinance of the City of Fontana, California, approving Amendment No. 1 to the Coyote Canyon Specific Plan Development Agreement between the City of Fontana and Centex Homes.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

AYES: Mayor Nuaimi, Council Members Roberts, Rutherford, Scialdone, Warren

NOES: None

ABSENT: None

CITY COUNCIL OF THE

CITY OF FONTANA

Mark N. Nuaimi, Mayor

Beatrice Watson

City Clerk

tim

P.O. #800018

Published Oct. 13, 2006

FONTANA HERALD NEWS

16981 Foothill Boulevard, Suite N
P.O. Box 549
Fontana, California 92334
Phone (909) 822-2231 Fax (909) 355-9358

Signature

Resolution No. _____

Page 1 of 2

AUTHORIZATION TO DESTROY PUBLIC RECORDS

I hereby consent to the destruction of the records listed below:

Frank J. Sorialson

Department Head



City Attorney

Administrative Internal Affairs

	<u>Purge Dates</u>
97-008A	12/97 - 06/00
98-004A	09/97 - 03/00
98-008A	11/98 - 05/01
98-009A	10/97 - 04/00
98-010A	01/98 - 07/00
98-011A	11/98 - 05/01

Internal Affairs

94-013	07/95 - 02/01
94-014	08/95 - 03/01
95-010	08/95 - 03/01
95-011	08/95 - 03/01
95-012	08/95 - 03/01
95-013	08/95 - 03/01
95-014	08/96 - 03/01
95-015	08/95 - 03/01
95-016	09/95 - 04/01
95-017	09/95 - 04/01
95-018	10/95 - 05/01
95-019	10/95 - 05/01
95-020	10/95 - 05/01
95-021	10/95 - 05/01
96-001	01/96 - 06/01

Personnel Files

William Clark	10/95 - 04/01
James Coulter	10/95 - 04/01
Robin Deputy	10/95 - 04/01
Richard Dernick	10/95 - 04/01
Ron Dickey	10/95 - 04/01
William Eason	10/95 - 04/01
Steven Fortune	10/95 - 04/01
Harry Goodman	10/95 - 04/01
Marylee Goodman	10/95 - 04/01
Anthony Grossi	10/95 - 04/01
Michael Gunderson	06/95 - 12/00
Chris Hendricks	10/95 - 04/01
Michael Horn	10/95 - 04/01
Robert Kalberg	10/95 - 04/01
David King	10/95 - 04/01
Jean King	10/95 - 04/01
Carlton Larrabee	10/95 - 04/01
Pete Lopez	10/95 - 04/01
Shirley Lorch	10/95 - 04/01
Peter Mayer	10/95 - 04/01
Howard McCoy	10/95 - 04/01
Ellen McNelis	10/95 - 04/01
Roger McGuire	10/95 - 04/01

EXHIBIT "A"

Resolution No. _____

AUTHORIZATION TO DESTROY PUBLIC RECORDS

I hereby consent to the destruction of the records listed below:

Frank J. Sander

Department Head

City Attorney

William Morgan	10/95 - 04/01
Fred Morgan	10/95 - 04/01
Kim Negrete	10/95 - 04/01
Vanita Nelson	10/95 - 04/01
Sandra Osborn	10/95 - 04/01
Carol Patolina	10/95 - 04/01
John Pawluk	10/95 - 04/01
Pat Pierzina	10/95 - 04/01
Ken Pierzina	10/95 - 04/01
Paul Petty	10/95 - 04/01
Richard Quiroz	10/95 - 04/01
Sergio Reynosa	10/95 - 04/01
Linda Rohs	10/95 - 04/01
Dale Rohs	10/95 - 04/01
Steve Rudder	10/95 - 04/01
Charles Serrano	10/95 - 04/01
Robert Thomas	10/95 - 04/01
Merry Thy	10/95 - 04/01
Ronald Thy	10/95 - 04/01
Kris Torrey	10/95 - 04/01
John Valencia	10/95 - 04/01
Ken Walston	10/95 - 04/01
Michael Westfall	10/95 - 04/01
Manford Willoughby	10/95 - 04/01
William Wright	10/95 - 04/01

Terminated Backgrounds

Kay Anderson	03/98 - 03/01
Terrina Arroyo	03/98 - 03/01
Sheila, Bergee	05/98 - 05/01
Manuel Bostock	11/97 - 11/00
Kathleen Dobyns	05/98 - 05/01
Kelly Donoghue	04/98 - 04/01
Brian Eckert	01/97 - 01/00
Karen Garrett	05/98 - 05/01
Jorge Hernandez	04/97 - 04/00
Yvette Jackson-Earl	03/98 - 03/01
Gregory Jones	05/97 - 05/00
Jason King	12/96 - 01/00
Bonnie Mitchell	03/98 - 03/01
Mary Murrillo	08/97 - 02/00
Patrick Njiland	05/98 - 05/01
Clara Ortiz	08/97 - 02/00
Alyssa Platt	02/98 - 02/01
Angel Rice	04/98 - 04/01
Christian Talavera	12/97 - 06/00
Michelle Tuosto	03/98 - 03/01
Brandy Watkins	03/97 - 03/00
Rafael Ward	06/98 - 06/01
Dana Williams	03/98 - 03/01
Jonathan Woods	03/98 - 03/01

EXHIBIT "A"

Coyote Canyon Specific Plan

Prepared for:

City of Fontana

8353 Sierra Avenue, Fontana, California 92335

Mayor : David Eshelman

Mayor Pro-Tem: John B. Roberts

City Council: Josie Gonzales, Mark Nuami and Janice Rutherford

Community Development Director: Frank Schuma

Planning Manager: Debbie Brazill

Contact Person: Craig L. Bruerton, AICP, Principal Planner

Coyote Canyon Specific Plan

Developed by:

Coyote Canyon, LLC

16027 Brookhurst Street, Suite G-251, Fountain Valley, California 92708

① (714) 839-0850

Contact Person: Steven Stewart

Prepared by:

The AEI●CASC Companies

937 South Via Lata, Suite 500, Colton California 92324

① (909) 783-0101

Contact Person: Ric Stephens, Planning Director

Susan Stoltenberg, Senior Planner

Coyote Canyon

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Riverside, CA 92507
Phone/fax (909) 686-1141

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Coyote Canyon

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Coyote Canyon

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Coyote Canyon

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I. Executive Summary

Coyote Canyon

I. Executive Summary

Introduction

This document contains the necessary information to implement the Coyote Canyon Specific Plan.

The Coyote Canyon Specific Plan site includes 283 acres. It is located in the City of Fontana between the Hunter's Ridge Specific Plan on the west and the I-15 Freeway on the east. (See Figure I-1)



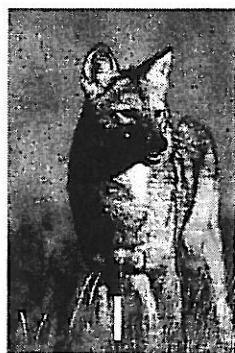
Executive Summary

The Coyote Canyon Specific Plan can be summarized as follows:

- The project maximum number of dwelling units will be 660 on 283 acres for an overall density of 2.3 dwelling units per acre.
- The project will provide a variety of housing types and lot sizes ranging from seven thousand two hundred square foot (7,200 sf) lots to ten thousand square foot (10,000 sf) lots and unit sizes ranging from a minimum two thousand one hundred square feet (2,100 sf) to approximately four thousand square feet (4,000 sf) or above.
- There will be 16.0 acres of park area consisting of 13.6 acres for active play/community facilities, plus 2.4 acres for a passive park nature trail and preservation area.
- Coyote Canyon provides 40.6 acres for flood control facilities.
- The project is designed to address the desire by the City to provide higher end housing and preserve the site's natural features as much as possible (drainages, open space, public easements, trails) while introducing amenities such as an active play area and connections to the regional trails. The project will

provide a continuation of the Hunter's Ridge streetscape character through the use of landscaping, complimentary to the Hunter's Ridge palette. However, Coyote Canyon will have a more rural look and feel to it.

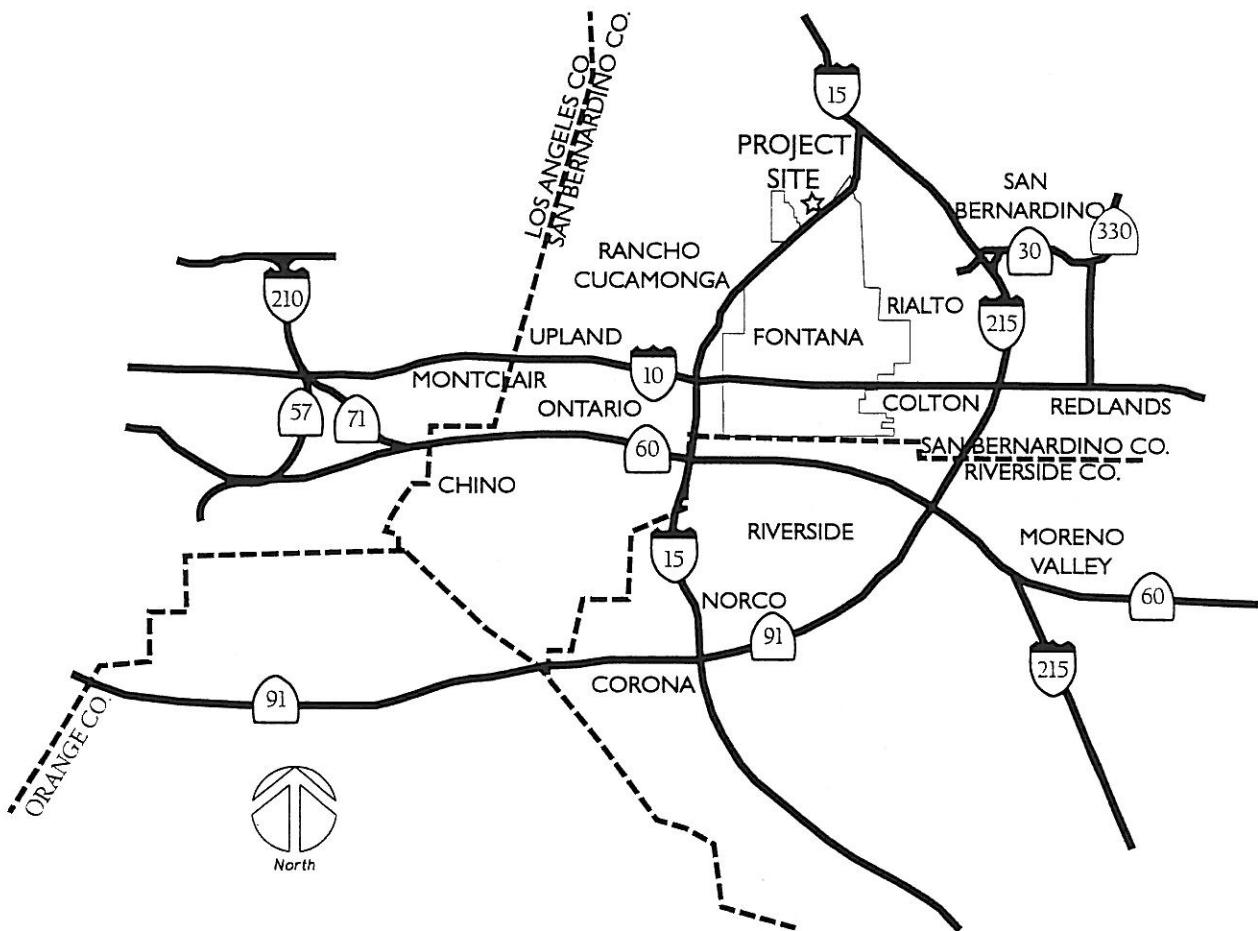
Coyote Canyon will provide the City of Fontana with upscale housing products and neighborhoods.



Executive Summary

Regional Location

Figure I-1



II. Introduction

Coyote Canyon

II. Introduction

1. Background

The project site is located in the City of Fontana adjacent to the Hunter's Ridge Specific Plan on the west and the I-15 Freeway on the east. The development area is from the I-15 Freeway northward to the south side of the Southern California Edison property (SCE) that runs along the base of the San Gabriel Mountains. North of the Cherry Avenue extension/ Coyote Canyon Road, the project lies between Hunter's Ridge on the west and Roadrunner Road on the east.

2. Purpose and Authority / Intent

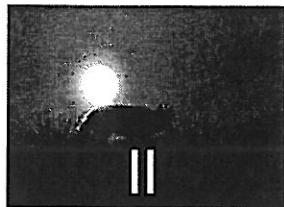
The City of Fontana's Zoning and Development Code Sections 30-61 and 30-62 state the purpose and intent of specific plans within the City of Fontana. The Development Code will act as a supplement for those areas and issues not covered by the Specific Plan regulations in the areas of administration, review procedures, environmental review, and parking regulations. The Specific Plan contains the necessary detailed development and design regulations and implementation programs, which will provide for an orderly development of the project site. The Specific Plan will serve as a regulatory document for proposed development plans. Tentative maps submitted within the project area must be consistent with the Specific Plan's Development and Design Regulations in order to obtain approval.

California Government Code Section 65450 et seq grants local planning agencies the authority to prepare Specific Plans for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the General Plan. A Specific Plan is designed to address site specific issues such as existing on-site conditions relative to topography and existing environmental concerns, site design and layout, including setbacks and visual appearance, as well as circulation, utility provisions, and infrastructure financing alternative.

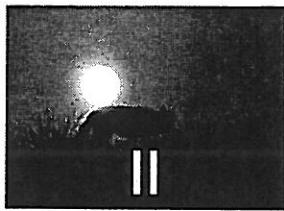


Introduction

The California Government Code establishes the authority and procedures to adopt the Specific Plan; identifies the required contents of a Specific Plan; mandates consistency with the General Plan; and also mandates consistency of any future projects or zoning ordinance amendments with the Specific Plan.



Introduction



3. CEQA Guidelines

The Environmental Impact Report (EIR) addresses potential environmental impacts of the Specific Plan for the Coyote Canyon project in the City of Fontana.

The California Environmental Quality Act (CEQA) requires that all state and local governmental agencies consider the environmental consequences of projects of which they have discretionary authority. The Draft EIR is prepared to satisfy CEQA, as set forth in Public Resources Code Section 21000, et.seq., the State CEQA Guidelines, 14 California Administrative Code Section 15000, et.seq. The EIR is the public document designed to provide local and state governmental agency decision-makers with an analysis of environmental effects of the proposed project, to indicate possible ways to reduce or avoid environmental damage through mitigation measures and identify potential alternatives to the project which may render a reduction of environmental impacts as compared to the proposed project. The EIR also must disclose significant environmental impacts that cannot be avoided; growth-inducing impacts; effects not found to be significant; and significant cumulative impacts of all past, present and reasonably foreseeable future projects.

Introduction

III. Specific Plan Overview

Coyote Canyon

III. Specific Plan Overview

I. Location and Setting

The project is located in the northern end of the City of Fontana, east of Hunter's Ridge and west of the I-15 Freeway. (See Figure III-1) Access is provided to the site from the extension of Cherry Avenue from the Hunter's Ridge Specific Plan development and from Duncan Canyon Road over-crossing of the freeway, which also runs along the east side of the project area. The development area extends from the I-15 Freeway northward to the south side of the Southern California Edison property (SCE) that runs along the base of the San Gabriel Mountains. North of the Cherry Avenue extension, the project area encompasses the area between the Hunter's Ridge Specific Plan development and a dirt road identified as Roadrunner Road, which provides access to several rural residential properties.

The site is vacant and located at the base of the San Gabriel Mountains. Most of the site is relatively flat with slopes less than ten percent for the proposed development area. To the north of the project are frontal slopes which are dissected by several small drainages, four of which continue into the development area. These drainages will be preserved and/or channelized and flow into the Rich Detention Basin located in the southwest corner of the site.

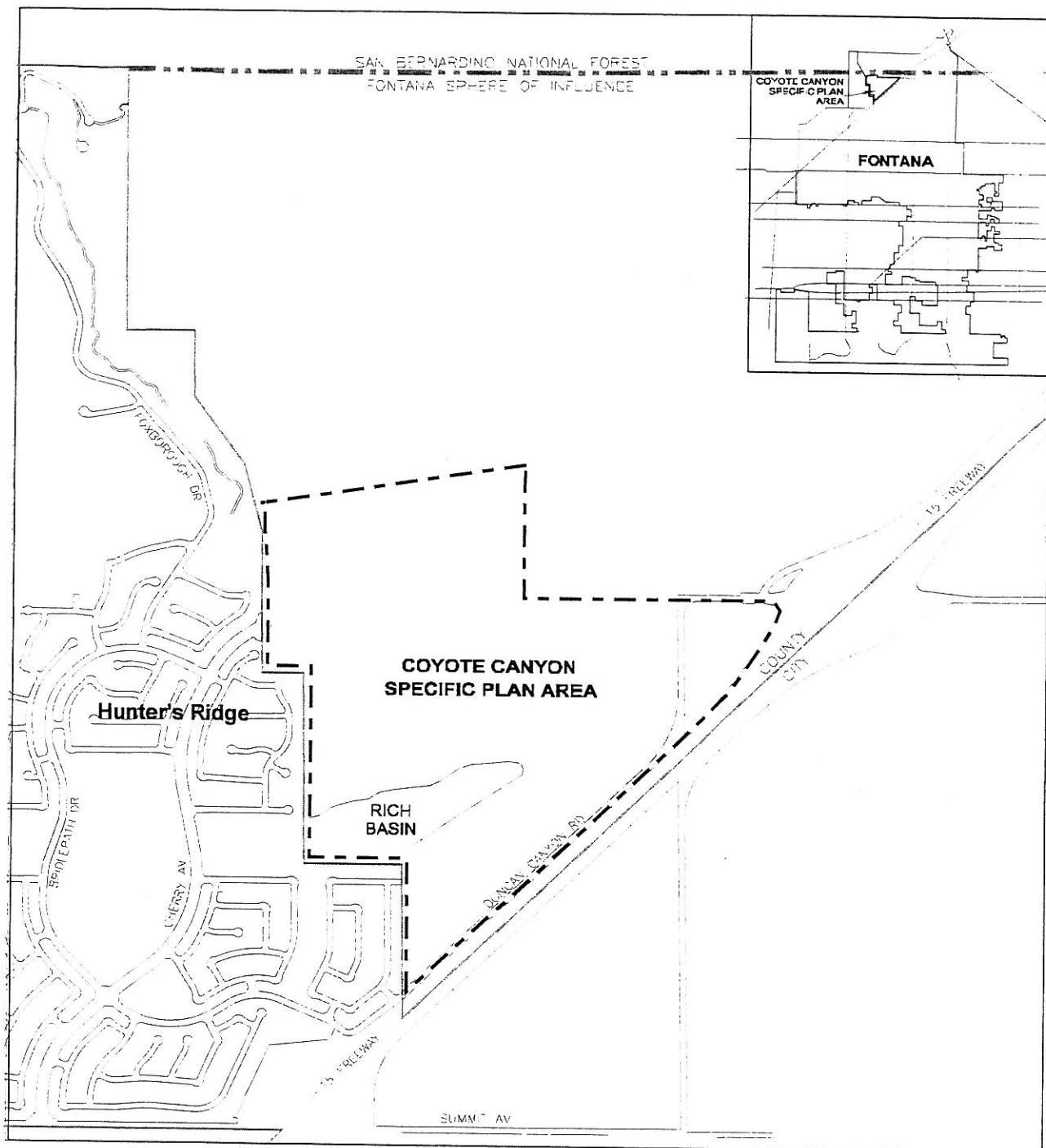
The proposed project area is zoned Residential Estate (R-E), and Resource Area Open Space (OS-R) See Figure III-2. The annexation of this property will even out the City boundaries and include within the City a major circulation link with the extension of Cherry Avenue to Duncan Canyon Road. The adjacent Hunter's Ridge project on the west of the project area has four thousand five hundred square feet (4,500 sf) minimum lots adjacent to the project in the Rich detention basin area and five thousand square feet (5,000 sf) minimum lots adjacent to the project south of Cherry Avenue. North of Cherry Avenue, the Hunter's Ridge project has seven thousand two hundred square feet (7,200 sf) lots. Northeast of the project are several rural Residential uses on 1.5 acre and



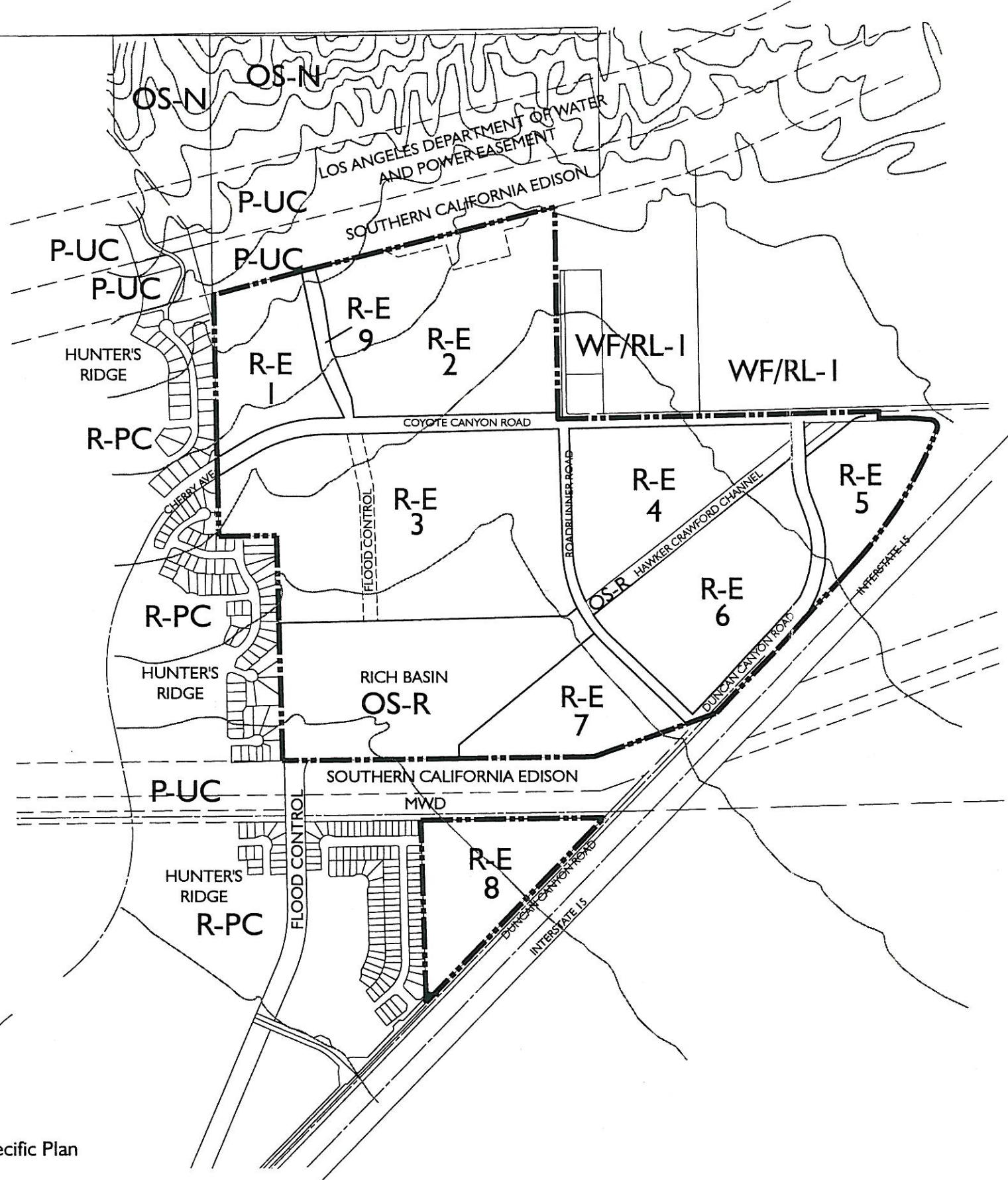
Specific Plan Overview

Vicinity Map

Figure III-1



Coyote Canyon Specific Plan
City of Fontana



Existing General
Plan Designations
Figure III-2

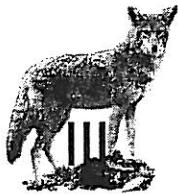
- R-E (Residential Estates)
- R-PC (Residential Planned Community)
- OS-R (Open Space - Resource Area)
- OS-N (Open Space - Natural Area)
- P-UC (Public Utility Corridor)
- WF/RL-I (Floodway, Rural Living I unit/Ac.)

larger lots. The project proposes residential land uses compatible with Hunter's Ridge. See Figure III-3

2. Project Summary

Coyote Canyon consists of a detached single-family residential community on 283 acres. This project has an overall gross density of two point three dwelling units per acre (2.3DU/ac). Lot sizes are seven thousand two hundred square feet (7,200 sf), eight thousand five hundred square feet (8,500 sf) and ten thousand square feet (10,000 sf).

