

CenterStone At The Landings Community Plan



*A CenterStone Development Company
Master-Planned Community*

City of Fontana

*Final
June 7, 1999*

REVISED: November 2005

CenterStone At The Landings

Community Plan

Final

July 7, 1999

City of Fontana

City Mayor and Council Members:

David Eshleman, Mayor

Manuel Mancha, Mayor Pro Tem

Josie Gonsales, City Council Member

Mark Nuaimi, City Council Member

John B. Roberts, City Council Member

Planning Commission Members:

Janice Rutherford, Chairperson

Kenneth Galasso

Juan Guzman

Bob Saathoff

Victor Quiroz

Key City Staff Member Project Contacts:

Debbie Brazill, Planning Manager

Craig L. Bruorton, AICP, Project Planner

Cindy Ousley, Associate Planner

Other Key City Staff Members:

Kenneth Hunt, City Manager

Frank A. Schuma, Community Development Director

Robert Weddle, City Engineer

Clyde Sweet, Deputy City Engineer/City Traffic Engineer

Curtis Aaron, Public Services Director

Paul Burton, Senior Park Planner

A CenterStone Development Company
Master-Planned Community
City of Fontana

CenterStone At The Landings Community Plan

*Final
July 7, 1999*

Prepared for the City of Fontana

*Developer:
CenterStone Development Company*

*Contact: Kirk Evans
3500-B West Lake Center Drive
Santa Ana, California 92704
714/ 437-0800*

Prepared by:

*Diana Needham Planning Consultants
Contact: Diana Needham
12927 Lucas Lane
Cerritos, California 90703
562/ 926-4882*

Other Key Consultants:

*FMA, Landscape Architects, Newport Beach, California
Madole and Associates, Civil Engineers, Rancho Cucamonga, California
LSA Environmental Consultants, Riverside, California*

*A CenterStone Development Company
Master-Planned Community
City of Fontana*

CenterStone At The Landings

Community Plan

Table of Contents

	<u>Page</u>
SECTION 1.0: INTRODUCTION	1- 1
1.1 PURPOSE OF THE CENTERSTONE AT THE LANDINGS COMMUNITY PLAN	1- 1
1.2 AUTHORITY	1- 1
1.3 PROJECT LOCATION	1- 6
1.4 PLANNING GOALS	1- 7
 SECTION 2.0: PROJECT OVERVIEW	 2- 1
2.1 OWNERSHIP	2- 1
2.2 EXISTING LAND USES AND CONDITIONS	2- 1
2.3 PROJECT DESCRIPTION	2- 3
2.4 GENERAL PLAN LAND USE MAP CONFORMANCE	2- 5
A. Existing General Plan	2- 5
2.5 GENERAL PLAN POLICY CONSISTENCY	2- 5
2.6 ZONING	2- 9
A. Existing Zoning	2- 9
2.7 EXISTING INFRASTRUCTURE	2- 9
A. Water	2- 9
B. Sewer	2-11
C. Drainage	2-11

*CenterStone At The Landings
Community Plan*

Table of Contents (Continued)

	<u>Page</u>
SECTION 2.0: PROJECT OVERVIEW (CONTINUED)	
2.8 TENTATIVE TRACT MAP NO. 15961	2-11
2.9 PHASING PLAN	2-11
SECTION 3.0: COMMUNITY PLAN COMPONENTS	3- 1
3.1 LAND USE PLAN	3- 1
3.2 CIRCULATION	3- 1
3.3 LANDSCAPE MASTER PLAN, GUIDELINES, AND TREE PALETTE	3- 6
A. Landscape Master Plan	3- 6
B. General Landscape Guidelines	3- 6
C. Tree Palette	3- 9
3.4 STREETSCAPE DESIGN CONCEPT	3-10
A. Perimeter Streetscapes	3-10
B. Internal Streetscapes	3-10
3.5 ENTRY MONUMENTATION & SIGNAGE CHARACTER	3-14
A. Primary Community Entry at Hemlock Avenue	3-14
C. Secondary Community Entry at San Sevaine Avenue	3-14
3.6 COMMUNITY WALLS	3-19
3.7 PROPOSED INFRASTRUCTURE PLAN	3-22
A. Water	3-22
B. Sewer	3-22
C. Drainage	3-25

*CenterStone At The Landings
Community Plan*

Table of Contents (Continued)

	<u>Page</u>
SECTION 3.0: COMMUNITY PLAN COMPONENTS (CONTINUED)	
D. Solid Waste Disposal	3-25
E. Energy Systems	3-27
3.8 SCHOOLS	3-27
3.9 PARKS	3-27
SECTION 4.0: GENERAL DEVELOPMENT, SITE PLANNING, AND ARCHITECTURAL STANDARDS	4- 1
4.1 GENERAL DEVELOPMENT STANDARDS: COMMUNITY PLAN CONFORMANCE WITH CITY DEVELOPMENT CODE	4- 1
4.2 SITE PLANNING, ARCHITECTURAL/ DESIGN GUIDELINES, AND STANDARDS	4- 1
SECTION 5.0: IMPLEMENTATION	5- 1
5.1 ENVIRONMENTAL REVIEW	5- 1
5.2 COMMUNITY PLAN APPROVAL	5- 1
5.3 TENTATIVE TRACT MAP 15961	5- 1
5.4 AMENDMENTS AND CHANGES	5- 1
A. Major Changes	5- 1
B. Minor Changes	5- 2
5.5 APPEALS	5- 2
5.6 MAINTENANCE	5- 2
SECTION 6.0: APPENDIX	6- 1
APPENDIX 6.1 OWNERSHIP LIST AND MAP	6- 1
APPENDIX 6.2 TENTATIVE TRACT MAP NO. 15961	6- 3
APPENDIX 6.3 FINAL APPROVAL	6- 4

*CenterStone At The Landings
Community Plan*

List Of Exhibits

	<u>Page</u>
<u>Section 1.0: Introduction</u>	
Exhibit 1 Regional Map	1- 4
Exhibit 2 Local Area Map	1- 5
Exhibit 3 North Fontana Planned Communities	1- 6
<u>Section 2.0: Project Overview</u>	
Exhibit 4 Existing Land Uses	2- 2
Exhibit 5 Land Use Plan	2- 4
Exhibit 6 Existing Water, Sewer, and Storm Drain Facilities	2-10
Exhibit 7 Phasing Plan	2-12
<u>Section 3.0: Community Plan Components</u>	
Exhibit 8 Land Use Plan	3- 2
Exhibit 9 Circulation Plan	3- 3
Exhibit 10 Street Sections	3- 4
Exhibit 11 Landscape Master Plan	3- 8
Exhibit 12 Hemlock Avenue Streetscape - Typical Plan and Section	3-11
Exhibit 13 San Sevaine Avenue Streetscape - Typical Plan and Section	3-12
Exhibit 14 Local Residential Streetscape and Cul-de-sac Landscaping Area - Typical Plans and Section	3-13
Exhibit 15a Primary Community Entry - Plan View	3-15
Exhibit 15b Primary Community Entry - Elevation	3-16
Exhibit 16a Secondary Community Entry - Plan View	3-17
Exhibit 16b Secondary Community Entry - Elevation	3-18
Exhibit 17 Community Wall Plan	3-20
Exhibit 18 Community Perimeter Wall and Pilaster Elevations/ Sections and Masonry Wall	3-21
Exhibit 19 Proposed Water System	3-23
Exhibit 20 Proposed Sewer System	3-24
Exhibit 21 Proposed Storm Drain System	3-26

*CenterStone At The Landings
Community Plan*

List Of Tables

	<u>Page</u>
<u>Section 2: Project Overview</u>	
Table 2-1 Land Use Statistical Summary	2- 3

1.0 Introduction

1.0 INTRODUCTION

1.1 Purpose Of The CenterStone At The Landings Community Plan

The CenterStone At The Landings Community Plan document is designed to ensure a well-planned, quality environment for the development of residential uses within a master-planned community. Timely and efficient processing for the development of the property can be ensured through the Community Plan; which, when adopted by City action as a resolution, serves both a planning and regulatory function. This document fulfills the planned community requirements of the State of California and the City of Fontana.

The CenterStone At The Landings Community Plan is also herein referred to as a planned community and as a project. Within this document, community plan, planned community, and project shall be synonymous.

A separate environmental assessment has been prepared by LSA Associates, Inc.

1.2 Authority

The CenterStone At The Landings Community Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local planning agencies the authority to prepare Specific Plans/ Community Plans. It has also been prepared pursuant to the City of Fontana Development Code, Article II, Division 9, which specifies requirements for Specific Plans and Community Plans. Division 9 considers Community Plans to be a modified form of a Specific Plan, with characteristics unique from a Specific Plan. The environmental assessment has been prepared pursuant to the environmental review requirements of the City of Fontana and the State of California. Standards contained in this document shall govern all areas within the project.

1.3 Project Location

The project site is located in southwest San Bernardino County, in the northwestern portion of the City of Fontana (see Exhibit 1, Regional Map and Exhibit 2, Local Area Map). Surrounding jurisdictions include the cities of Rancho Cucamonga, Rialto, Ontario, and unincorporated areas of San Bernardino and Riverside Counties.

Regional access to the site is provided by the San Bernardino (Interstate 10) and the Devore (Interstate 15) Freeways. The San Bernardino Freeway is a major east - west route connecting the Fontana area with the Los Angeles metropolitan area to the west and the desert areas to the east. The Devore Freeway is a major north-south route, connecting Fontana with Corona and San Diego to the south, and Barstow and Las Vegas to the north.

The project site consists of 39.5 gross acres located north of Baseline Avenue, immediately west of Hemlock Avenue and immediately east the existing San Sevaine Avenue, in the City of Fontana. Approximately 20 gross acres of the project site had been developed into 76 lots and sold by the applicant (Tract 15961). The new project, Tract 16839 will consist of 56 lots. Tract 16503 will consist of 17 lots of the same configuration and will be annexed into this plan.

Exhibit 3, North Fontana Planned Communities, shows the location of existing and proposed specific plans and community plans in the north Fontana area.

The Morningside Community Plan, located to the west of the subject site, is approved, and is now completely developed. Exhibit 3 also shows the location of the partially developed Belgrave by Stratham Homes, a 7,200 square foot single family lot subdivision. It is not a planned community; however, it is shown here as it is immediately adjacent to the east boundary of the subject site. It received approval prior to the time that the General Plan was modified to require 10,000 square foot lots in areas without a specific plan or community plan approval.

CenterStone At The Landings is within the boundaries of the North Fontana Redevelopment Project Area, which encompasses approximately 14 square miles of North Fontana.

Several major development projects have been approved and are partially developed in the vicinity of CenterStone At The Landings. These include:

Belgrave by Stratham Homes (40 acres) is located adjacent to the east boundary of the subject site. At build out, Belgrave will consist of 133 single family residences on 7,200 and larger square foot lots. Approval of the tract map occurred before the General Plan modification allowing 7,200 square foot lots only in Specific Plan or Community Plan areas.

California Landings (223 acres) is located 1.4 miles northeast of the project site, south of Highland Avenue. At build out, California Landings will consist of 791 single family residences, 15 acres of commercial, a park, and a school site.

Morningside (120 acres) is located immediately to the west boundary of the project site, north of Baseline Avenue, east of Cherry Avenue, and west of San Sevaine Avenue. At build out, Morningside will consist of 440 single family residences and 9.9 acres of commercial.

Hunter's Ridge (570 acres) is located 2.2 miles north of the project site, above the 1-15 Freeway. At build out, Hunter's Ridge will consist of 1,501 single family residences, 620 multi-family residences, 5.5 acres of neighborhood commercial uses, park/open space and a school site.

Rancho Fontana (510 acres) is located approximately 600 feet south of the project site, south of Baseline Avenue. Rancho Fontana consists of 2,295 single family residences and 35 acres of commercial and mixed uses.

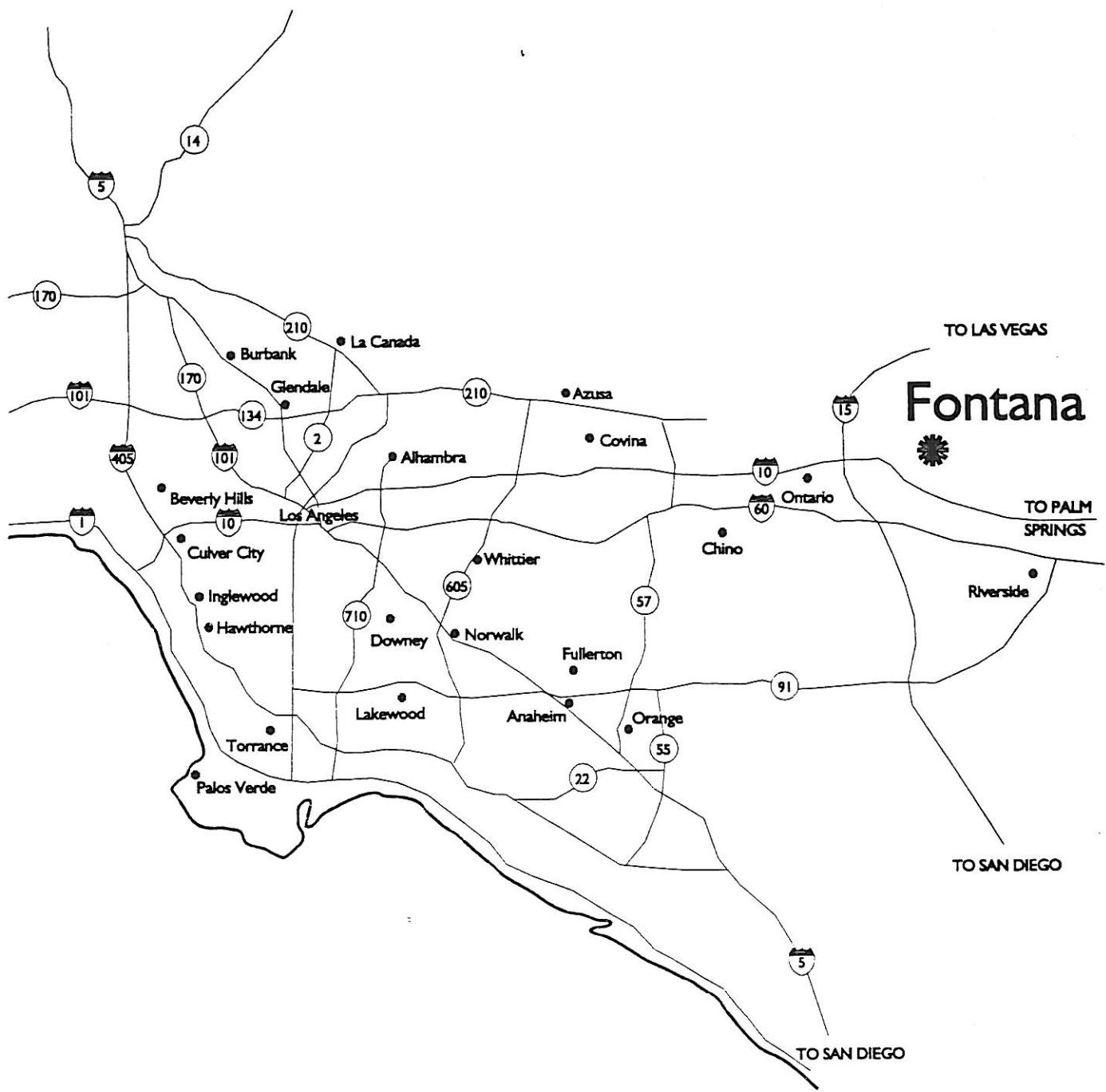
Sierra Lakes (700 acres) is located 3 miles northeast of the project site, at Citrus Avenue and Highland Avenue. At buildout, Sierra Lakes will consist of 2,100 single family residences and 525 multi-family residences, 64 acres of commercial and business park, a golf course, parks, and a school site.

Summit Heights (294 acres) is located 2 miles northeast of the project site, north of Highland Avenue, west of Lytle Creek Road, and south of Summit Avenue. At buildout, Summit Heights will consist of 950 residential units plus commercial/office, park, and other public uses.

