

Bellgrove II Community Plan

February 2, 2000

Prepared for the City of Fontana

Master Developer:
The Stratham Group
Contact: Jeff Evans
2201 Dupont Drive, Suite 300
Irvine, California 92612
949/ 833-1554

Prepared by:

Allard Engineering
Contact: Raymond J. Allard, P.E.
6101 Cherry Avenue
Fontana, California 92336

Other Key Consultants:

Baxter Miller, Landscape Architects, Corona, California
Ross Geller, Applied Planning, Ontario, California

A Stratham Group
Master-Planned Community
City of Fontana

Bellgrove II Community Plan

February 2, 2000

City of Fontana

City Council Members:

*David R. Eshleman, Mayor
Mark N. Nuaimi, Mayor Pro Tem
Josie Gonzalez
Manuel E. Mancha
John B. Roberts*

Planning Commission Members:

*Rod Butler
Kenneth Galasso
Victor Quiroz
Janice Rutherford
Bob Saathoff*

*A Stratham Group
Master-Planned Community
City of Fontana*

Bellgrove II Community Plan

*Final
February 2, 2000*

City of Fontana

Key City Staff Members:

*Ken Hunt, City Manager
Frank Schuma, Community Development Director
Debbie Brazill, Planning Manager & Project Contact
Cindy Ousley, Associate Planner*

*Paul Balbach, Principal Transportation Engineer
Paul Burton, Senior Park Planner
Curtis Aaron, Public Services Director
Clyde Sweet, Principal Civil Engineer/City Traffic Engineer
Bob Weddle, City Engineer*

*A Stratham Group
Master-Planned Community
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Bellgrove II

Community Plan

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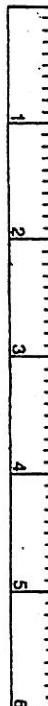
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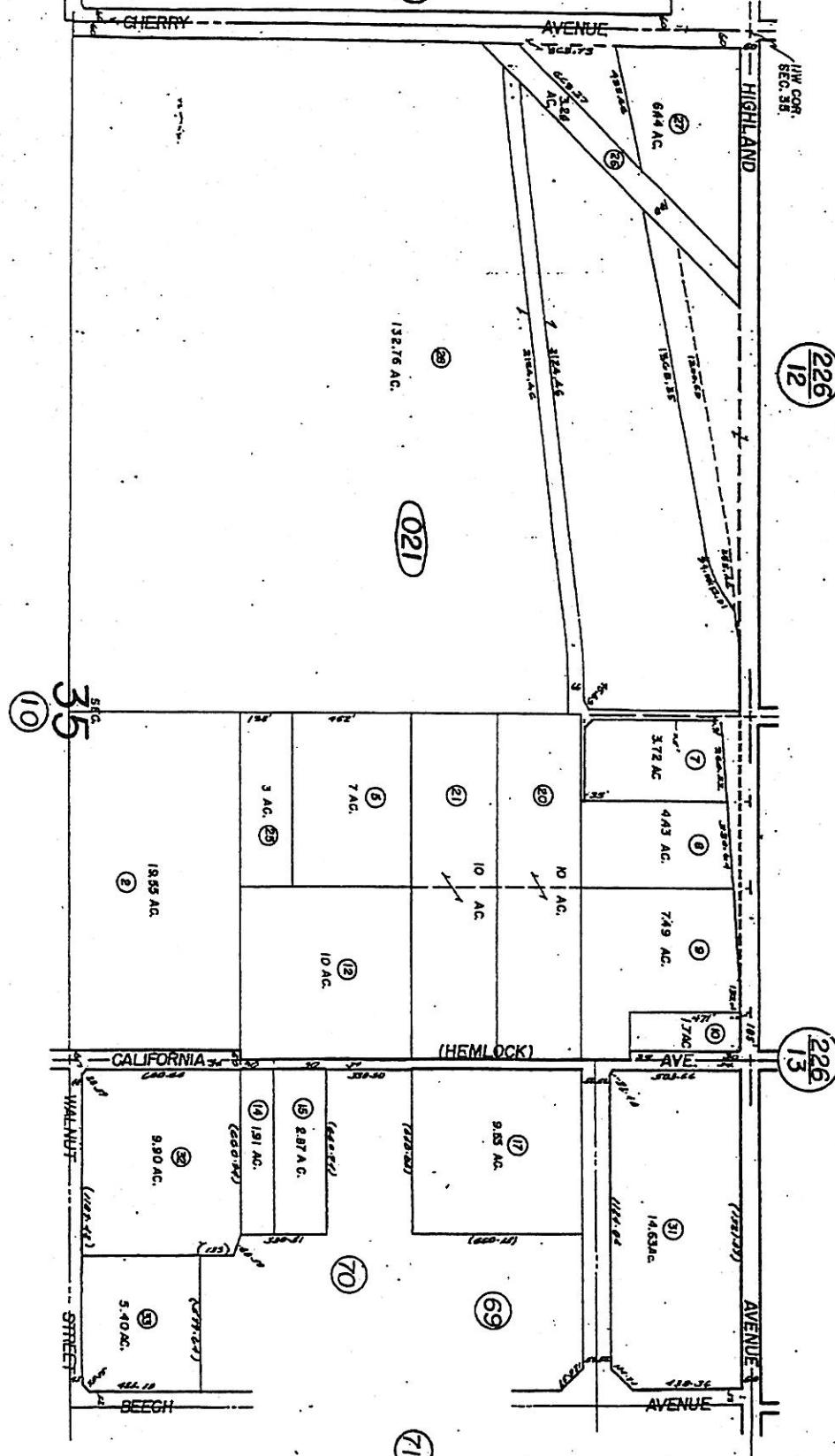


SCALE IN 1/10 OF AN INCH

N.J/2 Sec. 35, T.I/N, R.6W, S.B.B. & M.

Fontana City
Tax Rate Area
10020

228-02



Note-Assessor's Blk. & Lot
Numbers Shown in Circles

Assessor's Map
Book 228 Page 02
San Bernardino County

NOV 26 1997

4/2/92 REVISED
1/30/94 RR
2/15/96 RR
3/17/97 CC
6/18/97 PE
10/27/97 ADN PE

Bellgrove II Community Plan

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1.0 Introduction

1.0 INTRODUCTION

1.1 Purpose Of The Bellgrove II Community Plan

The Bellgrove II Community Plan is designed to ensure a well-planned, quality environment for the development of residential uses within a master-planned community.

Timely and efficient processing for the development of the property can be ensured through the Community Plan; which, when adopted by City legislative action as a resolution, serves both a planning and regulatory function. This document fulfills the planned community requirements of the State of California and the City of Fontana.

The Bellgrove II Community Plan is also herein referred to as a planned community and as a project. Within this document, community plan, planned community, and project shall be synonymous.

1.2 Authority

The Bellgrove II Community Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local planning agencies the authority to prepare Specific Plans. It has also been prepared pursuant to the City of Fontana Development Code, Article II, Division 9, which specifies requirements for Specific Plans and Community Plans. Division 9 considers Community Plans to be a modified form of a Specific Plan, which characteristics unique from a Specific Plan. The environmental assessment has been prepared pursuant to the environmental review requirements of the City of Fontana and the State of California. Standards contained in this document shall govern all areas within the project.

1.3 Project Location

The project site is located in southwest San Bernardino County, in the northwestern portion of the City of Fontana (see Exhibit 1, Regional Map and Exhibit 2, Local Area Map). Surrounding jurisdictions include the cities of Rancho Cucamonga, Rialto, Ontario, and unincorporated areas of San Bernardino and Riverside Counties.

Regional access to the site is provided by the San Bernardino (Interstate 10) and the Devore (Interstate 15) Freeways. The San Bernardino Freeway is a major east – west route connecting the Fontana area with the Los Angeles metropolitan area to the west and the desert areas to the east. The Devore Freeway is a major north-south route, connecting Fontana with Corona and San Diego to the south, and Las Vegas to the north.

The project site consists of 90 gross acres located north and south of Walnut Avenue (future), immediately west of Hemlock Avenue and immediately east of San Sevaine Avenue (future) in the City of Fontana. The site is bounded by Hemlock Avenue to the east, and vineyards to the north, south, and east.

This is an infill development between several master planned communities to the east and west.

Exhibit 3, North Fontana Planned Communities, shows the location of existing and proposed specific plans and community plans in the north Fontana area. The Morningside/Independence Community Plan, located to the west of the subject site, is approved, and partially developed. Exhibit 3 also shows the location of the Fontana Star Community Plan. It is a planned community; and it is shown here as it is immediately adjacent to the east boundary of the subject site.

Bellgrove II is within the boundaries of the North Fontana Redevelopment Project Area, which encompasses approximately 14 square miles of North Fontana.

Several major development projects have been approved and are partially developed in the vicinity of Bellgrove II. These include:

Bellgrove (40 acres) is located south and east of the subject site. At buildout, Bellgrove will consist of 146 single-family homes on 7,200 and larger square foot lots. Approval of the tract map occurred before the General Plan modification allowing 7,200 square foot lots only in Specific Plan or Community Plan areas.

California Landings Specific Plan (223 acres) is located north and east of the project site, south of Highland Avenue. At buildout, California Landings will consist of 791 single family residences, 15 acres of commercial, a park, and a school site.

Morningside/Independence Community Plan (120 acres) is located south and east of the project site, north of Baseline Avenue, east of Cherry Avenue, and west of San Sevaine Avenue. At buildout, Morningside will consist of 402 single family residences and 9.9 acres of commercial.

Centerstone Community Plan (20 acres) is located south of project site between San Sevaine and Hemlock. The project consist of 76 single family residences and

Fontana Star Community Plan (40 acres) is located east of the project site and south of Walnut Avenue. Fontana Star consists of 7,200 s.f. single family residences.

Hunter's Ridge Specific Plan (570 acres) is located 2.0 miles north of the project site, above the 1-15 Freeway. At buildout, Hunter's Ridge will consist of 1,501 single family residences, 620 multi-family residences, 5.5 acres of neighborhood commercial uses, park/open space and a school site.

Rancho Fontana Specific Plan (510 acres) is located approximately 900 feet south of the project site, south of Baseline Avenue. Rancho Fontana consists of 2,100 single family residences and 35 acres of commercial and mixed uses.

Sierra Lakes Specific Plan (700 acres) is located 3 miles northeast of the project site, at Citrus Avenue. At buildout, Sierra Lakes will consist of 2,100 single family residences and 525 multi-family residences, 64 acres of commercial and business park, a golf course, parks, and a school site.