A total of 56.6 acres of open space is proposed. An active park/community facilities area is proposed along the southside of Coyote Canyon Road east of Duncan Canyon Road in Planning Area 5. A passive park riparian woodlands open space area with walking trails will extend from north of the Cherry Avenue extension/Coyote Canyon Road providing access to the "frontline trail" regional trails system and the Hunter's Ridge Wilderness Park. Flood control facilities make up additional open space area on site.



Specific Plan Overview

IV. Specific Plan Elements

Coyote Canyon

IV. Specific Plan Elements

1. Introduction

Coyote Canyon is a Master Planned Residential Community that intertwines residential and open space/park lands together. Trails in the project will provide access to the regional trails system from the passive park area and from the multi-purpose trail along Roadrunner Road. In addition, the nature trail within the passive park will provide access to the Hunter's Ridge wilderness park. The active park/community facilities area will provide much desired multi-purpose field facilities to the City. The Coyote Canyon master plan will provide the public facilities and improvements necessary to support the project.

2. Land Use Plan

The land use plan proposed in the Coyote Canyon Specific Plan provides a comprehensive master plan for the development of a 283-acre site which addresses the goals and objectives of the City of Fontana's General Plan. The land use plan for Coyote Canyon (see Figure III-2) is designed to integrate the proposed project with existing development and open space as described in the Land Use Summary Table IV-1. See Table IV-1 on the following page.



Specific Plan
Elements

Table IV-1
Coyote Canyon Statistical Summary

Land Use	Planning Area	Acres	Density Range	Target Dwelling Units
Residential - Single Family Detached				
8,500 S.F. - RPC	1	16.6	2 - 4 DU's/Ac.	50
10,000 S.F. - RPC	2	41.6	2 - 4 DU's/Ac.	107
8,500 S.F. - RPC	3	60.1	2 - 4 DU's/Ac.	186
8,500 S.F. - RPC	4	23.7	2 - 4 DU's/Ac.	76
7,200 S.F. - RPC	6	28.3	2 - 4 DU's/Ac.	111
7,200 S.F. - RPC	7	15.5	2 - 4 DU's/Ac.	61
7,200 S.F. - RPC	8	17.2	2 - 4 DU's/Ac.	69
Subtotal		203	3.3 DU's/Ac.	660
Open Space/Circulation				
Active Park/CF	5	13.6		
Passive Park	9	2.4		
Flood Control		40.6		
Roads		23.7		
Subtotal		80.3		
Total		283.3	2.3 Av.DU's/Ac.	660



Specific Plan Elements

A. Residential Uses Planning Areas

The Residential land uses and local streets within the project total 203.0 acres. Coyote Canyon is a single family detached residential project. The homes will be designed with a mix of product types. There will be a range of lot sizes from a minimum of seven thousand two hundred square feet (7,200 sf) lots to ten thousand square feet (10,000+ sf) lot sizes. The residential unit sizes anticipated for this project will range from a minimum of two thousand one hundred square feet (2,100 sf) to approximately four thousand square feet (4,000 sf) or more. The residential areas are all zoned R-PC (Residential Planned Community).

Planning Areas 6, 7 & 8

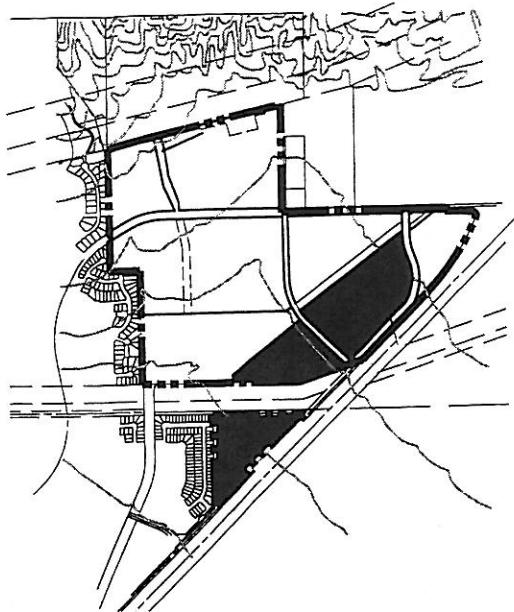
Planning Areas 6, 7 & 8 contain seven thousand two hundred square feet (7,200 sf) single family detached residential areas on 61.0 acres located in the southern and eastern portions of the project along the I-15 corridor. (See figure IV-1) The density of these planning areas will have an average density of 3.9 dwelling units per acre, with a maximum of 241 dwelling units.

Planning Areas 1, 3 & 4

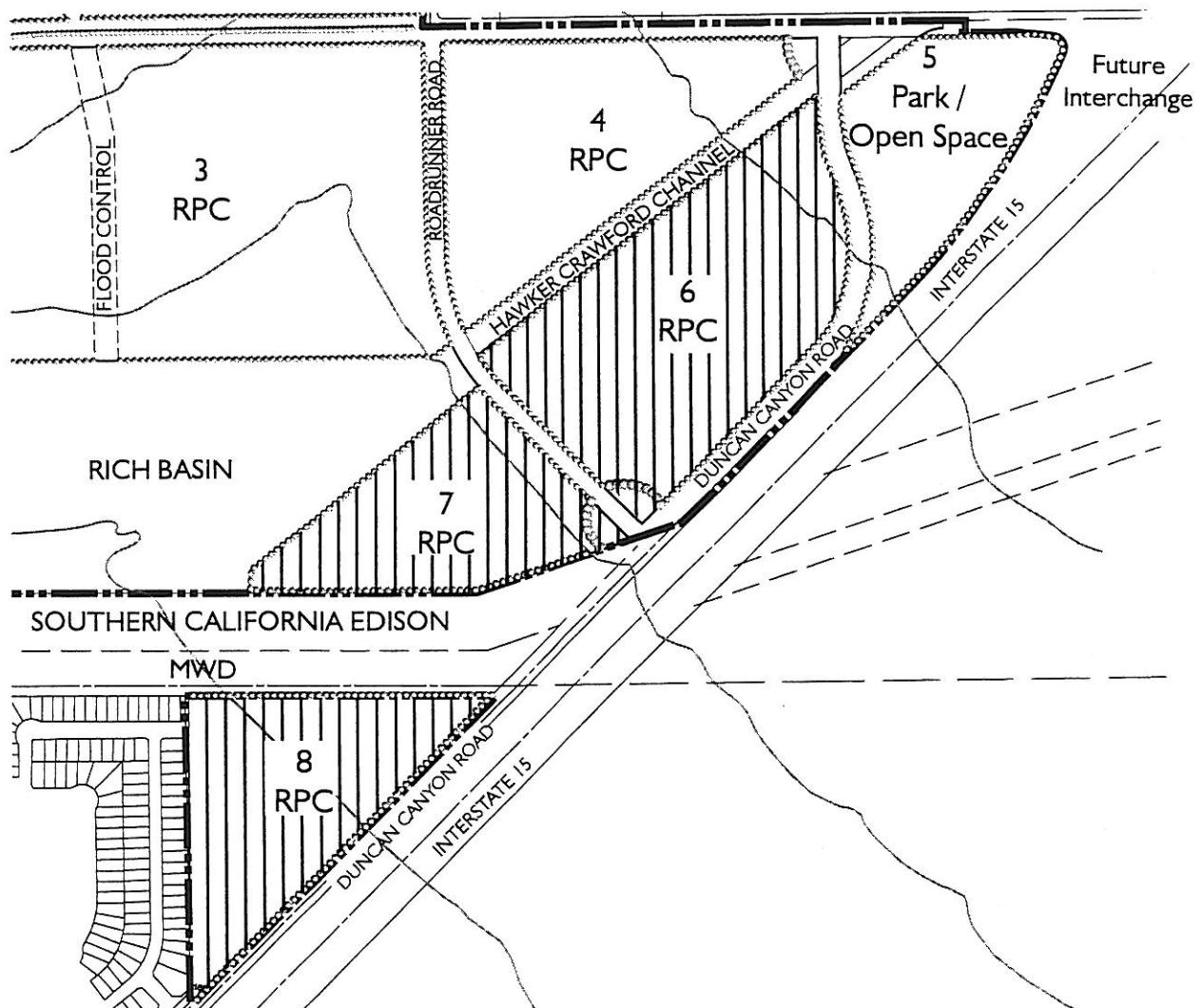
Planning Areas 1, 3 & 4 are eight thousand five hundred square feet (8,500 sf) single family detached residential neighborhoods. These neighborhoods are located on 100.4 acres with a density an average density of 3.1 dwelling units per acre for a maximum of 312 dwelling units. These areas make up the internal planning areas of the project. (See Figure IV-2)

Planning Area 2

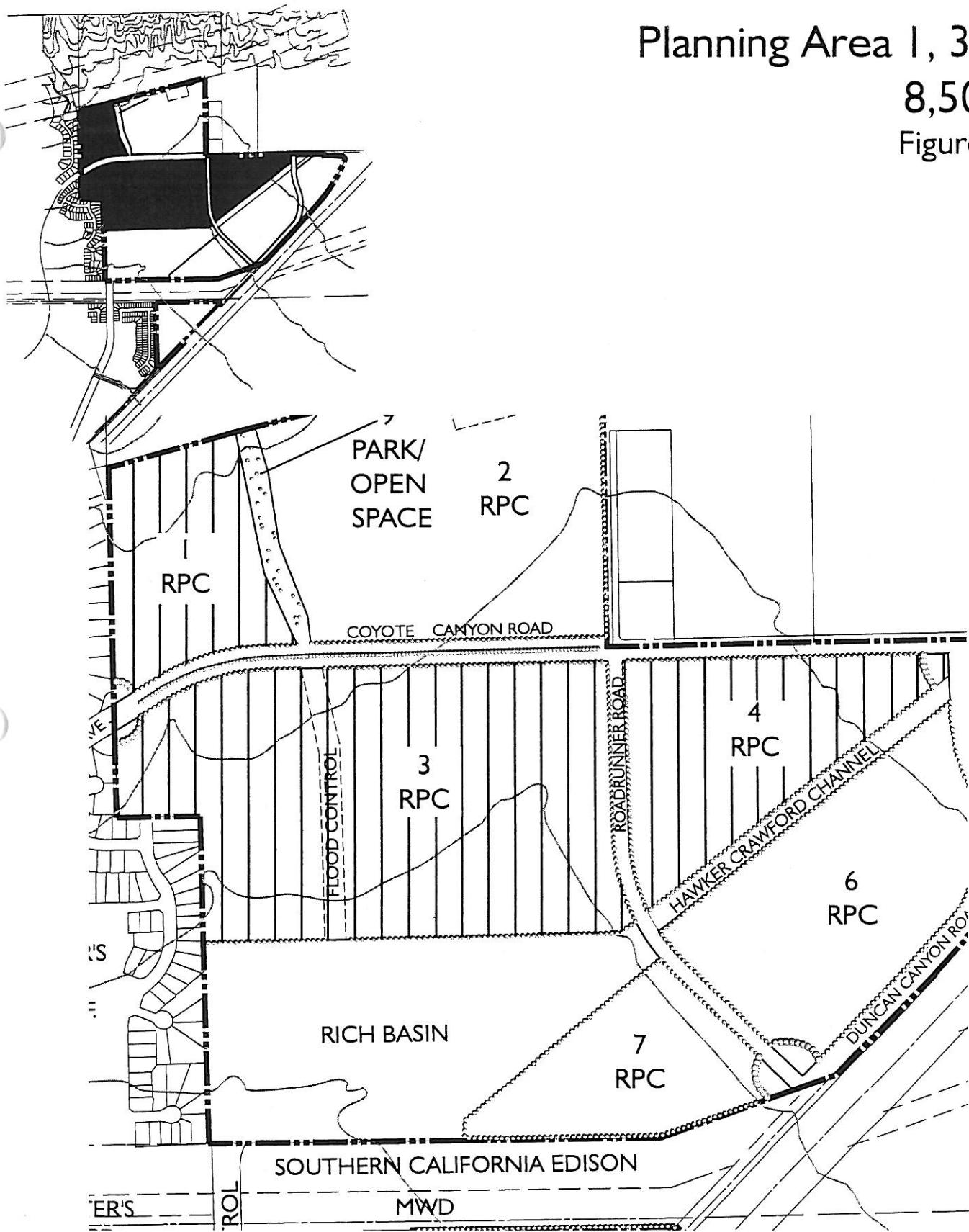
Planning Area 2 has ten thousand square feet (10,000 sf) single family detached lots on 41.6 acres and located on the Northeast portion of the project north of Cherry Avenue with a density of 2.6 dwelling units per acre for a

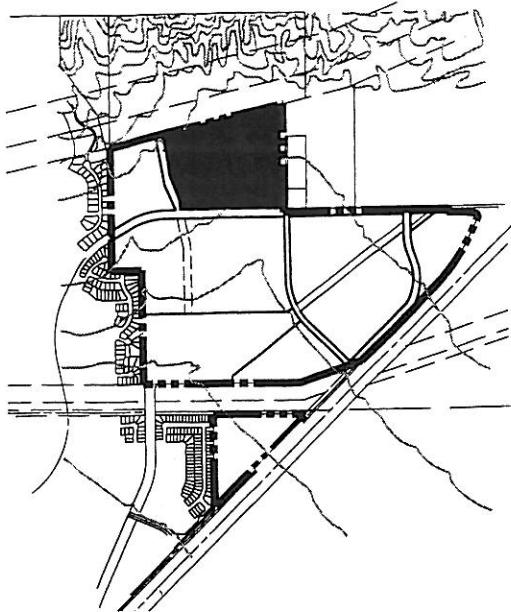


Planning Area 6, 7, & 8
7,200 sf
Figure IV-1

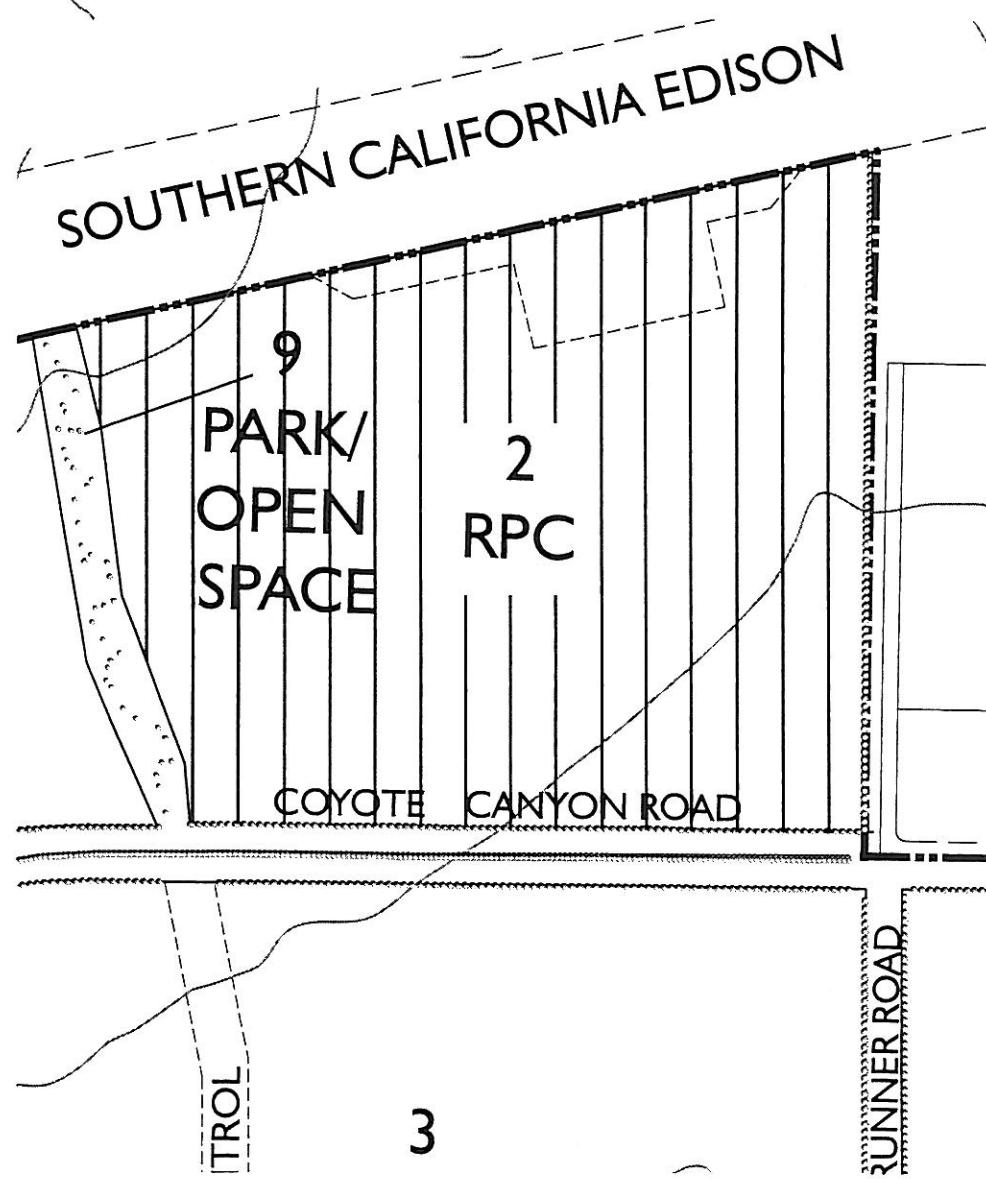


Planning Area 1, 3 & 4
8,500 sf
Figure IV-2





Planning Area 2
10,000 sf
Figure IV-3





Specific Plan Elements

maximum of 107 dwelling units. See figure IV-3.

B. Recreation / Open Space Land Uses

Planning Area 5 & 9

The Coyote Canyon Specific Plan contains an open space system which is designed as a focal point for the community. The project includes a total of 16.0 acres of open space (See figure IV-4 & IV-5). A 13.6 acre active play area with multi-purpose fields is proposed along the southside of Coyote Canyon Road, east of Duncan Canyon Road. A 2.4 acre passive park, approximately one hundred feet (100') wide riparian woodland nature/hiking trail will be provided. The nature/hiking trail starts on the North side of Cherry Avenue/Coyote Canyon Road and travels north to provide access to the Hunter's Ridge wilderness park and the regional trails system (Frontline Trail). The nature trail will provide for the preservation and enhancement of an existing drainage corridor within the project. The passive park will incorporate view points, seating areas and rest areas along the nature trail.

C. Flood Control Facilities

The Hawker/Crawford channel crosses the site in a Southwest direction to the Rich Detention Basin in the Southwest corner of the project. Rich Basin provides drainage detention as part of the SBCFCD and City of Fontana Master Plan of Drainage. The Flood control facilities comprise approximately 40.6 acres of the project site. The project has area for a potential detention basin within planning area 2 and a flood channel running north to south through planning area 3.

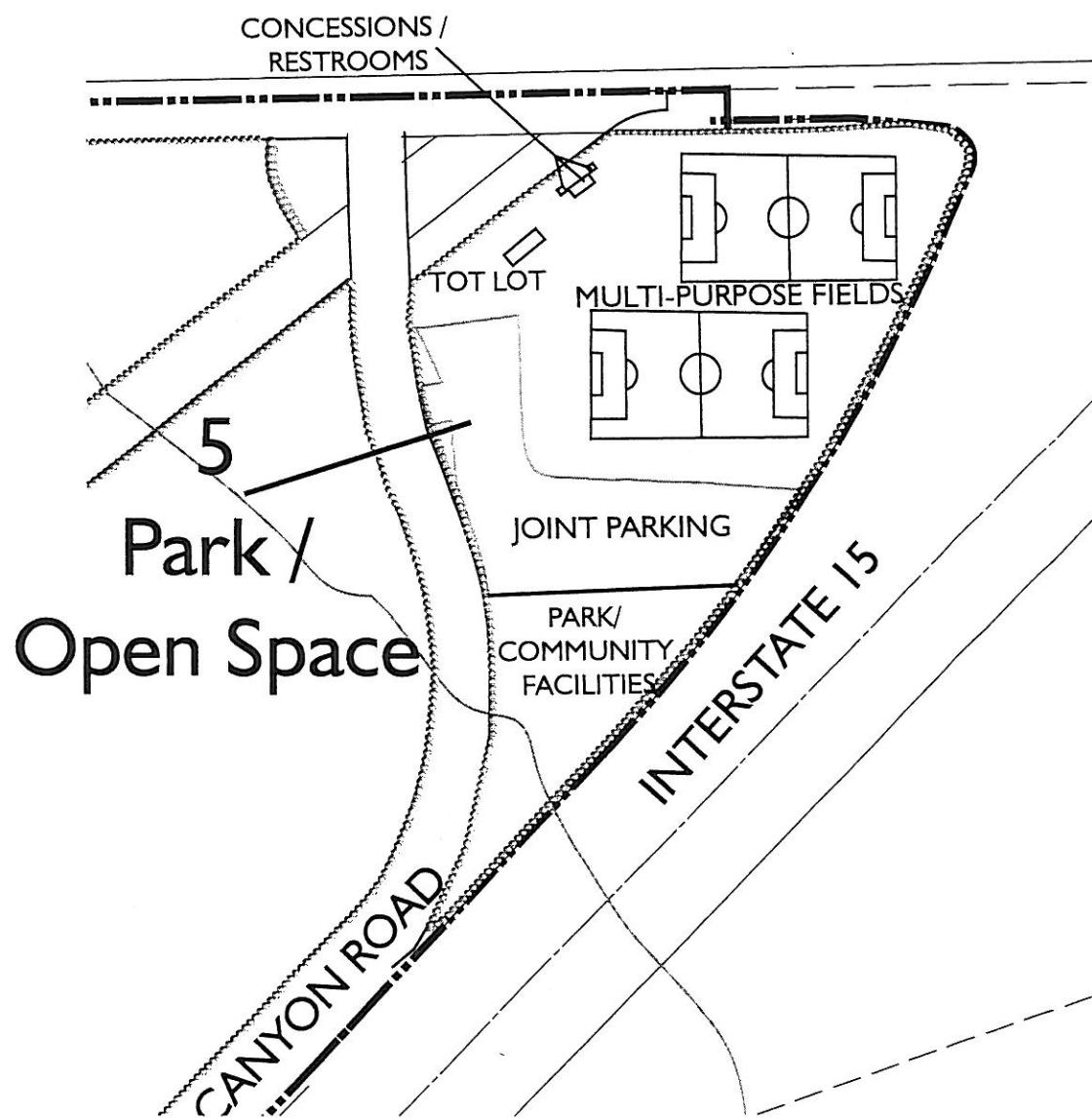
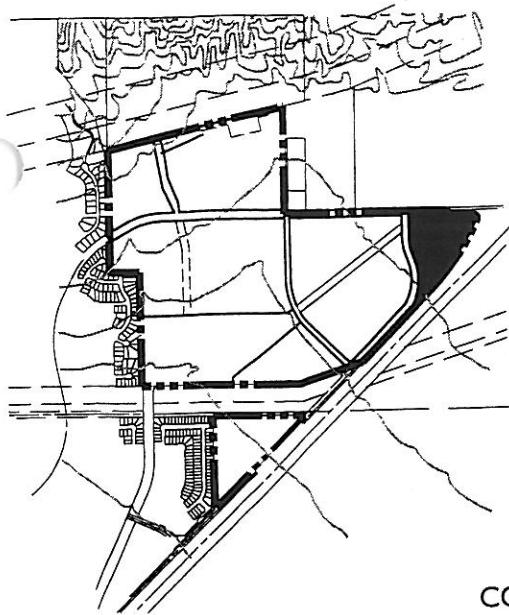
3. Circulation

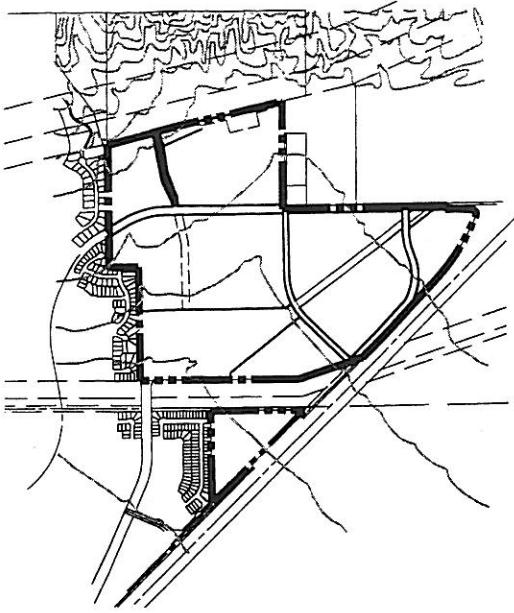
The circulation system for Coyote Canyon has been designed to promote the movement of vehicles and pedestrians safely and efficiently through the project. (See Figure IV-6)