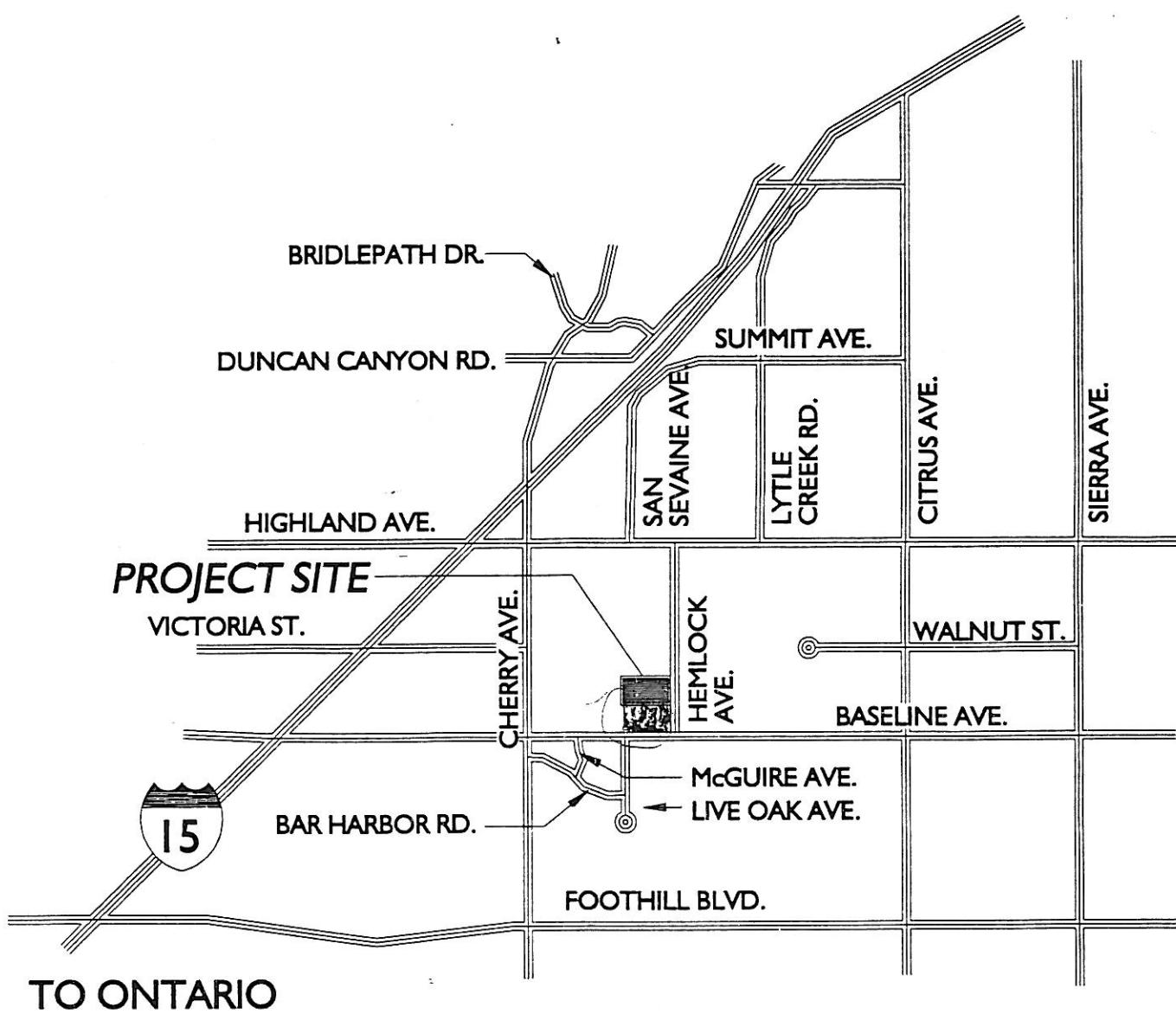
Village of Heritage (1,478 acres) is located .2 miles southwest of the project site. At buildout, Heritage will consist of 2,955 single family residences, 294 multi-family residences, 31 acres of commercial, 110 acres of office park, 448 acres of business park, open space/parks, and two school sites.

Walnut Village (342 acres) is located 2.9 miles east of the project site, south of Highland Avenue and east of Sierra Avenue. At buildout, Walnut Village will consist of 1,644 residential units, 39 acres of commercial uses, together with community facilities and park/open space.

Westgate (954 acres) is located adjacent to the northern and eastern boundaries of the Morningside project, and located north of Baseline Avenue and on both sides of Cherry Avenue. Westgate consists of 2,457 residential units, a commercial/business park, parks, and other public uses.



TO LAS VEGAS

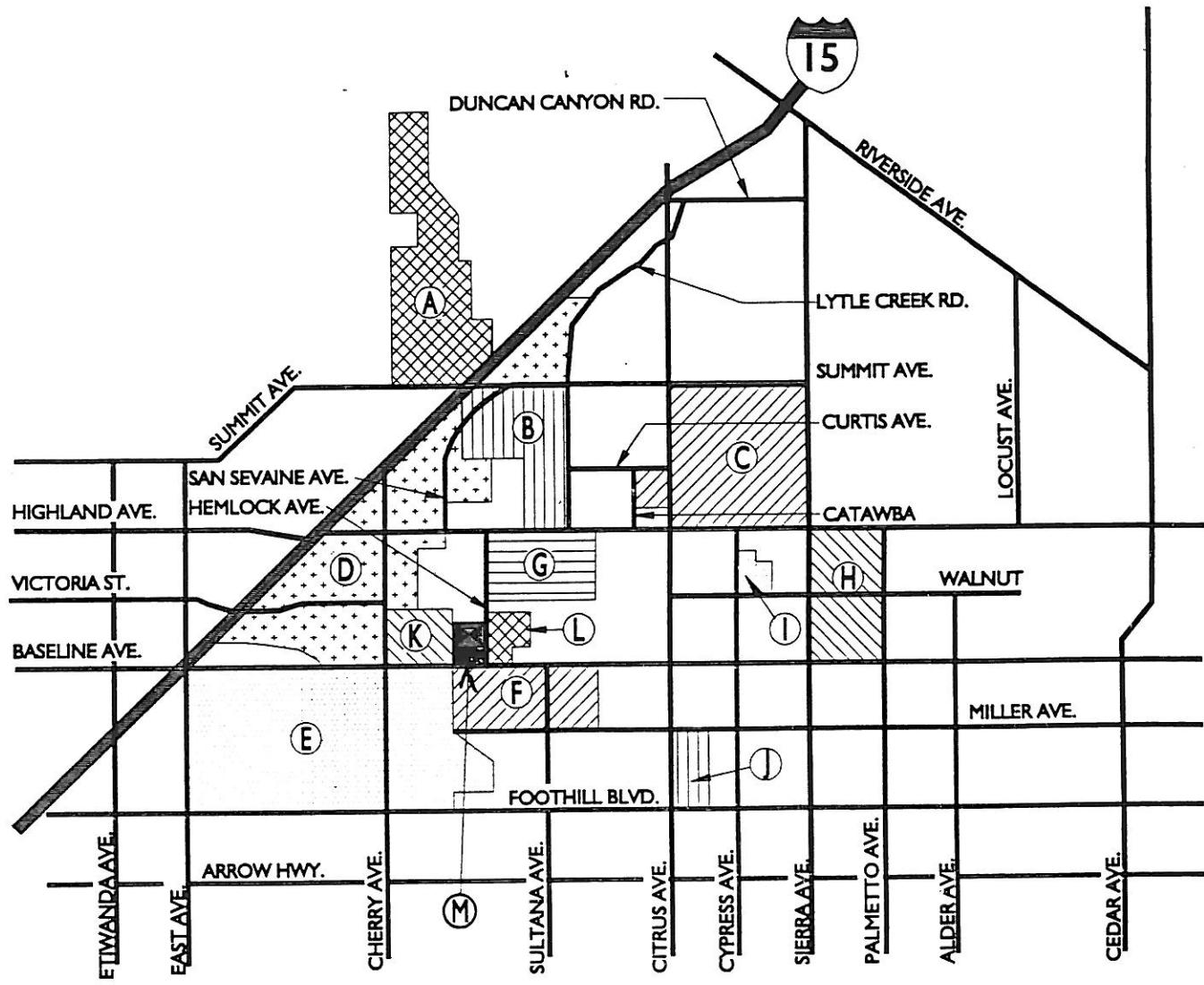


LEGEND

===== EXISTING ROADWAY



CenterStone
at The Landings



LEGEND:

A	HUNTER'S RIDGE (A)	I	CLURMAN (P)
B	SUMMIT HEIGHTS (A)	J	NORTHGATE (A)
C	SIERRA LAKES (A)	K	MORNINGSIDE (A)
D	WESTGATE (A)	L	BELGROVE (A) (NOT A PLANNED COMMUNITY)
E	HERITAGE (WEST END) (A)	M	CENTERSTONE (P)
F	RANCHO FONTANA (A)		
G	CALIFORNIA LANDINGS (A)		
H	WALNUT VILLAGE (A)		

(A) APPROVED
(P) PROPOSED

1.4 Planning Goals

Prior to and during the preparation of this Community Plan document, several meetings were held with City of Fontana staff members to discuss goals for development of the CenterStone At The Landings project. Based upon these meetings, the following goals were identified:

- Develop a community with all single family detached homes on lots of 7,200 square feet and larger in order to help achieve the City's goal of providing additional larger lots in North Fontana.
- Develop a community of larger homes, with 50% larger than 2,000 square feet.
- Provide a master planned community in conformance with the spirit and intent of the City General Plan Land Use Map and Policies and in conformance with the Development Code, thereby allowing fast-tracking of the planning process via the Community Plan process.
- Encourage enhancement of an upscale North Fontana image.
- Create a high quality, unique community design with residential neighborhoods supported by offsite commercial uses.
- Provide attractive primary and secondary entries, accentuated by riverrock entry wall signs and landscaping, creating enhanced gateways to the planned community.
- Provide an efficient and attractive system of collector streets and local streets, with a walkway and bikeway system.
- Provide for adequate infrastructure, public facilities and services.
- Support the City in achieving its Vision Statement: "the City of Fontana is dedicated to being a safe, well-maintained, family-oriented community supported by a diverse, jobs rich economy, capitalizing on the City's superior location and accessibility."

2.0 Project Overview

2.0 PROJECT OVERVIEW

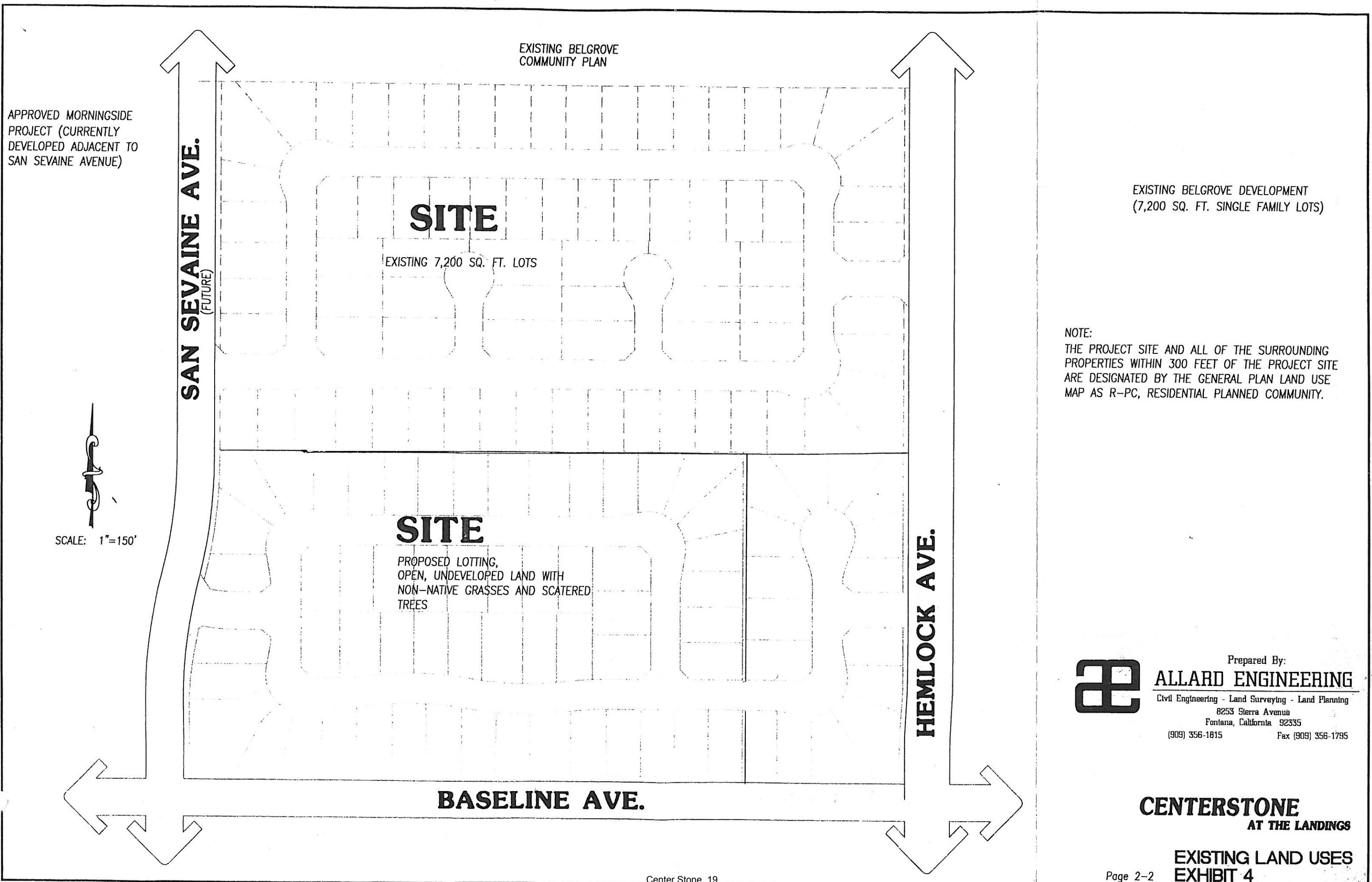
2.1 Ownership

The 39.5 acre Community Plan site consists of 27.5 acres of residential and 4.0 acres of existing right-of-way for Hemlock and San Sevaine. The 39.5 acre site, Assessor Parcel 228-101-09 is owned by CenterStone. Fontana 56 Investors LLC. AP # 228-101-11, 228-101-13, and 228-101-14. The first site APN 228-101-09 which is 20 gross acres is fully constructed and occupied. The second site APN 228-101-10, -11, -13 & -14 are currently approved Tentative Tract Maps and will be annexed into this community plan.

2.2 Existing Land Uses and Conditions

Existing land uses are shown on Exhibit 4. The 39.5 acre site consists of developed and vacant land. The principal natural features onsite are disturbed non-native grasses. The property is generally characterized as flat to gently sloping, with a slope at less than five percent. Elevations range from approximately 1,365 feet above mean sea level in the northeast corner to 1,357 feet above mean sea level in the southwest corner. Hemlock Avenue is an existing roadway, although not developed to its ultimate right-of-way.

Surrounding land uses are shown on Exhibit 4. A new, partially developed 7,200 square foot lot, single family home development, Belgrove by Stratham Homes, is located to the east of Hemlock Avenue. Morningside, a new, partially developed 7,200 square foot lot, single family home Community Plan development is located to the west, although the portion immediately adjacent to the CenterStone site has not yet been developed. The Master Developer is Lewis Homes. A newly developed 7,200 square foot lots are to the north, adjacent to the project site.



Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 8253 Sierra Avenue
 Fontana, California 92335
 (909) 356-1815 Fax (909) 356-1795

CENTERSTONE
 AT THE LANDINGS

EXISTING LAND USES
EXHIBIT 4

2.3 Project Description

Table 2-1, below, and the Land Use Plan (Exhibit 5), provide a summary of the proposed land uses and their acreage within the project area.

**Table 2-1
CENTERSTONE AT THE LANDINGS STATISTICAL SUMMARY**

Ownership Summary

	<u>Acres</u>
CenterStone At The Landings Gross Site Area: 39.5 acres: project developer controlled 3.4 acres: existing Hemlock Avenue and San Sevaine Right-Of-Way	39.5

Land Use Summary

	<u>Acres</u>	<u>Dwelling Units (D.U.s)</u>
Residential - SFD, 7,200 square foot minimum, net area:		
Residential Density: 5.54 D.U.'s per Net Acre	27.5	149
Perimeter Roadway Right-Of-Way (R.O.W): (Hemlock Avenue & San Sevaine Avenue)	4.0	
Internal Roadway Right-Of Way (R.O.W.):	8.0	
Total Community Plan	39.5	149

Notes:

- Gross Site Area includes area up to the center line of Perimeter R.O.W.
- Perimeter R.O.W. acreage = 1/2 of R.O.W. of adjacent perimeter street.
- R.O.W. = Right of Way (road, parkway & where applicable, center median).
Neighborhood circulation includes all internal local streets.

Park Required:

Approximate Population Generated <u>(3.48 person/household)</u>	Neighborhood & Community Park <u>5.0 Ac/ 1,000 population)</u>
518.2	2.59 Ac

CenterStone At The Landings

The above park requirement will be met by the payment of fees, contributing to the future development of an off site park of 10 acres or larger in the North Fontana area.

STATISTICAL SUMMARY

OWNERSHIP SUMMARY

CENTERSTONE GROSS SITE AREA	35.6 ACRES
NEW WEST GROSS SITE AREA	3.9 ACRES

LAND USE SUMMARY

CENTERSTONE LOTS	132 LOTS
NEW WEST LOTS	17 LOTS

RESIDENTIAL-SFD, 7,200 SQ. FT. MIN., NET AREA	27.5 ACRES
---	------------

PERIMETER R.O.W.	4.0 ACRES
INTERNAL R.O.W. (NEIGHBORHOOD CIRCULATION)	8.0 ACRES
TOTAL COMMUNITY PLAN	39.5 ACRES

TOTAL RESIDENTIAL-SFD ACRES	27.4 ACRES
RESIDENTIAL DENSITY - 10.82 DU/NET ACRES	

- GROSS SITE AREA INCLUDES AREA UP TO CENTERLINE
- PERIMETER R.O.W.
- PERIMETER R.O.W. ACREAGE - 1/2 OF R.O.W. OF ADJACENT PERIMETER STREET.
- NEIGHBORHOOD CIRCULATION INCLUDES BOTH COMMUNITY ENTRY STREETS AND LOCAL STREETS

NOTE:

- LOTTING IS CONCEPTUAL ONLY.