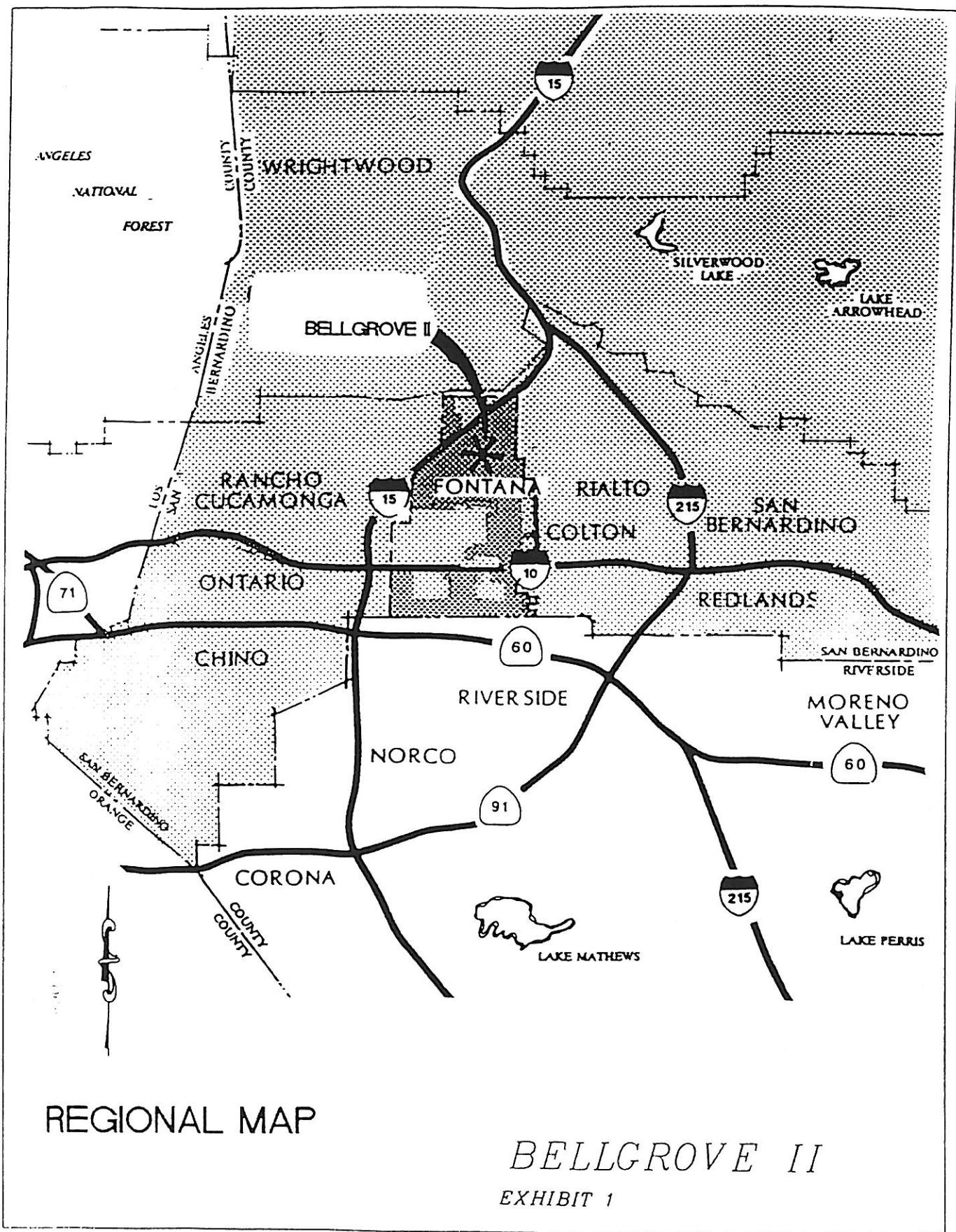
West End Specific Plan (1,465 acres) is located 1 mile southwest of the project site. At buildout, Heritage will consist of 2, 955 single family residences, 294 multi-family residences, 31 acres of commercial, 110 acres of office park, 448 acres of business park, open space/parks, and two school sites.

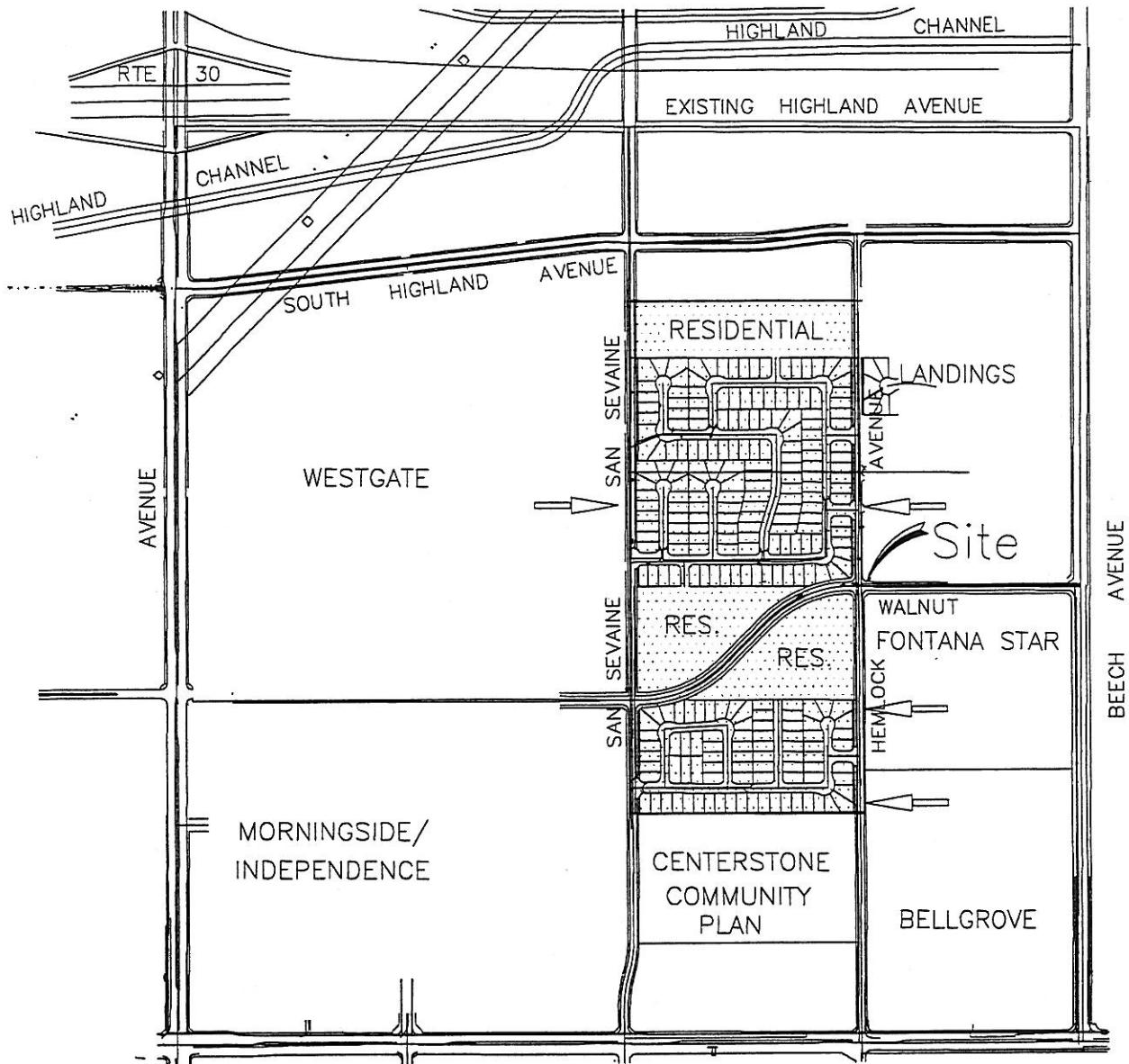
Walnut Village Specific Plan (342 acres) is located 2.9 miles east of the project site, south of Highland Avenue and east of Sierra Avenue. At buildout, Walnut Village will consist of 1,644 residential units, 39 acres of commercial uses, together with community facilities and park/open space.

Westgate Specific Plan (954 acres) is located adjacent of the northern and eastern boundaries of the Morningside project, and located north of Baseline Avenue and on both sides of Cherry Avenue. Westgate consists of ± 2,500 residential units, a commercial/business park, parks, and other public uses.

Summit Heights Specific Plan (294 acres) is located 2 miles northeast of the project site, north of Highland Avenue, west of Lytle Creek Road, and south of Summit Avenue. Summit Heights consists of 950 residential units, commercial/office, park, and other public uses.

Fontana Grandview Community Plan (39.88 acres) is located on the north side of Citrus Avenue, east of Lytle Creek Road and west of Knox Avenue. Fontana Grandview consists of 156 residential units.





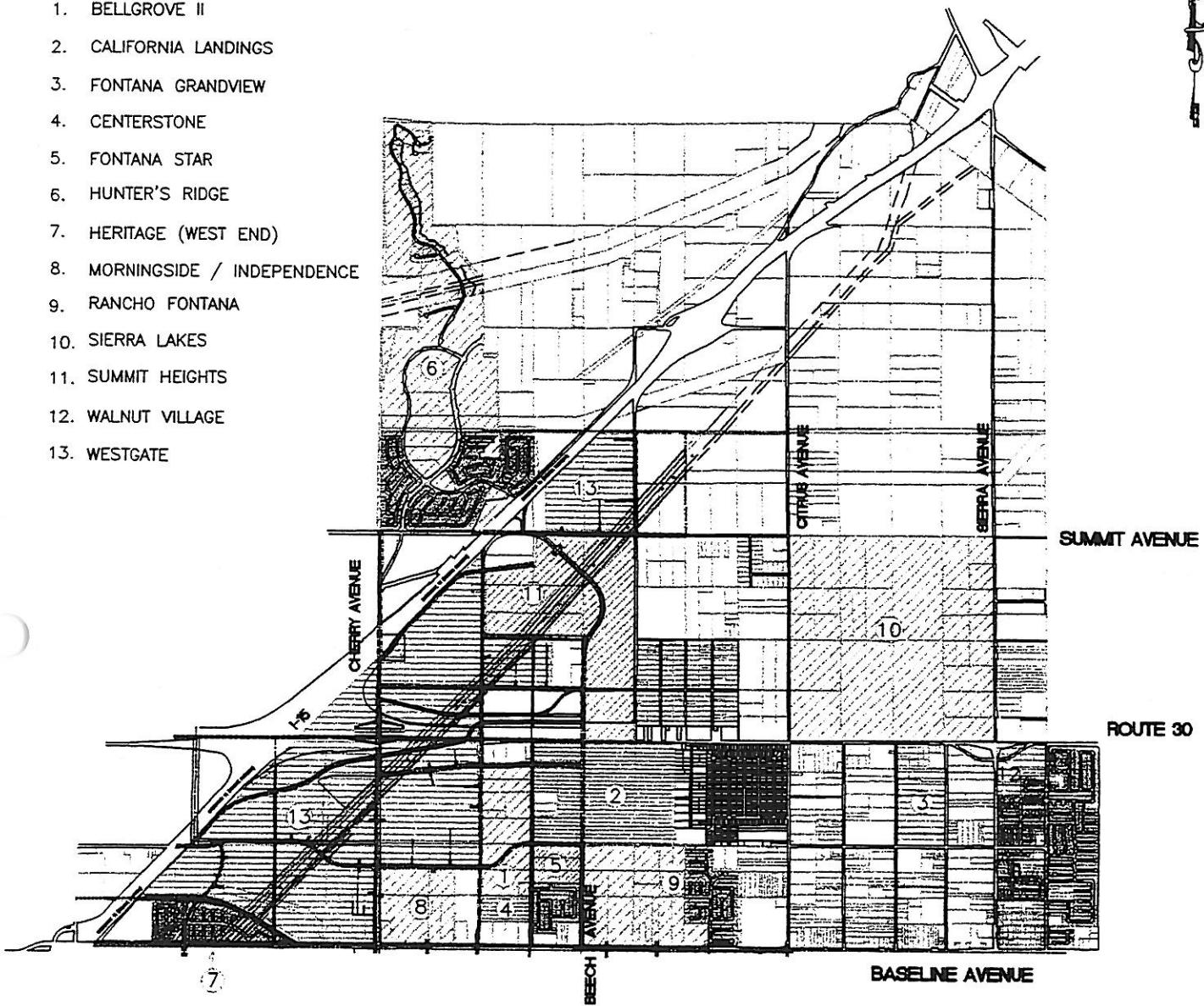
LOCAL AREA MAP

ALLARD ENGINEERING
 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

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 EXHIBIT 2

LEGEND

1. BELLGROVE II
2. CALIFORNIA LANDINGS
3. FONTANA GRANDVIEW
4. CENTERSTONE
5. FONTANA STAR
6. HUNTER'S RIDGE
7. HERITAGE (WEST END)
8. MORNINGSIDE / INDEPENDENCE
9. RANCHO FONTANA
10. SIERRA LAKES
11. SUMMIT HEIGHTS
12. WALNUT VILLAGE
13. WESTGATE



NORTH FONTANA PLANNED COMMUNITIES

LARD ENGINEERING
Civil Engineering - Land Planning
6101 Cherry Avenue
Fontana, California 92336
(909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 3

1.4 Planning Goals

Prior to and during the preparation of this Community Plan document, meetings were held with City of Fontana staff members to discuss goals for development of the Bellgrove II project. Based upon these meetings, the following goals were identified:

- Develop a community with all single family detached homes on lots of 7,200 square feet and larger in order to help achieve the City's goal of providing additional larger lots in North Fontana.
- Develop a community of larger homes, with 70% larger than 2,000 square feet.
- Provide a master planned community in conformance with the spirit and intent of the City General Plan Land Use Map and Policies and in conformance with the Development Code, thereby allowing fast-tracking of the planning process via the Community Plan process.
- Encourage enhancement of an upscale North Fontana image.
- Create a high quality, unique community design with residential neighborhoods supported by nearby commercial uses.
- Provide attractive primary and secondary entries, accentuated by entry wall signs and landscaping to provide enhanced gateways to the planned communities.
- Provide an efficient and attractive system of collector streets and local streets.
- Provide for adequate infrastructure, public facilities and services.
- Support the City in achieving its Vision Statement; "the City of Fontana is dedicated to being a safe, well-maintained, family-oriented community supported by a diverse, jobs rich economy, capitalizing on the City's superior location and accessibility."