A. Vehicular Circulation

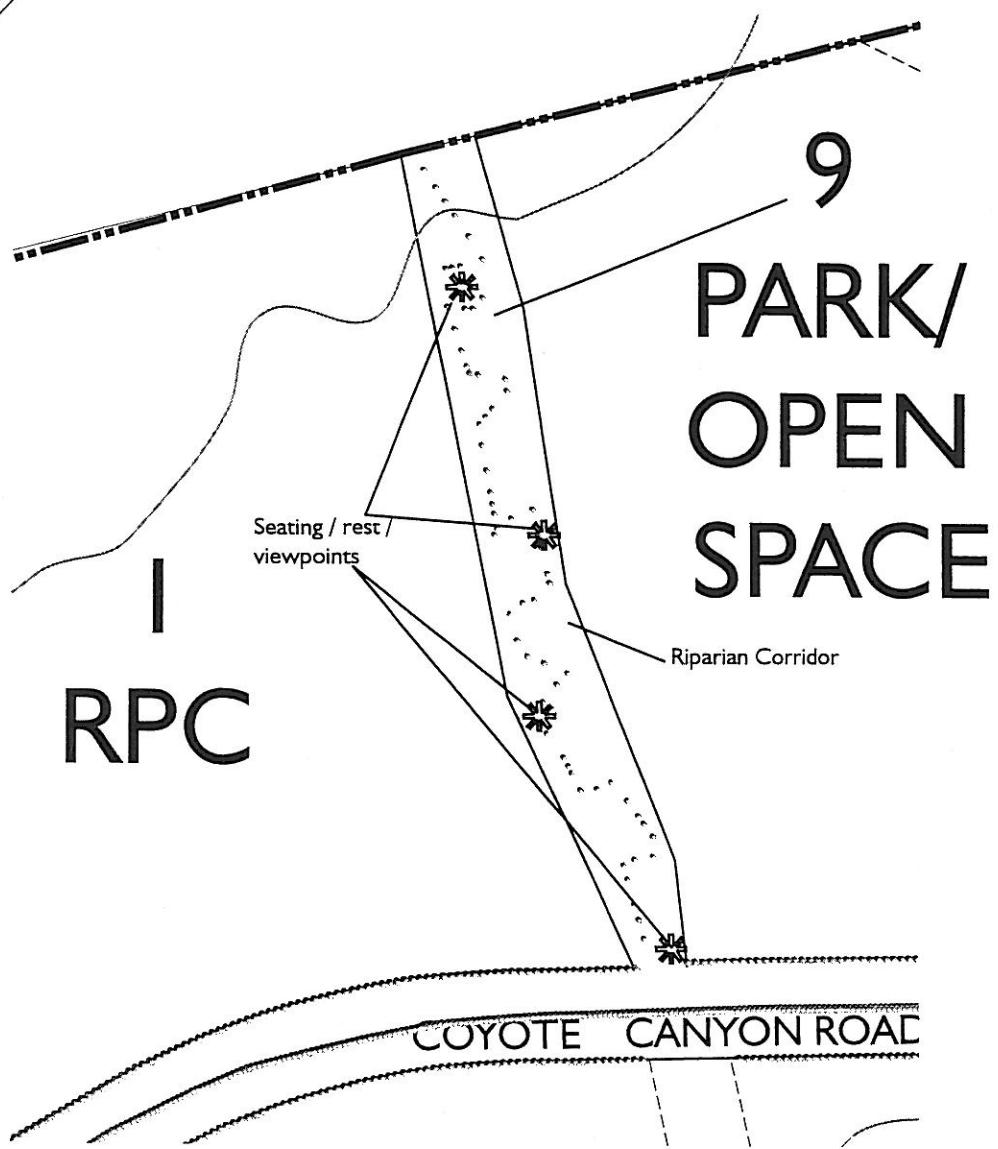
The Vehicular circulation system is a hierarchy of roads including a Primary Highway one hundred ten feet right-of-way (110' R/W), Secondary Highway

Planning Area 5
Open Space/Park
Figure IV-4



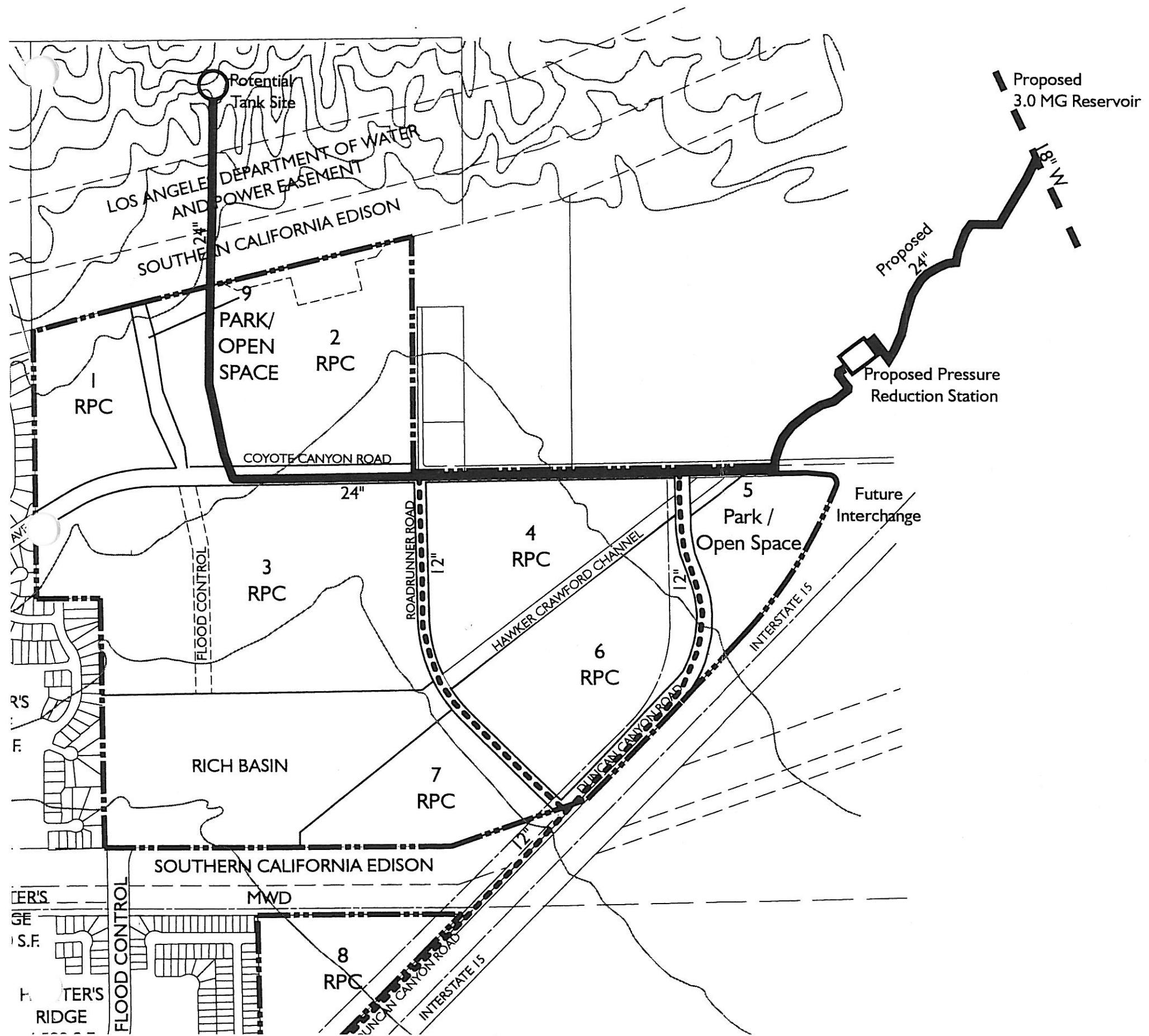


Planning Area 9
Open Space/Park
Figure IV-5

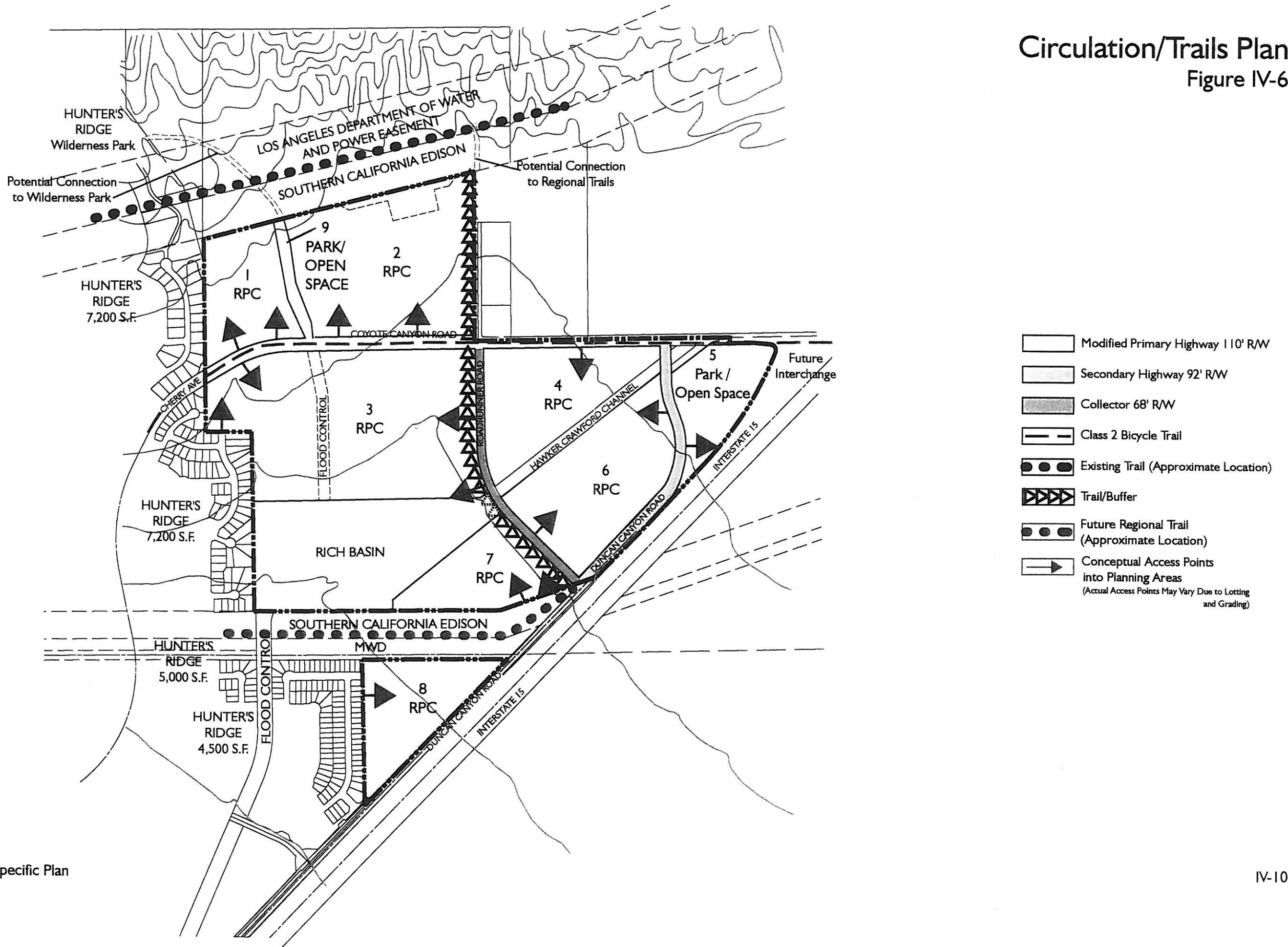


Water Plan

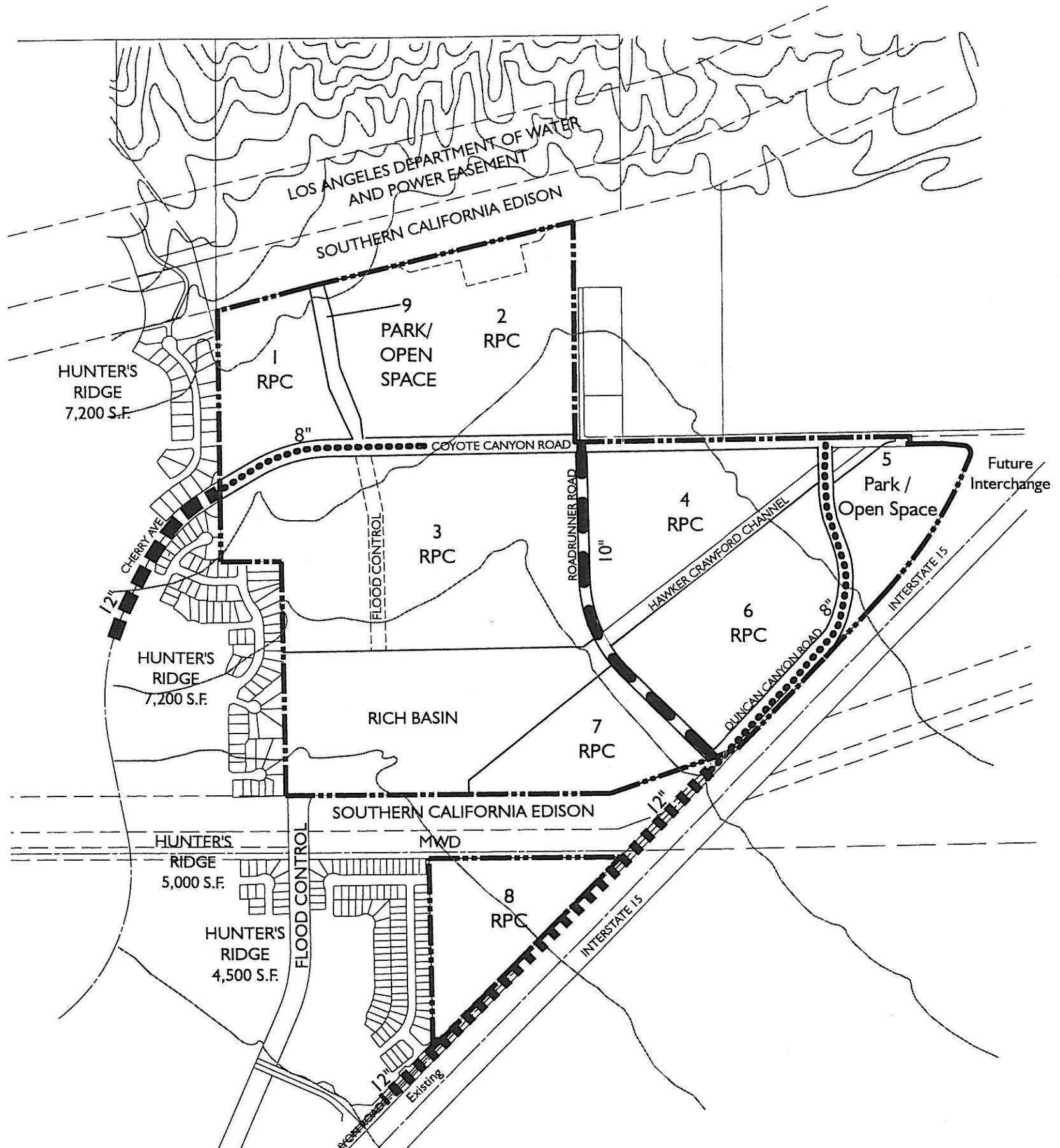
Figure IV-9



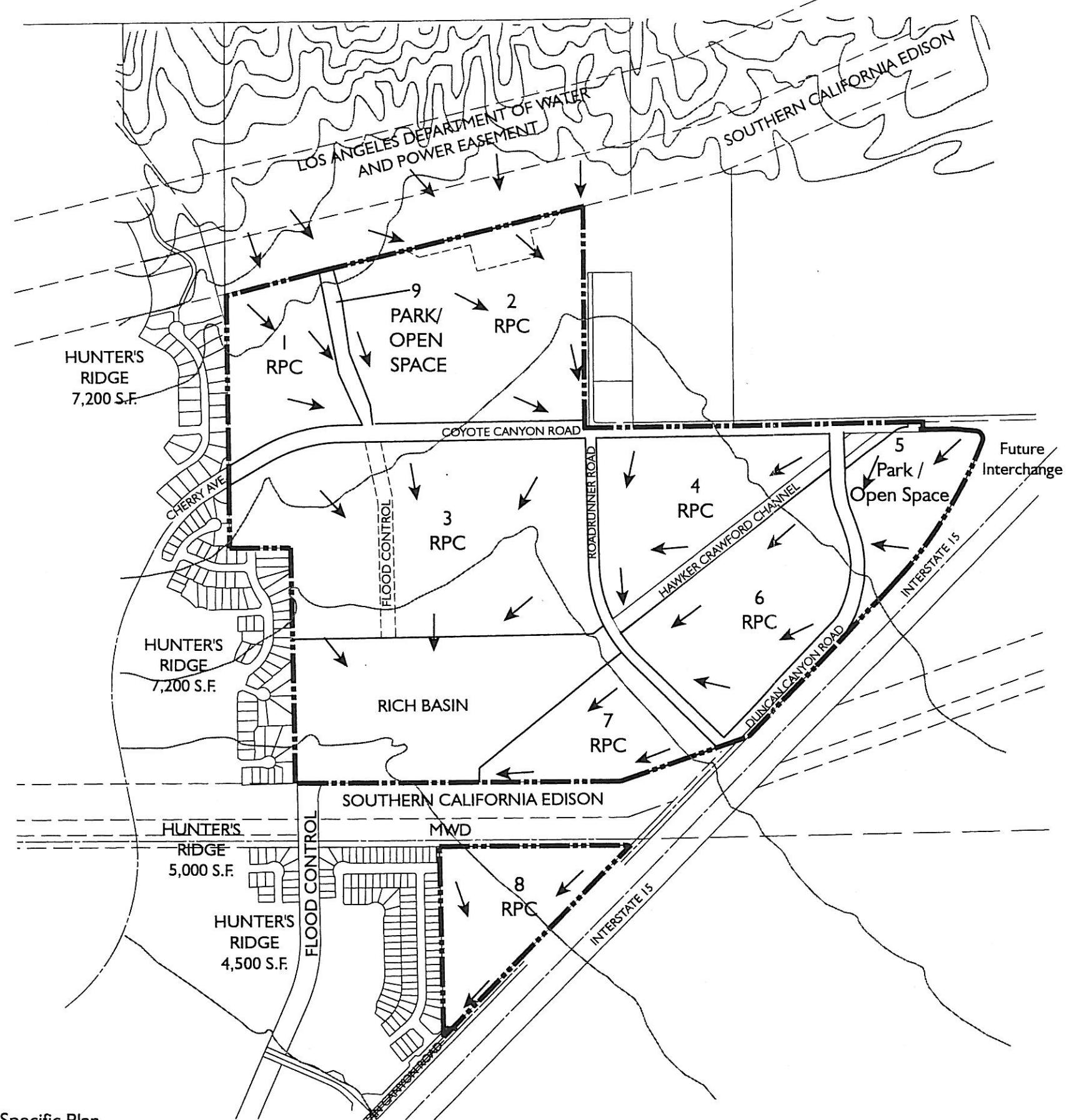
Circulation/Trails Plan
Figure IV-6



Sewer Plan
Figure IV-10



Conceptual
Drainage Plan
Figure IV-11





Specific Plan Elements

ninety-two feet right-of-way (92' R/W), Collector Streets sixty-eight feet right-of-way (68' R/W), Local Streets Sixty-four feet right-of-way (64' R/W), and Local Short Streets sixty feet right-of-way (60' R/W). The streets are designed to meet the City of Fontana's General Plan standards. There is a future CalTrans interchange at the Cherry Avenue Extension/Coyote Canyon Road and the I-15. Adequate land has been set aside in the existing CalTrans right-of-way to accommodate this future interchange.

B. Modified Primary Highway

Modified Primary Highways are designed to move regionally oriented traffic safely and efficiently between points of ingress and egress for Coyote Canyon, particularly from the I-15.

Modified Primary Highways have a right-of-way of 110' with two travel lanes in each direction separated by a fourteen feet (14') wide raised median with curbside bike lanes.

The Modified Primary Highway in the Coyote Canyon Project is:

- Cherry Ave./Coyote Canyon Road from Summit Avenue to the proposed Duncan Canyon/I-15 Interchange.

Figure IV- 7 provides a cross section views of the proposed roadway design for a Modified Primary Highway within Coyote Canyon.

C. Secondary Highways

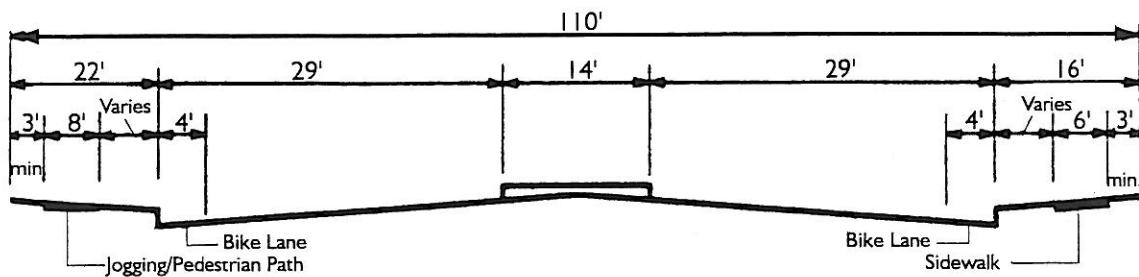
Secondary Highways are designed to carry regionally – oriented traffic efficiently and safely between points of ingress/egress for the Coyote Canyon Specific Plan. The Secondary Highway provides access directly to the I-15 at Cherry and the future Duncan Canyon Interchange in addition to adjoining the Hunter's Ridge development.

Modified Secondary Highways are a ninety-two feet right-of-way (92' R/W) with two (2) travel lanes in each direction with a painted median and capable of handling curbside parking.

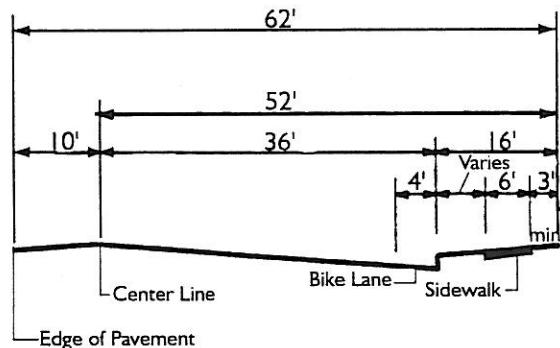
Road Sections

Figure IV-7

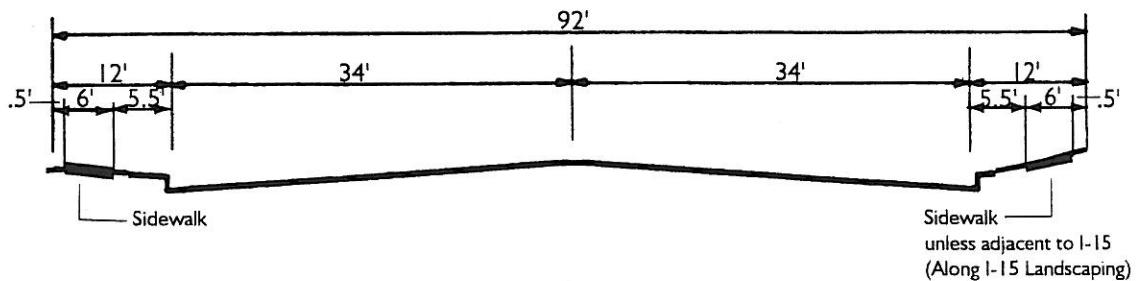
Primary Highway (Coyote Canyon Road West)



Primary Highway 1/2 Width (+10') (Coyote Canyon Road East)



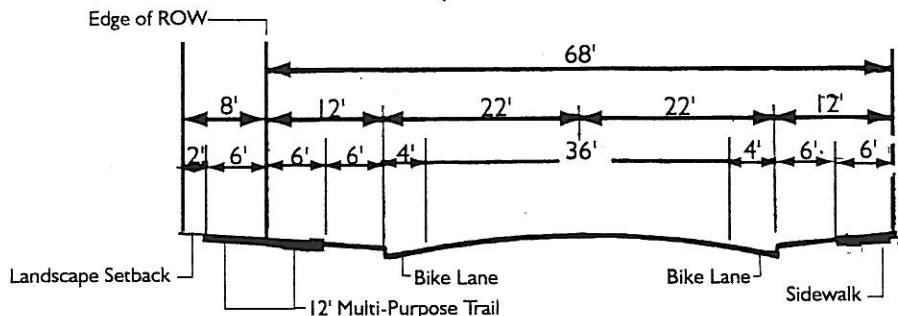
Secondary Highway (Duncan Canyon Road)



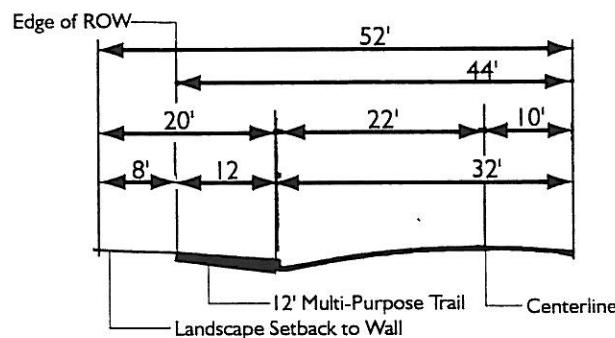
Road Sections

Figure IV-8

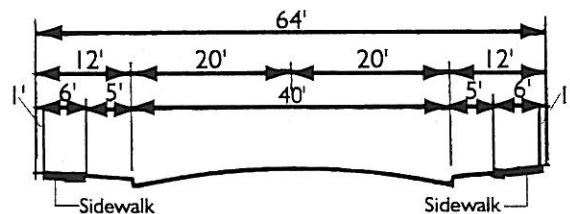
Collector (South Roadrunner Road)



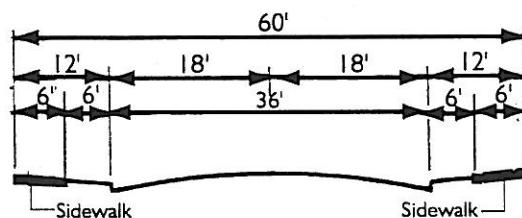
Collector 1/2 Width (+ 10' and Trail) (North Roadrunner Road)



Local



Local Short





Specific Plan Elements

The Secondary Highway within Coyote Canyon is:

- Duncan Canyon Road

Figure IV-7 is a cross section view of the proposed roadway design for the Secondary Highway within Coyote Canyon.