Prepared By:
ALLARD ENGINEERING

Civil Engineering - Land Surveying - Land Planning
8253 Sierra Avenue
Fontana, California 92335
(909) 356-1815 Fax (909) 356-1795

LAND USE PLAN
EXHIBIT 5

SAN SEVAINE AVE.

SCALE: 1"=150'

BASELINE AVE.

**CENTERSTONE
AT THE LANDINGS**

2.4 General Plan Land Use Map Conformance

A. Existing General Plan

The current general plan land use designation for the Community Plan area is Residential Planned Community (R-PC). The General Plan specifies that R-PC is to provide master planned residential development. The proposed residential uses are in conformance with the existing General Plan land use designation. The proposed residential lots are in conformance with the General Plan policy allowing 7,200 square foot lots via the adoption of a Community Plan or a Specific Plan.

2.5 General Plan Policy Consistency

Community Plans are intended to provide a site specific, detailed description of standards and guidelines for implementing General Plan goals and policies. To achieve this, the Community Plan must be in conformance with and be consistent with the General Plan.

The CenterStone At The Landings Community Plan is designed to implement the goals and policies of the City of Fontana General Plan. An element by element discussion of General Plan conformance pertaining to goals and policies is provided below.

A. Land Use

Goal: Provide a balance of residential, commercial, industrial, educational, open space and recreational land uses which will provide diverse economic, social and cultural opportunities.

Consistency: CenterStone At The Landings is a Planned Community that provides residential uses, with nearby commercial and industrial land uses. This mix will encourage residents to live and work within their local community. CenterStone At The Landings will contain lots of 7,200 square feet and larger and will therefore help achieve General Plan Policy 3.1.3 to support more upscale single family housing. Most of the master-planned communities in the City contain smaller lots. CenterStone At The Landings' larger lots will increase the overall average size of lots in north Fontana. CenterStone At The Landings will provide a variety of single family detached house plan types with a range of sizes. The project will enhance the image of the North Fontana area. Park fees and school fees to be paid by the project developer, will contribute to the construction of future offsite, local parks and schools.

Goal: Provide for a logical, orderly and environmentally sound land use strategy which establishes Fontana as a unified and economically sound community.

Consistency: This Community Plan has been developed in accordance with the General Plan's land use strategy and creates logical and orderly development. The future residents of the CenterStone At The Landings Community Plan will help support the nearby existing and future commercial developments. This community plan development will provide additional public facilities for the North Fontana area.

Goal: Protection and enhancement of community values by affecting land use patterns that are compatible with the local and regional environment.

Consistency: The CenterStone At The Landings project responds to both local and regional issues by utilizing land uses which respond to the existing and proposed development in the local area. These land uses reflect community values, as expressed by the Fontana General Plan Land Use Map, as the community plan land uses are consistent with the General Plan Map.

B. Circulation

Goal: Promote the use of other modes of transportation to reduce dependency on the automobile.

Consistency: The project promotes the use of alternative modes of transportation by providing:

- A safe pedestrian walkway system to encourage pedestrian movement.
- A bikeway link will be provided to the City-wide bikeway system.
- Reduced automobile traffic will result from the strategic balance of housing types in close proximity to existing and planned employment and commercial centers. This will encourage pedestrian, bicycle riding, public transit and ridesharing alternatives.

C. Housing

Goal: Encourage the provision of a wide range of housing by location, type of unit, and price to meet the existing and future needs of Fontana residents.

Consistency: CenterStone At The Landings is a Master Planned Community which will provide a variety of quality single family detached housing sizes and price ranges.

Goal: Provide equal opportunity for all residents to reside in the housing of their choice.

Consistency: The variety of housing sizes and prices provided within CenterStone At The Landings will accommodate families with differing housing needs and socio-economic levels.

D. Community Design

Goal: Reduce/prevent conflicts between land uses in existing and future developments.

Consistency: The CenterStone At The Landings Land Use Plan is compatible with existing and proposed surrounding land uses by its proposed land use design.

Goal: Improve the image and appearance and promote the functional efficiency of the City.

Consistency: CenterStone At The Landings has been designed to enhance the North Fontana image. Attractive primary and secondary entries will incorporate landscaping, decorative walls and attractive signage with a riverrock theme.

Goal: Preserve the unique character of neighborhoods throughout the City.

Consistency: No unique or historical features exist on the site warranting preservation or identification of the project site as a unique neighborhood.

Goal: Maintain a balance between job opportunities, housing opportunities and supporting commercial uses.

Consistency: The CenterStone At The Landings project is consistent with the City's goal of a jobs/housing balance by providing a residential community to support nearby commercial uses, thereby increasing sales tax revenue.

E. Infrastructure and Public Services/Facilities

Goal: Provide facilities to meet the needs for education, culture, entertainment, protection of public safety/health, and civic pride.

Consistency:

Roadway and utility infrastructure extensions and improvements will provide area-wide enhancements and utility access.

The proposed circulation system improvements will facilitate area-wide access to local and regional schools, theaters and entertainment facilities, consistent with the City's public services requirements.

Goal: Provide recreational facilities to meet the needs of all segments of the community for recreational activities, relaxation, and social interaction.

Consistency: CenterStone At The Landings provides active and passive public recreational opportunities in the form of onsite walkways for the use of community residents and development of an offsite park via payment of park fees.

Goal: Provide appropriate pedestrian, equestrian and bicycle trails as linkages between Open space and recreational facilities within the planning area.

Consistency: The CenterStone At The Landings Circulation Plan has been designed to provide safe, efficient, and aesthetically pleasing pedestrian and bicycle transportation between open space areas, residential uses, and commercial uses, consistent with the City's Circulation and Open Space/Recreation Element.

F. Safety

Goal: Minimize potential hazards to public health, safety and welfare.

Consistency:

Adequate police and fire protection will be made available to the site by the City of Fontana and the San Bernardino County Fire Department.

The CenterStone At The Landings site design incorporates appropriate grading and development design standards to protect the community from geological and flood hazards.

The circulation system for CenterStone At The Landings has been designed to facilitate emergency access consistent with the City's Public Services requirements.

G. Noise

Goal: Provide an acceptable noise environment for existing and future residents of the City.

Consistency: State of California and City of Fontana interior and exterior noise standards for the development of residential areas will be followed in the designs for CenterStone At The Landings. Proper sound attenuation will be provided by a combination of building setbacks, sound wall construction and building type location throughout the site.

The four corner lots at the San Sevaine Avenue and Hemlock Avenue entries will be built with single story houses. Corner lots on Edgewood Lane may be two-story.

2.6 Zoning

A. Existing Zoning

The current zoning designation for the CenterStone At The Landings Community Plan site is Single Family Residential, R-1-10000. The minimum lot size allowed in the R-1-10000 zone is 10,000 square feet.

The zoning designation for the subject site will be amended to Single Family Residential, R-1-7200, and the R-1-7200 zoning standards will apply. A zone change will be processed concurrently with this community plan. The minimum lot size allowed in the R-1-7200 zone is 7,200 square feet.

The current and proposed zoning is in conformance with the site's City General Plan designation of Residential Planned Community (R-PC).

2.7 Existing Infrastructure

Existing water, sewer and storm drain facilities are located adjacent to or near the CenterStone At The Landings Planned Community (see Exhibit 6).

A. Water

Existing water facilities (see Exhibit 6) consist of a 16 inch water line along Baseline Avenue. Fontana Water Company currently provides service to North Fontana.



LEGEND

EX. 12" SEWER LINE
EX. 16" WATER LINE
10'X8' REINFORCED CONCRETE
BOX STORM DRAIN

SCALE: 1"=150'

BASELINE AVE

CENTERSTONE AT THE LANDING

Page 2-1

**EXISTING WATER, SEWER, AND
STORM DRAIN FACILITIES
EXHIBIT 6**

M:\DWG\17903\ENTITI ELEMENTI EXHIBIT A COMM PLAN 06.dwg

Center, Stone

B. Sewer

Existing sewer facilities (see Exhibit 6) consist of an existing 12 inch sewer line in the Baseline Avenue right-of-way, at Live Oak Ave. The City of Fontana is responsible for the collection of wastewater within its corporate limits. The City contracts with Inland Empire Water District for wastewater treatment.

C. Drainage

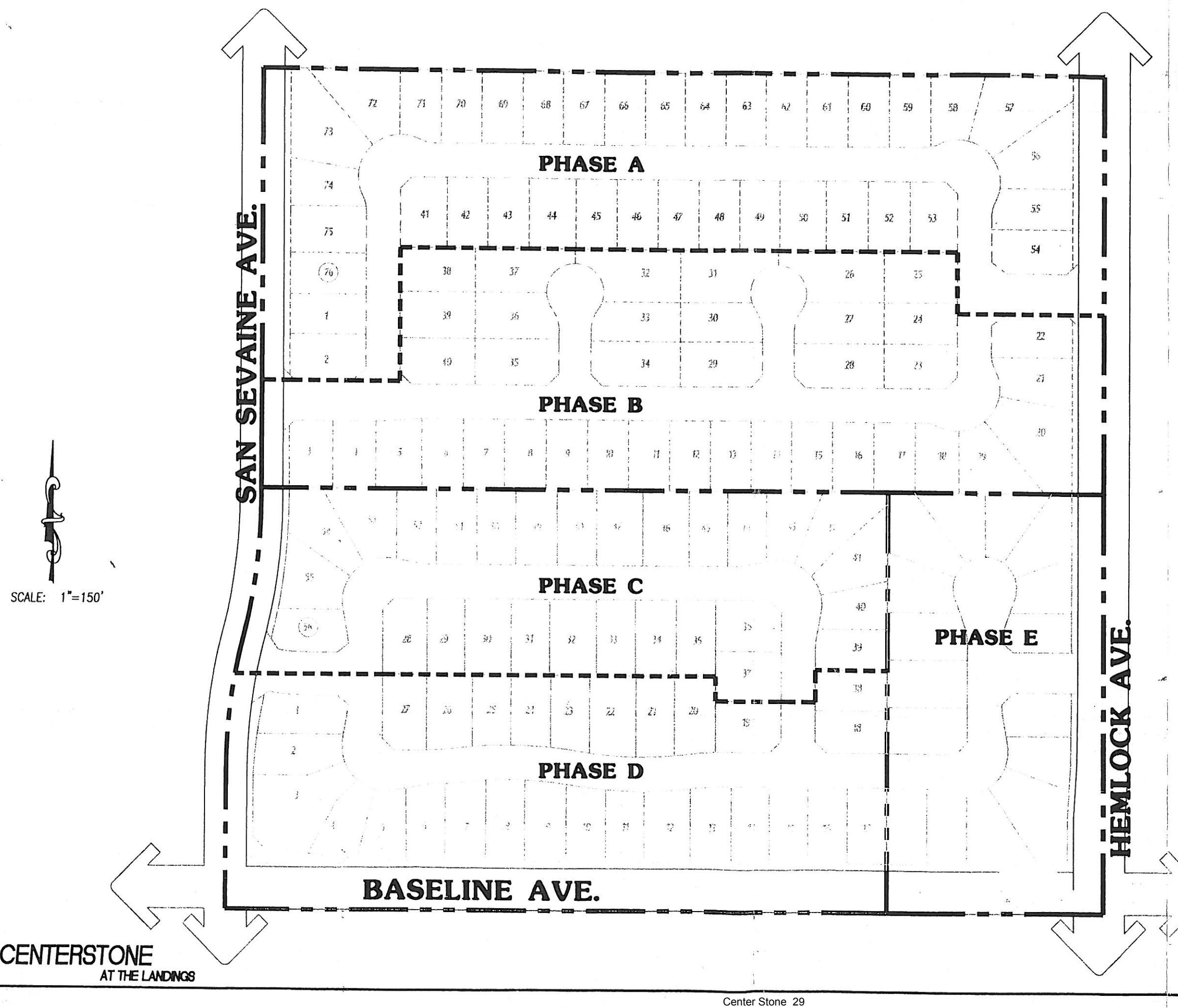
The Baseline Avenue storm drain is currently constructed and operational. It lies in Baseline Avenue Street on our southerly edge of our project.

2.8 Tentative Tract Map No. 15961, 16839 and 16503

Final Tract Map No. 15961 has been recorded and Tentative Tract Maps 16839 and 16503 are currently approved. The Maps subdivide the site into 149 new residential lots of 7,200 square feet and larger. The Tentative Maps also includes roadways and easements. A full scale copy of the Tentative Map will be included in a pocket at the back of the Final Community Plan.

2.9 Phasing Plan

Proposed phasing is shown on the Phasing Plan, Exhibit 7. Development is expected to occur in five to six phases and last over a seven year period. Residential development may be completed in four to five phases. Roadway phasing is conceptually shown on the Phasing Plan; however, streets and other infrastructure shall be completed in accordance with the Tentative Tract Map conditions of approval.



NOTES:

- PHASING MAY BE COMPLETED IN THREE PHASES WITH 76 D.U.'S BUILT IN ONE PHASE, 56 D.U.'S BUILT IN THE SECOND PHASE AND 17 IN THE THIRD OR PHASING MAY BE COMPLETED IN FIVE PHASES WITH EITHER PHASE A (38 D.U.'S), PHASE B (38 D.U.'S), PHASE C (28 D.U.'S), PHASE D (28 D.U.'S), OR PHASE E (17 D.U.'S) OCCURRING FIRST.
- THIS PHASING PLAN SHOWS CONCEPTUAL CONSTRUCTION TIMING FOR RESIDENTIAL AND ROADWAY DEVELOPMENT.
- STREETS AND OTHER INFRASTRUCTURE SHALL BE COMPLETED IN ACCORDANCE WITH THE TENTATIVE TRACT MAP CONDITIONS OF APPROVAL.
- HEMLOCK AVENUE IMPROVEMENTS SHALL BE CONSTRUCTED BY THE OWNER DURING PHASE E.
- SAN SEVAINE AVENUE IMPROVEMENTS SHALL BE CONSTRUCTED BY THE OWNER DURING PHASE B.

Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 8253 Sierra Avenue
 Fontana, California 92335
 (909) 356-1815 Fax (909) 356-1795

**PHASING PLAN
EXHIBIT 7**

3.0 Community Plan Components

3.0 COMMUNITY PLAN COMPONENTS

The following descriptions and graphics define the overall framework for development within the CenterStone At The Landings Community Plan. The components describe the various planning concepts for an orderly and attractive development within the planned community area. The Community Plan components include: Land Use, Circulation, Landscape Master Plan and Guidelines, Streetscape Design Concepts, Entry Monumentation/Signage, Community Walls, and Infrastructure. Architectural Design Guidelines are contained within community Plan Section 4.2.

3.1 Land Use Plan

Proposed land uses for CenterStone At The Landings include residential uses (see Exhibit 8, Land Use Plan). All residential areas will be developed with single family detached homes on lots of 7,200 square feet and larger. Residential development will occur on 24.6 acres, with an overall density of 5.37 dwelling units per net acre. The community will be linked by a unifying landscape theme and consistent architectural treatments. Although the Land Use Plan does not provide a park, several nearby parks will be available to CenterStone At The Landings residents.

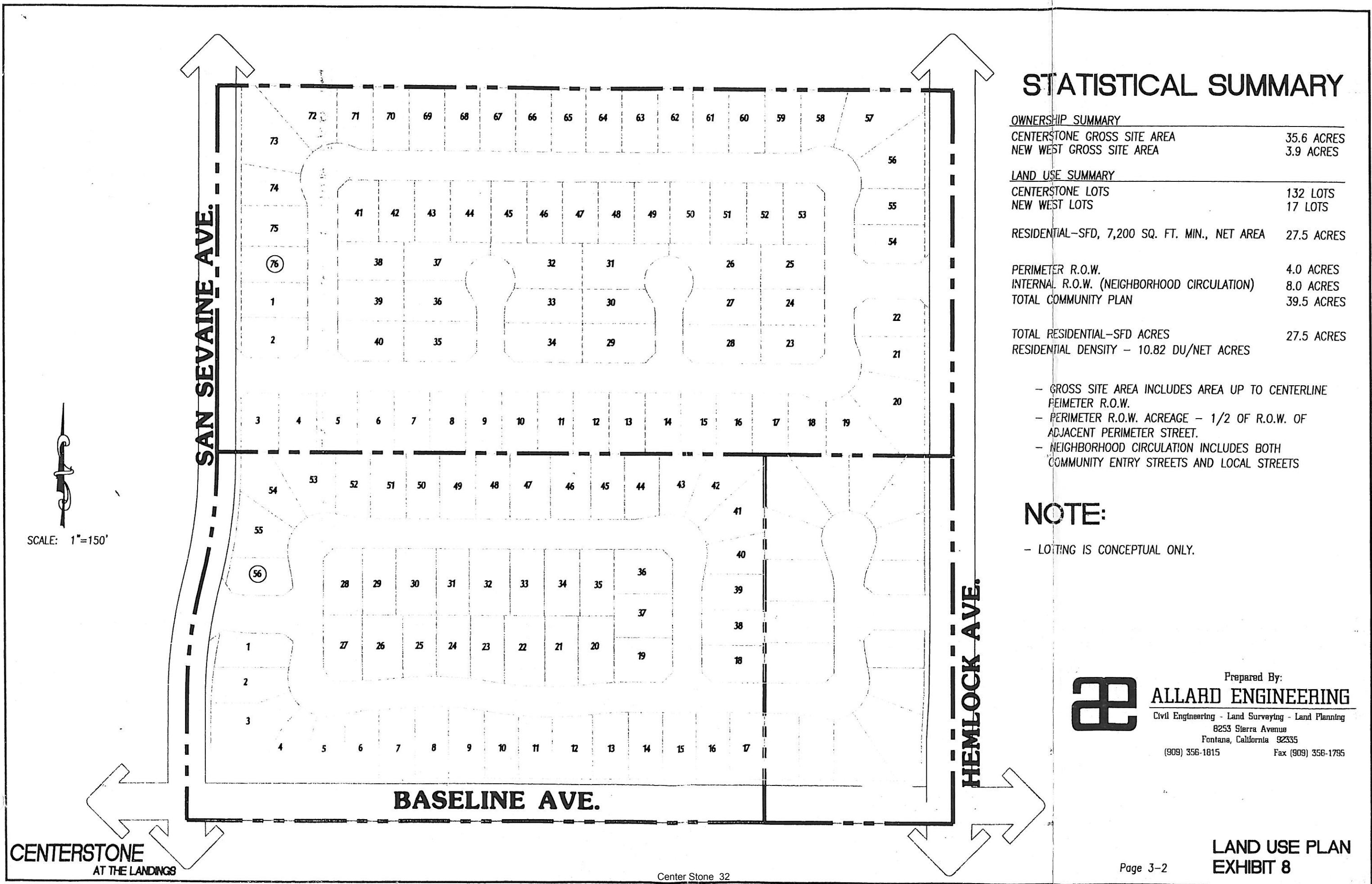
The project is designed to maximize a balance between residential, shopping/employment, and transportation elements, by its location near commercial and industrial uses.