2.0 Project Overview

2.0 PROJECT OVERVIEW

2.1 Ownership

The 90-acre Community Plan site area consists of a variety of properties owned or controlled by The Stratham Group and others. The purpose of the plan is to provide for an orderly/consistent buildup of a large vacant parcel in between three large existing planned communities.

2.2 Existing Land Uses and Conditions

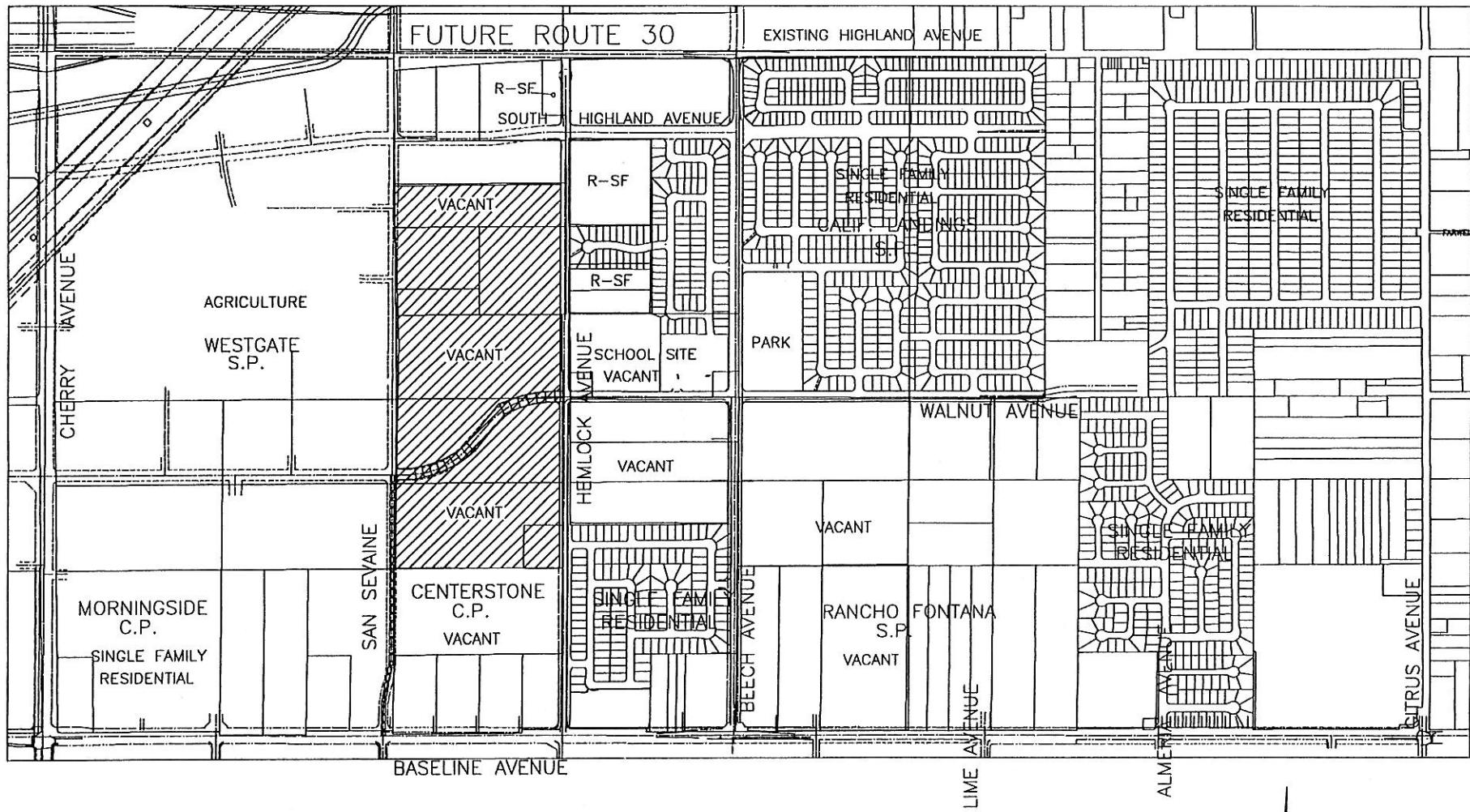
Existing land uses are shown on Exhibit 4. The project site consists of undeveloped vacant land, except for an existing 1,500 square foot house (with accessory buildings) on a 2.3 acre parcel in the southeast portion of the property. The principal natural features onsite are disturbed vegetation.

The property is generally characterized as flat to gently sloping, with a slope in the range of two to four percent. Elevations range from approximately 1,390 feet above mean sea level in the northeast corner to 1,370 feet above mean sea level in the southwest corner.

2.3 Project Description

In conformance with the stated goals and objectives of the City of Fontana General Plan, the Bellgrove II Community Plan contains larger lots (7,200 sq. ft. or larger) residential uses with convenient access to existing and planned neighborhood and regional commercial centers. Table 2-1, (Page 2-3) and the Land Use Plan (Figure 6), provide a summary of the proposed land uses and their acreage within the project area.

2-2



EXISTING LAND USE

BELLGROVE II
EXHIBIT 4

Table 2-1
STATISTICAL SUMMARY

<u>Land Use Summary</u>	<u>Acres</u>	<u>DU'S</u>
<i><u>Neighborhood A & B</u></i>		
Residential - SFD, 7,200 sq. ft min., net area Planning Areas: Neighborhood A & B	40.7	245
Perimeter R.O.W.	4.1	
Internal R.O.W. (Neighborhood Circulation)	15.2	
Sub-total	60.0	
<i><u>Other Parcels</u></i>	40	3
Neighborhoods C,D,E – Residential		
TOTAL COMMUNITY PLAN	90	248

<u>Ownership Summary</u>	<u>Acres</u>	<u>DU's</u>
Stratham Gross Parcels Site Area	60	245
Other Ownership Gross Site Area	30	3
Total: Community Plan Gross Site Area	90	248

Notes:

- Gross Site Area includes area up to center line of Perimeter R.O.W.
- Perimeter R.O.W. acreage = 1/2 of R.O.W. of adjacent perimeter street.
- R.O.W. = Right of Way (road, parkway & where applicable, center median)
- Neighborhood circulation includes all internal local streets.

2.4 General Plan Land Use Map Conformance

Existing General Plan

The current general plan land use designation for the Community Plan area is Residential Planned Community (R-PC). The General Plan specifies that R-PC is to provide master planned residential development. The proposed residential uses are in conformance with the existing General Plan land use designation.

2.5 General Plan Policy Consistency

Community Plans are intended to provide a site specific, detailed description of standards and guidelines for implementing General Plan goals and policies. To achieve this, the Community Plan must be in conformance with and be consistent with the General Plan.

The Bellgrove II Community Plan is designed to implement the goals and policies of the City of Fontana General Plan. An element-by-element discussion of General Plan conformance pertaining to goals and policies is provided below.

A. Land Use

Goal: Provide a balance of residential, commercial, industrial, educational, open space and recreational land uses which will provide diverse economic, social and cultural opportunities.

Consistency: Bellgrove II is a Planned Community that contributes to the balance of residential and commercial. This mix will encourage residents to live and work within their local community. Bellgrove II will contain lots of 7,200 square feet and larger and will therefore help achieve General Plan Policy 3.1.3 to support more upscale single family housing. Most of the master-planned communities in the City contain smaller lots. Bellgrove II's larger lots will increase the overall average size of lots in north Fontana. Bellgrove II will provide a variety of single family detached house plan types with a range of sizes. The project will enhance the image of the North Fontana area.

Goal: Provide for a logical, orderly and environmentally sound land use strategy that establishes Fontana as a unified and economically sound community.

Consistency: This Community Plan has been developed in accordance with the General Plan's land use strategy and creates logical and orderly development. This development does not burden the City's existing infrastructure, rather, it will provide additional public facilities for the North Fontana area.

Goal: Protection and enhancement of community values by affecting land use patterns that are compatible with the local and regional environment.

Consistency: The Bellgrove II project responds to both local and regional issues by utilizing land uses which respond to the existing and proposed development in the local area. These land uses reflect community values, as expressed by the Fontana General Plan Land Use Map, as the community plan land uses are consistent with the General Plan Map.

B. Circulation

Goal: Promote greater efficiency in transportation through the logical placement of land uses and intensities.

Consistency: The Bellgrove II Community Plan is consistent with the Circulation Element of the General Plan. It provides for the $\frac{3}{4}$ street improvement of Hemlock Avenue, San Sevaine Avenue, and the full width improvement of Walnut Avenue. The development also provides a roadway network of local streets consistent with City standards.

Goal: Promote the use of other modes of transportation to reduce dependency on the automobile.

Consistency: The project promotes the use of alternative modes of transportation by providing:

- A bicycle trail system to encourage safe and efficient bike transportation. The system can be seen in the street sections.
- A safe pedestrian walkway system to encourage pedestrian movement.
- Strategically placed transit stops designed to promote the use of public transit both within the project and in the North Fontana area. Final siting of the bus stops will be provided by bus service during design.
- Reduced automobile traffic will result from the strategic balance of housing types in close proximity to planned employment and commercial centers.

This will encourage pedestrian, bicycle riding, public transit and ridesharing alternatives.

C. Housing

Goal: Encourage the provision of a wide range of housing by location, type of unit, and price to meet the existing and future needs of Fontana residents.

Consistency: Bellgrove II is a Master Planned Community which will provide a variety of quality single family detached housing sizes and price ranges.

Goal: Provide equal opportunity for all residents to reside in the housing of their choice.

Consistency: The variety of housing sizes and prices provided within Bellgrove II will accommodate families with differing housing needs and socioeconomic levels.

D. Community Design

Goal: Reduce/prevent conflicts between land uses in existing and future developments.

Consistency: The Bellgrove II Land Use Plan is compatible with existing and proposed surrounding land uses by its proposed land use design.

Goal: Improve the image and appearance and promote the functional efficiency of the City.

Consistency: Bellgrove II has been designed to enhance the North Fontana image. Theme entries and monumentation at major and secondary entries and key street intersections will incorporate landscaping, decorative walls and attractive signage.

Goal: Preserve the unique character of neighborhoods throughout the City.

Consistency: The project site is presently vacant except for one single-family house, built in the 1940's, with accessory structures. No unique or historical features exist on the site warranting preservation or identification of the project site as a unique neighborhood.

E. Infrastructure and Public Services/Facilities

Goal: Provide facilities to meet the needs for education, culture, entertainment, protection of public safety/health, and civic pride.

Consistency:

- Major infrastructure extensions and improvements will provide area-wide enhancements and utility access.
- The proposed circulation system improvements will facilitate area-wide access to local and regional schools, theaters and entertainment facilities, consistent with the City's public services requirements.

Goal: Provide recreational facilities to meet the needs of all segments of the community for recreational activities, relaxation, and social interaction.

Consistency: Bellgrove II provides active and passive public recreational opportunities in the form of onsite bikeways/walkways for the use of community residents and contribution toward the development of an offsite park via payment of park fees or direct construction.