D. Collector Streets and Local Streets

The Collector Streets are designed primarily to collect traffic from residential neighborhoods and distribute to secondary highways.

Collector Streets have a sixty-eight feet right-of-way (68' R/W) with one (1) travel lane in each direction.

The Collector Street within the Coyote Canyon project is:

- Roadrunner Road

The Local Streets are designed as two (2) lane arterials to serve neighborhoods within residential neighborhoods.

A typical Local Street has a sixty-four feet right-of-way (64' R/W), with one travel lane in each direction with curbside parking permitted. Cul-de-sacs up to six hundred fifty feet (650') in length are considered loop streets and considered Short Locals, and have a sixty feet right-of-way (60' R/W). The Local Streets with narrower right-of-ways are to serve local traffic, to encourage pedestrian and bicycle circulation and reduced traffic speeds.

Figure IV-8 is a cross section view of the proposed roadway design for the Collector Streets and Local Streets within Coyote Canyon.

E. Pedestrian Circulation

Pedestrian facilities will be provided in the form of sidewalks within the parkways adjacent to the interior and perimeter roadways. To ensure safe pedestrian circulation throughout Coyote Canyon, sidewalk design shall incorporate the following:

- Handicapped ramps at intersections



Specific Plan Elements

- Meandering sidewalks along Coyote Canyon, Duncan Canyon and Roadrunner
- Hiking trails are also provided and are addressed in Section IV-3 G. Trails.

F. Bicycle Circulation

A Class II bicycle path is provided in Coyote Canyon Road connecting to Cherry Avenue within Hunter's Ridge. In addition, there are on street bicycle lanes within Roadrunner Road. The Class II bicycle path consists of a striped lane with restricted vehicular parking and appropriate signage. The bicycle paths will promote the use of bicycles as an alternative mode of transportation. In the future, residents of Coyote Canyon will be able to travel to other portions of the City along City-designated bikeways. All bike lanes within Coyote Canyon will be illuminated by street lights in accordance with the City of Fontana lighting requirements.

G. Trails

Coyote Canyon is integrated in the City of Fontana trails system through the extension of the Class II Bicycle Trail in Coyote Canyon Road to the existing regional trail in the DWP/SCE utilities corridor north of the project. There is a multi-purpose trail along the west side of Roadrunner Road providing a connection to the future regional trail south of the project within the SCE/MWD utility corridor and the existing regional trail within the DWP/SCE utilities corridor north of the project. The project proposes to connect the passive park and the regional trail through the Park/Open Space Planning Area 9 and a trail along the westside of Roadrunner Road to the north from future regional trail within the southern utility corridor. The Roadrunner multi-purpose trail will serve as buffer/transitional land use from the developed project area to the rural large lot residential properties to the east. In addition the Roadrunner trail will also provide the existing residents with an equestrian connection to the existing regional trail within the northern utility corridor. The project proposes an internal system of sidewalks for community-wide use.



Specific Plan Elements

4. Infrastructure

A. Water

Existing Conditions

Coyote Canyon is located within the West San Bernardino County Water District. The project proposes to connect to West San Bernardino County Water District and/or Fontana Water Company on Duncan Canyon Road at Hunter's Ridge, extending a 12" water line along Duncan Canyon Road to the northeast connecting to the proposed 24" waterline within Coyote Canyon Road, serving Planning Areas 1,2,3 & 4. A 12" line will be extended north along Roadrunner Road connecting to the 24" proposed waterline within Coyote Canyon Road, serving Planning Areas 8,7,6,& 5. Water for the site will come from the proposed alternative "B" off-site 3.0 million gallon (MG) reservoir northeast of the project site. In addition, there is a potential alternative "A" 2.8 MG water tank located north of the LA/DWP easement. (See Figure IV-9)

B. Sewer

Existing Conditions

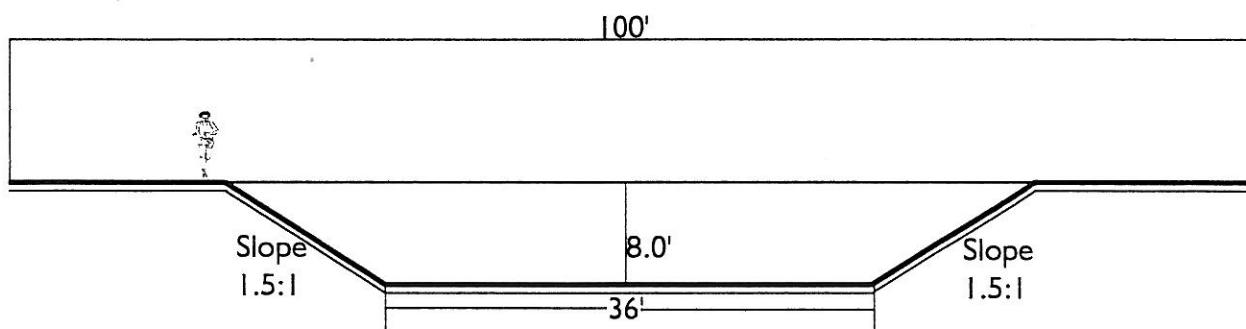
The City of Fontana provides the sanitary sewer services to the project area. The project proposes to extend an 8" sewer from Hunter's Ridge to the west along Coyote Canyon Road to primarily serve planning areas 1 and 2. Planning Areas 3, 4, and 6 will be primarily served by the proposed 10" line in Roadrunner Road. A proposed 12" line up Duncan Canyon Road will serve Planning Areas 7 & 8, and an 8" extension of this line will serve Planning Area 5. (See Figure IV-10)

C. Drainage

The proposed project will improve existing flood control facilities to control off-site drainage as well as future on-site drainage/run-off. Drainage generally flows from the north and northeast to the south and southwest. Large flows from the mountains to the north will be conveyed through Planning Area 3 to the Rich Detention Basin. Drainage from the foothills to the northeast will be conveyed through the Hawker Crawford Canyon Channel to the Rich Detention Basin. All Planning Areas will drain to the detention basin with the exception of Planning Area

Typical Trapezoidal Channel Section

Figure IV-12





Specific Plan Elements

8 which will be channelized along the I-15 Freeway. (See Figure IV-12) If feasible, debris basins will be provided near the mouth of the canyons located within the project area. If use of debris basins is not feasible, then the proposed storm drains/channels will be designed to convey "bulked" storm flows.

Pursuant to requirements of the State Water Resources Board, a state-wide construction permit will apply to all construction activities. The developer or builder shall obtain the appropriate NPDES construction permit prior to commencing grading activities. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the City/County to implement the NPDES program.

D. Grading Concept

The project elevations range from over 1840 feet mean sea level (msl) to the northwest to below 1600' msl at the southern tip. Grading will match contours along the, rural northeast and Hunter's Ridge to the west. Contour grading will be applied to undeveloped and rural edge conditions. The proposed project's grading will balance cut and fill on-site. Grading practices will conform to City and UBC standards. (See Figure IV-13) The slopes within the developable area are below 10%.

E. Utilities

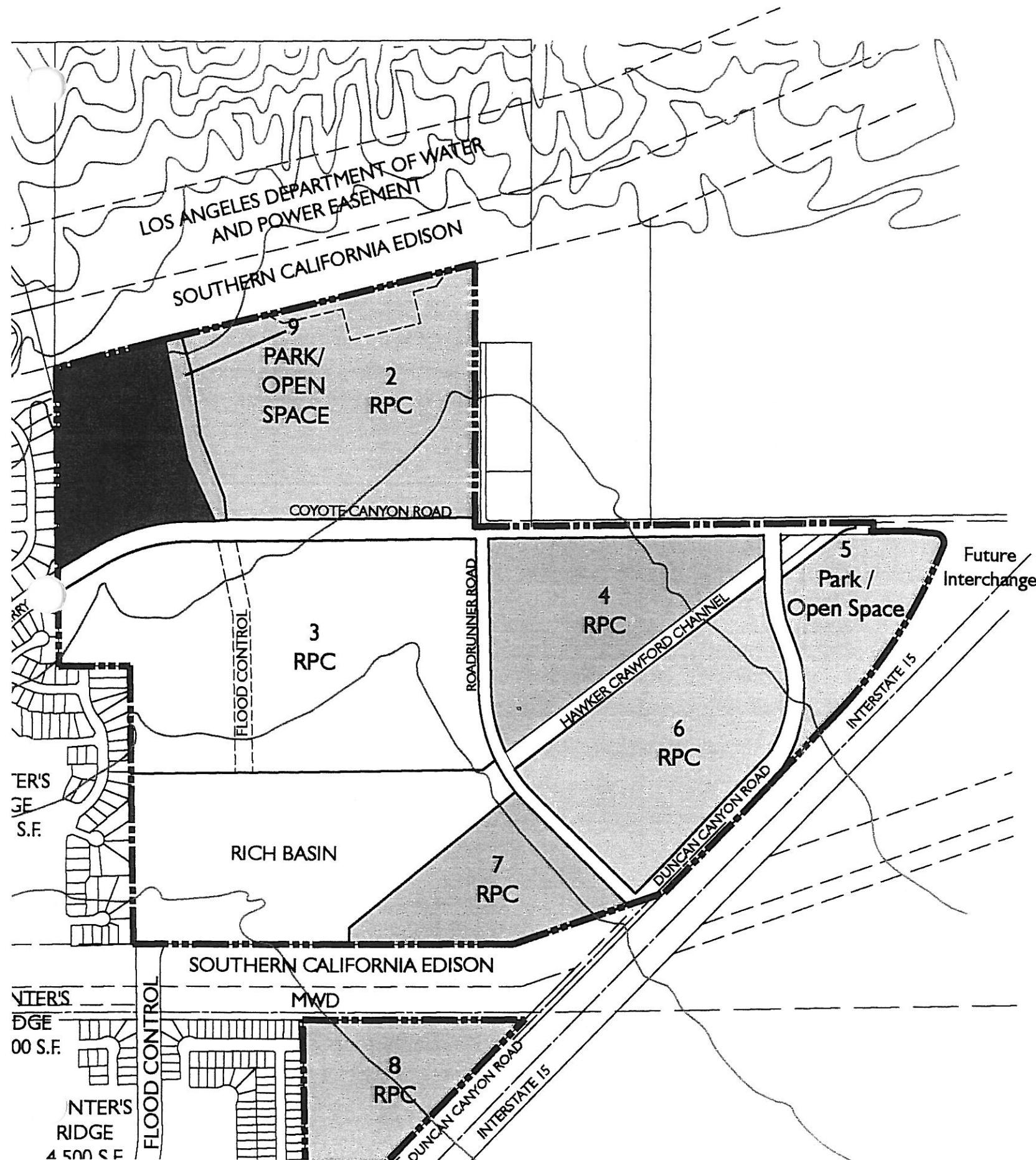
Utility services provided to the site consist of natural gas and electrical distribution systems. The Southern California Gas Company provides the gas service to the project site. Electrical service is provided by Southern California Edison Company.

Communication systems are comprised of telephone and cable television utilities. Fontana's cable television service is provided by Comcast. Telephone service is provided by Pacific Bell.

Utility lines will be installed underground in accordance with City of Fontana guidelines, this includes utility vaults in residential areas. A joint trenching agreement will be provided among the

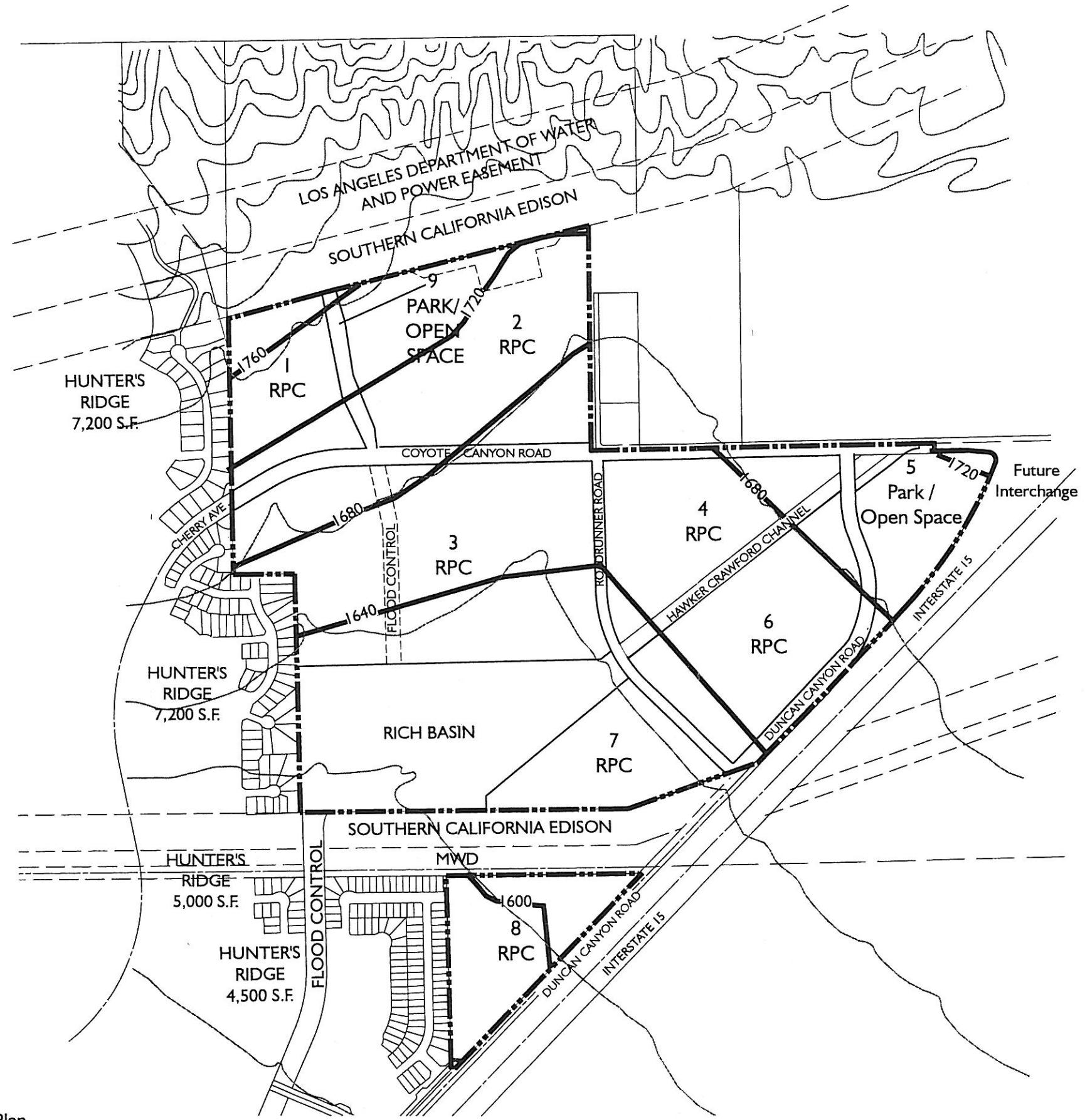
Phasing Plan

Figure IV-14



- Phase I
- Phase II
- Phase III
- Phase IV

Conceptual
Grading Plan
Figure IV-13





Specific Plan Elements

utility companies to facilitate installation. Utility lines will primarily follow street alignments.

F. Public Facilities

The following information is a brief summary of public services to be provided to Coyote Canyon. A more detailed discussion of facilities will be provided in the Environmental Impact Report (EIR).

Police and Fire Protection:

The Fontana Police Department will provide law enforcement services to Coyote Canyon. The City of Fontana currently maintains a ratio of 1.4 sworn officers and 0.6 civilian personnel per 1,000 residents.

Fire protection will be provided to the site by the Central Valley Fire District (CVFD), a department of the San Bernardino County Fire Agency. CVFD will also provide emergency medical response services to the project.

Public Schools:

The Etiwanda School District and the Chaffey High School District will serve the Coyote Canyon student population, with the exception of Planning Area 5 which is currently within the Fontana Unified School District. A negotiated "School Mitigation Agreement", will be prepared and executed by the project developer and school districts, which will provide for the needs of the Coyote Canyon students in accordance with District standards.

5. Project Phasing

The project will be phased to coincide with the extension of utility services. The anticipated phasing is as follows: Phase one will be planning area 3, so that the residents will have a feeling of community by entering the project through an existing development. Phase two will include

planning areas 4, 7 & 8 continuing the housing along Coyote Canyon Road and beginning exposure along Duncan Canyon Road. Phase three will include planning areas 2, 5, 6 ,& 9 enabling the project to complete the eastern portions of the project. The final phase will be planning area 1. The parks and open space will begin development during phase three and be completed along with phase four. The Phasing Plan is based on a logical progression of infrastructure development, but may need to be revised to reflect changes in service and market demands. (See Figure IV-13)

Not all planned development within a given phase may be completed prior to the initiation of the next phase.



Specific Plan Elements

V. Design Guidelines

Coyote Canyon

V. Design Guidelines

I. Introduction

The following Design Guidelines have been developed as a method of achieving a high quality, cohesive design structure for the Coyote Canyon Specific Plan. Objectives of the design guidelines are:

- To provide the City of Fontana with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- To serve as design criteria for developers, builders, engineers, architects, landscape architects, and other professionals in preparing plans for construction; and
- To lend guidance in the review and evaluation of all development projects in the Specific Plan area.
- The Community Development Director, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.

Certain key design elements will contribute significantly to the establishment of a unique “sense of place” within the Specific Plan area. These fundamental elements—site planning, architecture, landscape, and other details—are established by the Design Guidelines. The guidelines express the desired character of development.

The Design Guidelines are intended to be flexible and illustrative in nature, with the capability of responding to unanticipated conditions, changes in buyer preferences, the market, and design trends. The sketches and graphic representations contained herein are for conceptual purposes



Design
Guidelines

only, and are to be used as general visual aids in understanding the basic *intent* rather than *absolutes*, allowing flexibility in fulfilling the intended design goals and objectives. Creativity and innovation as well as consistent quality are encouraged in the implementation of these guidelines.



Design
Guidelines

2. Landscape / Community Design Concept

The Coyote Canyon Specific Plan proposes a high quality residential community designed in concert with the land. Significant design features take their cue from the riparian woodlands and the adjacent backdrop of the San Gabriel mountains, which supplement a generous active / passive open space network within the community. In addition to multi - purpose pedestrian / bicycle paths within this open space network, landscaped parkways along the streetscapes facilitate pedestrian connection and recreational opportunities.

A cohesive landscape / community design theme for the community, incorporating, “natural” rural elements will be first established at primary and secondary entries and continued along the streetscape hierarchy and open space vistas.



Design
Guidelines

Tree Palette

Table V-1

		Height*	Spread*	Evergreen	Deciduous	Drought Tolerant	Comments
Small Canopy Trees							
<i>Agonis flexuosa</i>	Peppermint Tree	25'	20'	●		●	Do not plant in turf areas
<i>Cassia leptophylla</i>	Gold Medallion Tree	25'	20'	●		●	
<i>Cercis occidentalis</i>	Western Redbud	18'	15'		●	●	
<i>Citrus spp.</i>	Citrus	20'	20'	●		●	
<i>Geijera parvifolia</i>	Australian Willow	25'	20'	●		●	
<i>Rhus lancea</i>	African Sumac	25'	20'	●		●	
<i>Tabea impetiginosa</i>	Pink Trumpet	25'	15'	●			
Medium Canopy Trees							
<i>Alnus rhombifolia</i>	White Alder	50'	30'		●		
<i>Alnus glutinosa</i>	Black Alder	70'	40'		●		
<i>Calodendrum capense</i>	Cape Chestnut	35'	40'		●		
<i>Jacaranda mimosifolia</i>	Jacaranda	40'	30'		●		
<i>Juglans californica</i>	Black Walnut	Varies	30'		●	●	
<i>Pistacia chinensis</i>	Chinese Pistache	40'	35'		●	●	
<i>Tristania conferta</i>	Brisbane Box	50'	40'	●		●	
Large Canopy Trees							
<i>Cinnamomum camphorum</i>	Camphor Tree	50	60'	●		●	
<i>Fraxinus uhdei 'Thomlinson'</i>	Evergreen Ash	80'	40'	●			
<i>Ginkgo biloba</i>	'Autumn Gold'	80'	45'		●	●	
<i>Liriodendron tulipifera</i>	Tulip Tree	60'	40'		●		
<i>Magnolia grandiflora</i>	Southern Magnolia	60	30'	●	●		
<i>Platanus acerifolia</i>	London Plane Tree	80'	35'		●		
<i>Platanus racemosa</i>	California Sycamore	60	60'		●		
<i>Podocarpus gracilior</i>	Fern Pine	60	35'	●			
<i>Quercus agrifolia</i>	Coast Live Oak	70'	70'	●		●	Do not plant in turf areas
<i>Quercus engelmannii</i>	Mesa Oak	60'	60'	●		●	Do not plant in turf areas
<i>Quercus ilex</i>	Holly Oak	70'	70'	●		●	Do not plant in turf areas
<i>Quercus lobata</i>	Valley Oak/Ca. White	70'	70'		●	●	Do not plant in turf areas
<i>Quercus palustris</i>	Pin Oak	80'	80		●	●	Do not plant in turf areas
<i>Quercus suber</i>	Cork Oak	100'	90'	●		●	Do not plant in turf areas
<i>Ulmus parvifolia 'Drake'</i>	Evergreen Elm	60'	70'	●			

* These are sizes at maturity not the size to be planted.

Tree Palette

Table V-1 Continued

		Height*	Spread*	Evergreen	Deciduous	Drought Tolerant	Comments
Vertical and Pyramidal Trees							
<i>Cedrus deodara</i>	Deodar Cedar Palo Alto, Burgundy,	60	30	●		●	
<i>Liquidambar styraciflua</i>	Festival	60 +	25		●		
<i>Melaleuca quinquenervia</i>	Cajeput Tree	40	15	●		●	
<i>Pinus canariensis</i>	Pine - Canary Island	80	30	●		●	
<i>Pinus eldarica</i>	Afghan Pine	80	30	●		●	
<i>Pinus pinea</i>	Italian Stone Pine	80	30	●		●	
<i>Populus nigra 'italica'</i>	Lombardy Poplar	75	15		●		

* These are sizes at maturity not the size to be planted.