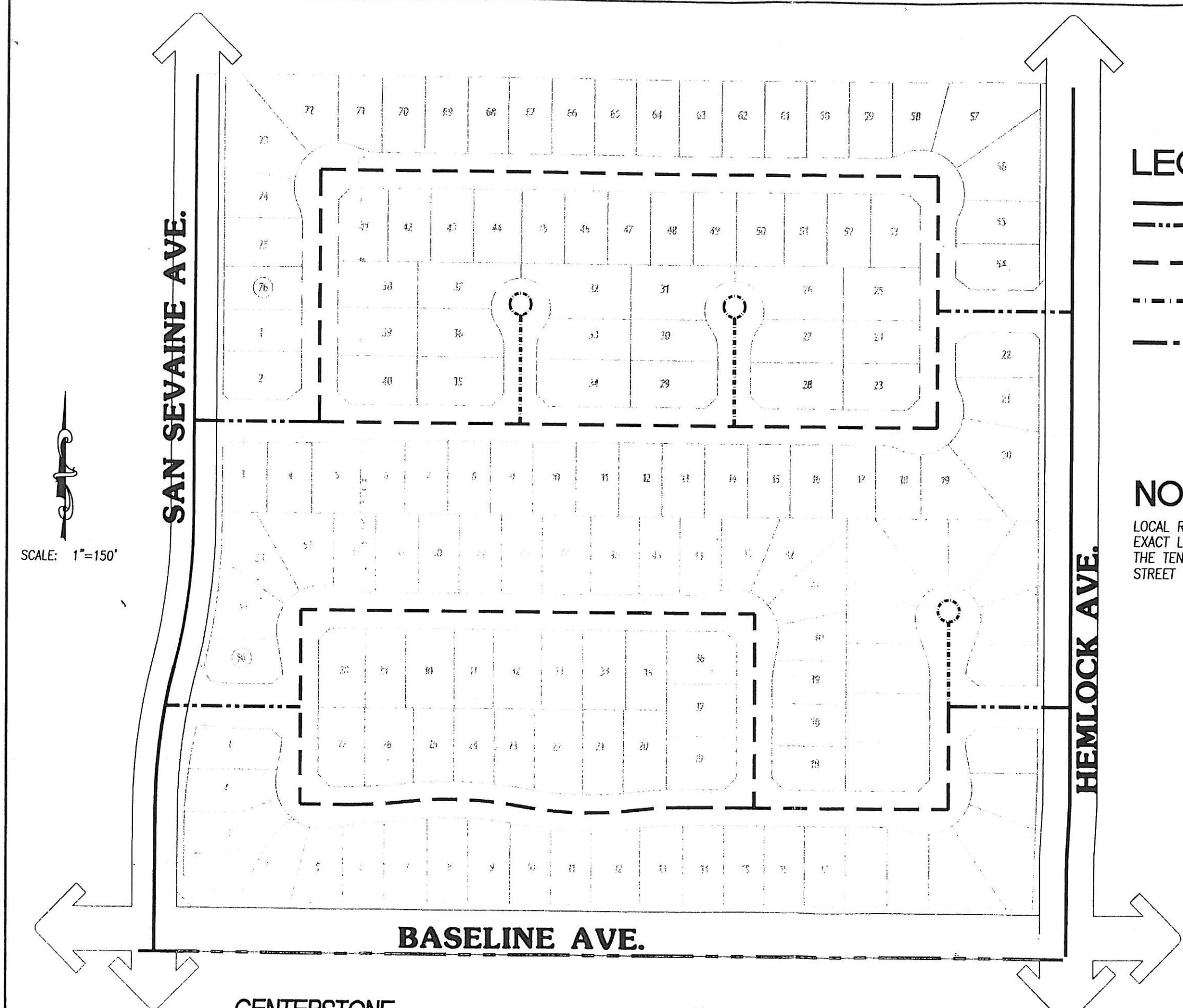
3.2 Circulation

The Circulation Plan (Exhibit 9) illustrates the proposed CenterStone At The Landings roadway. Street sections are shown on Exhibit 10. Streetscape landscaping concepts and designs are provided within Community Plan Sections 3.3 and 3.4. The Community Plan developers will construct half street improvements for both of the perimeter roadways and full street improvements for internal roadways, as shown on Exhibits 9 and 10.

The City sight distance standards will be met.

Primary access will be via Hemlock and San Savaine Avenues. Hemlock Avenue is the eastern boundary of the planned community, and San Savaine the western boundary. It is designated by the Fontana General Plan as a "Collector" with a 68 foot right-of-way. It is proposed with an enlarged 21 foot parkway on the west side, with an eight foot meandering walk/bikeway



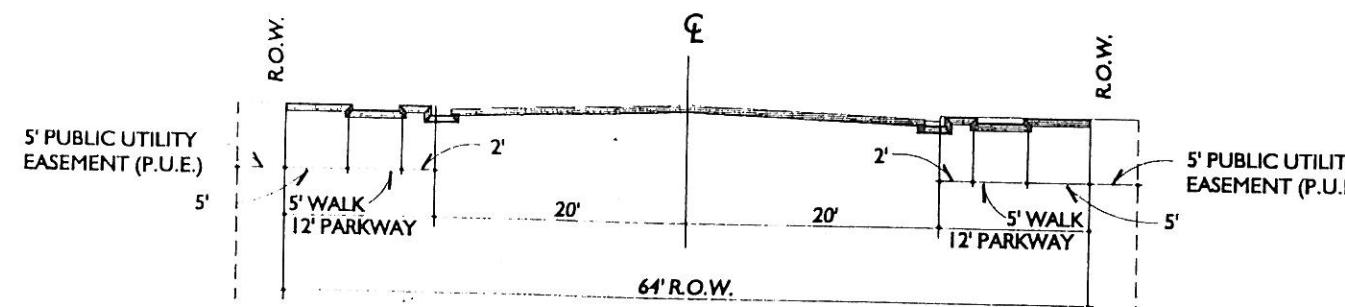


Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 8253 Sierra Avenue
 Fontana, California 92335
 (909) 356-1815 Fax (909) 356-1795

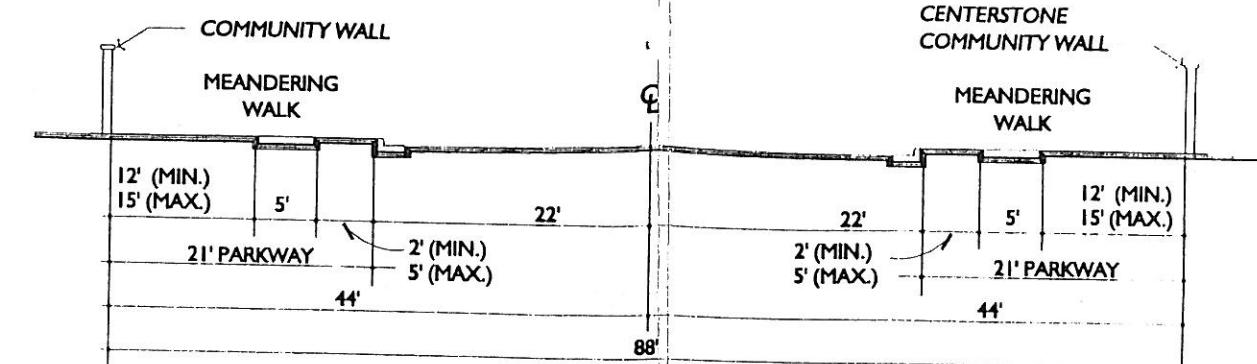
CENTERSTONE
AT THE LANDINGS

CURCULATION PLAN
EXHIBIT 9

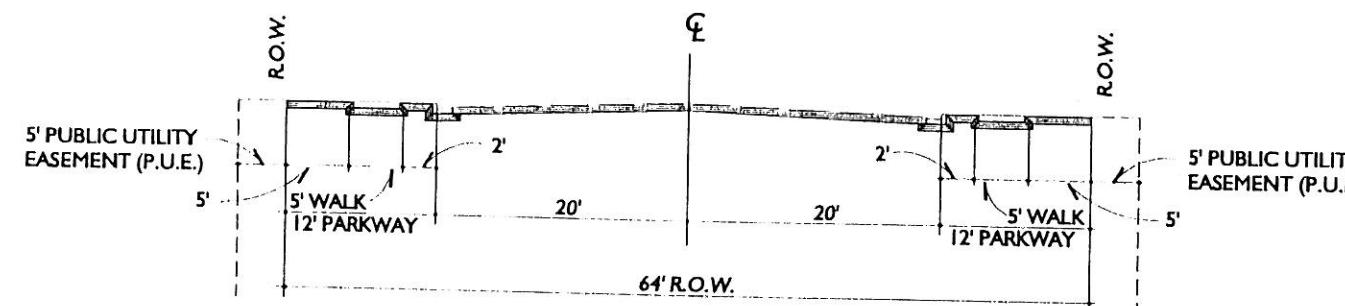
Page 3-3



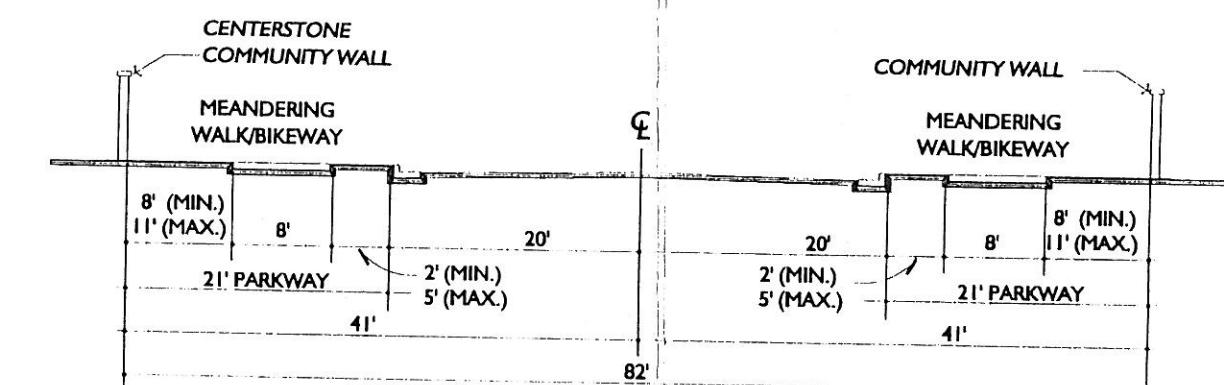
PRIMARY COMMUNITY ENTRY STREET - HEMLOCK AVE.
COLLECTOR
"EAST ENTRY"



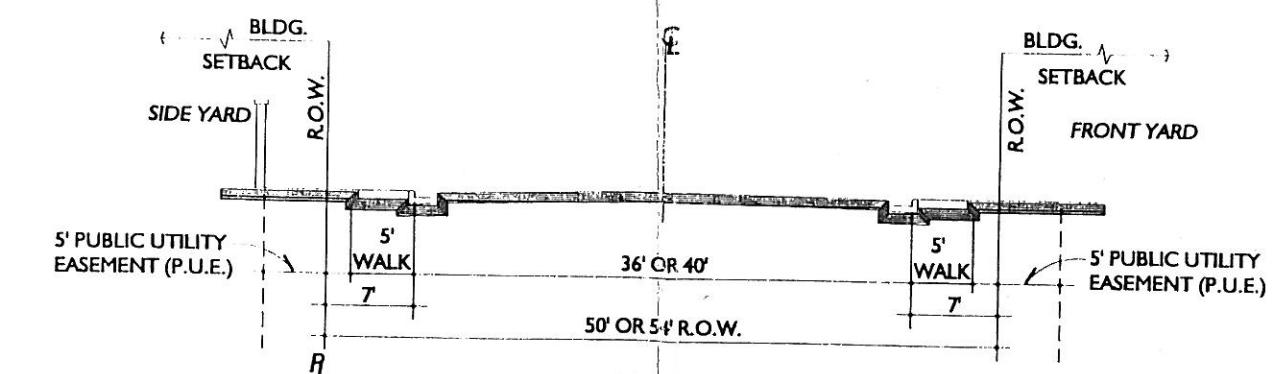
COLLECTOR (SAN SEVAINE AVE.)
SEE COMMUNITY WALL PLAN,
EXHIBIT 18 FOR WALL TYPES



SECONDARY COMMUNITY ENTRY STREET - SAN SEVAINE AVE.
COLLECTOR
"WEST ENTRY"

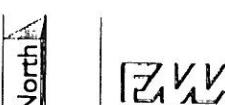


COLLECTOR (HEMLOCK AVE.)
SEE COMMUNITY WALL PLAN,
EXHIBIT 18 FOR WALL TYPES



LOCAL RESIDENTIAL STREET
50' SHORT LOCAL STREET

54' LONG LOCAL STREET
(COMMUNITY THROUGH STREET)



Secondary access will be via San Sevaine Avenue, which forms the western boundary of the planned community. San Sevaine Avenue is designated by the Fontana General Plan as a "collector" with 68 foot right-of-way. It is proposed with an enlarged 22 foot parkway on the west side.

A temporary street may be built as a second access at Hemlock Avenue if San Sevaine Avenue is not constructed at the time of the first phase of development.

Primary and Secondary Community entry streets provide access into the site via two roads at Hemlock Avenue and San Sevaine with 64 foot-right-of-ways, including 12 foot parkways on both sides.

Local streets with 54 and 50 foot right-of-ways will provide local access within the project. Additional five foot public utility easements will be provided on each side. "Long local streets", with 54 foot right-of-ways, will generally be used where street length exceeds 650 feet. "Short local streets", with 50 foot right-of-ways, will generally be used where street length is less than 650 feet.

3.3 Landscape Master Plan, Guidelines, and Tree Palette

A. Landscape Master Plan

The Landscape Master Plan is shown on Exhibit 11. The landscape architectural theme for the CenterStone At The Landings community creates an identifiable "signature" streetscape and community landscape character, along with a hierarchy of landscaped entries.

B. General Landscape Guidelines

The individuality, as well as the cohesion, between the various land uses in the planned community area will be enhanced by the Landscape Master Plan and design concepts. The overall project identity and character is defined by the continuity of attractive landscaping along publicly visible areas. Conversely, individual parcel identity can be established through variations in landscaping at major entry points, along smaller streets within the community.

The development of the overall project character and the individual parcels will be controlled and restricted by these guidelines, as well as applicable governmental codes and restrictions. All development plans, landscape plans, and graphic designs shall conform to these guidelines and shall be subject to a review and approval process by the City of Fontana.

- The main circulation corridors shall be emphasized and featured by landscape treatments. The development shall be wrapped in an evergreen "envelope" consisting primarily of broadleaf evergreen trees and pines, accented with deciduous flowering trees.
- Focal points shall be emphasized; especially at entries into the community.
- Plant materials shall be selected which will tolerate the local climatic conditions. The tree palette for CenterStone At The Landings is in Community Plan Section 3.3 D.
- Plant material should be used to integrate the architectural form with the landscape. Expansive horizontal and vertical surfaces should be modulated or interrupted by foliage masses.
- Upgraded theme street lighting will be provided at the primary and secondary entries.

- Streetscapes should be designed to promote community character and compliment the form of the various roadways. Trees should be selected from the Tree Palette for each streetscape.
- Landscaped setbacks along the site's perimeter should selectively buffer off-site views.
- Entries into CenterStone At The Landings should be accent points, providing attractive view corridors and introducing the theme and character of the community through use of riverrock, multi-branch specimen trees, vertical trees, accent shrub plantings, groundcover, and enhanced paving.
- Landscaping details, including plantings, community walls, entry monuments, and hardscape, should enhance the theme of the community.
- Landscape plans will take into consideration maintenance issues in the location of turf and shrubs and in overall plant selection.
- A minimum twenty foot setback will be provided from the terminus of cul-de-sacs to the adjacent lot. This area shall be landscaped by the project developer per Exhibit 14.

SCALE: 1"=150'

SAN SEVANE AVE.



BASELINE AVE.