Goal: Provide appropriate pedestrian, equestrian and bicycle trails as linkages between open space and recreational facilities within the planning area.

Consistency: The Bellgrove II Circulation Plan has been designed to provide safe, efficient, and aesthetically pleasing bicycle and pedestrian transportation between open space areas, residential uses, and commercial uses, consistent with the City's Circulation and Open Space/Recreation Element.

F. Safety

Goal: Minimize potential hazards to public health, safety and welfare.

Consistency:

- Adequate police and fire protection will be made available to the site by the City of Fontana and the San Bernardino County Fire Department.
- The Bellgrove II site design incorporates appropriate grading and development design standards to protect the community from geological and flood hazards.

The circulation system for Bellgrove II has been designed to facilitate emergency access consistent with the City's Public Services requirements.

G. Noise

Goal: Provide an acceptable noise environment for existing and future residents of the City.

Consistency: State of California and City of Fontana interior and exterior noise standards for the development of residential areas will be followed in the designs for Bellgrove II. Proper sound attenuation will be provided by a combination of building setback, sound wall construction and building type location throughout the site.

2.6 Zoning

Existing Zoning

The current zoning designation for the Community Plan site is Single Family Residential R-1-10,000. Currently, the minimum lot size allowed in the R-1-10,000 zone is 10,000 square feet.

Zoning for Bellgrove II will be modified with a zone change from the current City zoning map. Per the City code, upon adoption of the Community Plan, 7,200 square foot lots will be allowed within the R-1-10,000 zone, and R-1-7,200 zoning standards will apply. A zone change is necessary.

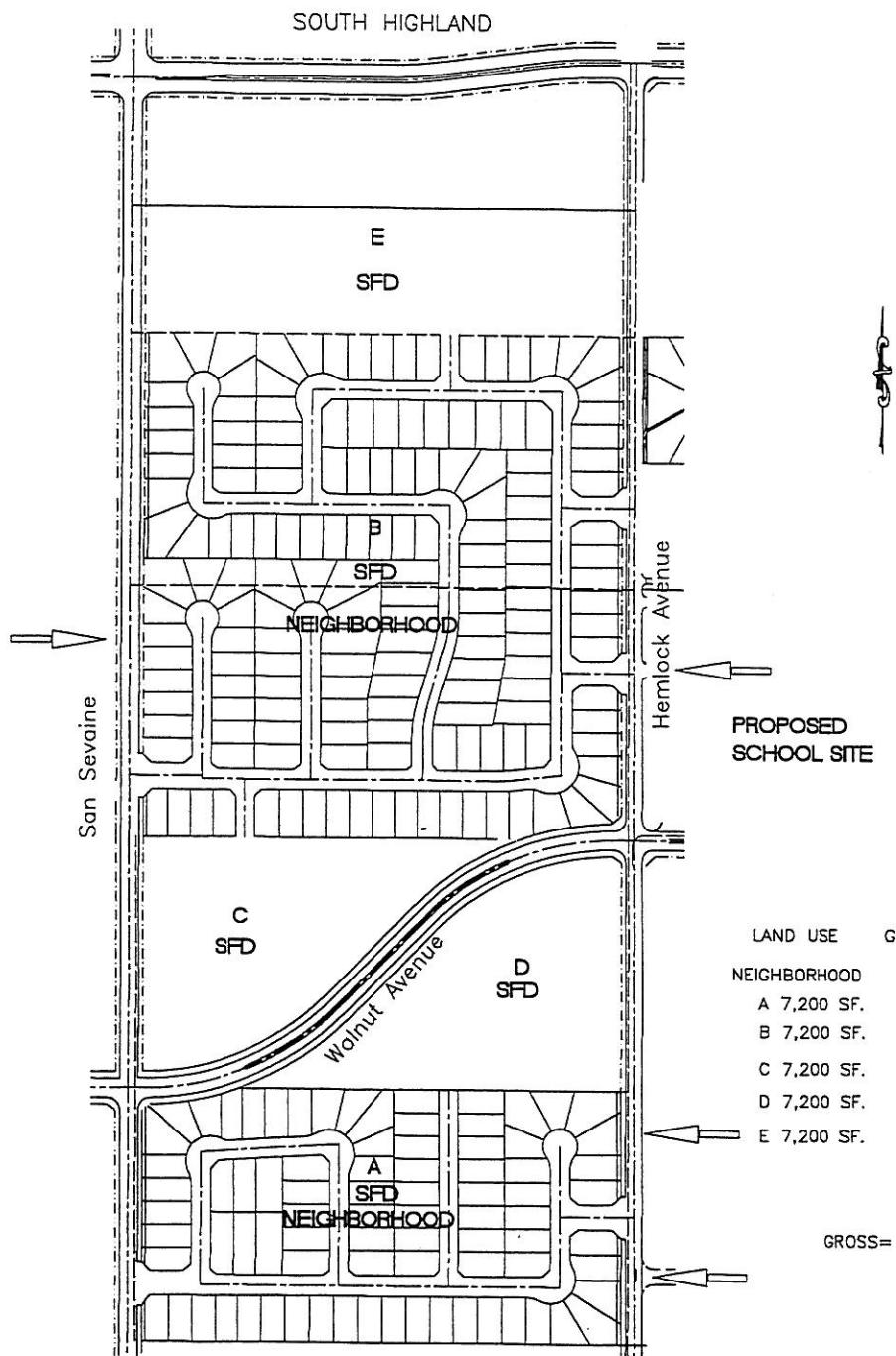
The current zoning is in conformance with the City General Plan.

2.7 Existing Infrastructure

Existing water, sewer and storm drain facilities are located adjacent to or near the Bellgrove II Planned Community (see Exhibit 6).

A. Water

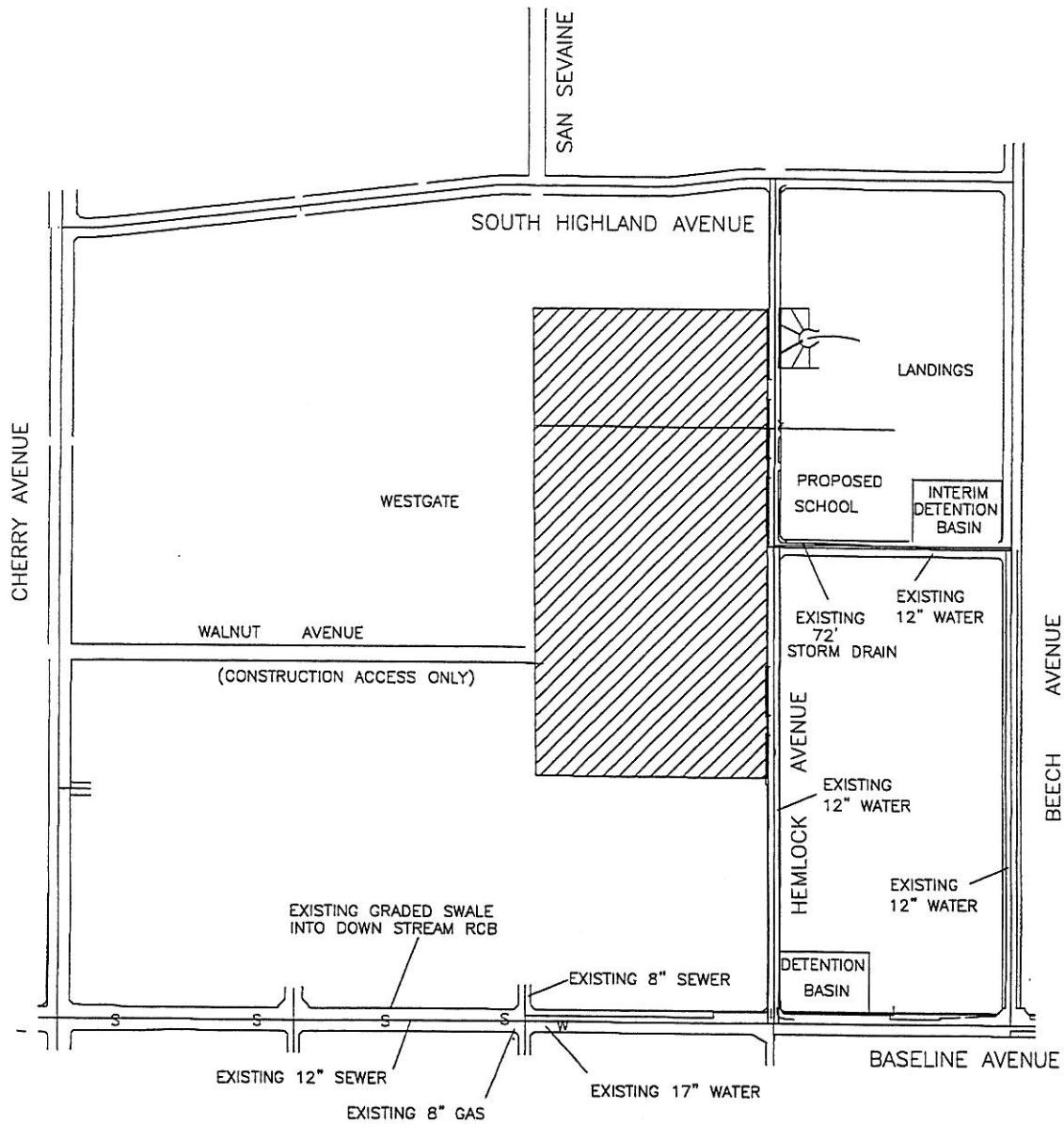
Existing water facilities (see Exhibit 6) consist of a 12 inch water line along Hemlock Avenue and a small water line connection to the existing house in Neighborhood D. Fontana Water Company currently provides service to this part of North Fontana.



LAND USE PLAN

ALLARD ENGINEERING
 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
 EXHIBIT 5



EXISTING INFRASTRUCTURE

ALLARD ENGINEERING
 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 6

B. Sewer

Existing sewer facilities (see Exhibit 6) consist of an existing 12 inch sewer line in Baseline Avenue. The City of Fontana is responsible for the collection of wastewater within its corporate limits. The City contracts with Inland Empire Utility Agency (IEUA) for waste water treatment.

C. Drainage

Master plan drainage facilities are proposed in Hemlock Avenue and San Sevaine, adjacent to the project site. Additionally, a reinforced concrete box is proposed south of the project site, within the Baseline Avenue right-of-way (see Exhibit 23).