Plant Palette

Table V-2

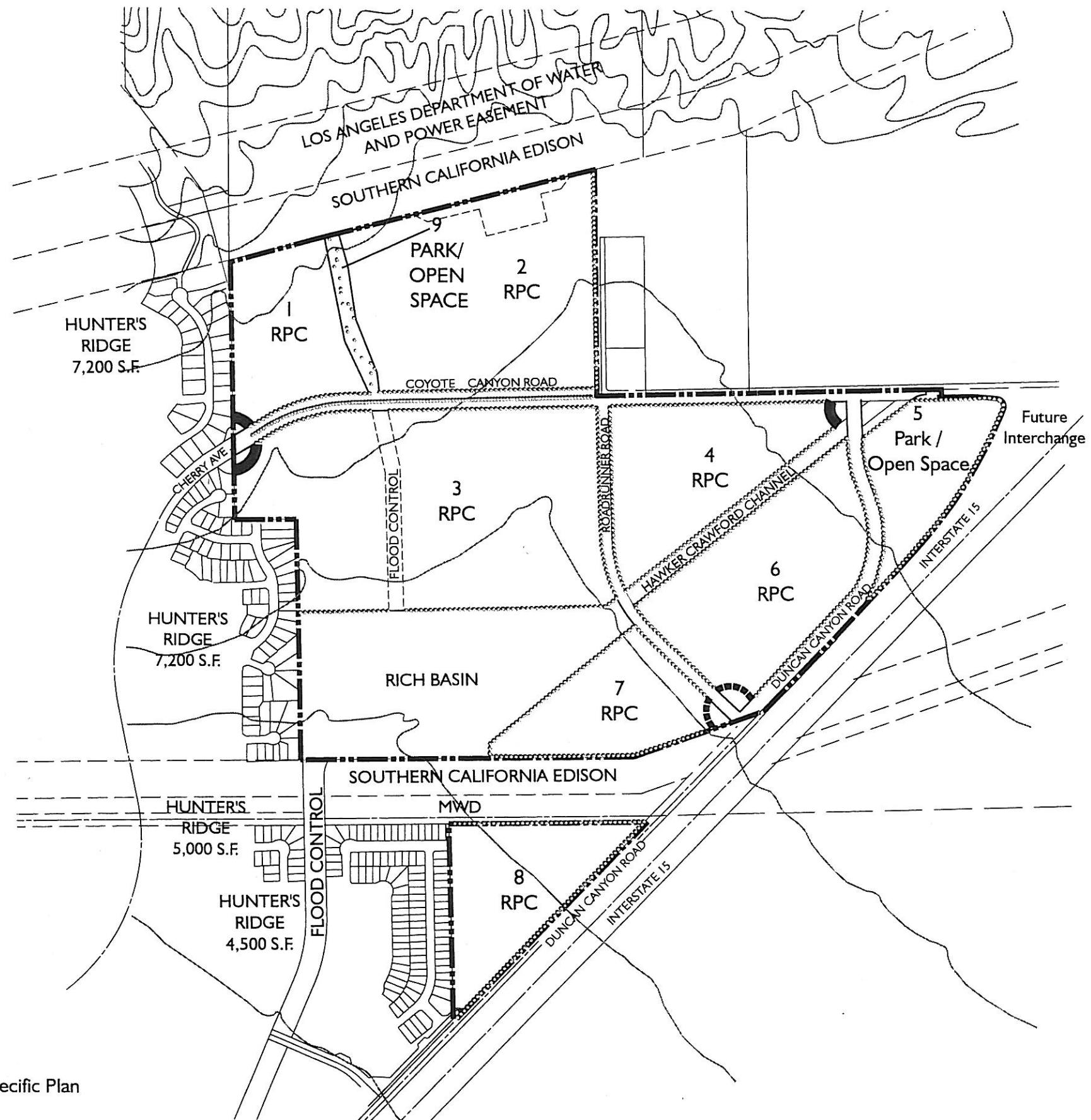
		Spacing	Evergreen	Deciduous	Drought Tolerant
Shrubs					
<i>Abelia grandiflora</i>	Glossy Abelia	5'	●		
<i>Acacia redolens</i>	Prostrate Acacia	15'	●		●
<i>Agapanthus orientalis</i>	Lily-of-the-Nile	4'	●		
<i>Berberis thunbergii</i>	Red-Leaf Japanese Barberry	5'		●	●
<i>Calliandra tweedii</i>	Trinidad Flamebush	8'	●		●
<i>Ceanothus griseus horizontalis</i>	Wild Lilac	8'	●		●
<i>Chaenomeles spp.</i>	Flowering Quince	10'		●	●
<i>Cistus spp.</i>	Rockrose	3'	●		●
<i>Dodonea viscosa "Purpurea"</i>	Purple Hopseed Bush	15'	●		●
<i>Euonymous japonica</i>	Evergreen Euonymus	6'	●		●
<i>Feijoa sellowiana</i>	Pineapple Guava	25'	●		●
<i>Grevillea noellii</i>	no common name	4'	●		●
<i>Hemerocallis hybrids</i>	Daylily	3'		●	
<i>Kniphofia uvaria</i>	Red Hot Poker	3'		●	●
<i>Leptospermum scoparium</i>	New Zealand Tea Tree	4'	●		●
<i>Ligustrum texanum</i>	Waxleaf Privet	5'	●		
<i>Morea iriodis</i>	Fortnight Lily	3'	●		●
<i>Myrtus communis</i>	True Myrtle	5'	●		●
<i>Nandina domestica</i>	Heavenly Bamboo	4'	●		●
<i>Osmanthus fragrans</i>	Sweet Olive	6'	●		●
<i>Photinia fraseri</i>	no common name	5'	●		
<i>Pittosporum robira</i>	Tobira	6'	●		
<i>Pittosporum robira</i>	Dwarf Tobira	3'	●		
<i>Plumbago auriculata</i>	Cape Plumbago	8'	●		
<i>Punica granatum</i>	Pomegranate	3'		●	
<i>Raphiolepis indica</i>	India Hawthorn	4'	●		
<i>Ribes speciosum</i>	Flowering Gooseberry	3'		●	●
<i>Rosa spp.</i>	Rose	6'		●	
<i>Rosmarinus officinalis</i>	Rosemary	6'	●		
<i>Spirea bumalda</i>	Dwarf Red Spirea	3'		●	
<i>Trachelospermum jasminoides</i>	Star Jasmine	30"	●		
<i>Viburnum tinus</i>	Laurustinus	6'	●		
<i>Xylosma congestum</i>	no common name	6'	●		

Plant Palette

Table V-2 Continued

		Spacing	Evergreen	Deciduous	Drought Tolerant	Comments
Vines						
<i>Clematis armandii</i>	Evergreen Clematis	Varies	●		●	
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine	Varies	●			
<i>Distictis buccinatoria</i>	Blood Red Trumpet Vine	Varies	●		●	
<i>Ficus pumila</i>	Creeping Fig	Varies	●		●	
<i>Macfadyenya uniguis</i> - <i>catii</i>	Cats Claw	Varies		●		
<i>Parthenocissus tricuspidata</i>	Boston Ivy	Varies				
<i>Wisteria sinensis</i>	Chinese Wisteria	Varies		●	●	
Groundcover / Grasses						
<i>Acacia redolens</i>	Prostrate Wattle				●	
<i>Atriplex semibaccata</i>	Creeping Saltbush					
<i>Baccharis pilularis</i>	Dwarf Coyote Brush				●	
<i>Ceanothus prostratus</i>	Squaw Carpet				●	
<i>Cistus corsicus</i>	Rockrose				●	
<i>Festuca rubra</i>	Creeping Red Fescue					
<i>Gazania</i> spp.	Gazania					
Grasses - Native Grasses						
<i>Hypericum calycinum</i>	Creeping St. Johnswort					
Indigenous Wildflowers						
<i>Lonicera japonica</i>	Japanese Honeysuckle					
<i>O'Connors Legume</i>	Strawberry Clovers			●		
<i>Rosmarinus officinalis</i>	Rosemary Prostratus				●	
Turf	Marathon II					
Turf	Marathon II Bulls Eye					
<i>Vinca major</i>	no common name					
<i>Vinca minor</i>	no common name					

Landscape Plan
Figure V-1



- Primary Entry Treatment
- Secondary Entry Treatment



Design Guidelines

A. Entries

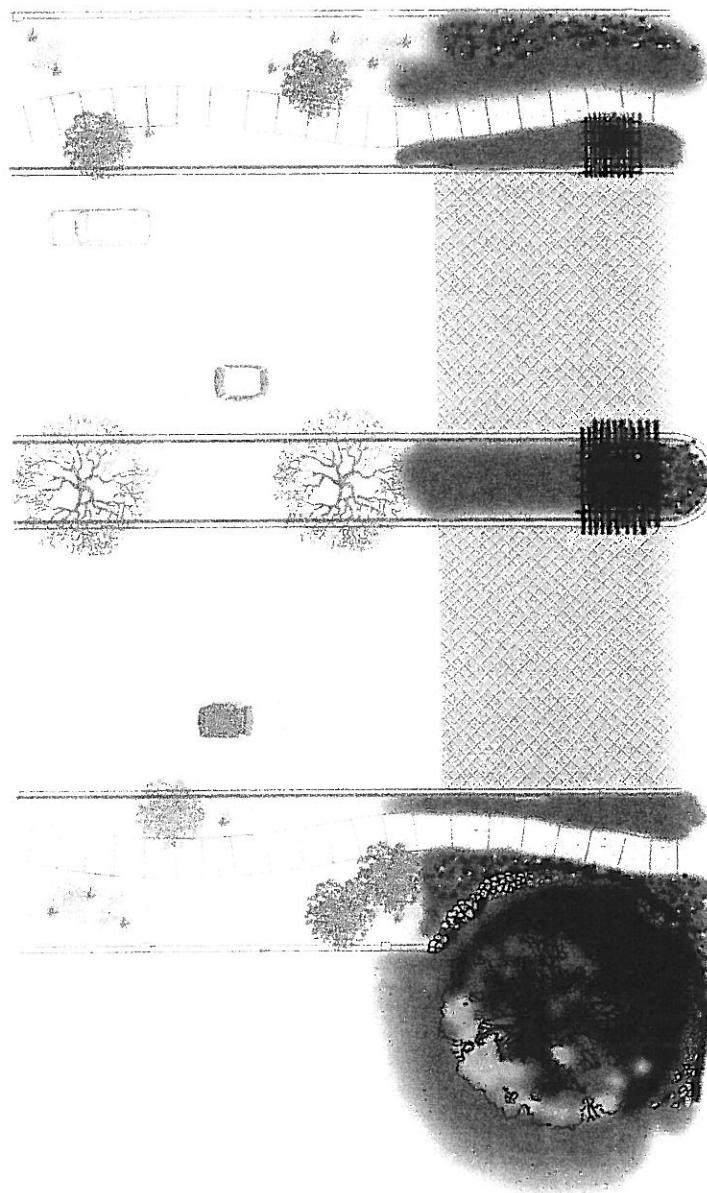
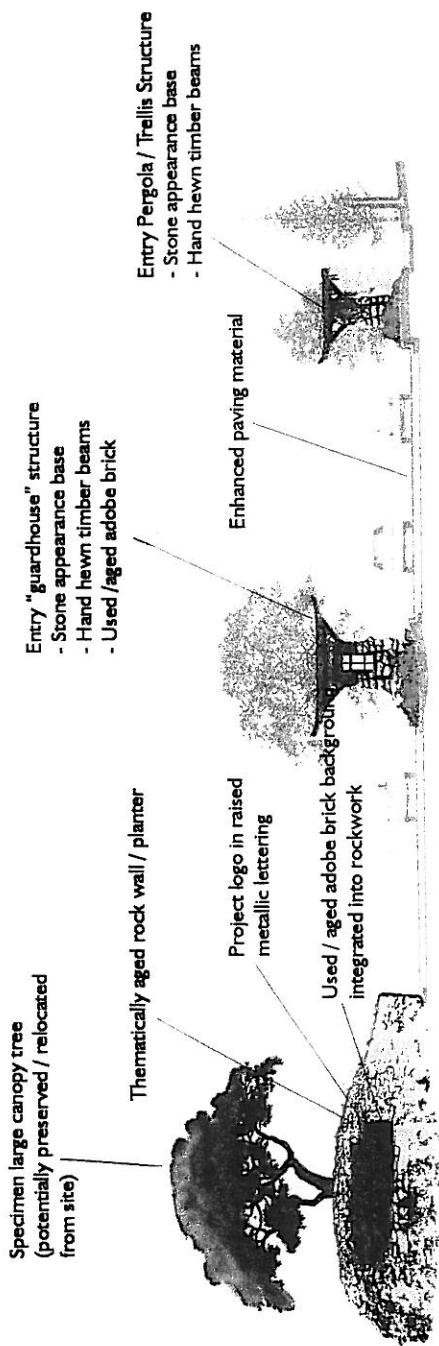
The Community Design Concept Plan, Figure V-1 provides for a hierarchy of entry statements at key focal points in Coyote Canyon, which will serve to establish and reinforce its sense of arrival, community identity, and landscape character through the use of enhanced landscaping, theme elements, and signage. (See Figure V-2 for the Primary Entry)

The Primary Community Entry to Coyote Canyon is located where Cherry Avenue turns into Coyote Canyon Road, adjacent to the existing Hunter's Ridge community. An emphasis should be placed on the use of naturally occurring materials in the entry / focal point design and a simulation of natural landform in the landscape treatment, through berming and in the integration of stone and layering of plant materials. Thematically aged architectural elements frame upscale community identification signage. A significantly mature specimen canopy tree becomes an important focal point evoking a sense of permanence to the land, possibly a healthy tree that currently exists on the property (Figure V-2). Enhanced paving materials including scored, colored concrete paving should be used to establish a change in the roadway. Colored concrete stamped for the appearance of cobblestones or cobblestones should be used in the median noses in order to enhance the rural streetscape appearance.

A Secondary Community Entry at Duncan Canyon Road will meet many of the same objectives as the Primary Entry, but on a smaller scale (Figure V-3).

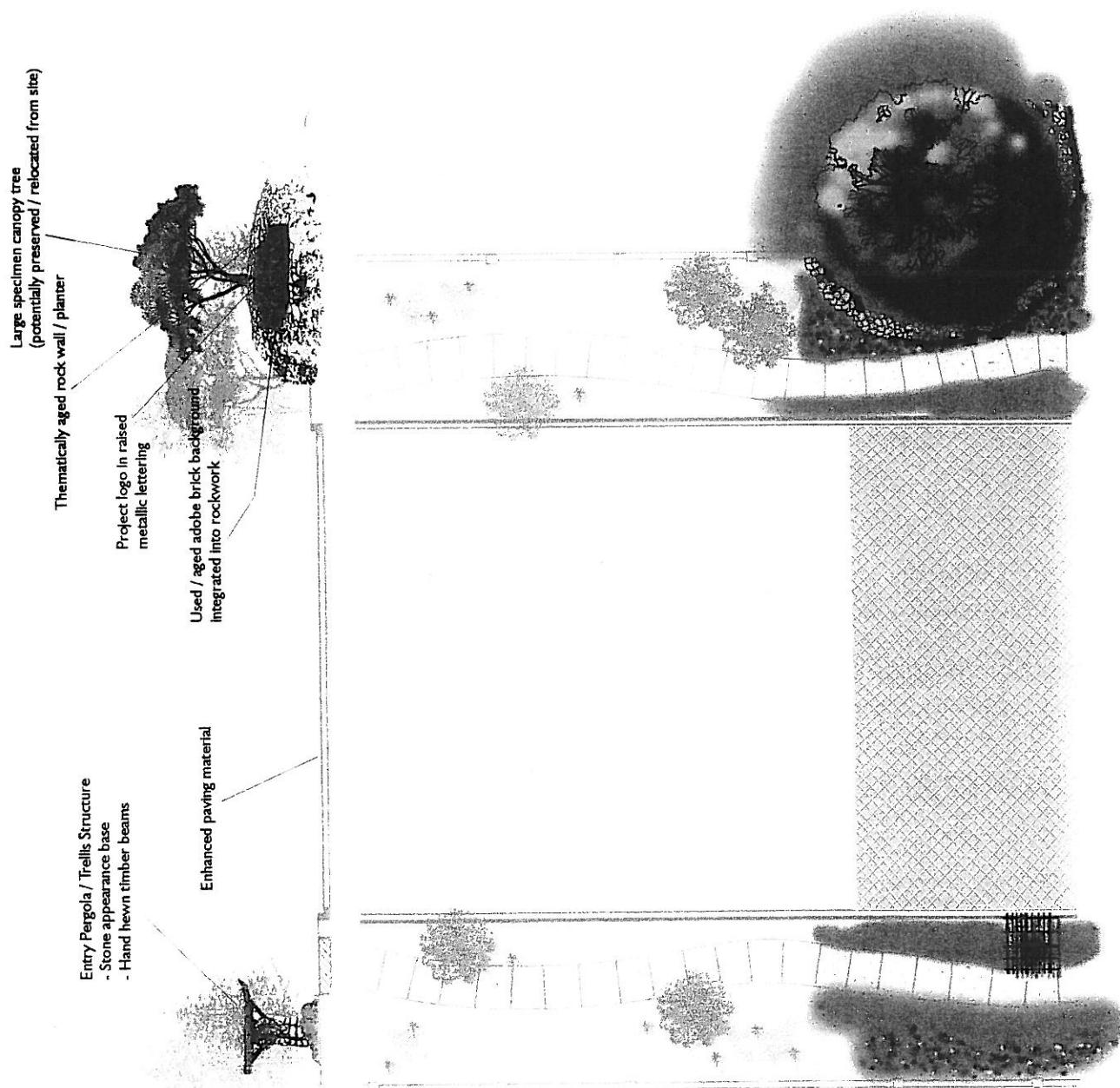
Primary Community Entry

Figure V-2



Secondary Community Entry

Figure V-3





Design Guidelines

B. Streetscapes

In order to achieve a cohesive overall circulation system for Coyote Canyon and promote a strong community identity, a consistent streetscape treatment will be implemented throughout the project. Objectives include:

- Create a unifying landscape element found throughout the community.
- Establish a hierarchy of roadway functions through landscape treatment;
- Provide screening and scale to the architectural façades of the residential neighborhoods;
- Frame and emphasize views of open space features;
- Enhance the amenity and circulation value of the pedestrian / recreational experience.

The following guidelines describe the design intent of the streetscape system of Coyote Canyon, while Figure V-4 through V-7 graphically depict their intended character.

Coyote Canyon Road (110' ROW) Coyote Canyon Road is conceived as the primary circulation and landscape spine of the community, in the tradition of classic parkways. Within Coyote Canyon, the Coyote Canyon Road streetscape maintains the “scenic corridor” landscape design continuity as an important element in binding the neighborhoods together as a community within the City.

The streetscape concept for Coyote Canyon Road complies with the intent of the future Scenic Corridor Plan. It will emphasize indigenous plant material and native theme canopy trees such as California Sycamore and Oak species, as well as introduced species, which are compatible with the naturalistic / rural parkway environment. Key features include:

- An informal planting of a designated theme canopy tree along the fourteen feet (14') wide center median.
- Naturalized landscaped parkways and buffers featuring informal groves of deciduous and evergreen trees, with an understory of either turf, low groundcover, or accent shrubs (majority of plants shall be drought tolerant).
- On the north side of Coyote Canyon Road west of Roadrunner road, the twenty-two feet (22') parkway includes a varied-width landscape parkway (0'-11'), a eight feet (8') meandering multi-purpose trail, separated from

community theme walls.

- On the south side of Coyote Canyon Road, the sixteen feet (16') parkway includes a varied-width landscape parkway (0'-11'), meandering six feet (6') sidewalk meets the street at various intervals in order to allow for a maximum movement of meandering form, as well as to maximize the landscape planting areas.
- The road will have an on-road bike lane four feet (4') Class II bicycle lane in each direction.
- Coyote Canyon Road east of Roadrunner Road will be developed as half width on the south side plus ten feet (10') on the north side. (See figure V-4)

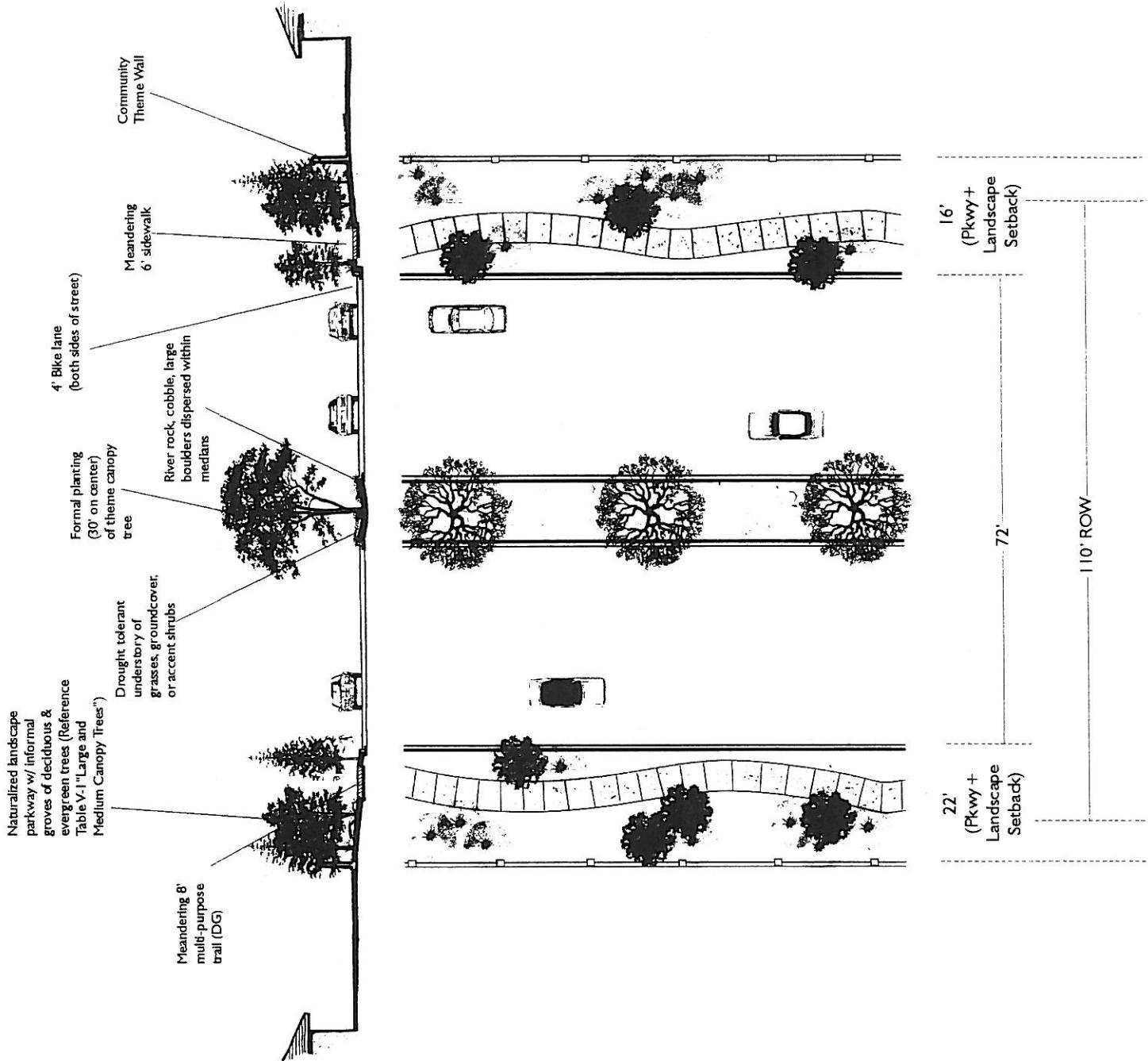


Design Guidelines

West Coyote Canyon Road

Streetscape

Figure V-4



Duncan Canyon Road (92' ROW)

Duncan Canyon Road parallels the I-15 freeway along the project's southwestern edge. On the northwestern side, a six feet (6') meandering sidewalk is separated from the curb by a three to six feet (3'-6) landscaped parkway. The road is supplemented with additional features when adjacent to the freeway, including:

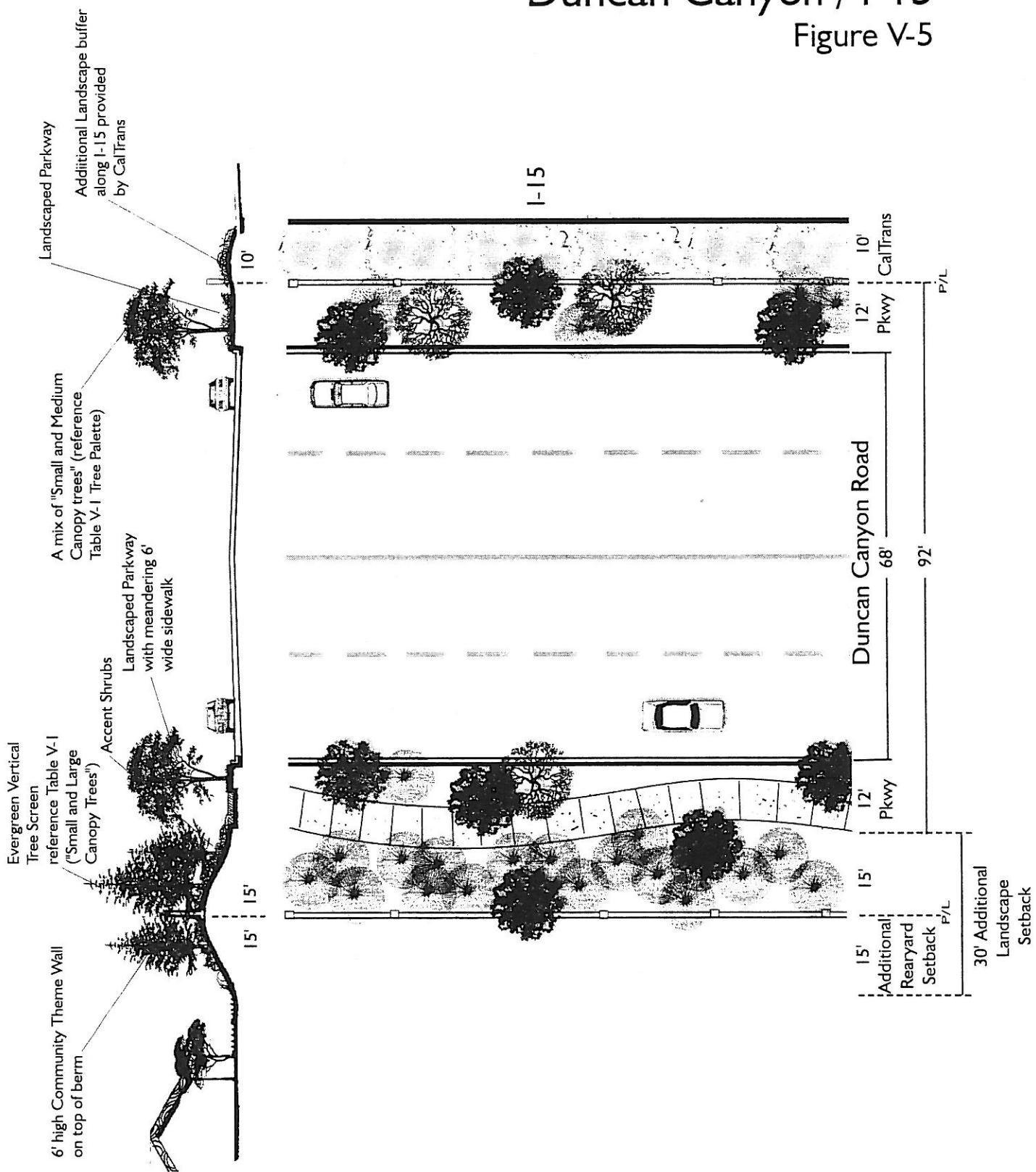
- A thirty feet (30') landscape buffer setback to any residential units will be provided (beyond the 92' right of way) and landscaped to soften the freeway edge, highlight the project identity, and continue the naturalized / rural streetscape theme.
- Six feet (6') minimum community theme wall on top of a berm on the property line will be provided for sound attenuation and visual screening.
- Evergreen tree screen along berm.
(See figures V-5 and V-5A)



Design
Guidelines

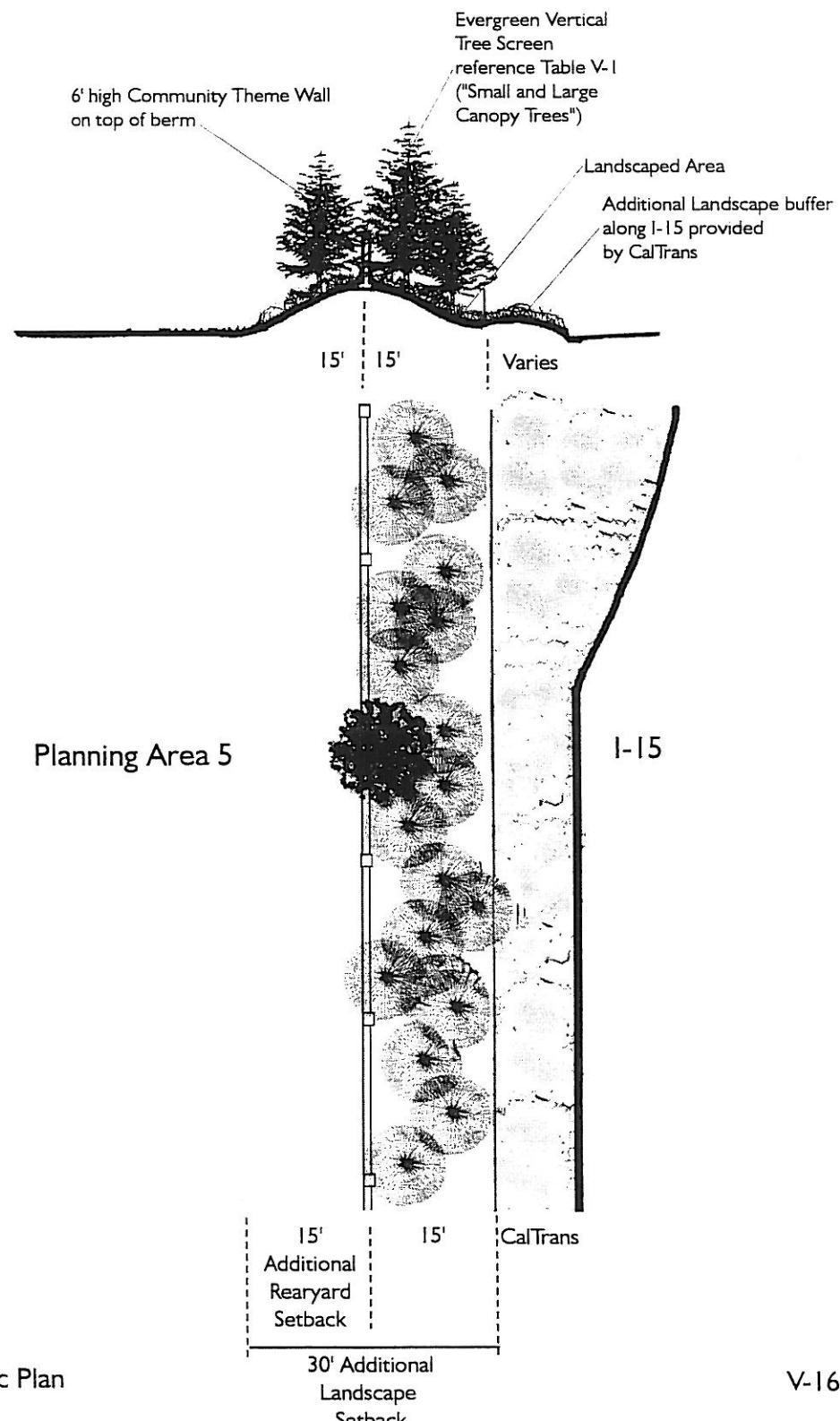
Duncan Canyon / I-15

Figure V-5



Duncan Canyon / I-15 Buffer

Figure V-5A





Design Guidelines

Roadrunner Road (68' ROW) South of Coyote Canyon Road
The streetscape concept is intended to create an informal rural roadway environment for Roadrunner Road. (See figure V-6) Key features include:

- Eastside will have a meandering six feet (6') sidewalk meets the street at various intervals in order to allow for a maximum movement of meandering form, as well as to maximize the landscape planting areas.
- Westside will have a twelve feet (12') Multi-purpose trail, unimproved dirt per City Parks, Trails and Recreation Master Plan.
- Naturalized landscaped parkways and buffers featuring informal groves of deciduous and evergreen trees, with an understory of either turf, low groundcover, or accent shrubs (majority of plant materials shall be drought tolerant).
- The road will have an on-road bike lane 4' in each direction with no on street parking.

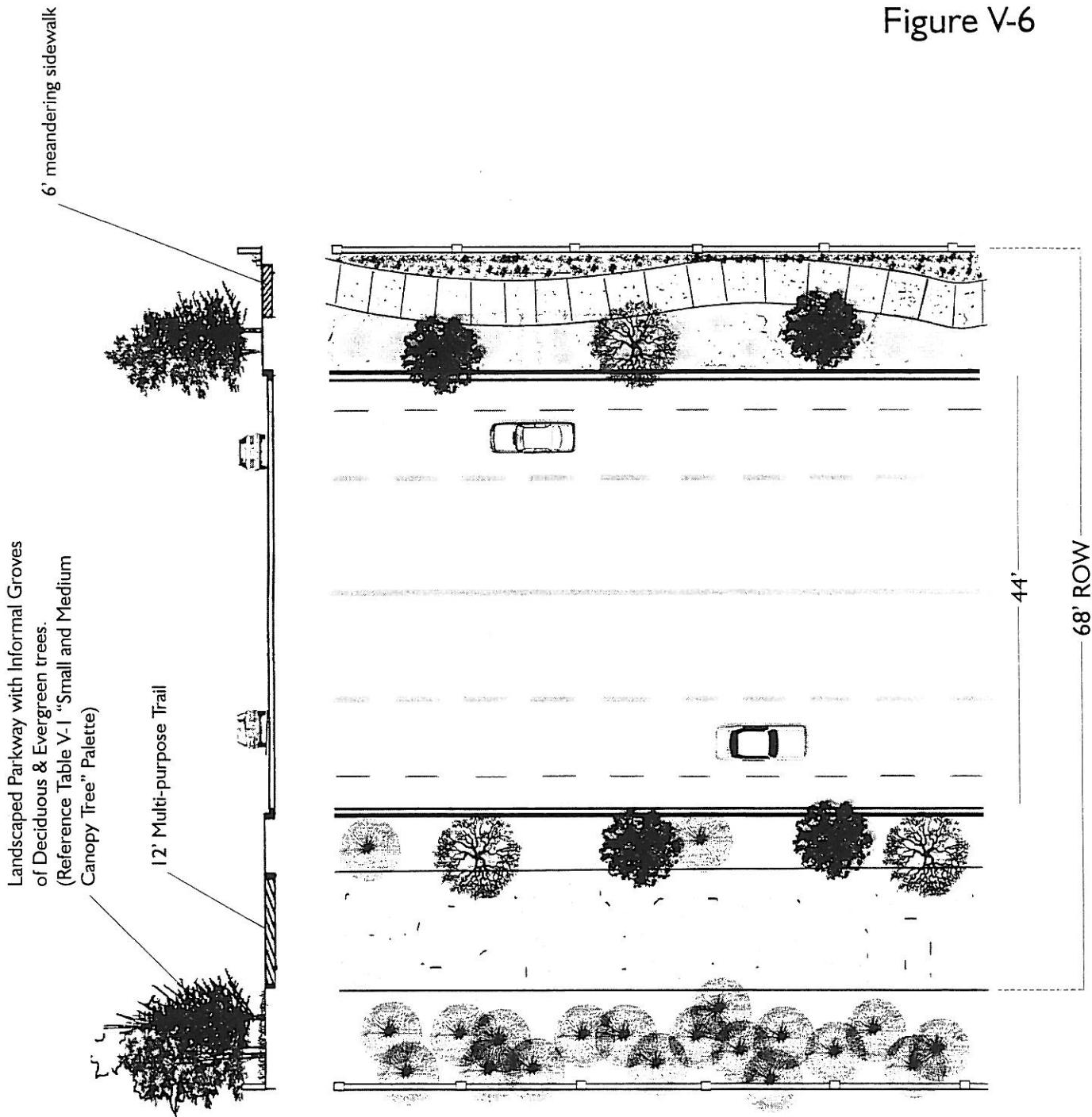
Roadrunner Road (44' ROW) North of Coyote Canyon Road
The streetscape concept is intended to create an informal rural roadway environment for Roadrunner Road. Roadrunner North will be developed as half width to the west plus ten feet (10') on the east for driving lane and a continuation of the twelve feet (12') wide multi-purpose trail.

- Eastside will have 10' of pavement east of the centerline, the remainder of the eastern portion will remain in its current unpaved condition.
- Westside will have a twelve feet (12') Multi-purpose trail, unimproved dirt per City Parks, Trails and Recreation Master Plan and ten feet (10') of Landscape setback to the community wall.
- Naturalized landscaped parkways and buffers featuring informal groves of deciduous and evergreen trees, with an understory of either turf, low groundcover, or accent shrubs (majority of plant materials shall be drought tolerant).
- A split-rail fence will run along the Multi-purpose trail

South Roadrunner Road

Streetscape

Figure V-6





Design Guidelines

Local Roads (64' ROW)

Local roads within the residential neighborhoods of Coyote Canyon will feature shaded parkways and informal streetscapes evoking traditional neighborhoods featuring:

- A five feet (5') wide landscape parkway on each side of the street planted with regularly spaced deciduous street theme canopy trees. Tree species and planting techniques should be selected to create a unified image for the street, provide an effective canopy, avoid sidewalk damage, and minimize water consumption.
- A six feet (6') wide concrete sidewalk.

Local Short Roads (60' ROW)

Local short roads /cul-de-sacs within the residential neighborhoods of Coyote Canyon will feature shaded parkways and informal streetscapes evoking traditional neighborhoods featuring:

- A five feet (5') wide landscape parkway on each side of the street planted with regularly spaced deciduous street theme canopy trees. Tree species and planting techniques should be selected to create a unified image for the street, provide an effective canopy, avoid sidewalk damage, and minimize water consumption.
- A six feet (6') wide concrete sidewalk.

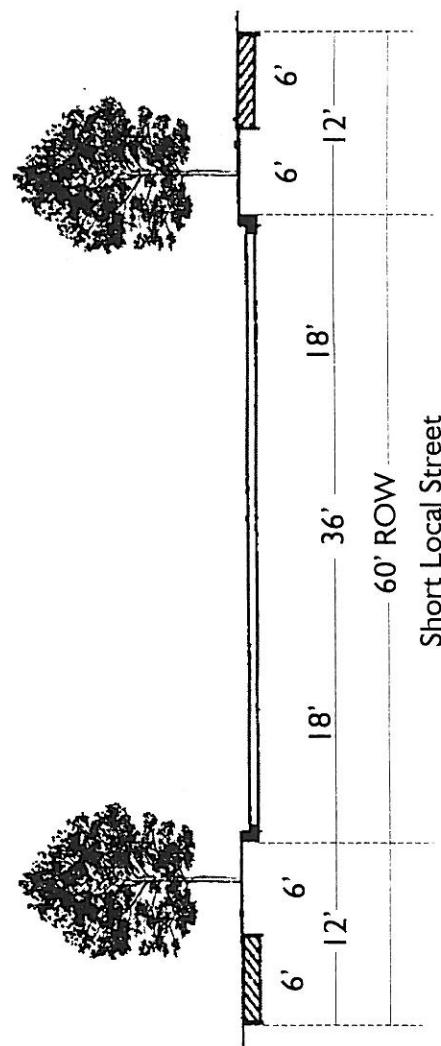
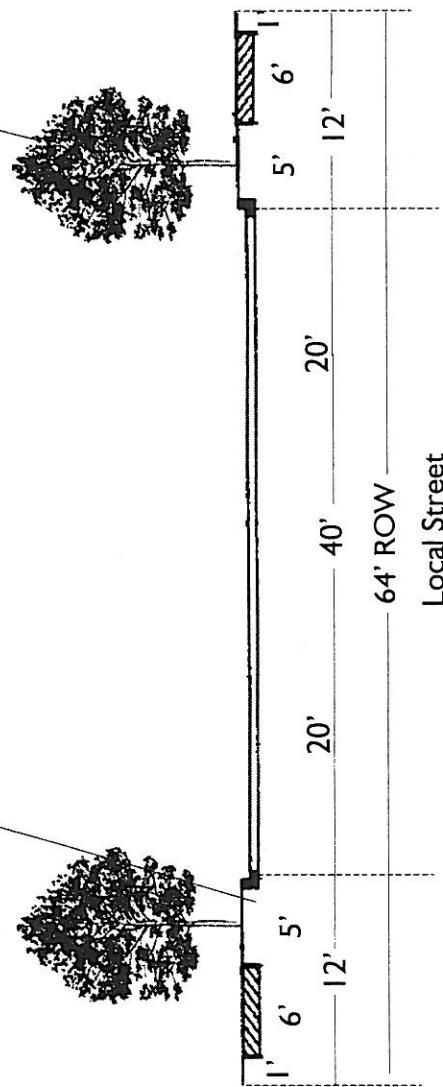
Local Roads and Local Short Roads are from the City standards allowing for intimate neighborhoods to avoid local roads becoming major thoroughfares for vehicular short cuts through the project. (See Figure V-7)

Local Streetscape

Figure V-7

Regularly Spaced Street Theme
Canopy Trees (reference Table V-1
"Small Canopy Tree" Palette)

3' Utility Easement
(Typical both sides of street)





Design Guidelines

C. Walls and Fences

Walls and fences are important features of the Coyote Canyon design plan. They establish enclosure, delineate site areas, offer visual and physical privacy, provide for views in and out of a site, attenuate sound, and provide security. Walls and fences should be used to reinforce the rural theme, reflecting the characteristics of the major project entry monumentation in terms of configuration and materials. Where such elements face public streets and view corridors, they shall appear consistent in style, material, and height, therefore serving as a unifying element throughout the community. (See Figure V-8 & V-9).

General Guidelines

- View fencing should be provided along view corridors.
- Long stretches of unrelieved walls and fences should be broken up with varied setbacks and recesses for plantings.
- Sound attenuation walls and berm techniques are required between residential enclaves and Duncan Canyon Road / I-15.
- Solid walls and fences should be used when they will not detract from accessibility to open space.
- Walls and fences should end in a pilaster. The design of the pilaster should reflect the shape of the supports used in entry monumentation. Specific use of materials may vary from those used in the entry monumentation; however, emphasis is on use of the same natural materials of rock, stone, masonry or as otherwise approved by the Planning commission in a different configuration.
- All interior lot lines require block walls and decorative block when visible from a street or other wall material as approved by the Planning Commission. The walls shall have masonry cap. Wood fences are not permitted.
- All community and perimeter fencing are to be provided by the individual project builders at the time of development.
- If retaining walls are necessary they should be terraced and not exceed a six feet (6') height limit per terrace and decorative if visible from a street.
- When changes in pad elevation occur, the wall or fence should be stepped in equal vertical intervals. No step should exceed twelve inches (12") in height.
- Steel gates with privacy screening (defined as a material used on the steel gate to obscure the view of the back yard from the street) shall be required for side yards.
- All metal or iron fencing material should be powder coated.

WALLS



Design Guidelines

- Except as otherwise provided herein, a solid decorative type masonry wall, landscaped earthen berm, or any combination thereof, totaling not less than six feet (6') in height shall be provided along and immediately adjacent to the site boundary line of any single family development abutting any arterial highway or any alley abutting any such boundary. The height of any such wall and/or berm shall be measured from the highest finished grade level of the building pad of the dwelling units located nearest any such abutting boundary.

Solid Walls

These walls will provide community identity, security, privacy and sound buffering for residential units. Residential development edges visible from Coyote Canyon Road and Duncan Canyon Road should be treated with solid walls screened with landscaping.

- Wall materials should consist of masonry construction finished with fieldstone, stucco, masonry, stone, or rock. Pilasters should incorporate the use of special accent materials such as rock and natural stone or as otherwise approved by the Planning Commission.
- The horizontal mass of the walls shall be interrupted by pilasters, landscape plantings, and vines. Trees shall be provided in groupings. If vines are used in lieu of trees, they shall be sited with informal spacing.
- Construction materials of walls built to screen ancillary structures adjacent to buildings, should be consistent with the main buildings and other walls.
- Walls will be planted with vines to add visual interest and discourage graffiti.
- All block walls shall be capped with a masonry cap.

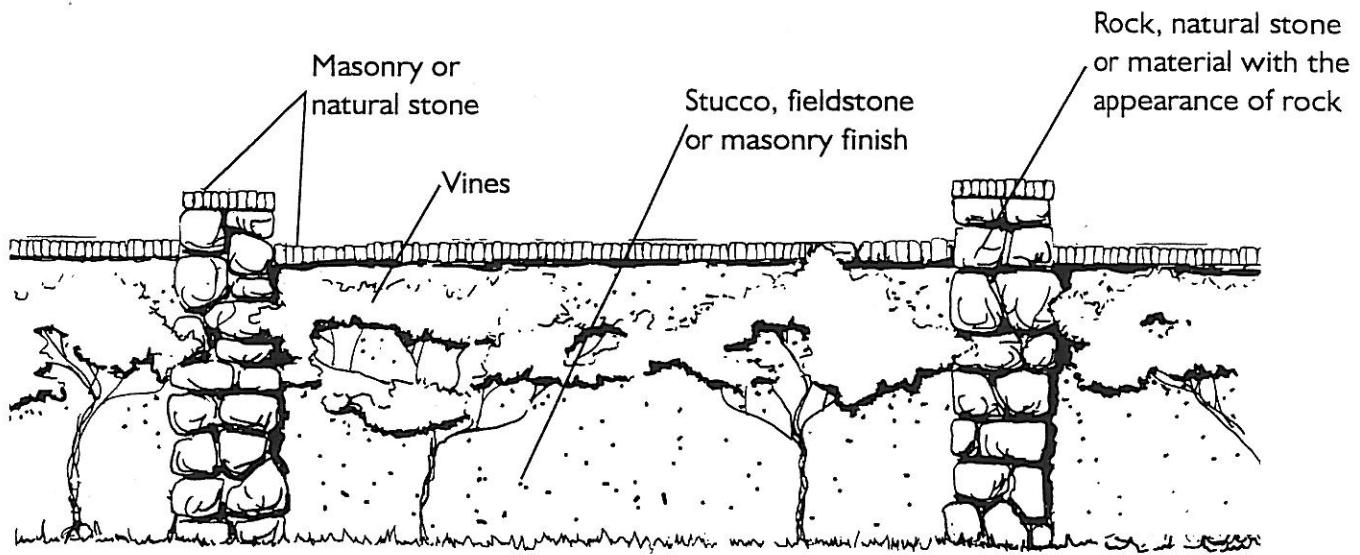
View Fences

View fences are intended to allow views into open space recreation areas, and other uses which do not require protection of privacy. View fences may also serve as security fencing where visibility of the screened use is not an issue. View fences should also be used to increase a sense of openness in rear yards adjacent to open space and the recreational amenities within residential subdivisions.

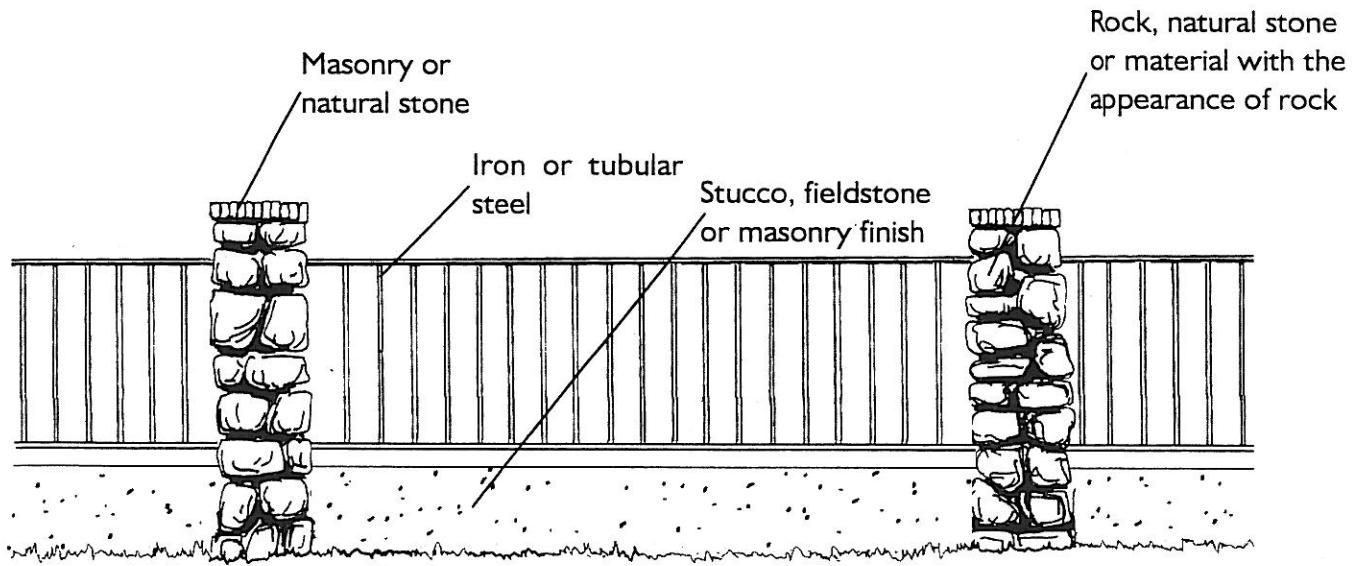
- View fence panels should be interrupted by pilasters of stone, rock, masonry, or stucco with decorative accent material.
- A stone, stucco, rock, masonry wall or similar materials shall be used for the lower two feet (2'), or as otherwise approved by the Planning Commission.
- View fence should be powder coated and designed to withstand 100 mph winds.