CENTERSTONE
AT THE LANDINGS

D. Tree Palette

The following is a conceptual listing of trees identified for use in the key streets, community entries:

Key: (E) = evergreen
(D) = deciduous
(F) = flowering

Hemlock Avenue

Lagerstroemia fauriei hybrids	Crape Myrtle	(D) (F)
Pinus canariensis	Canary Island Pine	(E)
Pinus eldarica	Afgan Pine	(E)

The Pinus eldarica can be substituted for the Pinus canariensis

San Sevaine Avenue

Lagerstroemia indica	Crape Myrtle	(D) (F)
Pinus canariensis	Canary Island Pine	(E)
Pinus eldarica	Afgan Pine	(E)

The Pinus eldarica can be substituted for the Pinus canariensis

Local Streets

Local street trees are required to be planted in accordance with City standards. The species will be determined by the landscape architect and developer in accordance with City staff prior to approval of building permits.

Community Entries (see Exhibit 11 for locations)

Cupressus Sempervirens	Italian Cypress	(E)
Cinnamomum camphora	Camphor Tree	(E)
Lagerstroemia indica	Crape Myrtle	(D) (F)
Olea europaea 'fruitless'	Fruitless Olive Tree	(E)
Pinus canariensis	Canary Island Pine	(E)
Pinus eldarica	Afgan Pine	(E)

The Pinus eldarica can be substituted for the Pinus canariensis

3.4 Streetscape Design Concept

The streetscape design concepts, as illustrated in Exhibits 12 through 16b (Typical Plans and Sections) are the primary streetscape landscape framework for CenterStone At The Landings. They are intended to unify the project and provide landscaping amenities to enhance the Community. The streetscape components consist of sidewalks, a walk/bikeway, an identifying street tree pattern consisting primarily of broadleaf evergreen trees and pines accented with deciduous flowering trees, and turf of a low groundcover, and low shrubs and walls where appropriate.

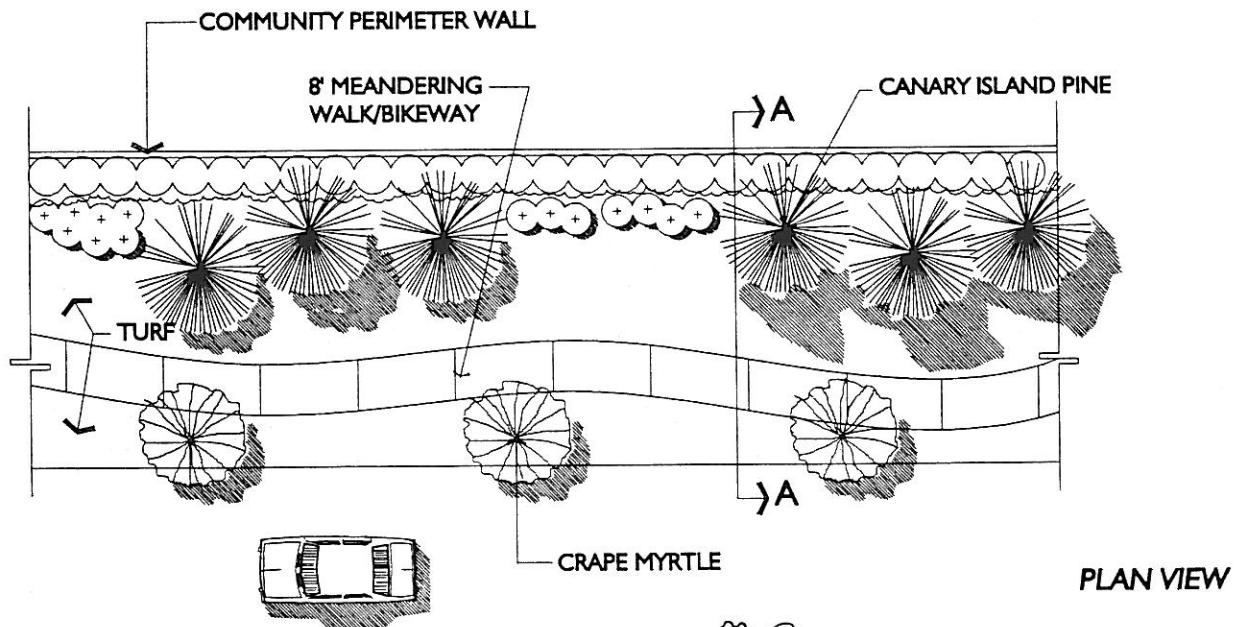
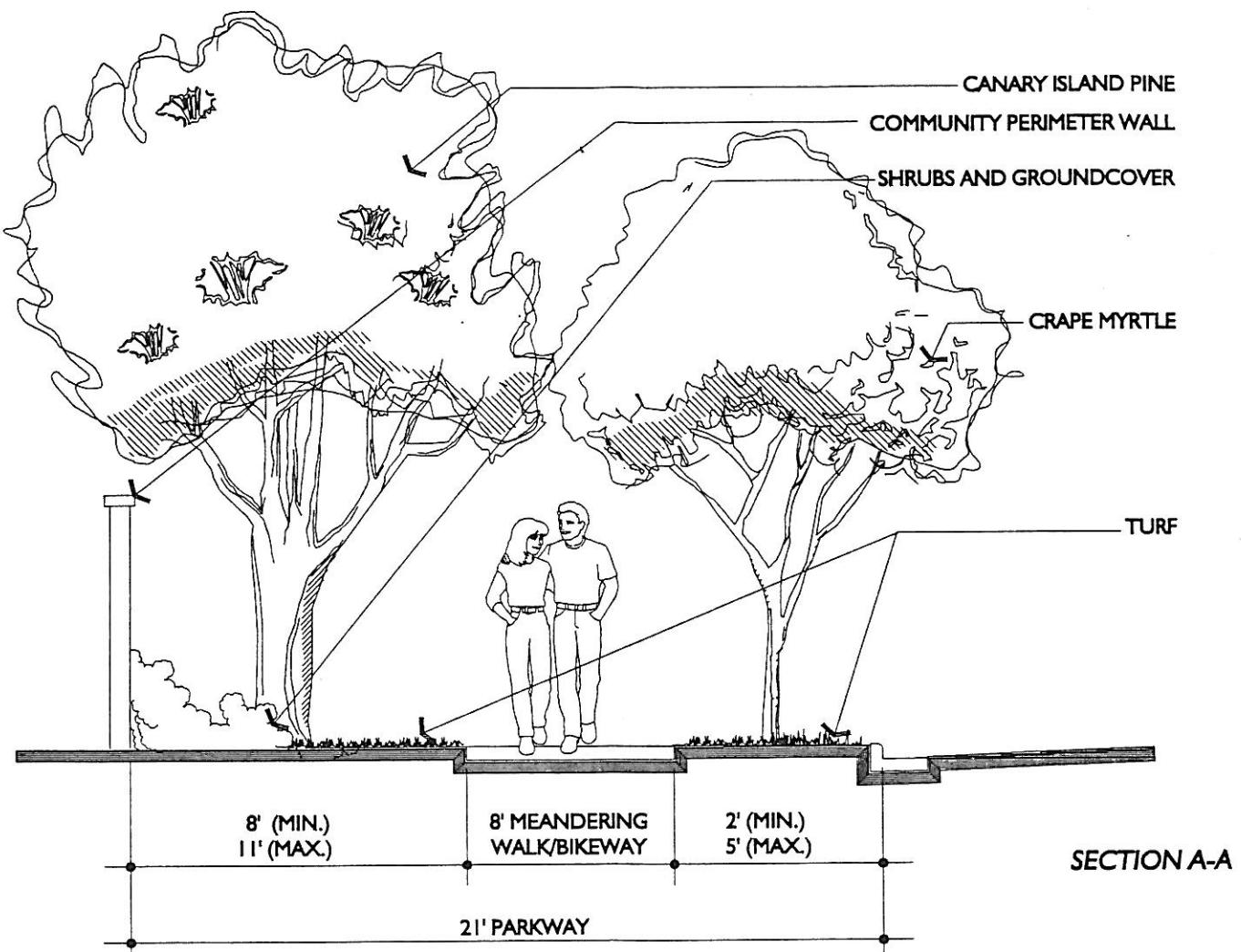
A. Perimeter Streetscape

Hemlock Avenue (see Exhibit 12) and San Sevaine Avenue (see Exhibit 13) are the primary thoroughfares bordering CenterStone At The Landings on the east and west. Hemlock Avenue will have a landscaped 22 foot parkway on the east side.

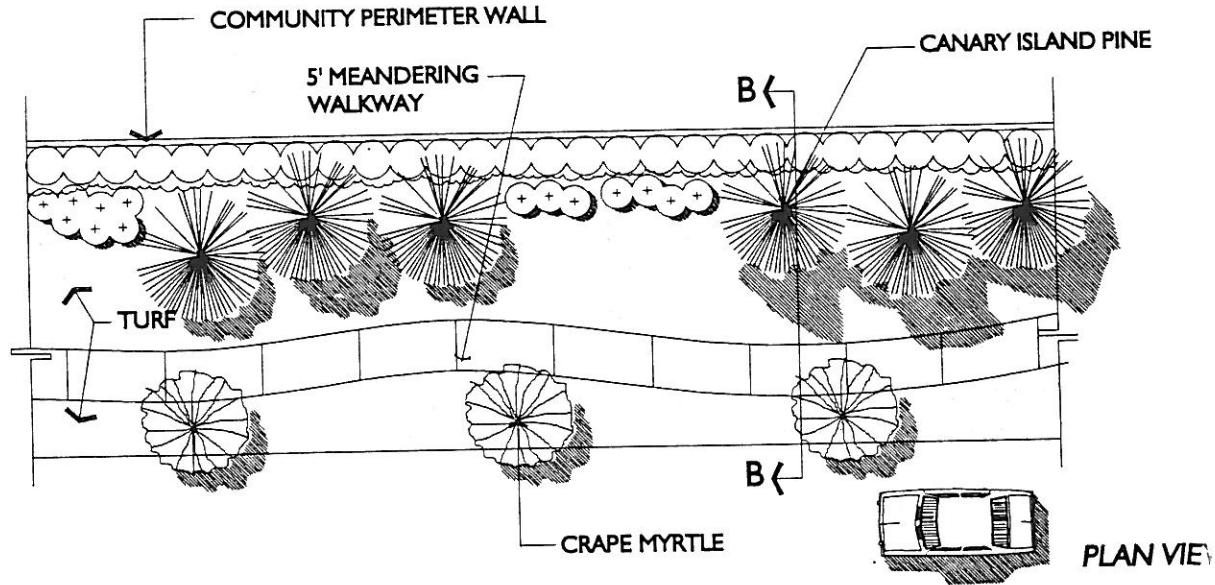
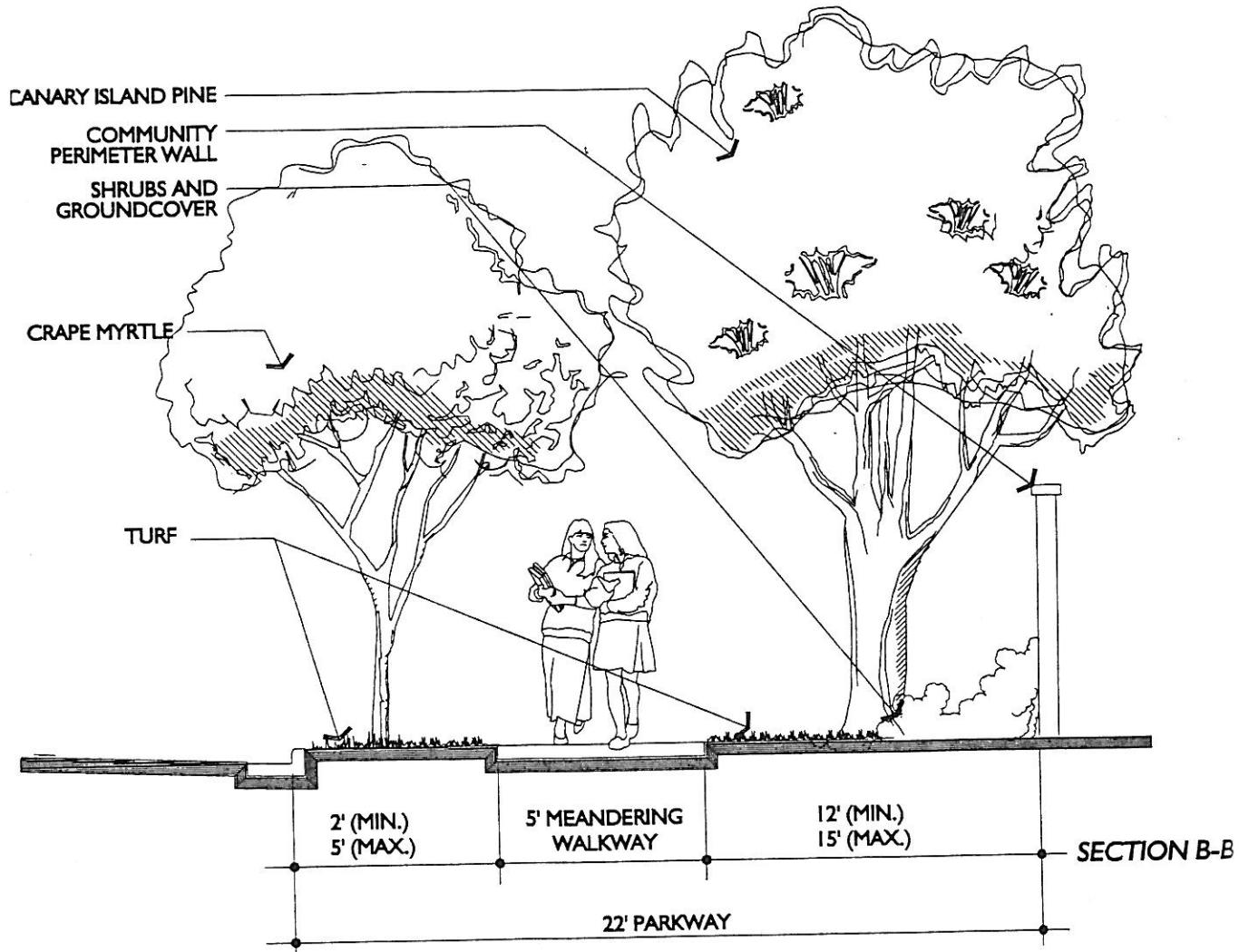
Hemlock Avenue San Sevaine Avenue will have a staggered, double row of meandering street trees: Crape Myrtle, a flowering deciduous tree and Canary Pine, an evergreen conifer tree. The Crape Myrtle trees will be combined with turf within the parkway between the curb and the sidewalk. Canary Island Pines, planted between the sidewalk and the community wall, combined with shrubs, groundcover and vines, will complete the planting plan. An eight foot meandering walk/bikeway is part of the Hemlock Avenue parkway design. A five foot meandering walkway is part of the San Sevaine Avenue parkway design.

B. Internal Streetscapes

Local streetscape designs are shown on Exhibits 14.