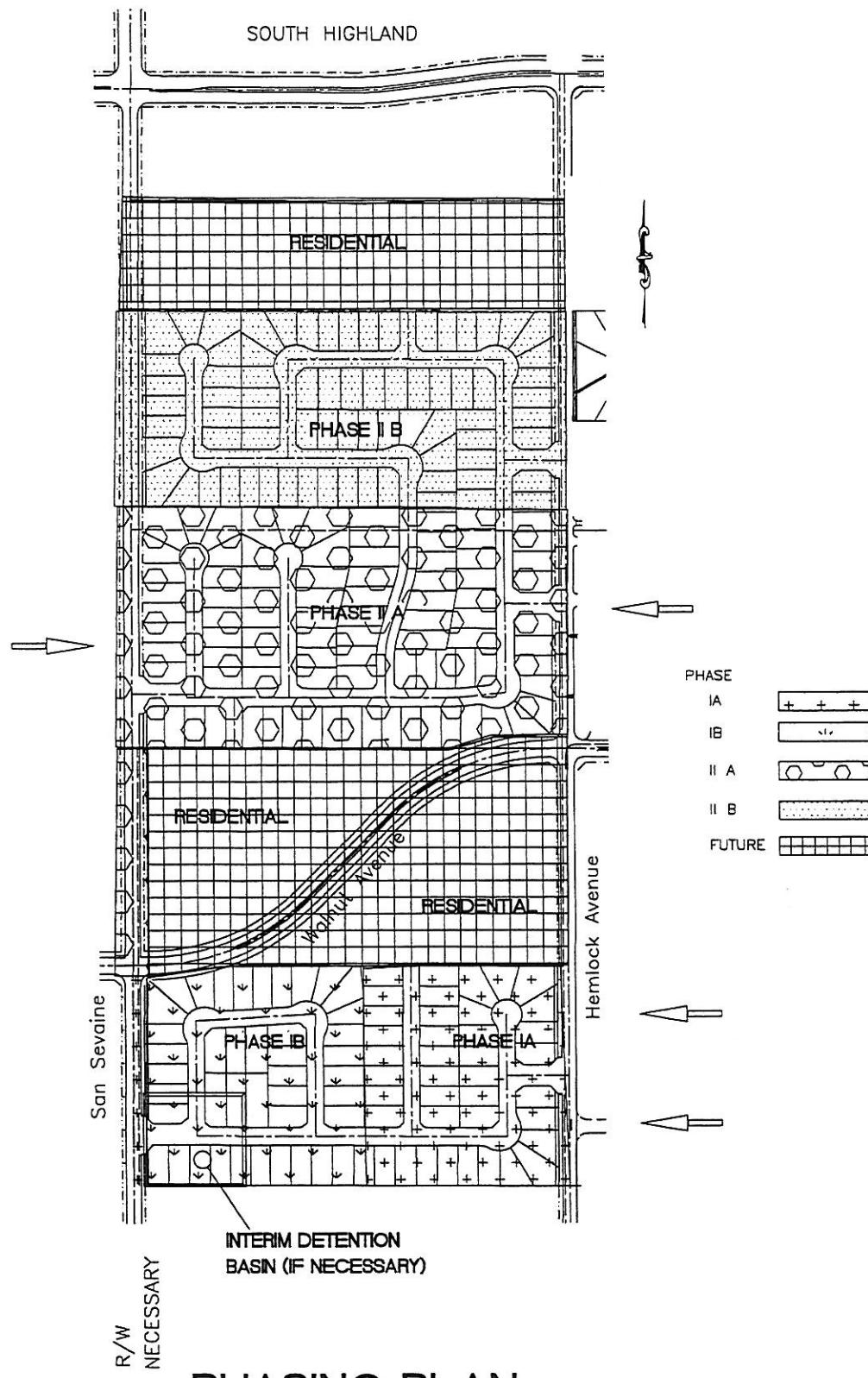
2.8 Tentative Tract Maps 16009 & 16046

Tentative Tract Maps 16009 and 16046 will be processed concurrently with this Community Plan. The Maps subdivide a portion of the Stratham owned residential areas into approximately 245 residential lots of 7,200 square feet and larger. The other residential areas may be subdivided at a later date. The Tentative Maps also include area roadways.

2.9 Phasing Plan

Proposed Phasing is shown on the Phasing Plan, Exhibit 7. Development is expected to last over a one to four year period. With readily available infrastructure, phasing may take place in a variety of ways. It will generally occur from south to north and east to west. Roadway phasing is also conceptually shown on the Phasing Plan; however, streets and other infrastructure shall be completed in accordance with the Tentative Map conditions of approval.

The phasing was chosen in order to provide for a logical northern extension of existing infrastructure. This project will construct the Baseline Avenue storm drain and San Sevaine lateral in lieu of drainage fees if they are not constructed at the time of development. If construction lags by a winter rain season, an interim detention basin will be constructed. The interim detention basin will mitigate all run-off necessary to insure that the Baseline swale does not reach capacity.



PHASING PLAN

ALLARD ENGINEERING
 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
 EXHIBIT 7

3.0 Community Plan Components

3.0 COMMUNITY PLAN COMPONENTS

The following descriptions and graphics define the overall framework for development within the Bellgrove II Community Plan. The components describe the various planning concepts for an orderly and attractive development within the planned community area. The Community Plan components include: **Land Use, Circulation, Landscape Master Plan and Guidelines, Streetscape Design Concepts, Entry Monumentation/Signage, Community Walls, and Infrastructure.** Architectural Design Guidelines are contained within Community Plan Section 4.2.

3.1 Land Use Plan

Proposed land uses for the Bellgrove II Community Plan includes a balance between residential, adjacent future commercial and transportation elements. The land use elements will be linked by a unifying landscape theme and consistent architectural treatments. Although the Land Use Plan does not provide a park, several nearby parks will be available to Bellgrove II residents.

Residential Planning Areas

Residential uses are organized into separate residential planning areas. All residential areas will be developed with single family detached homes on lots with a minimum size of 7,200 square feet. Residential development will occur on 90 acres, with an overall density of, 5-6 dwelling units per net acre.

3.2 Circulation

The Circulation Plan (Exhibit 9) illustrates the proposed Bellgrove II roadway and bikeway system. Street sections are shown on Exhibits 10 and 11. Streetscape landscaping concepts and designs are provided within Community Plan Sections 3.3 and 3.4.

The Community Plan developers will construct 3/4-street for San Sevaine and Hemlock Avenue, (perimeter roadways) and full street improvements for internal roadways, as shown on Exhibits 9, 10 and 11. Roadway phasing is shown on Exhibit 7.

D. Tree Palette

The following is a conceptual listing of trees identified for use in the key streets, community entries, and other special areas of Bellgrove II.

Key: (E) = evergreen
(D) = deciduous
(F) = flowering

Hemlock Avenue

<i>Lagerstroemia Indica</i>	<i>Crape Myrtle</i>	(D)(F)
<i>Magnolia grandiflora</i>	<i>Southern Magnolia</i>	(E)(F)
<i>Pinus pinea</i>	<i>Italian Stone Pine</i>	(E)

San Sevaine Avenue

<i>Pinus canariensis</i>	<i>Canary Island Pine</i>	(E)
<i>Pyrus calleryana 'Bradford'</i>	<i>Bradford Pear</i>	(D)(F)

Internal Local Streets

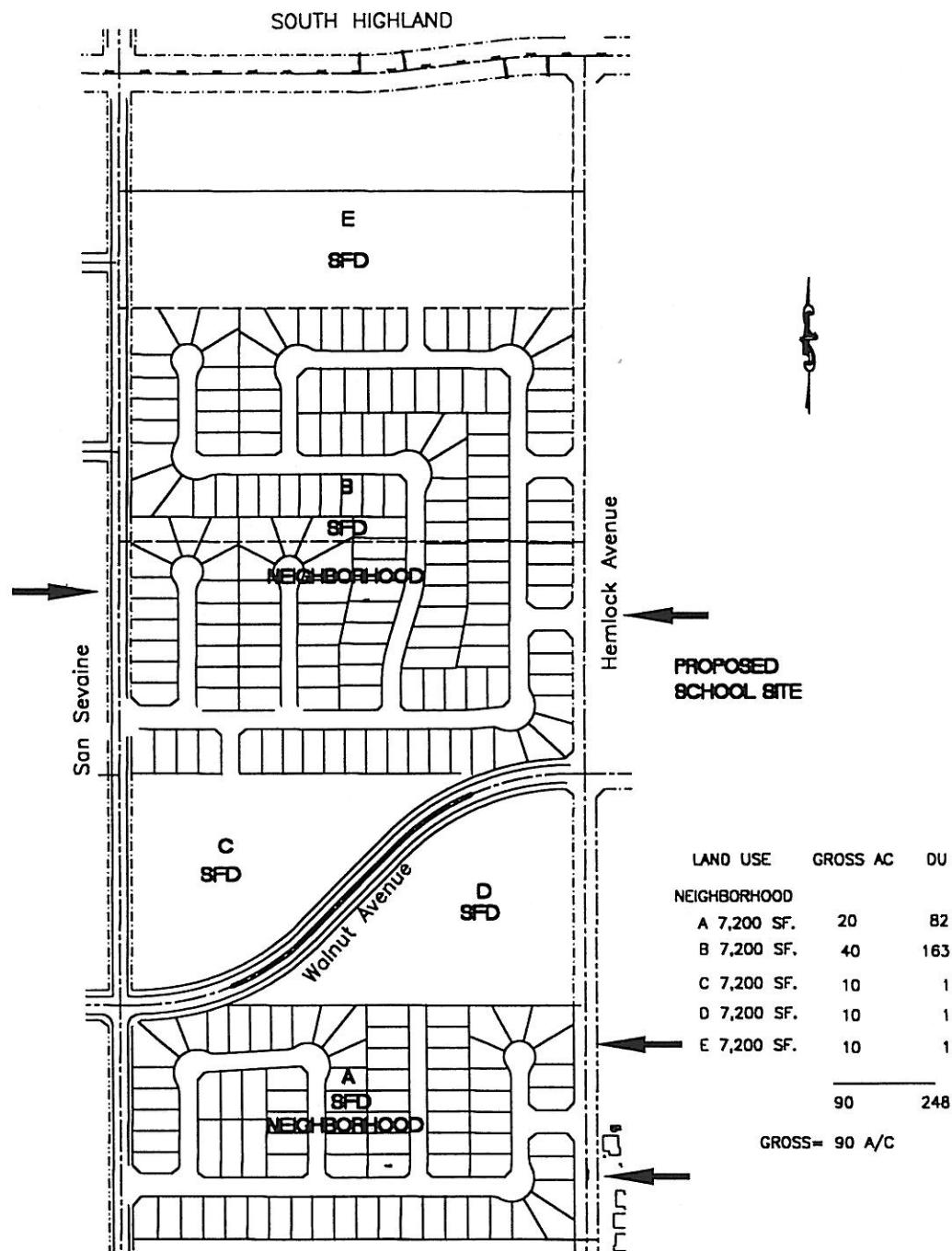
<i>Magnolia grandiflora</i>	<i>Southern Magnolia</i>	(E)(F)
<i>Platanus acerifolia</i>	<i>London Plane Tree</i>	(D)
<i>Quercus virginiana</i>	<i>Southern Live Oak</i>	(E)

Community Entries and Intersections (see Exhibit12 for locations)

<i>Brahea armata</i>	<i>Mexican Blue Palm</i>	(E)
<i>Pinus canariensis</i>	<i>Canary Island Pine</i>	(E)
<i>Washingtonia filifera</i>	<i>California Fan Palm</i>	(E)
<i>Lagerstroemia indica</i>	<i>Crape Myrtle</i>	(D)(F)
<i>Pinus eldarica</i>	<i>Mondell Pine</i>	(E)
<i>Olea europaea 'fruitless'</i>	<i>Fruitless Olive Tree</i>	(E)
<i>Cinnamomum camphora</i>	<i>Camphor Tree</i>	(E)
<i>Magnolia grandiflora</i>	<i>Southern Magnolia</i>	(E)(F)
<i>Nerium oleander</i>	<i>Oleander</i>	(E)(F)
<i>Trachycarpus fortunii</i>	<i>Windmill Palm</i>	(E)
<i>Ulmus parvifolia drake</i>	<i>Drake Elm</i>	(D)