Community Theme Walls/Fencing

Figure V-8

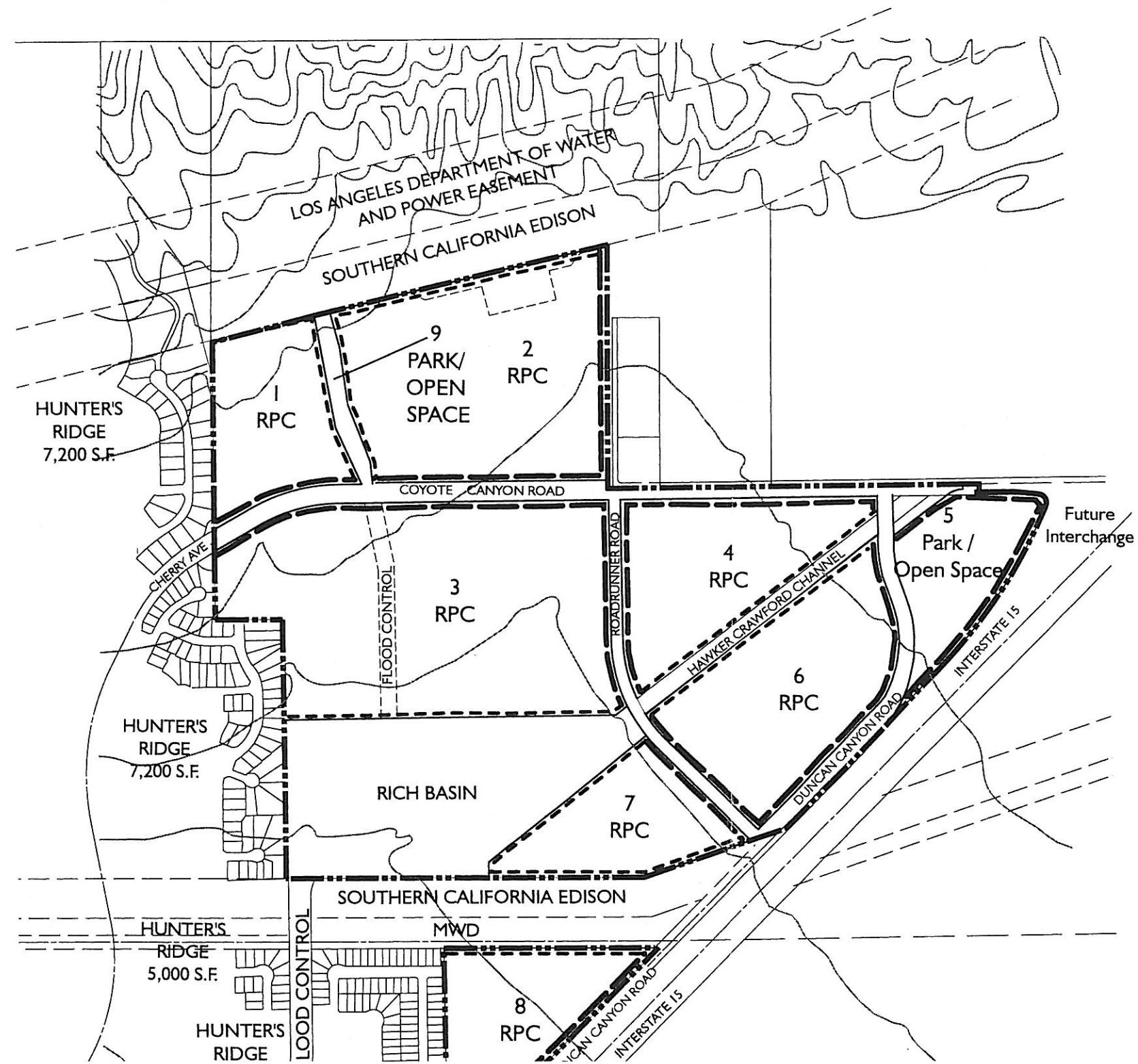


Community Theme Wall



View Fence

Conceptual
Wall and Fence Plan
Figure V-9



Community Theme Wall
 View Fence



Design Guidelines

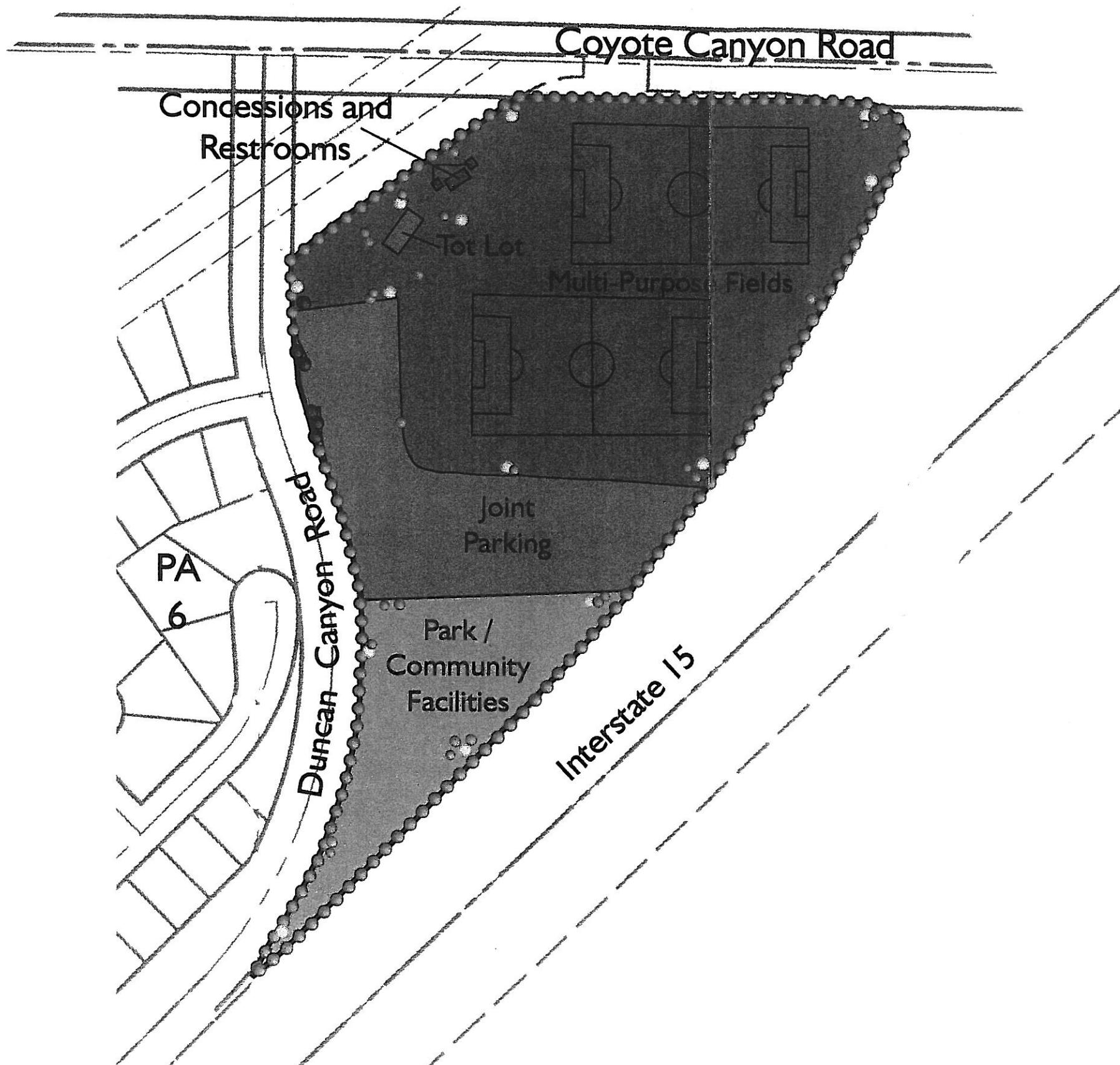
D. Parks

As a recreational and visual amenity, the 13.6 acre multi-purpose Coyote Canyon Community Park (Planning Area 5), provides for an active community park area as well as other community facilities. It is intended that the active park will include facilities for multi-purpose open play fields, and facilities such as a concession stand, restrooms, a tot-lot and on-site parking (See Figure V-10). The 2.4 acre passive park (Planning Area 9) is a riparian corridor which provides an important visual link to the San Gabriel mountains from Coyote Canyon Road. Different activity subareas within the passive park include woodland groves for family and group picnicking, and passive use areas. No non-native invasive plant species will be allowed within the passive park area.

Parking areas should be screened in a manner which improves off-site views from the public rights-of-way but which does not compromise public safety within the parking areas. Screening should incorporate landscaping to aesthetically enhance the parking area and to provide shade.

The passive park (planning area 9) will incorporate a nature trail with seating/rest areas and view points. The nature trail will follow the woodland/riparian corridor with the preserved black walnut and sycamore trees that grow around the drainage that flows down from the San Gabriel mountains. The area will be enhanced with native species of grasses/shrubs and trees as well as allowing the groundwater and low flow waters to continue through this area. This trail will provide access from Coyote Canyon Road to the existing regional trail within the Utility corridor and to the future Hunter's Ridge Wilderness Park. The nature trail will be an decomposed granite (DG) path. The multi-purpose trails along Roadrunner Road will be an unimproved dirt path, per the City Parks, Trails and Recreation Master Plan.

Conceptual
Active Park
Figure V-10



This exhibit is purely conceptual.
The actual park configuration
may vary from this concept and
will depend upon lotting and
grading.

3. Site Planning

The Site Planning guidelines for Coyote Canyon are intended to provide designers and engineers with qualitative criteria which goes beyond minimum development standards (eg. dimensioning of width, depth, and area) in order to provide design alternatives which emphasize “sense of place” and visual amenities, while meeting functional and development criteria of home builders, the City, and affected agencies.

A. Local Street Layout

Design solutions for residential street layouts should consider land form, grades, and circulation hierarchy, and employ appropriate street configurations. Local streets should be designed to:

- Serve local volumes of traffic
- Encourage pedestrian and bicycle circulation by providing safe, comfortable, visually interesting and connected routes
- Reduce traffic speeds

Cul-de-sac streets present special opportunities and challenges. Opportunities cul-de-sacs, effectively limit vehicular circulation, preserve natural features, and provide safety and privacy for adjacent homes. Challenges of Cul-de-sacs include the creation of indirect, circuitous circulation routes which can lead to problems with pedestrian / bicycle use. Alternative cul-de-sac opportunities should be considered such as:

- “Punching through” the bulb with an expanded parkway in order to provide for non-vehicular access to community-wide pedestrian/bicycle circulation networks

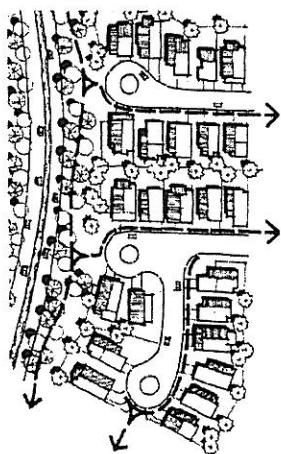
B. Plotting / Street Scene

The careful integration of architecture, landscaping and site layout is critical to the creation of spatially distinctive street scenes within the neighborhoods of Coyote Canyon.

- A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).
- If the same floor plan is used for adjacent homes, one shall be the reverse of the other and have a different elevation.
- No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.
- No two adjacent homes using the same floor plan shall have the same exterior color scheme / treatment.
- Adjacent homes shall have varying setbacks. Minimum



Design
Guidelines





Design Guidelines

variation shall be four feet (4') unless located on a curvilinear street, which provides a varied street scene, and then the variation shall be three feet (3'). When one and two story homes are adjacent, the two-story home shall have the larger front setback.

- Floor plan maximum and minimum percentages for each model type shall be established.
- Residential garages should be positioned to reduce their visual impact on the street. This will allow the active, visually interesting features of the house to dominate the streetscape. Side entry garages are also encouraged.
- Sidewalks should be separated from the curb by a parkway of sufficient width to accommodate appropriate landscaping.
- At least two out of every three models shall upgrade the hardscape used within the concrete walkways leading to the house in order to complement the home's exterior architectural elements. (Example: use of decorative troweled bands; decorative patterned scoring; exposed aggregate finishes; stamped concrete, etc).
- Varied driveway locations are encouraged to break up repetitive curb cuts and yard patterns.
- The front yard setback of individual homes should be staggered to create a varied streetscape.
- Rear setbacks for all structures facing roadways and other areas of high visibility should be varied.
- Maximize relationship of residential to open space.
- Front porches and bays are encouraged at the setback line in order to function as semi-private spaces that create opportunities for social interaction within neighborhoods, bringing eyes onto the street.



Design Guidelines

4. Architecture

The Architectural Guidelines for Coyote Canyon permit considerable variety and creativity within a common framework in order to maintain a cohesive community image while simulating the appearance of classic upscale neighborhoods comprised of custom homes. The following are suggestions not requirements.

A. Building Mass

- Building lines should emphasize horizontal elements and roof lines
- Second story elements should be set back from internal streets
- Combining one and two-story elements is encouraged
- Large expanses of flat wall planes vertically or horizontally are discouraged
- The height and bulk of buildings should relate to the size, shape and topography of the site
- Building masses should be asymmetrical, unless the particular style calls for a more formal design
- Buildings should incorporate strong simple massing with broken and varied elements.
- The height and bulk of buildings should not unduly block views and/or solar access of adjacent and other nearby buildings

B. Elevations / Facades

Although no single architectural theme is mandated, individual neighborhoods should reflect a diversity of distinct architectural styles.

- A variety of enhanced architectural features and materials shall be provided on every front elevation that reflect a rural atmosphere. This can include, but is not limited to, porches, bay windows, pop-outs, veneers, river rock, brick, wood siding, etc. or other such features approved by the Planning Commission.
- At least two out of every three models shall provide general architectural relief at the rear elevation of each home in order to avoid one continuous wall or flat surface on the rear of the home. Fireplaces, rear yard trellises, and media niches may be considered in this requirement.
- Where similar floor plans of the same unit are located on adjacent lots, one should be a reverse plan and different in elevation from the other of the same plan.



Design Guidelines

- A variety of designs shall be used on garage doors , with two adjoining homes that have the same floor plan and elevation using the same garage door pattern. In no case shall more than three homes of any floor plan or elevation have the same garage door pattern in a row. At least two models shall be provided with windows or patterns in a variety of designs.
- All garage doors shall be metal, sectional, and roll-up. The applicant shall provide a color board indicating proposed garage door colors for Planning Commission approval.
- Trim with a stucco covering may be painted in a contrasting color. The contrasting color should be color compatible with the trim color.
- Sufficient decorative trim shall surround vents and windows to enhance the natural architecture of the unit(s).
- Homes with a trim (band) feature, which distinguishes the first and second floors, should have the band on the front and rear elevation of the homes. The band will only be required on side elevations or rear elevations on lots where the elevation is visible from the street.
- Two story homes with a second story elevation facing a public right-of-way shall be provided with design features which could include pot shelves, shutters, wood siding under roof peaks, color contrasting paint under roof peaks and/or windows, etc. or such other features approved by the Planning Commission
- The Community Development Director, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, façade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.
- Architectural treatment shall be provided on each chimneystack.
- When used, mullions shall be provided on first, second, and third story windows, as approved by the Planning Commission. The mullions shall be provided in a variety of shapes.
- Wall-mounted decorative lighting fixtures shall be provided at the front porch area as well as on each side of the garage door. A sample of lighting types to be used shall be provided for Planning Commission review and approval.
- All front doors shall provide a window or other decorative treatment. A sample of door treatments shall be provided



Design Guidelines

for Planning Commission review and approval.

- Each lot shall be provided with four (4) phone lines to the house.
- All utility boxes shall be under grounded or camouflaged with fake rock boxes or similar type.
- Projections, offsets, overhangs and recesses should be used to create shadow.
- These guidelines apply to side and rear elevations visible from corner lots, roadways, and open spaces.

C. Roofs

- Roof material shall be comprised of clay, slate, concrete, or similar appearance tiles. Tile shall be a variegated color and non-reflective (unglazed).
- Variation in roof forms, colors, and materials shall be utilized to create an appearance of custom styles within an ordered neighborhood.
- Roof vents and appurtenances should be positioned away from the street or finished to match the roof color to minimize visual impact.
- Roof pitches and forms may vary in order to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the street scene.
- Roof and wall additions shall be of the same materials as main structures

D. Windows and Doors

- Window frames, mullions, awnings, and door frames are encouraged and should be color coordinated with the rest of the building
- Architectural projections and recesses such as pop-out windows and doors, shutters, and pot shelves may be used to achieve articulation and shadowing effects
- The front entry should be articulated through the use of roof elements, porches, columns, arches or other architectural features.
- Window details create an opportunity to provide contrasting trim colors
- Multi-lite windows, clerestories, paned / side-lite doors, and shutters are encouraged where appropriate to the architectural style of the home

E. Miscellaneous Design Elements

Building materials and colors shall complement the rural/natural, climatic and built environment of Coyote Canyon.



Design Guidelines

Whenever possible, materials should be durable and require minimal maintenance such as, wood siding or river rock accents.

- Paints, stains and stucco should, in most cases, be limited primarily to neutral colors, grays, and earth tones with soft pastels for accent color. Color schemes should be appropriate to the architectural concept chosen. Accent colors and pure hues should be used on moldings, doors, window frames, fascias, awnings, window boxes, shutters, cornices, and accent trim. Wood may be treated with transparent stains or paints if desired.
- All flashing and sheet metal should be painted or covered from view in a manner consistent with the general exterior architectural treatment of the building.
- Architectural screens, fences and accessory structures should be compatible in material, color and texture to the main buildings.
- Steel gates with privacy screening (defined as material used on the steel gate to obscure the view of the back yard from the street) shall be required for side yards.

VI. Development Standards

Coyote Canyon

VI. Development Standards

1. Introduction

The Development Regulations contained herein have been established to provide criteria for the development of individual planning areas within Coyote Canyon, and are the means by which the successful implementation of the planning concepts and provisions of the Specific Plan are ensured.

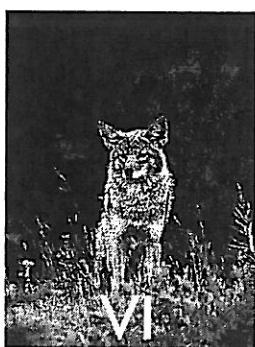
2. Development Regulations

Implementation of the Coyote Canyon Specific Plan is accomplished through a set of Development Regulations and Design Guidelines. The Coyote Canyon Specific Plan provides several benefits to the City of Fontana which justifies the adoption of the regulations and standards contained within this document.

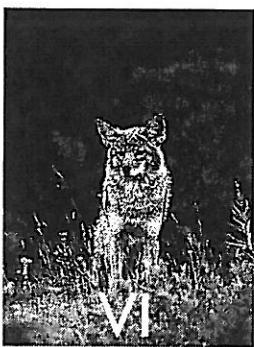
3. General Provisions

A. Purpose/Intent

In an effort to provide a document which serves as the comprehensive regulatory document for Coyote Canyon, the Development Regulations have been tailored to the specific conditions of the project. As a result, there may be some variation between these regulations and existing City of Fontana development standards. Therefore, these Specific Plan Development Regulations supercede otherwise applicable City ordinances and codes, unless specifically stated herein to the contrary. The standards will provide for the arrangement, development and use of a variety of single family detached residential housing types and sizes and open space/parks consistent with the intent, purpose and goals of the City of Fontana's General Plan. Application of the regulations and standards contained within this document are intended to provide for the appropriate land use and to protect the health, safety and welfare of the entire community. The City of Fontana's Zoning and Development Code will take precedence for issues not covered within the



Development Standards



Development Standards

Specific Plan document.

B. General Notes

- I. Any land uses proposed which are not specifically covered by the regulations contained herein shall be subject to the regulations of the City of Fontana's Zoning and Development Code for the underlying zone.
- II. Whenever the regulations contained herein differ from the regulations of the City of Fontana's zoning code, the regulations of the Coyote Canyon Specific Plan shall take precedence.
- III. The maximum number of dwelling units within the Coyote Canyon Specific Plan shall be 660. The approximate number of dwelling units for each planning area is shown in the Coyote Canyon Land Use Summary. During the site planning and tentative mapping stages of the project the actual number of dwelling units and size of specific planning areas may vary from those specified in the Coyote Canyon Specific Land Use Plan. The density, product type and development standards of a residential planning area may be transferred to another planning area, subject to approval of the Community Development Director, provided such a transfer does not exceed ten percent (10%) of the maximum number of dwelling units for that planning area, is consistent with the design objectives of the Specific Plan and is similar lot size/density.
- IV. Planning areas within the Specific Plan may be adjusted, so long as total acreage of the planning area does not decrease or increase by more than 10% of that stated within the Specific Plan. Therefore, actual size and boundary configurations of planning areas may vary upon final engineering and design. Minor boundary and acreage variations shall be permitted, subject to approval of the Community Development Director, without



Development Standards

an amendment to the Specific Plan.

- V. Density transfers within planning areas shall be considered consistent with the General Plan provided: a) the overall maximum of dwellings units is not exceeded; b) individual zoning maximums are not exceeded; and c) the general location of planning areas is approximate to the area shown on the Land Use Plan.
- VI. All applicable building codes shall be complied with during construction (plumbing, mechanical, structural and building.)
- VII. All terms used within this document shall have the same definitions as provided in the City of Fontana Zoning and Development Code, unless otherwise specified.
- VIII. Drainage facilities shall comply with all City of the Fontana Community Development Department, Engineering or any other agency regulations designated by the City.
- IX. Sewer treatment and collection facilities shall comply with the standards of the City of Fontana and the Inland Empire Utilities Agency.
- X. Water, electricity, gas, telephone and cable services shall comply with the requirements of the West San Bernardino County Water District and/or Fontana Water Company, Southern California Edison, Southern California Gas Company, Pacific Bell Company and Comcast Cable, respectively.
- XI. Emergency services and police protection shall comply with the requirements of the City of Fontana.
- XII. Fire protection shall comply with the requirements of the San Bernardino County Central Valley Fire District.



Development Standards

4. Residential Standards

A. Development of (SFD 7,200) Single Family Detached Planning Areas: 6, 7 & 8

The Standards of the SFD 7,200 Zone shall include the following:

Permitted Use. The following uses shall be permitted:

- I) Single-family detached dwelling unit
- II) Accessory buildings, structures and uses related to a permitted use
- III) Service and utility facilities as required to implement the Specific Plan

Lot Area. The minimum lot area shall be seven thousand two hundred square feet (7,200 sf)

Minimum Unit Size. The minimum unit size shall be twenty-one hundred square feet (2,100 sf)

Minimum Lot Depth. All lots shall have a minimum depth of one hundred feet (100')

Minimum Lot Frontage. The minimum lot frontage at the front property line shall be sixty feet (60'), minimum lot frontage on cul-de-sac lots shall be thirty feet (30') at the right-of-way

Maximum Lot Coverage. The maximum lot coverage shall be forty-five percent (45%)

Building Height. Maximum height for all buildings shall be two and one-half (2 1/2) stories, not to exceed thirty-five feet (35')

Minimum Front Yard. Front yard setback for the habitable portion of the house shall be a minimum of twenty feet (20') with an average of twenty-five feet (25'), single-story homes with side entry garages shall have minimum front yard setback of fifteen feet (15')



Development Standards

with an average of twenty feet (20')

Minimum Rear Yard. Rear yard setbacks shall be a minimum of twenty feet (20')

Minimum Side Yard. The minimum side yard shall be five (5) feet with an aggregate side yard setback of fifteen feet (15'), Corner lot street side yard setbacks shall be a minimum of ten feet (10').

PLANNING AREA
1,3,4

Front Entry Garages. The minimum street setback to front entry garages shall be twenty feet (20') from the back of the property line with a roll-up garage door.

Side Entry Garages. The minimum street setback to any side entry garage shall be fifteen feet (15') from the back of the property line.

Parking Spaces. Two (2) garage spaces are required per dwelling unit for a three (3) bedroom house. One (1) additional, garage space is required for every two (2) bedrooms over three (3).

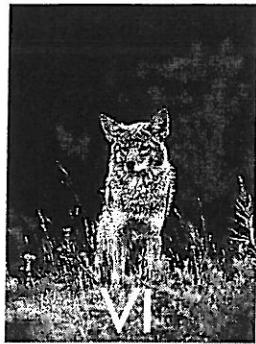
Patio Covers & Room Additions, Will be per the City Zoning and Development Code.

B. Development of (SFD 8,500) Single Family Detached Planning Areas: 1, 3 & 4

The Standards of the SFD 8,500 Zone shall include the following:

Permitted Use. The following uses shall be permitted:

- I) Single-family detached dwelling unit
- II) Accessory buildings, structures and uses related to a permitted use
- III) Service and utility facilities as required to implement the Specific Plan



Development Standards

Lot Area. The lots within these planning areas shall have a minimum lot area of eight thousand five hundred square feet (8,500 sf)

Minimum Unit Size. The minimum unit size shall be twenty-one hundred square feet (2,100 sf).