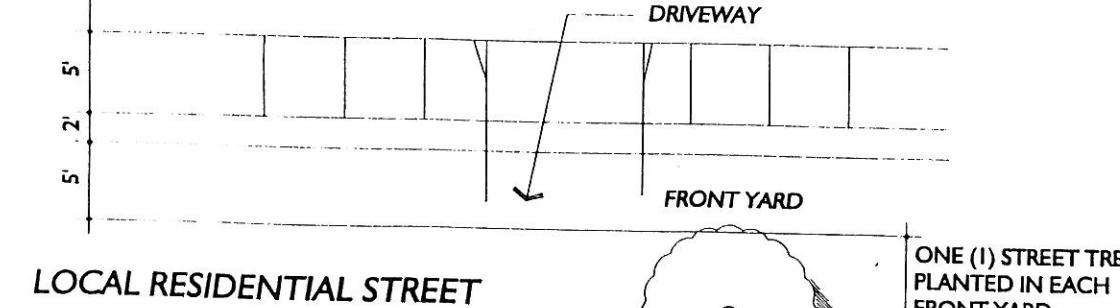
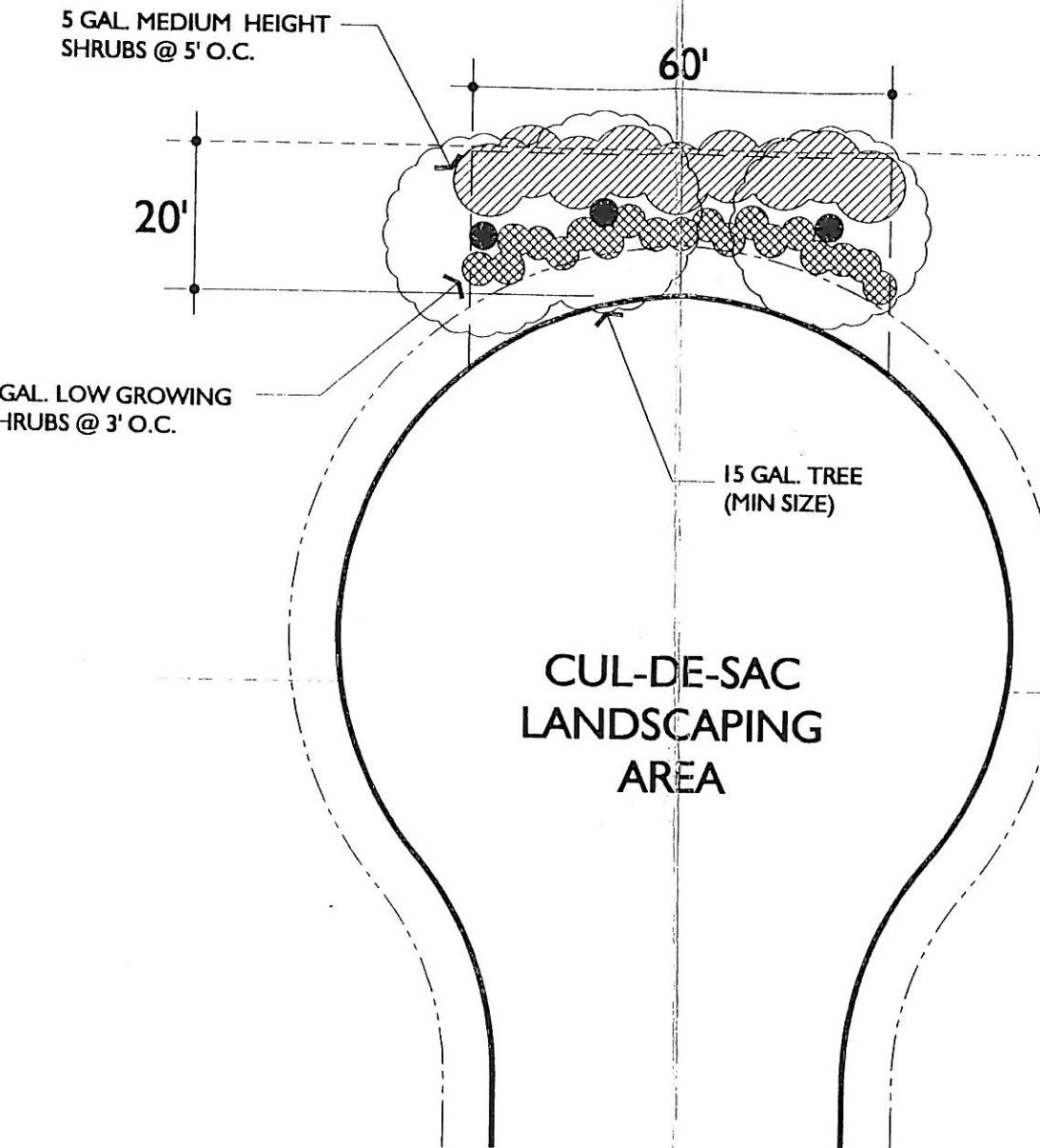
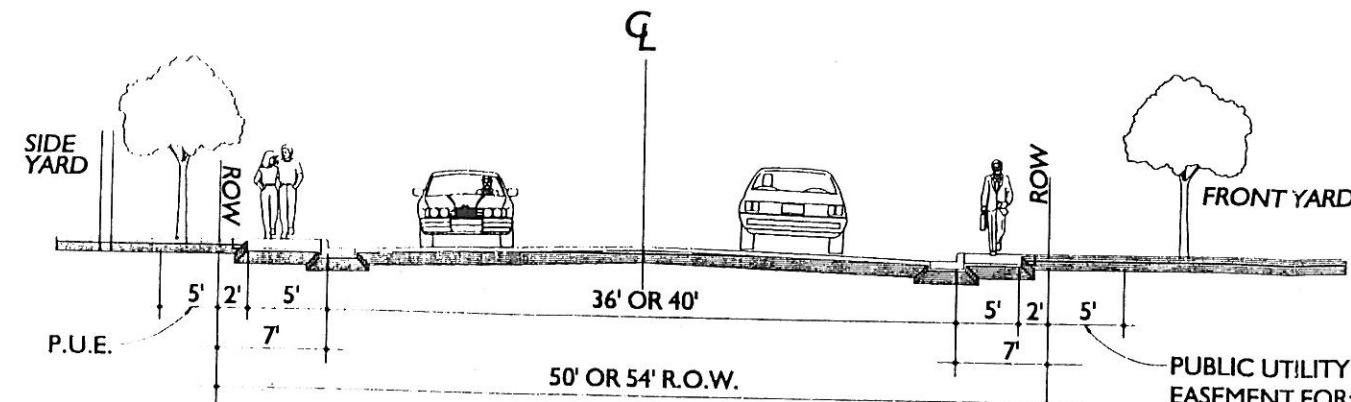
CenterStone
at The Landings



Typical Plan Section
San Sevaine Ave
Streetscaping
Exhibit 1



CenterStone
at The Landings



3.5 Entry Monumentation & Signage Character

A hierarchy of community entries signage, community walls, and entry walls is provided throughout Centerstone At The Landing, reflecting the architectural theme and providing the residents and visitors with beauty and community identification. The Landscape Master Plan, Exhibit 11, shows the location of the primary and secondary entries. Exhibits 15b and 16b illustrate both entries in plan and section view.

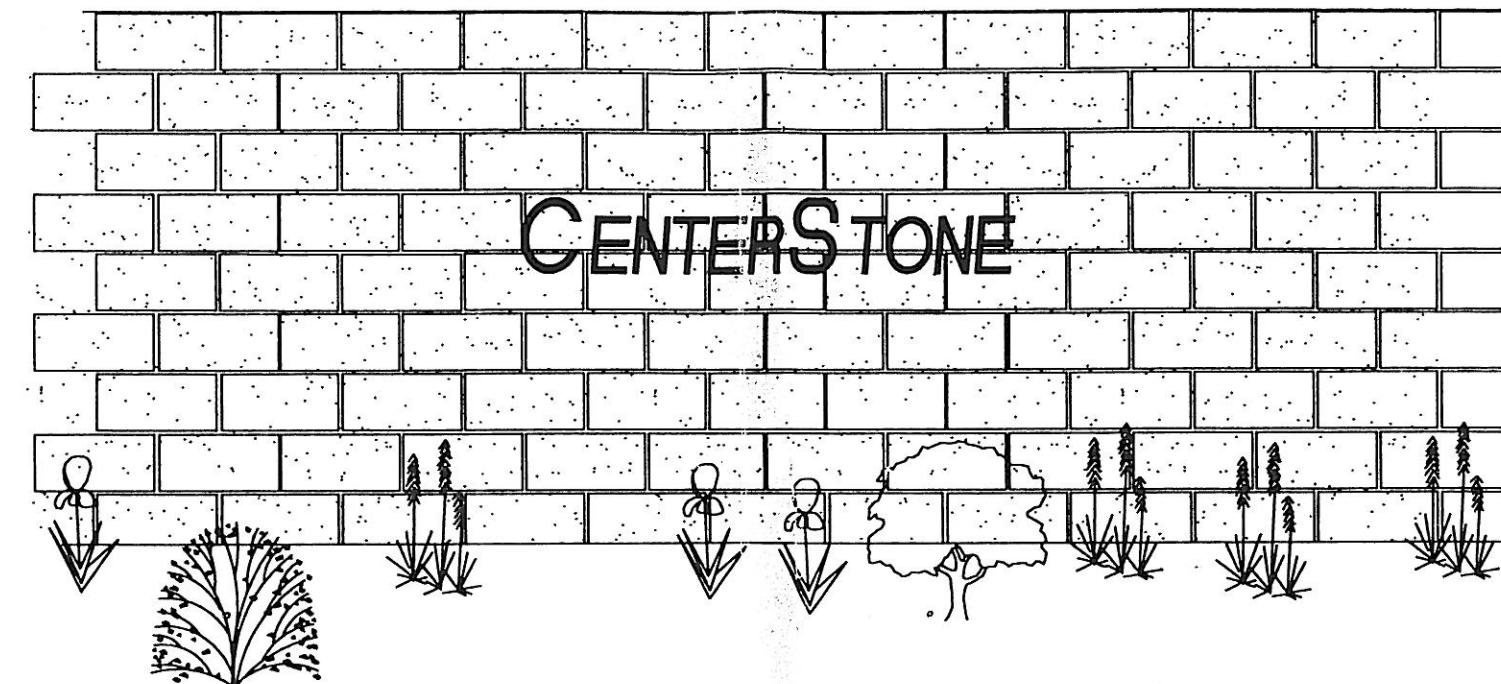
A. Primary Community Entry at Hemlock Avenue

The Primary Community Entries at Hemlock Avenue (see Exhibit 15b) provide a major gateway into Centerstone At The Landings. Specimen trees, groundcover and turf are used to enhance the entry. Entry streets have 12 foot landscaped parkways.

B. Secondary Community Entry at San Sevaine Avenue

The Secondary Community Entries at San Sevaine (see Exhibit 16b) provides western access to Centerstone At The Landings. This community entry is similar in design to the Primary Community Entry, but with fewer trees for less vertical emphasis.

SCALE: 1"=150'



CENTERSTONE
AT THE LANDINGS

Note: Southerly entry wall shall
say City of Fontana

Center Stone 45

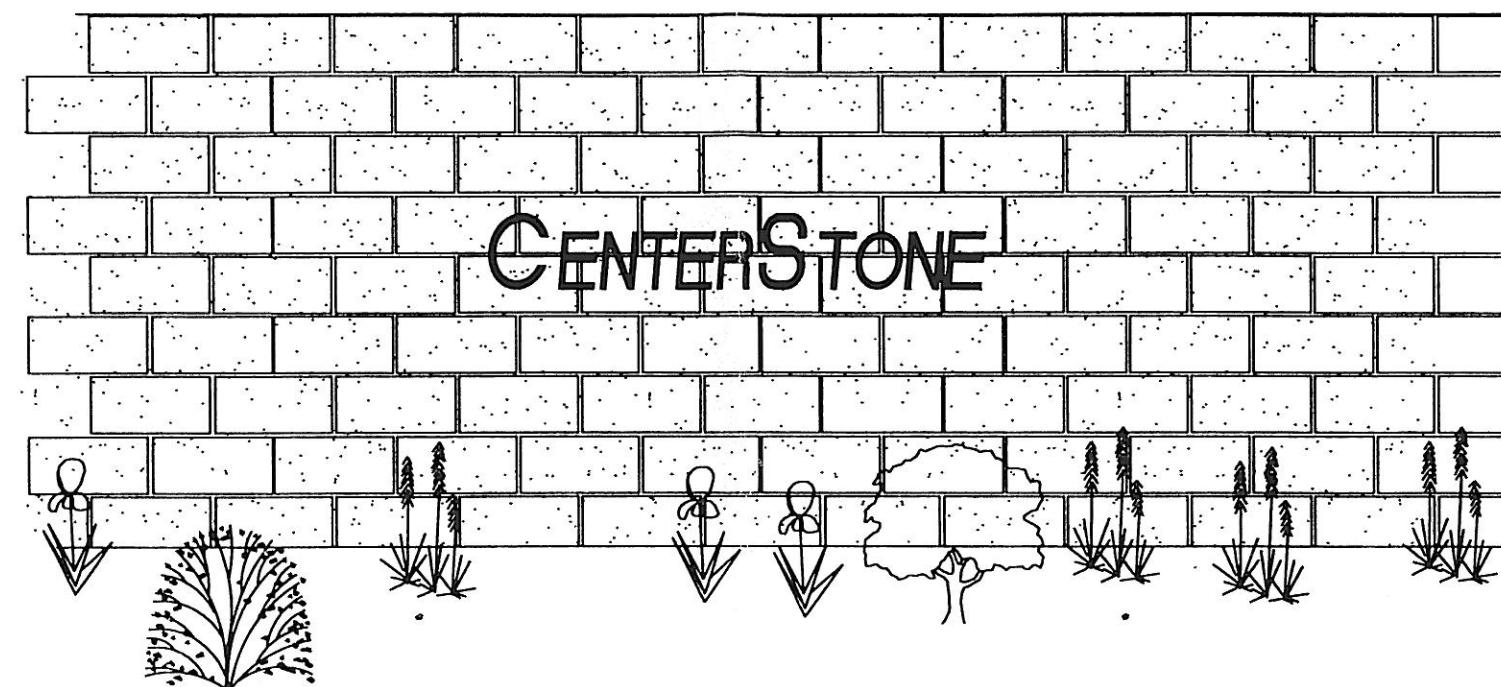
Page 3-16

**PRIMARY COMMUNITY
ELEVATION
EXHIBIT 15B**

Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
8253 Sierra Avenue
Fontana, California 92335
(909) 356-1815 Fax (909) 356-1795

M:DWG\17903\ENTRANCE\EXHIBIT\COMM PLAN 06.dwg

SCALE: 1"=150'



CENTERSTONE
AT THE LANDINGS

**SECONDARY COMMUNITY
ELEVATION
EXHIBIT 16B**

Prepared By:
ALLARD ENGINEERING
Civil Engineering - Land Surveying - Land Planning
8253 Sierra Avenue
Fontana, California 92335
(909) 356-1815 Fax (909) 356-1795

3.6 Community Walls

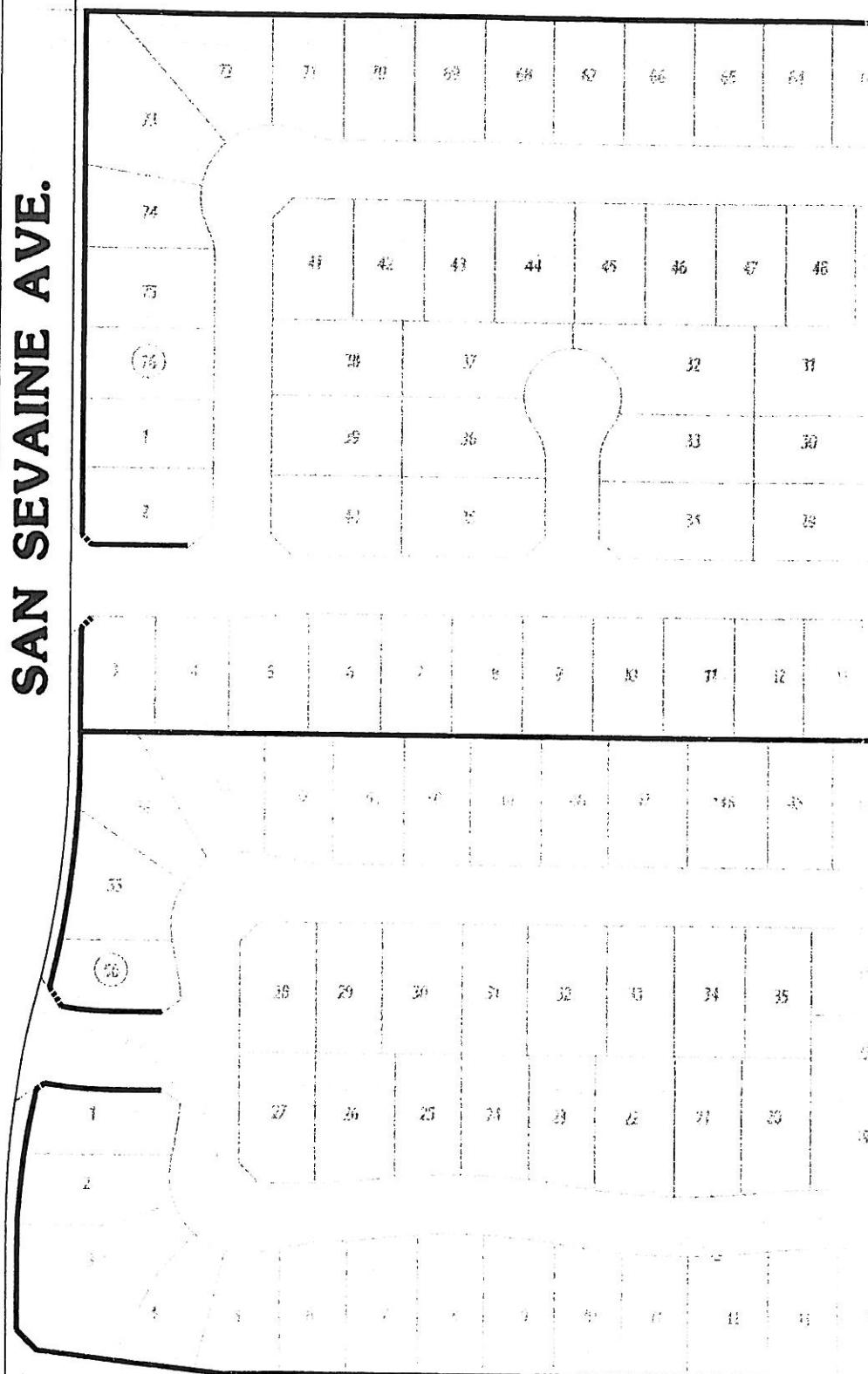
Community walls should be utilized to provide privacy screening and noise buffering for residential land uses, define the outer limits of the entire project, and act as a contributing design element to an overall landscape theme. The Community Wall Plan, Exhibit 17, shows the location of several types of walls used within the planned community. The Community Perimeter Wall and Pilaster Elevations/Sections and Plan View, Exhibit 18, illustrate design detail for each type of wall.