Shrub Palette

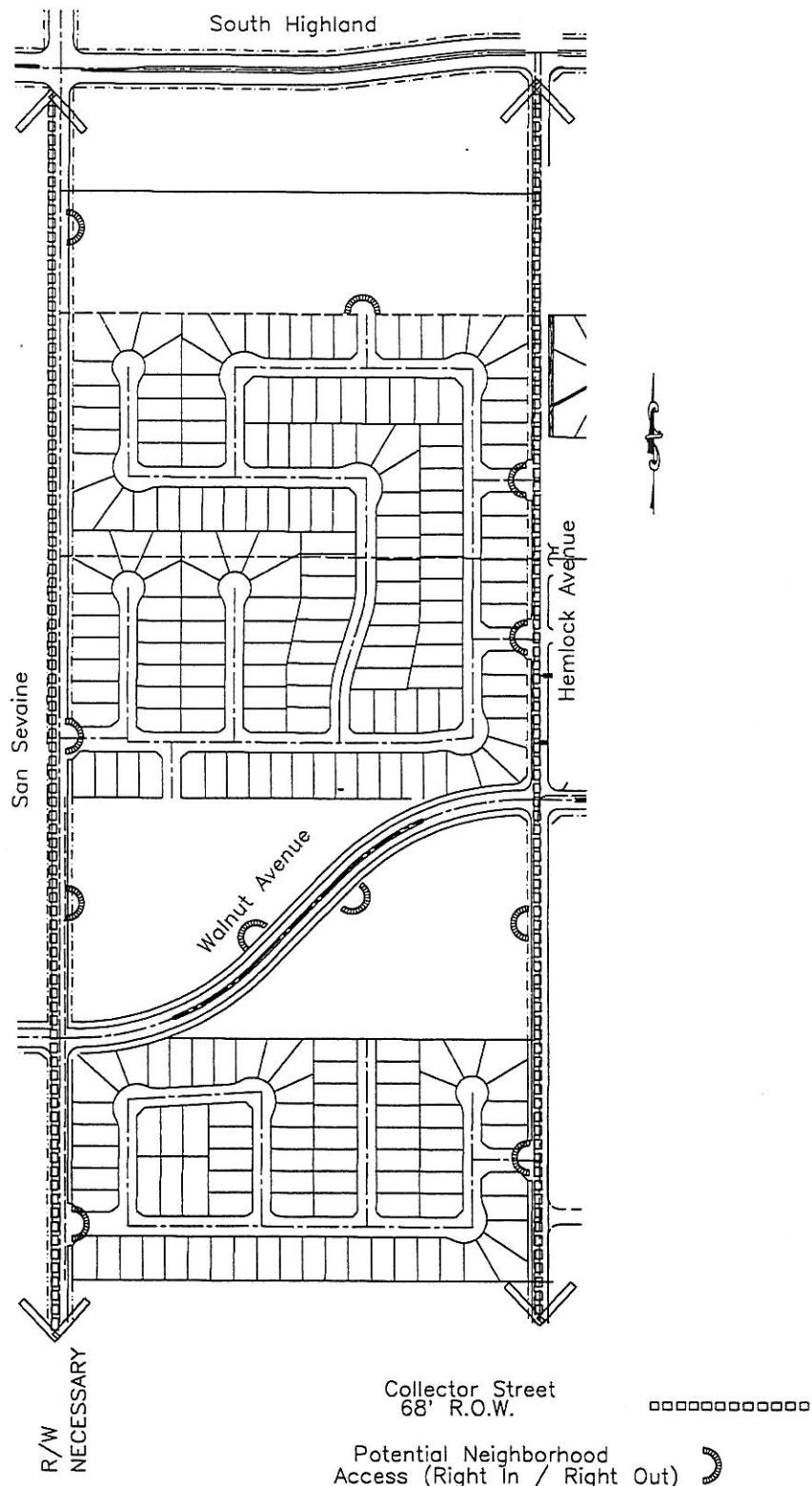
<i>Agapnthus Africianus</i>	<i>Lily of The Nile</i>
<i>Dietes Moraea</i>	<i>Fortnight Lily</i>
<i>Euryops Pectinatus</i>	<i>Golden Shrub Daisy</i>
<i>Nandian Domestica</i>	<i>Heavenly Bamboo</i>
<i>Phormium Tenax</i>	<i>Flax</i>
<i>Photinia Fraseri</i>	<i>Photinia</i>
<i>Pittosporum Tobira Variegata</i>	<i>Varigated Tobria</i>
<i>Raphiolepis Indica 'Springtime'</i>	<i>India Hawthron</i>
<i>Xylosma Congestum 'Compacta'</i>	<i>Compact Xylosma</i>



LAND USE PLAN

ALLARD ENGINEERING
 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

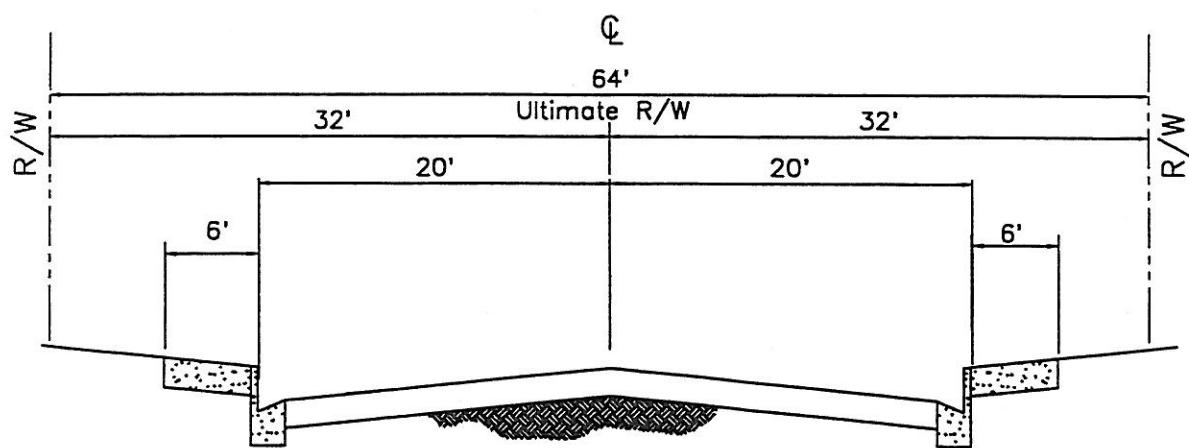
BELLGROVE II
 EXHIBIT 8



CIRCULATION PLAN

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 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 9

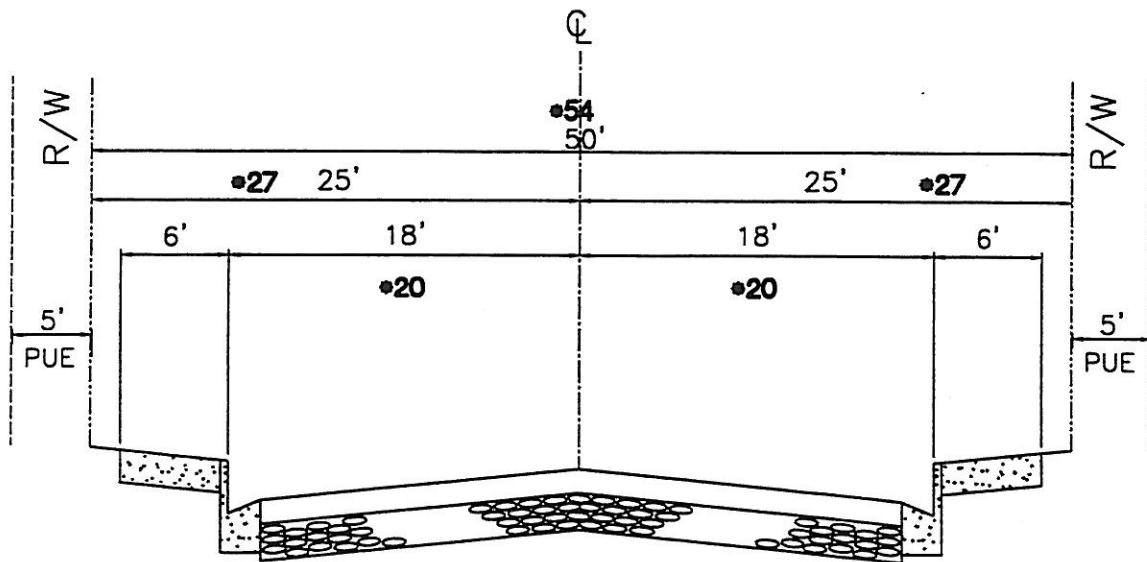


LOCAL RESIDENTIAL 64' RW

Typical Section

ALLARD ENGINEERING
Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 10

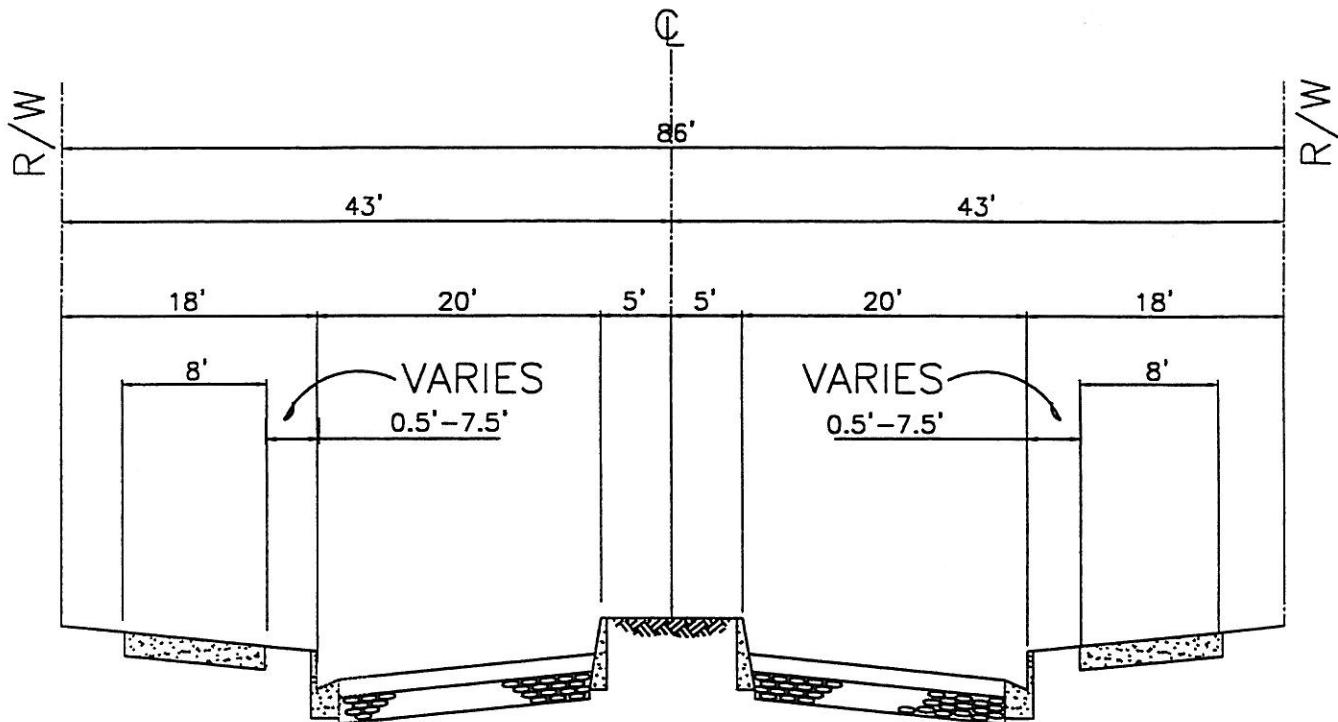


LOCAL STREET - 50' R/W
*LOCAL STREET - 54' R/W

Typical Section

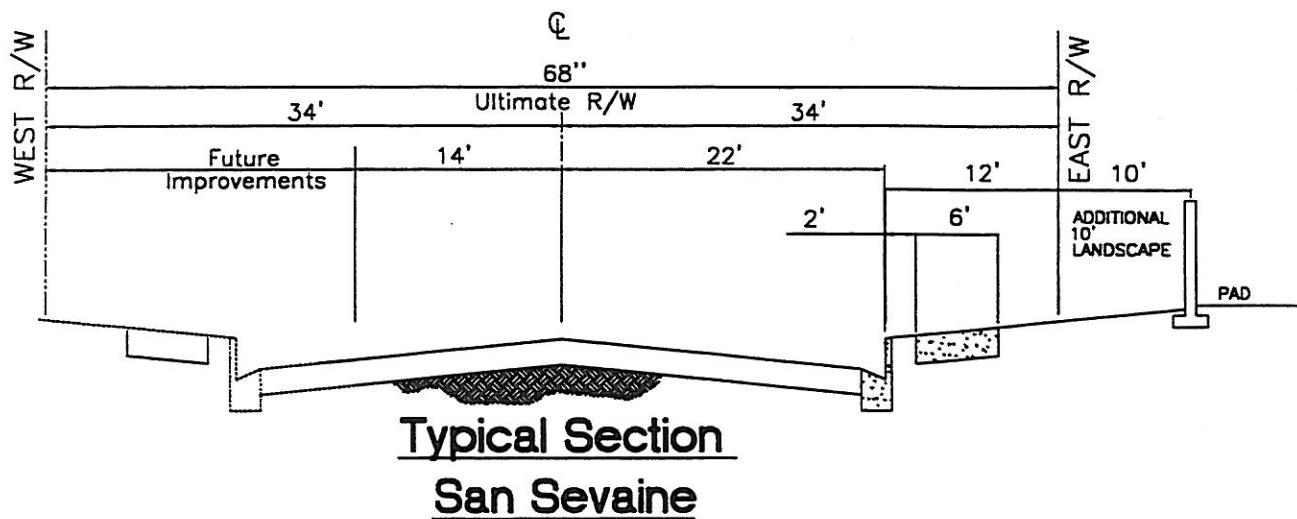
ALLARD ENGINEERING
 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 10