Minimum Lot Depth. All lots shall have a minimum depth of one hundred feet (100')

Minimum Lot Frontage. The minimum lot frontage at the front property line shall be sixty feet (60'), minimum lot frontage on cul-de-sac lots shall be thirty feet (30') at the right-of-way

Maximum Lot Coverage. The maximum lot coverage shall be forty-five percent (45%)

Building Height. Maximum height for all buildings shall be two and one-half (2 ½) stories, not to exceed thirty-five feet (35')

Minimum Front Yard. Front yard setback for the habitable portion of the house shall be a minimum of twenty feet (20') with an average of twenty-five feet (25'), single-story homes with side entry garages shall have minimum front yard setback of fifteen feet (15') with an average of twenty feet (20')

Minimum Rear Yard. Rear yard setbacks shall be a minimum of twenty feet (20')

Minimum Side Yard. The minimum side yard shall be five (5) feet with an aggregate side yard setback of fifteen feet (15'), Corner lot street side yard setbacks shall be a minimum of ten feet (10').

Front Entry Garages. The minimum street setback to front entry garages shall be eighteen feet (18') from the back of the property line with a roll-up garage.

Side Entry Garages. The minimum street setback to any side entry garage shall be fifteen feet (15') from the back of the property line.



Development Standards

Parking Spaces. Two (2) garage spaces are required per dwelling unit for a three (3) bedroom house. One (1) additional, garage space is required for every two (2) bedrooms over three (3).

Patio Covers & Room Additions, Will be per the City Zoning and Development Code.

C. Development of (SFD 10,000) Single Family Detached Planning Area: 2

The Standards of the SFD 10,000 Zone shall include but not be limited to the following:

Permitted Use. The following uses shall be permitted:

- I) Single-family detached dwelling unit
- II) Accessory buildings, structures and uses related to a permitted use
- III) Service and utility facilities as required to implement the Specific Plan

Lot Area. The lots within this planning area shall have a minimum lot area of ten thousand square feet (10,000 sf)

Minimum Unit Size. The minimum unit size shall be twenty-one hundred square feet (2,100 sf).

Minimum Lot Depth. All lots shall have a minimum depth of one hundred feet (100')

Minimum Lot Frontage. The minimum lot frontage at the front property line shall be sixty-five feet (65'), minimum lot frontage on cul-de-sac lots shall be thirty-five feet (35') at the right-of-way

Maximum Lot Coverage. The maximum lot coverage shall be forty-five percent (45%)

Building Height. Maximum height for all buildings shall be two and one-half (2 1/2) stories, not to exceed thirty-five feet (35')

PLANNING
AREA
2



Development Standards

Minimum Front Yard. Front yard setback for the habitable portion of the house shall be a minimum of twenty feet (20') with an average of twenty-five feet (25'), single-story homes with side entry garages shall have minimum front yard setback of fifteen feet (15') with an average of twenty feet (20')

Minimum Rear Yard. Rear yard setbacks shall be a minimum of twenty-five feet (25')

Minimum Side Yard. The minimum side yard shall be five (5) feet with an aggregate side yard setback of fifteen feet (15'), Corner lot street side yard setbacks shall be a minimum of ten feet (10').

Front Entry Garages. The minimum street setback to front entry garages shall be eighteen feet (18') from the back of the property line with roll-up garage.

Side Entry Garages. The minimum street setback to any side entry garage shall be fifteen feet (15') from the back of the property line.

Parking Spaces. Two (2) garage spaces are required per dwelling unit for a three (3) bedroom house. One (1) additional, garage space is required for every two (2) bedrooms over three (3).

Patio Covers and Room Additions, Will be per the City Zoning and Development Code.

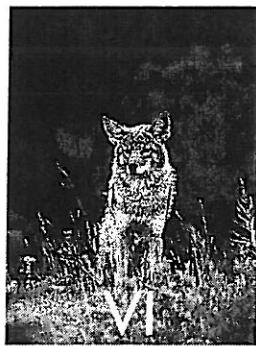
C. Development of Open Space/Public Park/Trails /Flood Control Facilities

The Standards for the Open Space, Public Park, trails, and flood control facilities shall be those of the City's "OS" Open Space Zone. Uses shall include passive and active recreation as well as water conveyance and detention facilities.

5. Landscape Development Regulations

A. General Provisions

All Landscape plans, streetscape plans and graphic designs with regard to community identity,



Development Standards

neighborhood identity or entry monumentation shall conform to the regulations and plans set forth herein and shall be subject to review and approval by the City of Fontana or their authorized representative. The Landscape/Streetscape improvements for the Coyote Canyon Specific Plan shall establish a landscape architectural theme reminiscent of Hunter's Ridge character.

B. Landscape Standards

- Plantings within public areas of Coyote Canyon should be selected from the palette of plants indicated in Table(s) VI-1 & VI-2, "Coyote Canyon Tree & Plant Palettes"
- Landscaping within Coyote Canyon shall be provided in accordance with the Master Plan of Streetscapes and Entries.
- Boundary landscaping areas shall generally be placed along property lines adjacent to residential.
- Freestanding perimeter walls shall be provided within and at the perimeter of Coyote Canyon as specified in the Community Wall Plan. Such walls will be constructed concurrently with the construction of improvements required to be developed within each of the Development Areas of the plan.
- All perimeter wall materials throughout the community will conform to the wall and fences plan with colors specified within the Design Guidelines for Coyote Canyon for an overall community design theme.
- The Developer will coordinate efforts with the City and the utility companies which maintain ownership and/or easements within the utility corridor bisecting the property, in order to implement the landscape and recreational improvements proposed by the plan.
- Colored concrete stamped for the appearance of cobblestones or cobble should be installed in the bullnose and throughout the median landscape. The



median landscape should have a 24" wide colored concrete stamped for the appearance of cobblestones or cobble border, measured from the face of curb.

C. Streetscape Standards

- The Streetscapes within Coyote Canyon shall be implemented by the Developer in accordance with the Master Plan of Streetscapes and Entries.
- The Developer will install all primary and secondary entry improvements concurrently with the construction of the roadway on which they front.
- Streetscape plantings should be in conformance with the Tree and Plant Palettes specified in Tables V-1 and V-2.



Development Standards

VII. Plan Implementation

Coyote Canyon

VII. Plan Implementation

I. Plan Administration

The Coyote Canyon Specific Plan serves as the zoning and General Plan implementation document for the project in conjunction with Chapter 30 of the Fontana Zoning and Development Code and Ordinance 845. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

A. Specific Plan Adoption

Government Code Section 65453 (a) states that:

“A Specific Plan shall be prepared, adopted and amended in the same manner as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

The Coyote Canyon Specific Plan will be adopted by Ordinance in accordance with City policy.

The Coyote Canyon Specific Plan has been developed as both a regulatory document and land use policy. The development standards have been structured in a format consistent with the City of Fontana Zoning and Development Code, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the Coyote Canyon Specific Plan are oriented to land use policies and include background and project information, planning policies, design criteria, conceptual plans and infrastructure proposals.

B. Implementation

The Coyote Canyon Community shall be implemented through the processing of tract maps, parcel maps and site plans. The implementation process, as described



Plan
Implementation



Plan Implementation

below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

I. Applicability

All development within Coyote Canyon shall be subject to the implementation procedures herein. Whenever the provisions and development standards contained herein conflict with those contained in the City of Fontana Zoning and Development Code, the provisions of the Coyote Canyon Specific Plan shall take precedence.

II. Development Review Process

Tentative Tract/Parcel Maps and Site Plans for development within the Specific Plan area shall be submitted to the Director of Community Development Department, Planning Division for review and processing. Tentative Maps and Site Plans shall be prepared and submitted in accordance with City of Fontana requirements and local codes (Fontana Municipal Codes). They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

C. Procedures for Review and Approval

The procedures are per Chapter 30 of the City Zoning and Development Code to be used for the review and approval of Site Plans for individual planning areas, and establish the requirements for making changes or additions to the Specific Plan. It should be noted that upon adoption of this Specific Plan document, the land use designations indicated on the Land Use Plan shall be applied and will attain the regulatory equivalence of zoning ordinances. Hearings may be given at the same time and in the same manner as specified for hearings for Tract Maps and Parcel Maps in



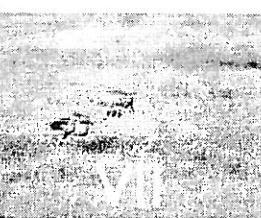
Plan Implementation

the Municipal Code. If the plan is found to be consistent with the Specific Plan and this chapter, the Planning Commission as applicable, shall approve the plan and direct that the Zoning Map of the City be amended when need be. The decision of the Planning Commission shall be final, subject to appeal or review by the City Council in the same time and manner as provided for appeal from decisions of the advisory agency on Tract Maps or Parcel Maps as set forth in Chapter 30 of the City's Municipal Code.

D. Minor Modifications

The following constitute minor modifications to the Specific Plan which do not require a Specific Plan Amendment and are subject to review and approval by the Community Development Director. The Community Development Director, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- I. Final facility sizing and precise location of water, sewer and storm drainage improvements with recommendation of the City Engineer.
- II. Change in utility and/or infrastructure servicing agency.
- III. Arterial, collector or local road alignment revisions when the centerline moves by less than two hundred feet (200').
- IV. Collector street alignments within individual planning area tracts.
- V. Alignment of pedestrian trails and off-street bike lanes.
- VI. Decrease in project density.
- VII. Adjustment of planning areas so long as the total acreage of the planning area does not



Plan Implementation

decrease or increase by more than 10% of that stated within this Specific Plan.

- VIII. Minor changes to landscape, wall material, wall alignment and streetscape design modifications which are consistent with the design guidelines contained in this document.
- IX. Minor revisions to project graphics which do not substantially change the intent of the graphics within the Coyote Canyon Specific Plan.
- X. Transfer of units of 10% or less only if the same land use.
- XI. Minor Modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- XII. Specific modifications of a similar nature to those listed above, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.

E. Effective Date

All Amendments per this Section shall be adopted by ordinance and shall take effect per the City Code.

F. Disclaimer

"If for any reason any portion of this Specific Plan is declared invalid or unconstitutional, then all other portions of it shall remain valid and enforceable."

VIII. General Plan Consistency

Coyote Canyon

VIII. General Plan Consistency

I. General Plan Consistency

The overall relationship between the Coyote Canyon Specific Plan and the Fontana General Plan is that the Specific Plan provides a site-specific, detailed description of regulations, standards and guidelines for implementing General Plan goals and policies. To achieve this, the Specific Plan must be in conformance with and be consistent with the General Plan.

Consistency with the General Plan is achieved when the various land uses within the Specific Plan are compatible with the goals, objectives, policies, general pattern of land uses and programs contained in the General Plan. Consistency is defined as follows: *“An action, program or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.”* This statement from the Governor’s Office of Planning and Research describes how a Specific Plan should be consistent with the General Plan.

General Plan Consistency

The Coyote Canyon Specific Plan implements the goals and policies of the City of Fontana General Plan. As such, Coyote Canyon is consistent with the goals and policies of the General Plan (Source: Fontana General Plan, adopted May, 1990). A detailed element-by-element discussion of General Plan conformance pertaining to goals and policies is provided below:

A. Land Use

Goal : Provide a balance of residential, commercial, industrial, educational, open space, and recreational land uses which will provide diverse economic, social and cultural opportunities.

Consistency: Coyote Canyon provides a large lot component not found elsewhere in the City. Over 41 acres are devoted to ten thousand square foot (10,000 sf) lots in Planning Area 2.

General Plan Consistency



The project will provide an active recreation area for residents as well as a nature trail area for open space opportunities. There are over 56 acres of Open Space.

Goal : Protection and enhancement of community values by affecting land use patterns that are compatible with the local and regional environment.

Consistency: The Coyote Canyon Land Use Plan will have a positive effect on the community. The minimum lot sizes will start at 7,200 sf creating larger lots for development of higher end products. This project will be complimentary to the Hunter's Ridge development to the West.

Goal : Provide for a logical, orderly, and environmentally sound land use strategy which established Fontana as a unified and economically sound community.

Consistency: The Coyote Canyon project will be built as a logical connection to Hunter's Ridge continuing growth without creating holes to infill later. The project is incorporating preservation and enhancement of a natural drainage on site .

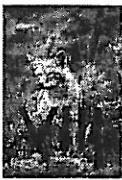
B. Circulation

Goal : To provide a balanced transportation system that meets the needs of residents and ensures the safe and efficient movements of vehicles, people and goods throughout the Planning Area.

Consistency: The project roadways will be built to City standards. The internal residential roads are designed to keep local streets for neighborhood traffic and are not intended to be major thoroughfares.

Goal : Provide a connection to the regional network of transportation facilities that ensure the safe and efficient movement of vehicles, peoples and goods throughout the City from the Planning Area.

General Plan Consistency



Consistency: Coyote Canyon is extending Cherry Avenue (Coyote Canyon Road) from Hunter's Ridge to the east connecting through to Duncan Canyon and will be consistent with the General Plan's Circulation element.

Goal : *Encourage an improved citywide public transit system that provides mobility to all City residents.*

Consistency: The Coyote Canyon project will accommodate public transit through circulation design and the appropriate programs.

Goal : *To protect and encourage non-motorized transportation such as bicycle and pedestrian routes.*

Consistency: The proposed project promotes the use of alternative modes of transportation by providing a comprehensive bicycle trail system and designing a system of safe walkways throughout the development.

Goal : *Provide a circulation system that reduces conflicts between commercial trucking, private/public transportation and land uses.*

Consistency: There are no commercial or institutional sites within Coyote Canyon, and significant east/west traffic flows are carried on Cherry Avenue/Coyote Canyon Road.

C. Housing

Goal : *Encourage the provision of a wide range of housing by location, type of unit, and price to meet the existing and future needs of Fontana residents.*

Consistency: The Coyote Canyon Land Use Plan will increase the number of premium priced housing for the City.

Goal : *Promote equal opportunity for all residents to reside in the housing of their choice.*



General Plan Consistency

Consistency: The variety of residential product types provided within Coyote Canyon will accommodate families with differing housing needs and socio-economic levels, ranging from single family detached housing to large premium residential developments. The development will encourage the production of residential units which are accessible to handicapped persons or are adaptable for conversion to residential use by handicapped persons, per state and federal regulations.

D. Community Design

Goal : *Reduce/prevent conflicts between land uses in existing and future developments.*

Consistency: The Coyote Canyon Land Use Plan is compatible with the existing and proposed surrounding land uses by its proposed land use design and buffering.

Goal : *Improve the image and appearance, and promote the functional efficiency of the City.*

Consistency: Coyote Canyon has been designed to enhance the Northern Fontana image at the City's Northeastern gateway. Master theme entries will incorporate landscape, decorative walls and appropriate signage and will be an extension of the Hunter's Ridge character. The project will help to improve the image, appearance and functional efficiency of Fontana. The project will have high end housing and continue the overall feel of Hunter's Ridge with a rural atmosphere.

Goal : *Provide for the preservation and rehabilitation of Fontana's cultural and historic character.*

Consistency: Per the Cultural Resources Report, there are no on-site cultural or historically significant sites or structures.

Goal : *The natural and man-made environment of Fontana shall be designed and coordinated to unify the City while also preserving the unique character of neighborhoods through the City.*

Consistency: Coyote Canyon, by providing the nature trail and open space area throughout (flood control and natural drainage area) the project, incorporates natural/open space areas into the development. The nature trail will provide access to the regional trail (frontline trail.) The project will be an extension of the Hunter's Ridge character unifying the Hunter's Ridge and Coyote Canyon neighborhoods.

F. Infrastructure

Goal : *Ensure the timely, logical and cost effective development of infrastructure facilities.*

Consistency: The project will provide for major infrastructure improvements, including streets, utilities, water, sewer and storm drain facilities, as well as parks and pedestrian/bicycle paths. All facilities will be constructed and maintained in accordance with applicable standards. The major backbone infrastructure will be constructed with the first phases of development, to provide the necessary infrastructure.

Goal : *Provide for the urbanization, both through infill and development of vacant areas in a responsible manner which balances growth with adequate services and infrastructure.*

Consistency: The project will provide for development of the vacant lands east of Hunter's Ridge, leaving no land between the two developments for infill. Coyote Canyon will construct the necessary infrastructure to provide the services for the project area in a timely manner to allow project residents the necessary services.



**General Plan
Consistency**

Goal : *Continue to provide for the safe collection of solid waste from residents.*

Consistency: The Coyote Canyon project will be adding an extension to the sanitary sewage system to enable proper disposal of solid waste for the project residents.

Goal : *Provide for the adequate, timely and economically sound development of flood protection facilities for residents.*

Consistency: The development will include the construction of water detention basins and build out of master plan of flood control facilities. These measures are to be completed to assure adequate flood protection for the project residents.

Goal : *Establish alternative uses within major flood control structures.*

Consistency: The project proposes to integrate major flood control structures with open spaces and recreation uses, such as trails.

G. Public Services/Facilities:

Goal : *Provide facilities to meet the needs for education, cultural entertainment, protection of public safety and health, and civic pride.*

Consistency: The proposed open space and recreation facilities will enhance the Northern Fontana area, creating a sense of unity with Hunter's Ridge and the City of Fontana. The circulation within the Coyote Canyon Specific Plan will provide for efficient circulation, completing the street system in this area and facilitate emergency access, consistent with the City's public services requirements.

Goal : *Ensure the timely, logical and cost effective development of infrastructure and public service facilities within the Planning Area.*



General Plan Consistency



General Plan Consistency

Consistency: The development will provide for major infrastructure improvements, including streets, utilities, water, sewer, and storm drain facilities, as well as parks and pedestrian/bicycle paths. All facilities will be constructed and maintained in accordance with applicable standards.

H. Conservation

Goal : *Conserve and protect natural resources within the Planning Area where economically feasible.*

Consistency: The Coyote Canyon project is designed to conserve and protect an existing drainage/riparian woodland.

Goal : *Promote and encourage energy efficiency and the use of renewable energy resources.*

Consistency: Coyote Canyon encourages the use of energy conservation devices and passive design concepts to increase energy efficiency and reduce housing operating costs.

Goal : *Encourage and support the preservation of historic and cultural resources.*

Consistency: There are no historic or cultural resources on site.

I. Open Space/Recreation

Goal : *Emphasize maintenance of, and access to, open space and recreation resources in the Planning Area.*

Consistency: Coyote Canyon will provide open space areas, including an active park with multi-purpose fields and a passive park with a nature trail providing access to the regional trail. About 56 acres of the development will be open space / recreation, including flood control facilities, and park areas.

General Plan Consistency



Goal : Provide recreational facilities to meet the needs of all segments of the community for recreational activities, relaxation, and social interaction.

Consistency: Coyote Canyon will provide open space areas, including an active park with multi-purpose fields and a passive park with a nature trail that provides access to the existing regional trail (frontline trail) and the future Hunter's Ridge wilderness park. There will be an additional trail along Roadrunner Road to provide access to the regional trail. About 56 acres of the development will be open space / recreation, including flood control facilities, and park areas.

Goal : Preserve the integrity, function, productivity, and long term viability of environmentally sensitive habitats throughout the Planning Area.

Consistency: The proposed project will preserve the long term viability of the existing drainage and riparian woodland within the development. The drainage and riparian woodland will be preserved and enhanced.

Goal : Provide appropriate pedestrian, equestrian, and bicycle trails as linkages between open space and recreational facilities within the Planning Area.

Consistency: Coyote Canyon Circulation Plan has been designed to provide safe and efficient bicycle and pedestrian transportation between open space areas, and residential uses, consistent with the City's Circulation and Open Space/Recreation Element. The project incorporates Class II bicycle trails along Coyote Canyon Road and walkways throughout.

J. Safety

Goal : Encourage urbanization only in the Planning areas without significant potential for risk to life and property.



General Plan Consistency

Consistency: The project will be developed in areas that are not hazardous to residents, their property or the community.

Goal : *Minimize potential hazards to public health, safety, and welfare.*

Consistency: The Coyote Canyon site design incorporates appropriate grading and development design standards to protect the community from geological and flood hazards. The circulation system for Coyote Canyon has been designed to facilitate emergency access consistent with the City's Public Services requirements.

Goal : *Ensure that efforts will be made so that all residents and visitors are protected from exposure to hazardous materials and wastes.*

Consistency: Per the Environmental Site Assessment there is no evidence of hazardous materials or waste on the project site. There are no hazardous materials or wastes associated with the proposed land uses.

I. Noise

Goal : *Provide for measures to reduce noise impacts from transportation noise sources.*

Consistency: The project will provide the appropriate sound reduction devices to minimize noise created by transportation sources. Coyote Canyon will utilize City Standards for noise within residential areas.

Goal : *Incorporate noise considerations into land use planning decisions.*

Consistency: The project has been designed with possible noise from Duncan Canyon Road and I-15 as a consideration. The appropriate sound attenuation will be provided in the development.

Goal : *Provide an acceptable noise environment for existing and future residents of the City.*

Consistency: The development standards for Coyote Canyon have incorporated both State of California and City of Fontana interior and exterior noise standards for the development of residential areas. Proper sound attenuation will be provided by a combination of building setback, sound wall construction, berthing and building type location throughout the site.

Goal : *Identify and reduce irritating or harmful noise sources to the greatest extent possible.*

Consistency: The Noise Study conducted for the project's Environmental Impact Report identifies any potential noise sources to be reduced within the project area. The Coyote Canyon development will follow the recommendations provided within the noise study to mitigate noise impacts.



General Plan Consistency

FIRE SAFETY AND VEGETATION MANAGEMENT PLAN REQUIREMENTS

COYOTE CANYON SPECIFIC PLAN

1. All roofs shall be Class "A" fire rated concrete or clay tile roof system.
2. Project shall provide O'Hagin double vent system with 1/8" mesh vents at roof planes
3. Combustion air venting at garages shall receive 1/8" metal mesh corrosion resistant screening. Vents to be to approval of the Building Official/fire agency.
4. All glazing will be double pane. Vinyl frame windows are acceptable if they comply with both the State of California Energy Requirements/T-24 requirements and the requirements of the County of San Bernardino Fire Safety Overlay District requirements for FS-3 (section 85.020230) or as approved by the San Bernardino County Fire Department.
5. Exterior doors shall be non-combustible or solid core wood not less than 1 and 3/4" thick, or have a 20-minute fire rating as approved by the San Bernardino County Fire Department. Roll up garage doors shall be metal.
6. The perimeter of all private lots, on all sides of the development, shall be enclosed by minimum 6' solid masonry walls. No wood fences are allowed.
7. Internal sprinklers (NFPA 13D) shall be included in structures over 200 SF
8. The home address shall be visible from the street, minimum 4" in height, internally illuminated, and located minimum 6-8' above finish grade.
9. Gutters and downspouts are to be constructed of 26 gage sheet metal.
10. Non Combustible Fiberglass insulation with no paper backing shall be used in ventilated spaces.
11. No combustible awnings or canopies
12. Spark Arrestors: All chimneys and other vents on heating appliances using solid or liquid fuels shall have spark arrestors of a type approved by the Fire District and approved by the Fire Code. Openings to be maximum 1/2". Arrestors to be visible from ground.

13. Storage sheds, barns, outbuildings, and all other ancillary structures shall be located at least 30' from all other structures and shall be of non-combustible or one hour rated construction with non-combustible Class A roofs. If they are over 200 sq ft in area, they shall be sprinklered.
14. Projections: Exterior balconies, carports, decks, patio covers, gazebos, unenclosed roofs and floors and similar architectural appendages and projections shall be of non combustible construction as approved by the San Bernardino County Fire Department or 1 hour construction per the 2001 California Uniform Building Code Chapter 7. Ends of decks shall be enclosed with the same material. No plastic or vinyl decking or railings. When such appendages or projections are attached to exterior fire resistive walls, they shall be constructed to maintain the fire resistive integrity of the exterior wall and have the same fire rating.

HUNTERS RIDGE SPECIFIC PLAN ----PHASE III

1. All structures shall demonstrate the ability to create a 1-hour rated envelope, with the exception of tempered or dual glaze glass.
2. For all lots that face north (specifically lots 1-4), French doors shall be installed in lieu of sliding glass doors.
3. Fire protection measures to be included in the proposed development include smoke detectors and automatic fire sprinkler systems in all buildings. All fire sprinkler systems shall be upgraded to NFPA 13R automatic sprinkler systems, and shall be installed in all building, including attics, garages, enclosed porches, and small enclosed spaces.
4. Wood decks and patios must be heavy timber or have a minimum 1-hour fire resistance or be otherwise protected according to local code.
5. Size and position of vents must adequately limit the intrusion of fire and flying debris.
6. Spark arrestors must be installed in all chimneys, barbecue stacks, stovepipes, etc.
7. All perimeter walls to be combination of masonry and tempered glass (or other fire safe glass) with a total minimum height of between 6'0" and 7'0". Window assembly shall not shatter or fail due to impact or fire exposure.
8. Garden hose outlets and 100' 5/8" garden hose with nozzle should be provided on each side of houses. A small "Fire Hose, Do Not Remove" sign should be affixed to outlet.