General Wall Guidelines

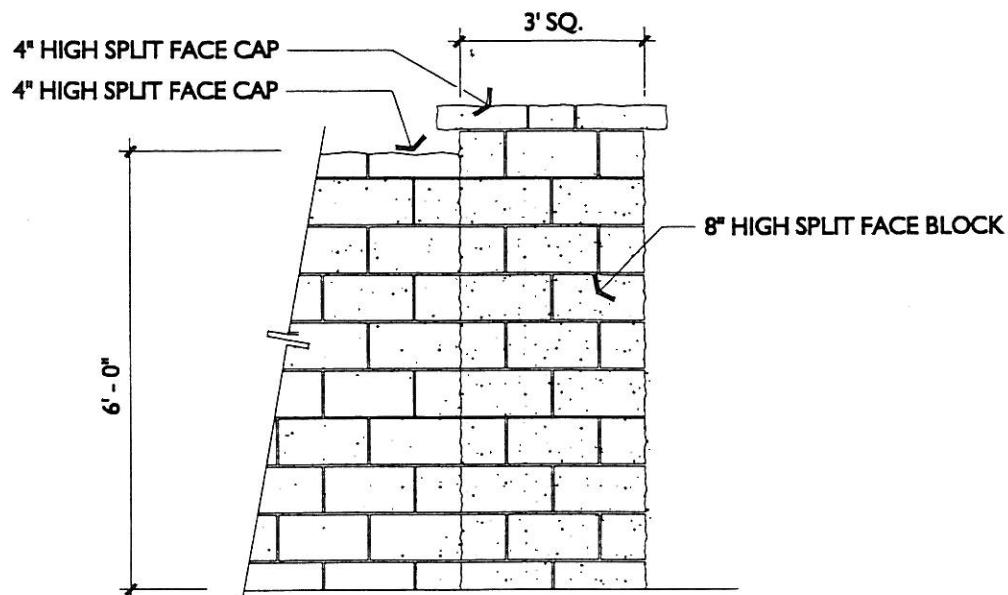
- Community perimeter walls should be a minimum six feet high and be split-face block courses with a larger, cap block. Pilasters will occur approximately every 150 to 200 feet.
- Split face block walls shall be used on interior streets where adjacent to a roadway.
- Wall materials and patterns shall be compatible with adjacent building materials.
- The softening of wall and fence surfaces with vines and other plantings is strongly encouraged.

SCALE: 1"=150'

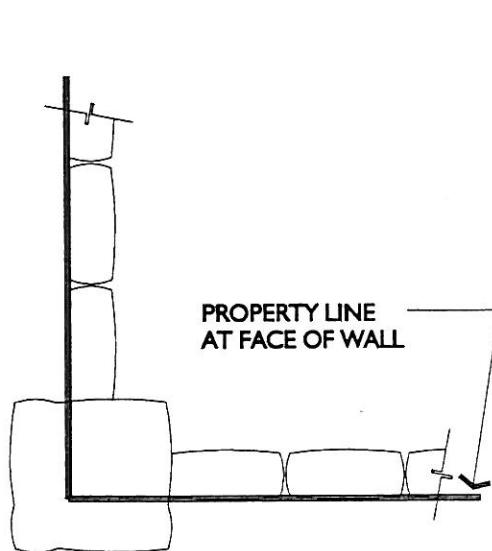
SAN SEVAIN AVE.



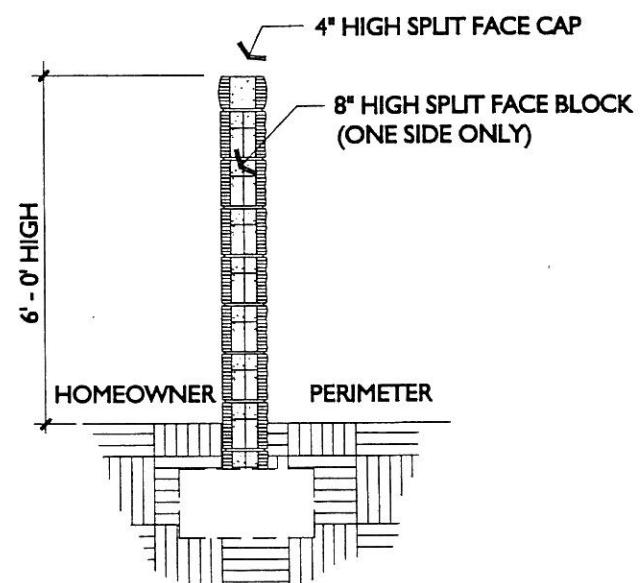
CENTERSTONE
AT THE LANDINGS



COMMUNITY PERIMETER WALL/PILASTERS
ELEVATION



COMMUNITY PERIMETER
WALL/PILASTERS
PLAN VIEW



COMMUNITY PERIMETER
WALL/PILASTERS
SECTION

Note:

- All walls to be Proto II construction.



3.7 Proposed Infrastructure Plan

The development of the CenterStone At The Landings Planned Community will include the installation of a number of infrastructure improvements to serve the residential and non-residential uses.

If the cost of construction of infrastructure facilities exceeds the required development fees, the additional costs will be covered by a reimbursement agreement between the City of Fontana and the CenterStone Development Company.

A. Water

The development of the planned community area will require the installation of water lines to serve the residential areas and public landscaped areas. It is anticipated that the site will be serviced by the Fontana Water Company. A 16 inch water line exists in Baseline Avenue. The proposed water system is illustrated in Exhibit 19. Final determination of line sizes and water system design will be determined by Final Engineering Plans and will be based on fire flow and/or domestic requirements.

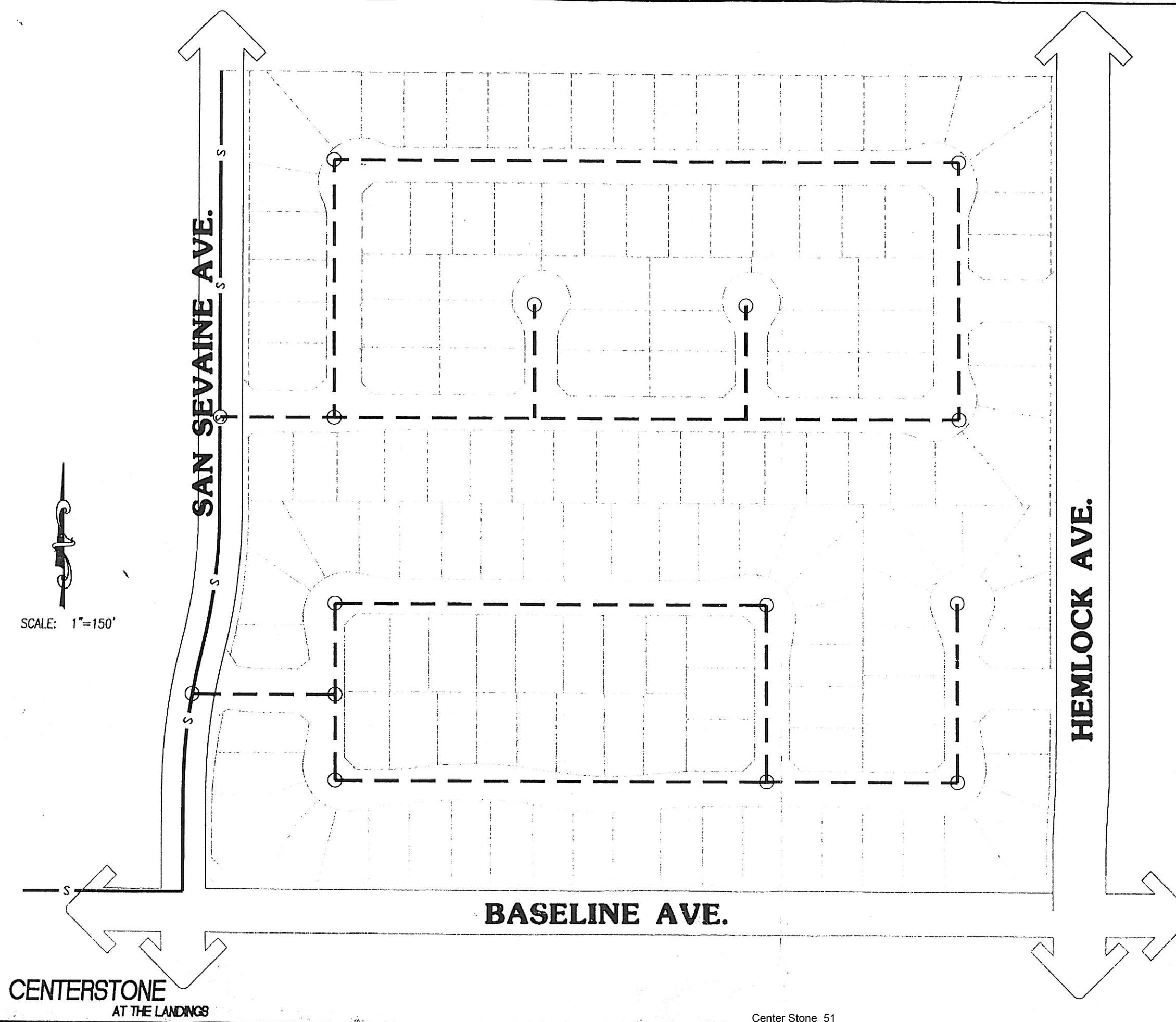
B. Sewer

The proposed sewer plan is shown in Exhibit 20. A 12 inch sewer line exists within the Baseline Avenue right-of-way.

The serving agencies are the Inland Empire Water District and the City of Fontana. The Inland Empire Water District is responsible for the construction and maintenance of the wastewater treatment facilities and the sewer interceptor lines. The City of Fontana is responsible for constructing and maintaining the collection system within the City limits.

The on-site sewage from the residential planning areas will be collected and conveyed through 8 inch lines to San Sevaine Avenue, then to Baseline Avenue.

The sewer connection fees for the project shall be satisfied by a "construction credit" for offsite lines over 10 inches.



Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 8253 Sierra Avenue
 Fontana, California 92335
 (909) 356-1815 Fax (909) 356-1795



CENTERSTONE
AT THE LANDINGS

C. Drainage

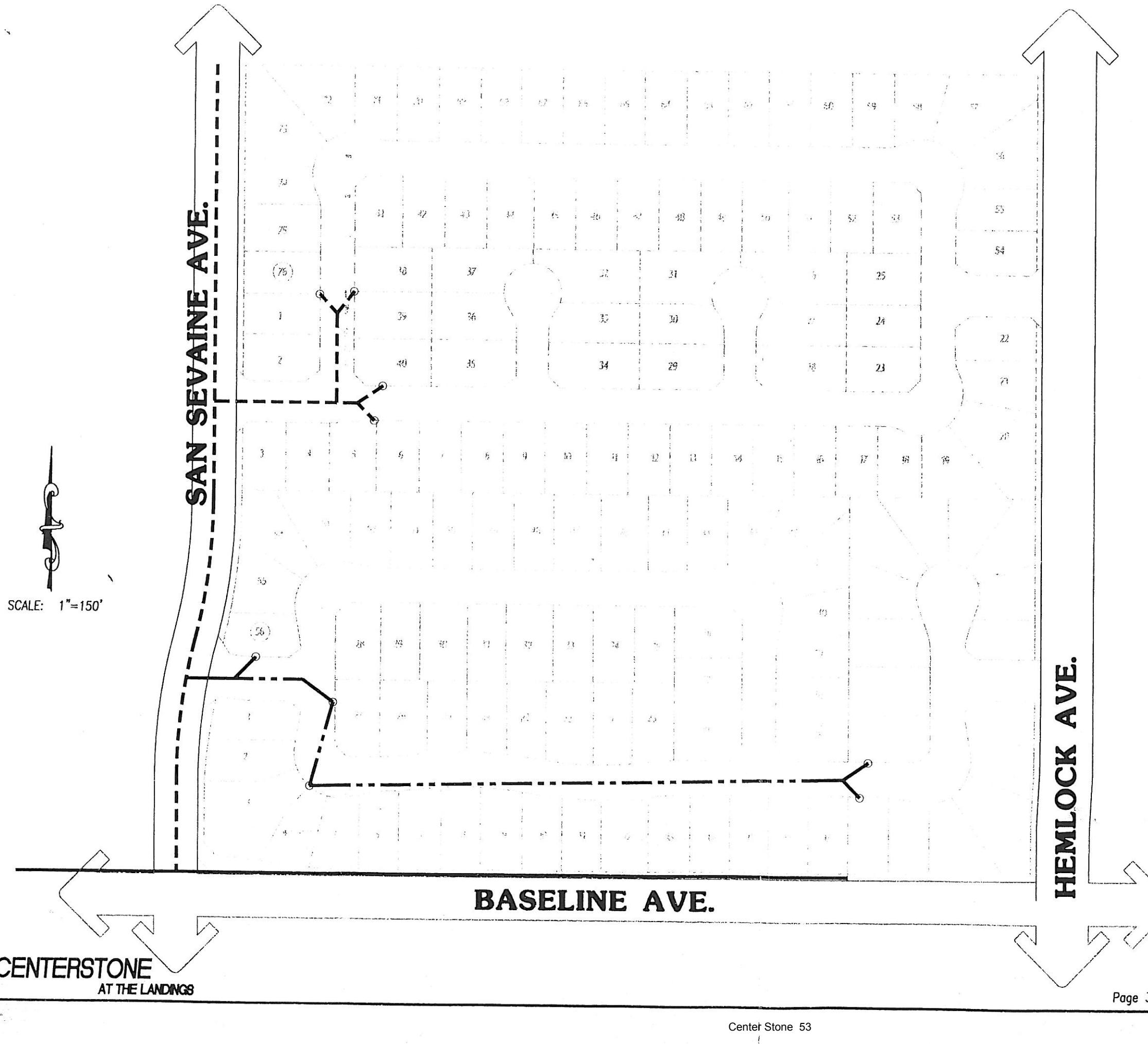
Local drainage systems are the responsibility of the City of Fontana. The proposed drainage system for the project is part of the North Fontana Master Storm Drain Plan, as modified by the "Project Report for the Baseline Storm Drain", dated April 1995, by Allard Engineering, is constructed along Baseline Avenue and is operational.

The on-site residential storm runoff will be handled by the roadways and an on-site storm drain system, as shown on Exhibit 21.

Final determination of storm system design and financing will be determined by the final engineering plans.

D. Solid Waste Disposal

The proposed project will require the expansion of an existing waste removal service route to include the planned community area. No off-site landfill construction will be required as a result of the proposed project.



Prepared By:
ALLARD ENGINEERING
 Civil Engineering - Land Surveying - Land Planning
 8253 Sierra Avenue
 Fontana, California 92335
 (909) 356-1815 Fax (909) 356-1795

**PROPOSED STORM DRAIN SYSTEM
EXHIBIT 21**

E. Energy Systems

The planned community area will require the extension of electrical, telephone and natural gas service.

3.8 Schools

The project site is within the service boundaries of the Etiwanda Unified and Chaffey Joint Union High School Districts. East Heritage Elementary School and Etiwanda Intermediate School of the Etiwanda Unified School District (EUSD) will provide the project with elementary and junior high services. Etiwanda High School of the Chaffey Joint Union High School District (CJUHSD) will provide high school services.

Student generation factors (0.43 elementary students per residential unit, 0.19 junior high students per residential unit, and 0.2 high school students per residential unit indicate that the proposed development could generate approximately 33 new elementary school students, 15 new junior high school students, and 15 new high school students.

According to district officials, East Heritage Elementary School and Etiwanda Junior High School (components of the EUSD), are currently at capacity. The student population at Etiwanda High School (within CJUHSD) currently exceeds capacity.

Prior to the issuance of building permits for any residence, the developer shall pay school fees pursuant to Government Code 65995.

3.9 Parks

The developer will pay park fees, contributing to the future development of a park in the North Fontana area.

Nearby existing City parks, including Koehler Park, North Heritage Park, McDermott Sports Complex, and North Heritage Pool Complex will also serve the project's future residents.

4.0 General Development, Site Planning and Architectural Standards

4.0 GENERAL DEVELOPMENT, SITE PLANNING, AND ARCHITECTURAL STANDARDS

4.1 General Development Standards: Community Plan Conformance with the City Development Code.

Unlike a Specific Plan, a Community Plan must generally conform to the development regulations of the Fontana Development Code. Therefore, regulations such as allowed uses in each zone; setback requirements; landscape coverage requirements within the commercial area; etc., will be per the City Development Code requirements, with several minor Development Code interpretations (see Section 4.2 A). Additionally, all signage must be in compliance with Chapter 3 of the Municipal Code.

Many of the benefits of this Community Plan far outweigh the minor interpretations to the Development Code mentioned above. There benefits include:

- All lots will be 7,200 square feet or larger. Most master-planned communities approved in the City to date have much smaller lots. Examples of communities with smaller lots include Southridge with 3,500 square foot lots, Hunter's Ridge with 4,500 square foot lots, and Heritage with 5,000 square foot lots.
- Homes will be generally larger (see Section 4.2 B) than those in most of the master-planned communities approved in the City to date.
- The primary Entry at Hemlock Avenue and the Secondary Entry at San Sevaine Avenue will be upgraded, with landscaping, entry sign walls, and other visual amenities exceeding City standards (see Exhibit 15a, Exhibit 15b, Exhibit 16a, and Exhibit 16b).

4.2 Site Planning, Architectural/Design Guidelines, and Standards

The purpose of this section is to provide site planning and architectural design criteria that will promote quality development and an aesthetically pleasing environment within the CenterStone At The Landings community. The guidelines, when combined with the landscape designs presented in this Community Plan, provide the overall framework for establishing a sense of community identity, land use character, scale, and environmental sensitivity in the planning and design of development with CenterStone At The Landings.

The following guidelines express “intent” rather than “absolutes”, thereby allowing flexibility in fulfilling the intended design goals and objectives. Moreover, these guidelines are intended to promote creativity and innovation as well as consistent quality in the implementation of land uses.