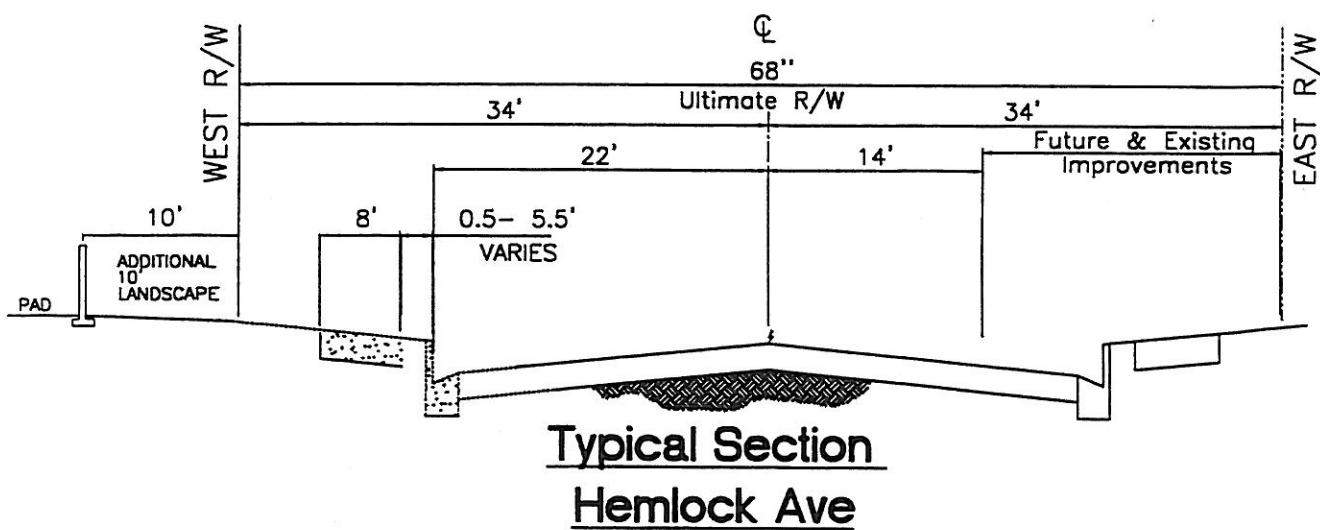
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 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 10



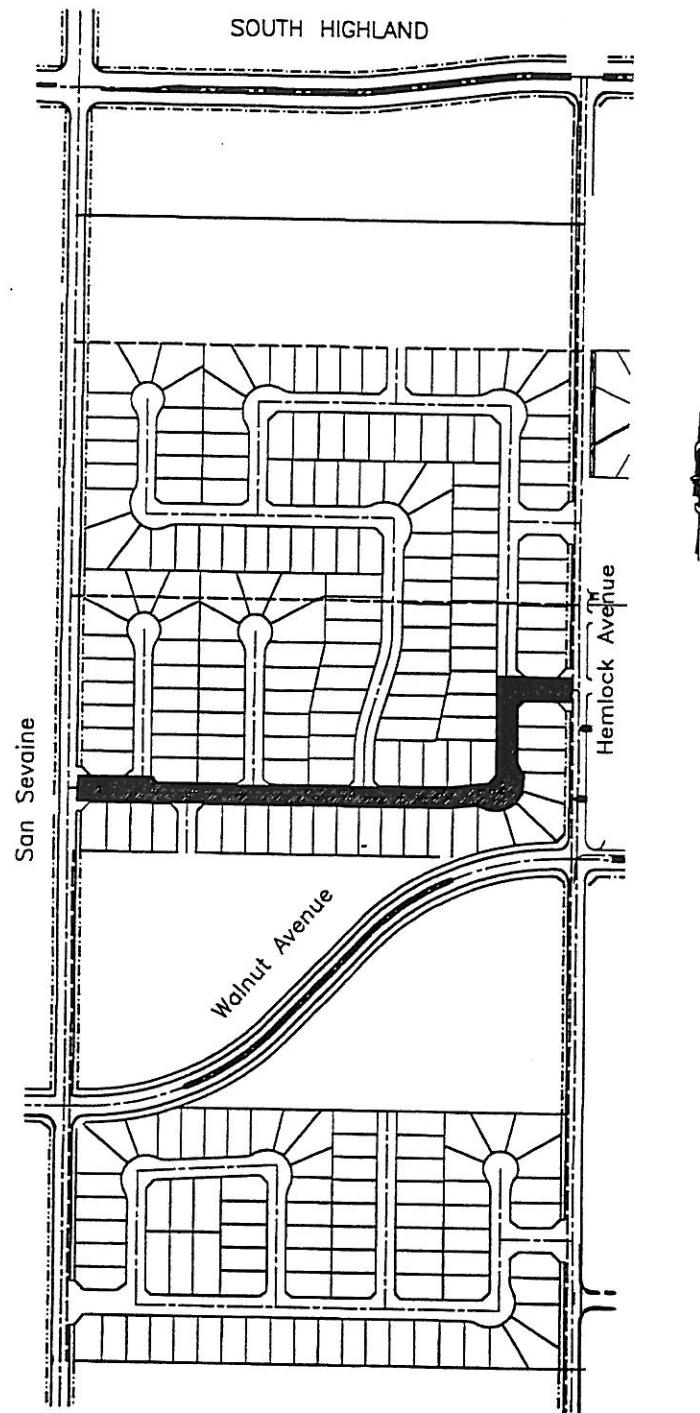
ALLARD ENGINEERING
 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 10



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 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
EXHIBIT 10



THROUGH STREET EXHIBIT

THROUGH STREET

BELLGROVE II
EXHIBIT 11

ALLARD ENGINEERING
Civil Engineering - Land Planning
6101 Cherry Avenue
Fontana, California 92336
(909) 899-5011 Fax (909) 899-5014

Primary access will be via Hemlock Avenue, San Sevaine Avenue and Walnut Avenues. Walnut Avenue is designated by the Fontana General Plan as a modified collector with an 86 foot right-of-way with 18 foot parkways on each side (including 8 feet of landscape and pedestrian easement).

Neighborhood access from the east will be via Hemlock Avenue. Hemlock Avenue forms the eastern side of the planned community. It is designated by the revised Fontana General Plan as a street with a 68 foot right-of-way with 12 foot parkways. Hemlock Avenue is proposed to be constructed on the eastern side per this standard. This 12 foot parkway will provide room for a meandering sidewalk along Hemlock Avenue with landscaping between the sidewalk, the street, and the perimeter wall. This landscaped parkway, in conjunction with the additional 10 foot wide landscaped area, meets the intent of the Development Code.

Neighborhood access from the west will be via San Sevaine Avenue. San Sevaine forms the western boundary of the planned community. San Sevaine is designated by the Fontana General Plan as a collector with a 68 foot right-of-way, with a 12 foot parkway on each side. San Sevaine Avenue is proposed with an enlarged 10 foot parkway on the east side.

The 12 foot landscape and pedestrian "easement" designated by the General Plan for Hemlock Avenue and San Sevaine Avenue will become part of the overall parkway within the public right-of-way.

Community local roads with 68 and 86 foot right-of-ways- provide interior access and connect the primary and secondary entry roads at the east and at the north of the planned community.

Local streets with 50 and 64 foot right-of-ways will provide local access within the project. "Long local streets", with 64 foot right-of-ways, will generally be used where street length exceeds 650 feet. "Short local streets", with 50 foot right-of-ways, will generally be used where street length is less than 650 feet.

A system of bike paths/lanes on Hemlock, San Sevaine, and Walnut Avenues is proposed with either on-street or off-street designs on each street.

A Community Through-Street System is designated, via this Community Plan, on a roadway system running primarily east and west between the entries at Hemlock Avenue and Walnut Avenue on all roads with 50 foot and 64 foot rights of ways.

3.3 Landscape Master Plan, Guidelines, and Tree Palette

A. Landscape Master Plan

The Landscape Master Plan is shown on Exhibit 12. The landscape architectural theme for the Bellgrove II community creates an identifiable "signature" streetscape and community landscape character, along with a hierarchy of landscaped entries and intersection treatments.

B. General Landscape Guidelines

The individuality, as well as the cohesion, between the various land uses in the planned community area will be enhanced by the Landscape Master Plan and design concepts. The overall project identity and character are defined by the continuity of attractive landscaping along publicly visible areas. Conversely, individual parcel identity can be established through variations in landscaping at major entry points, along smaller streets within the community.

The development of the overall project character and the individual parcels will be controlled by these guidelines, as well as applicable governmental codes and restrictions. All development plans, landscape plans, and graphic designs shall conform to these guidelines and shall be subject to a review and approval process by the City of Fontana.

- Major circulation corridors shall be emphasized and featured by landscape treatments. The development shall be wrapped in an evergreen "envelope" consisting primarily of broadleaf evergreen trees and pines, accented with deciduous flowering trees.
- Focal points shall be emphasized, especially at entries and intersections.
- A hierarchy of theme signage, from project monumentation to individual parcel identity, shall be provided.
- Historical agricultural/landscape elements found in the City of Fontana should be integrated into the overall landscape design whenever possible.
- Plant materials shall be selected which will tolerate the local climatic conditions. The tree palette for the Bellgrove II Community Plan area is in Community Plan Section 3.3.C.

- Plant materials should be used to integrate the architectural form with the landscape. Expansive horizontal and vertical surfaces should be modulated or interrupted by foliage masses.
- Streetscapes should be designed to promote community character and compliment the form of the various roadways. Trees should be selected from the Tree Palette for each streetscape.
- Landscape setbacks along the site's perimeter should selectively buffer off-site views.
- Entries into Bellgrove II should be accent points, providing view corridors into developments and introducing the theme and character of the community through the use of vertical trees and accent shrub plantings.
- Landscaping details, including plantings, community walls and entry monuments should enhance the theme of the community.