A. Site Planning

Residential Site Planning

The following residential site planning standards shall apply:

- Buildings and other improvements shall be located to compliment the site on which they are placed.
- At least fifty percent of the lots will be plotted with houses over 2,000 square feet in size.
- Where feasible, consideration shall be given to building elements as they relate to the environment.
- Design shall maximize utilization of visual amenities.
- Local street system design shall consider ease of auto traffic movement and provide opportunities for pedestrian, bicycle, and other alternative transportation modes.
- Local street layouts shall promote compatibility with building sites and lot arrangements to ensure consistent streetscape character.
- The four corner lots at San Sevaine Avenue and Hemlock Avenue entries will be built with single story houses. Corner lots on Edgewood Lane may be two-story.
- Several minor interpretations of the City Development Code requirements shall be allowed:
 - a. Depth of residential lots on knuckles and cul-de-sacs shall be a minimum Average of 100 feet. This provision will allow for greater flexibility in site Design, while meeting the spirit of the Development Code.
 - b. Lot width on cul-de-sacs is to be measured at the setback line. The Minimum width at the setback line shall be 54 feet and the maximum Setback shall be 25 feet from the property line. This provision will allow For greater flexibility in site design, while meeting the spirit of the Development Code.

c. Minor architectural modifications may be reviewed and approved by the Community Development Director.

- Monolithic and stark streetscapes shall be prohibited through varying setback, roof lines and landscaping.
- The "Dynamic Plotting" criteria which will be applied to this development are provided below:

The following are basic, flexible plotting criteria for development under new Design Reviews. Variation and possibly additional criteria may be added by the Planning Commission to individual Design Reviews based upon Planning Commission consideration of individual circumstances:

Fifty percent of the houses shall be over 2,000 square in size.

At least 25% of the most articulated elevation for each proposed house plan shall be provided.

A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).

If the same floor plan is used for adjoining homes, one shall be the reverse of the other.

If the same floor plan is used for adjoining homes, one unit shall have a front setback at least three (3) feet greater in depth than the like, adjacent home.

No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.

No two adjacent homes using the same floor plan, whether reversed or not, shall have the same exterior color scheme/treatment.

A variety of design shall be used on the sectional/roll-up garage doors, with no two adjoining homes which have the same floor plan and elevation using the same door pattern. In no case shall three homes of any floor plan or elevation have the same garage door pattern in a row.

Adjacent homes shall have varying setbacks. Minimum variation shall be two feet. When one and two story homes are adjacent, the two story home shall have the larger front setback.

At least one in four homes shall have enhanced architectural features along the rear yard elevation. These enhancements may include, but are not limited to, the use of stuccoed pop-outs, wood plant-ons, shutters, color bands, enlarged trim, decorative or arched windows, decorative lighting fixtures, etc.

At least one in three homes shall have enhanced architectural features along the front yard elevation as approved by the Planning Commission, including, but not limited to : wood shutters, stone veneer, brick veneer, wood planters or a combination thereof, or such other enhanced architectural features approved by the Planning Commission on a case by case basis.

When a floor plan is repeated on adjacent lots, one of the homes shall use the enhanced architectural features noted above.

Side(s) and rear home elevations visible from any public right-of-way shall carry the architectural features and theme of the front to those visible side(s) or rear elevations.

Subtle, discriminating variations in the architecture are encouraged. These variations may include, but are not limited to, the use of stuccoed pop-out, wood plant-ons, shutters, color bands, enlarged trim, decorative or arched windows, decorative lighting fixtures, etc.

Floor plan maximum and minimum percentages for each model type shall be established.

Any plan type, elevation, color scheme, and veneer treatment shall be switched with another if it conforms to all of the criteria listed above.

The Community Development Director, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, facade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.

B. Architecture

Residential Architecture

The architectural character envisioned for the residential neighborhoods within CenterStone At The Landings is influenced by the historic precedents of Southern

European design. The Design Guidelines establish the framework to achieve harmony and compatibility within the residential neighborhoods, while providing the flexibility to create variety in the architectural expression and interpretation of the design styles envisioned for the community. All too often, when designing a new residential community, the majority of the design effort is focused on the individual floor plans and elevations which comprise the project, rather than on the community as a whole.

The community is perceived as a combination of buildings, landscape, walls/fences, and circulation patterns rather than as an series of individual structures. Significant improvement to the project can be made by devoting more attention to the overall fabric of the community, the sequence of adjacencies, and the location of residential units within blocks.

Attention shall be given to the fabric of shades and shadows, to the mass and scale of adjacent units, and to the relationship of open spaces. Recessed porches providing shadow, one story elements such as garage eyebrows, extended garages, and porches shall be provided to give scale and variety to the community and the neighborhood block.

Residential Architectural Standards

The following section provides architectural guidelines for design elements within the CenterStone At The Landings Community:

- **General Design Elements:**
 - a. Homes will generally be larger than in the majority of the master-planned communities in Fontana. Fifty percent of the houses shall be more than 2,000 square feet in size. Exact sizes for the various home plans will be approved at the time of architectural approval of the specific development project. The minimum house square footage shall be 1,550 square foot.
 - b. For each floor plan in residential areas, varying complimentary elevations shall be provided to create visual interest and a varied neighborhood streetscene.
 - c. Materials, colors and general style shall be integrated through each development area to achieve continuity in design.
 - d. The height and bulk of buildings shall be approximate in scale to the size, shape and topography of the site and shall be harmonious with the setting, verified through grading concept plans and site plan review.

- e. Two foot projections, no more than ten feet in width, shall be permitted into setback areas for fireplaces, chimneys, entertainment alcoves, and other features.
- f. Roof protrusions such as vents or flashing shall be positioned away from the street side of the house or finished to match the roof color in order to minimize visual impact.
- g. Architectural screens, walls and accessory structures shall be compatible in material, color and texture to the main buildings.
- h. Neighborhood design shall incorporate variety through the use of colors, materials, roof types, massing, scale, and the orientation of units and garages on the lot.

- **Building Massing and Scale**

Building massing can play an important role in creating interest and diversity in the street scene and in developing a human scale for individual neighborhoods. Whenever possible, the following shall be addressed:

The general character of the residential area shall reflect a neighborhood scale so that the massing of the buildings does not overwhelm the street scene. This is achieved by addressing the massing of the individual houses, but more importantly, by addressing the assemblage of individual houses into a street scene composition.

Articulated roofscapes shall be designed through the use of a variety of roof forms including hips, gables, and clipped gables. These varied roof forms shall be considered in the design of the individual buildings as well as within the assemblage of buildings into a street scene composition.

- **Articulation of Elements**

In order to provide design interest and variety within individual neighborhood areas, articulation of architectural elements and color shall be incorporated into the design of houses through the special treatment of window, doors, entries, porches, balconies, railings, columns, and chimneys. These elements shall work together to unify the building's architectural design as a complete composition.

- **Windows, Doors, and Porches**

Windows, Doors, and Porches can be used as strong design elements and can help to articulate otherwise blank wall planes. Window details help to add diversity and create an opportunity to provide contrasting trim colors.

- a. Recessed or pop-out windows and doors, along with other architectural projections and recesses, may be used to achieve articulation and shadowing effects.
- b. A porch may be utilized in an entry area as the organizing element for the front elevation. The entry area may be further articulated through the appropriate use of roof elements, columns or other architectural features. The one story porch satisfies the "neighborhood scale" mentioned previously.

- Primary (Front Elevations)

A minimum of three elevations types per floor plan type shall be required

Building elevations shall be articulated to create interesting roof lines, strong patterns of shade and shadow, and relief in wall planes.

- Rear and Side Elevations

Rear and side elevations have less impact on the design fabric of a community, except where they are visible to the public as a whole along exposed edges or main street locations. In these locations, the following criteria shall apply:

- a. Where rear and side elevations face public streets, they shall be treated with architectural articulation complementary to that of the front elevation.

- Roofs

Roof design has a particular influence on a community street scene. Care shall be taken to provide roof articulation with a variety of shapes and materials throughout CenterStone At The Landings.

- a. Variation in eaves and fascia lines, colors, and materials may be utilized to create a sense of individuality and diversity. These shall be compatible with the character of the entire planned community to create a sense of unity and order.

- b. Roof colors shall be varied, yet compatible within the individual neighborhoods.

c. Roof pitches and forms may vary (4:12 to 6:12) to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the street scene.

- Garages

Garages are an integral component of each individual residence. The garage design and placement must be carefully assessed to successfully incorporate it into the overall design and massing of the house.

a. Garage doors shall be simple in design so as not to distract from the architectural elevation of the house. Garage doors may be recessed to create depth and shadow patterns. Roll-up doors shall be used on all houses.

- Second Stories

a. Two story houses shall incorporate architectural elements above the garage such as special window treatments and projected elements, where necessary, to provide appropriate architectural character and variety to the second story.

b. Second story windows and balconies shall be placed carefully in order to protect the privacy of adjacent properties.

- Miscellaneous Design Elements

A number of minor design elements subtly influence the way a community's design is perceived. Care shall be taken to ensure the various design elements enhance the house, without dominating the elevation or streetscape.

a. Chimneys: Chimney caps shall be trimmed and painted to complement the major architectural elements of the house.

b. Flashing and bare metallic surfaces: All flashing and bare metallic surfaces (flashings, vents, pipes, gutter, etc.) shall be painted to match the adjacent building material, or covered from view in a manner harmonious with the general exterior architectural treatment of the building.

c. Balconies, Trellies, Patio Covers, Sun Shades, Structures, and Gazebos: All appurtenant structures shall be integrated with the main structure and designed to be consistent with the residential architectural character.

- d. Vents: All vent stacks and pipes shall be colored to match the adjacent roof or wall material. Vent stacks shall be grouped to the side or rear of the roofs and shall avoid extending above the roof ridgeline.
- e. Colors: Color schemes shall be appropriate to the architectural concept. Accent colors may be used, as appropriate. Color blocking is an acceptable alternative to shape and mass articulation. Final color schemes shall be approved during the design review process.

5.0 Implementation

5.0 IMPLEMENTATION

The following documents have been approved by the City at Fontana to ensure that development of the Community Plan area proceeds in an orderly manner. Procedures for implementation are provided.

5.1 Environmental Review

An initial study and environmental assessment has been prepared as a separate document. Based upon a review of both documents, the City of Fontana has issued a negative declaration for the proposed project in accordance with the California Environmental Quality Act (CEQA) Guidelines and Regulations and local guidelines to implement CEQA.

5.2 Community Plan Approval

This Community Plan has been reviewed and approved by the City of Fontana Planning Commission. It is intended to provide land use, design, and other controls for the proposed project in conformance with the City's General Plan, Development Code, and California Government Code Section 65450 (minor interpretations to the Development Code shall be allowed - see Section 4.1).

5.3 Final Tract Map No. 15961 and Tentative Tract Maps 16839 and 16503

Final Tract Map No. 15961 and Tentative Tract Maps 16839 16503 are approved pursuant to applicable provisions of the Subdivision Map Act (Government Code Section 66410 through 66499) and City of Fontana applicable rules and procedures.

5.4 Amendments and Changes

A. Major Changes

The developer/or property owner(s) may initiate an amendment if substantial changes are required in the project during the development process. Any amendment to the CenterStone At The Landings Community Plan shall be in accordance with City requirements and will be reviewed for approval by the Planning Commission. Revisions to the tentative tract map shall be in accordance with the Subdivision Map Act (Government Code Section 66410 through 66499) and applicable City of Fontana procedures.

Water and sewer facilities located on private property in the absence of an easement will be considered to be private facilities. Maintenance of such private facilities will be the responsibility of the landowner or tenants charged with the general maintenance of the landscaping and other common improvements.

5) Signage

All owner(s)/tenants(s) shall be responsible for the proper maintenance of all their signs.

On notice by the City of Fontana, an owner/tenant will be required to restore or repair any sign which is not properly maintained.

6) Other Facilities

The Southern California Gas Company will maintain natural gas lines within the project site. Southern California Edison will maintain onsite electrical facilities. Pacific Bell will maintain telephone facilities.

6.0 Appendix

6.0 APPENDIX

6.1 Ownership List and Map

One owner holds title to land within the CenterStone At The Landings boundary. This owner is identified on the ownership list and keyed to the assessor's parcel map, book 228, page 10, which follows on the next page. The project applicant and developer, CenterStone Development Company, based in Santa Ana, has an option to purchase the property and will close escrow upon project approvals.

Numbers

CenterStone Development Company 3500-B Lake Center Dr. Santa Ana, CA 92704	228-101-09
Fontana 56 Investors LLC. 3500-B Lake Center Dr. Santa Ana, CA 92704	228-101-11 228-101-13 228-101-14
Fontana III LLC 19100 Von Karman, Suite 400 Irvine, CA 92612	228-101-10
	<u>Acres</u> 39.5

6.2 Final Tract Map No. 15961 and Tentative Tract Maps 16839 and 16503

The Tract Maps are in a pocket following Section 6.3. They have been approved by the Fontana Planning Commission.

6.3 Final Approval

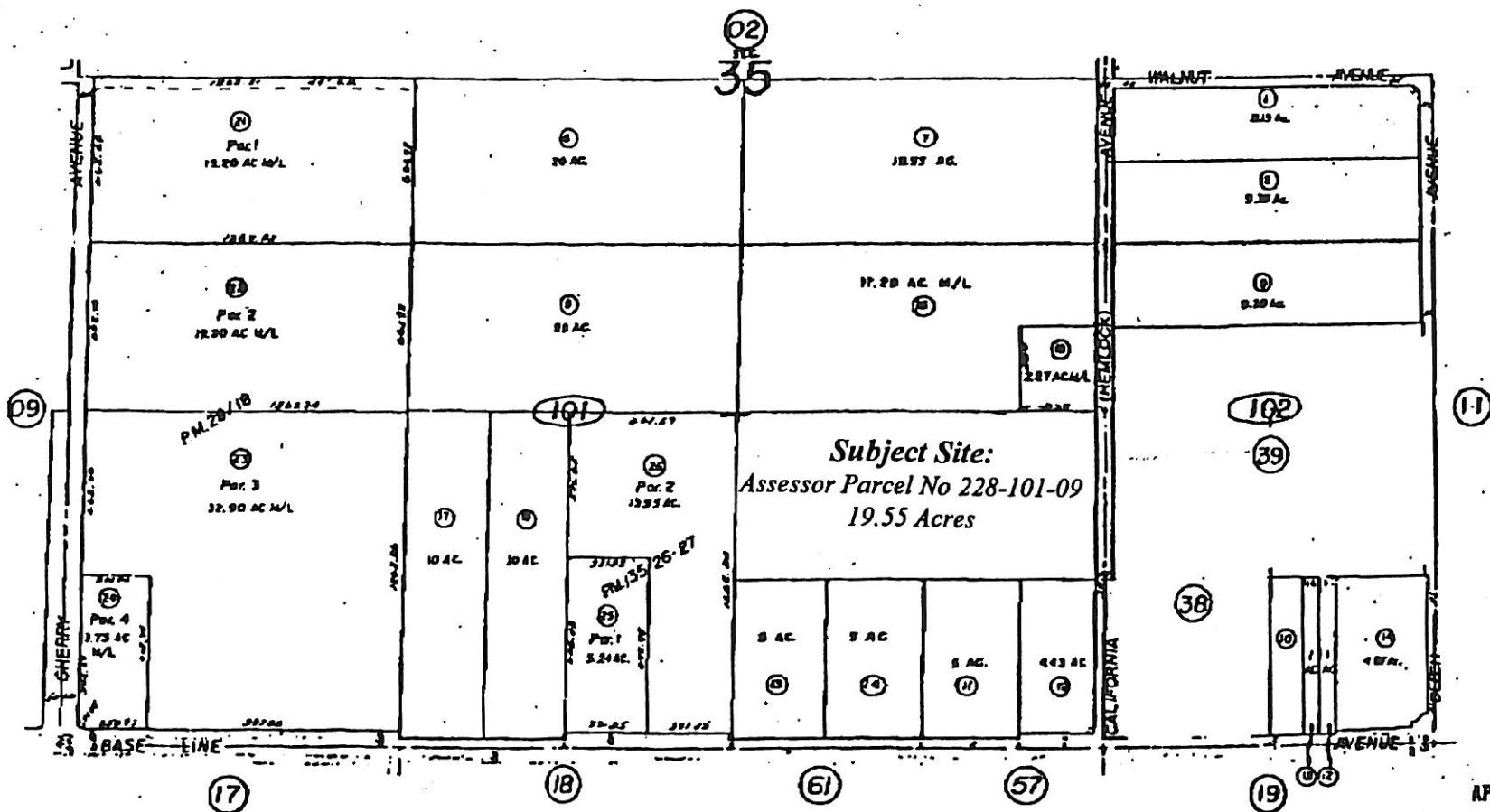
Tract No. 15961 was approved on May 24, 1999 and recorded on July 25, 2002 and Tract 16839 was approved July, 2004. The Resolution and Zone Change Ordinance are on the following pages. Tract No. 16503 was approved on June 30th 2004.

卷之三

S 1/2 Sec 35, T 1 N, R 6 W, S.B.B. 8 M.

Fenton City
Tax Rate Area
10020

220-10



Subject Site:
Assessor Parcel No 228-101-09
19.55 Acres

Parcel Map No. 11735, P.M. 135/26-27
Parcel Map No. 1959, P.M. 28/10

Center Stone 70

Assessor's Map.
Book 228 Page 10
San Bernardino County