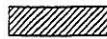
LEGEND

HEMLOCK AVENUE STREETSCAPE TREATMENT - SECTION A-A (FIGURE 3)
STREET TREE: LAGERSTROEMIA INDICA / MAGNOLIA GRANDIFLORA / PINUS PINEA

SAN SEVAINE STREETSCAPE TREATMENT - SECTION A-A (FIGURE 4)
STREET TREE: PYRUS CALLERYANA 'BRADFORD' / PINUS CANARIENSIS

INTERNAL LOCAL STREETSCAPE TREATMENT

STREET TREE:



MAGNOLIA GRANDIFLORA



PLATANUS ACERFOLIA



QUERCUS VIRGINIANA

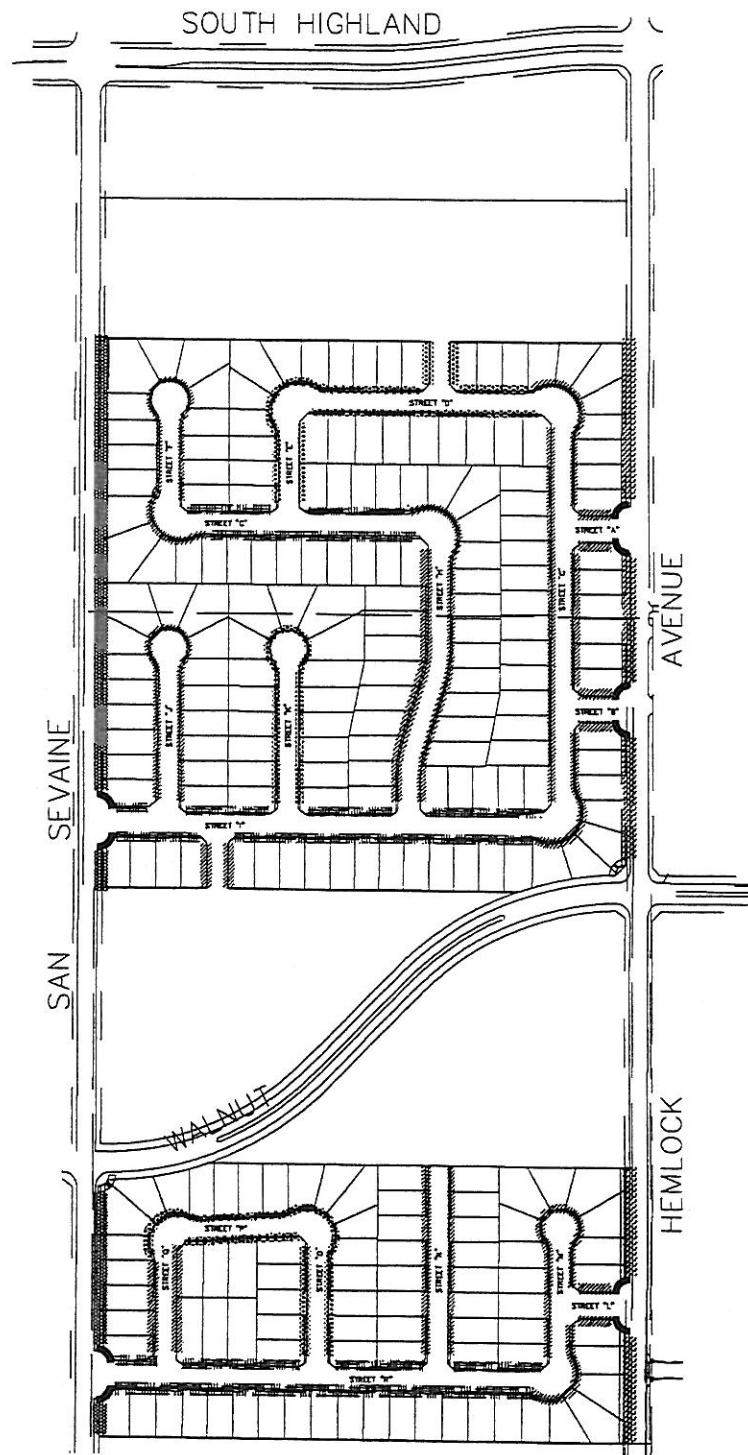
LOCAL COMMUNITY INTERSECTIONS INTERSECTIONS:



MINOR COMMUNITY ENTRY MONUMENT



MINOR INTERSECTION TREATMENT



LANDSCAPE MASTER PLAN

BELLGROVE II
EXHIBIT 12

3.4 Streetscape Design Concept

The streetscape design concepts, as illustrated in Exhibits 13 through 16 (Typical Plans and Sections) are the primary streetscape landscape framework for Bellgrove II. They are intended to unify the project and provide landscaping amenities to enhance the community. The streetscape components consist of a combined walk/bike path or sidewalk, an identifying street tree pattern consisting primarily of broadleaf evergreen trees and pines accented with deciduous flowering trees, turf or a low groundcover, and low shrubs and walls where appropriate. The various levels of streetscape categories are:

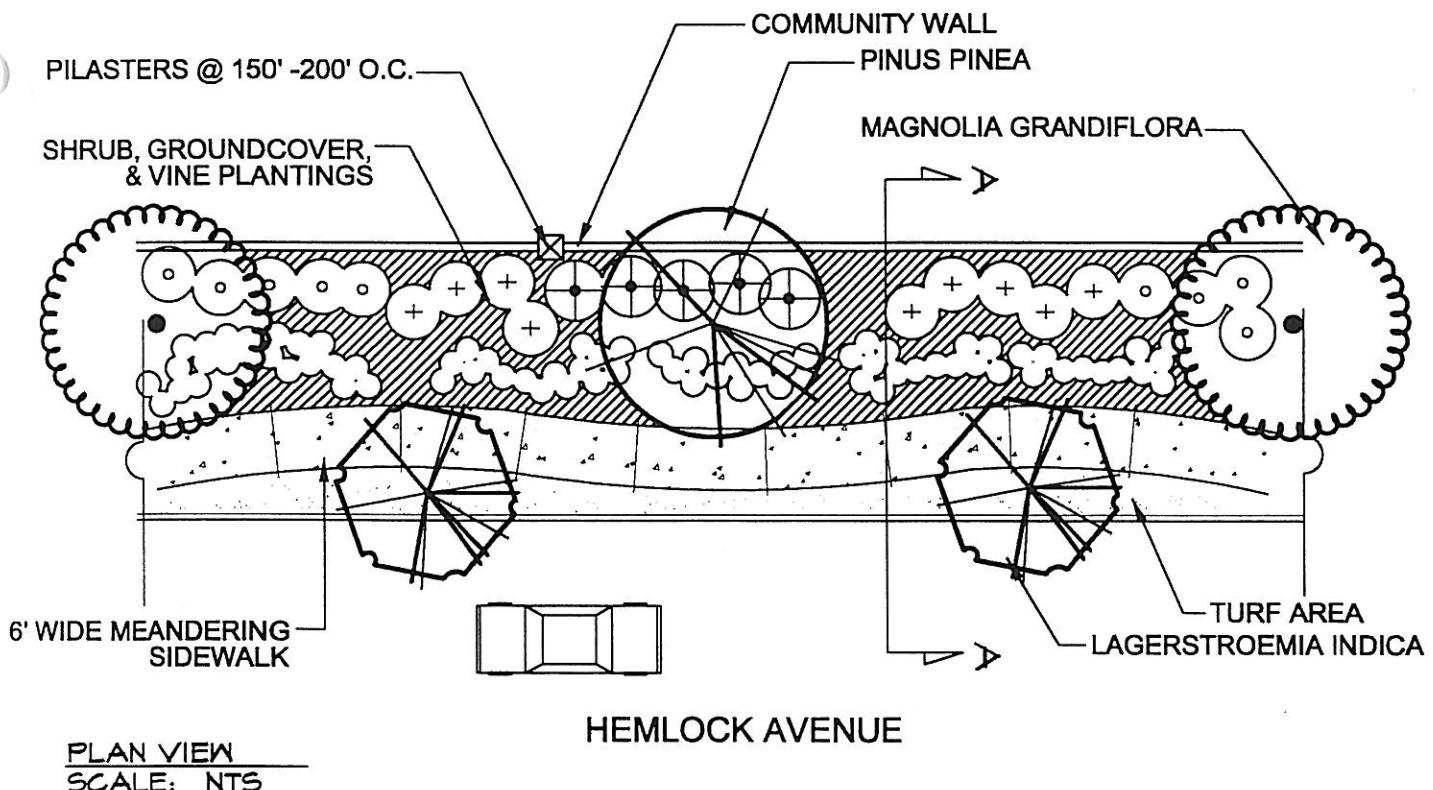
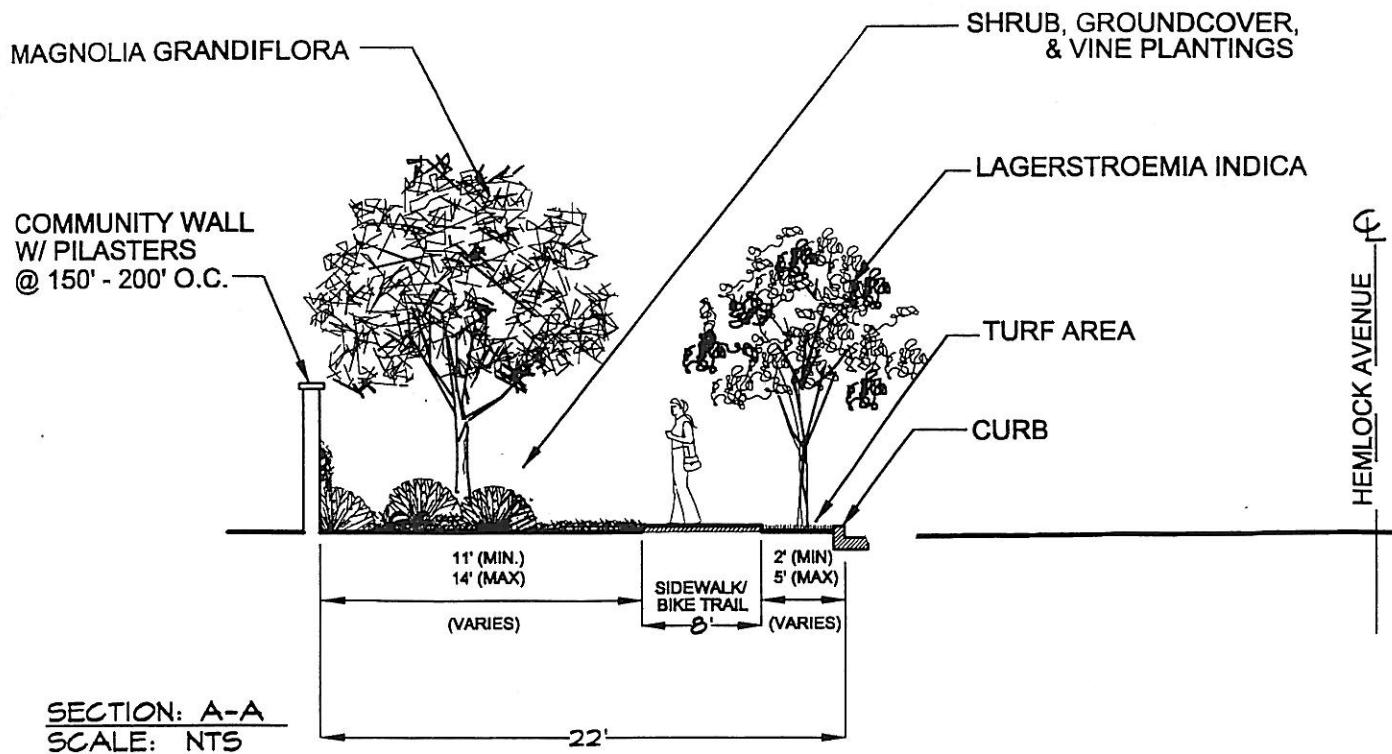
A. Perimeter Streets

- 1) San Sevaine (See Exhibit 14) is designed as a Collector Street and borders the west portion of Bellgrove II. San Sevaine has a landscape right-of-way of 12' with parkways which vary from 2'-5' based on the location of the meandering sidewalk.

San Sevaine Avenue will have a staggered, double row of meandering street trees: Bradford Pears, a flowering deciduous tree and Canary Island Pine, an evergreen conifer. The Bradford Pears will be combined with turf within the parkway between the curb and the sidewalk. Canary Island Pines, planted between the sidewalk and the community wall Combined with shrubs, groundcover and vines, will complete the planting plan. A 6' walkway is part of the San Sevaine Avenue design.

- 2) Hemlock Avenue is designated as a Collector Street and borders the east portion of Bellgrove II. Hemlock Avenue has a landscape right-of-way of 12' with parkways which vary from 2'-5' based on the location of the meandering sidewalk.

Hemlock Avenue has a three tree planting concept introducing a row of meandering trees, Crape Myrtle between the curb and the sidewalk and alternating rows of Magnolia and Italian Stone Pines in the parkway within the sidewalk and the community wall. The Crape Myrtle trees will be combined with turf within the parkway between the curb and sidewalk. The Magnolia and Italian Stone Pines planted between the sidewalk and the community wall shall be combined with shrubs, groundcovers and vine.



HEMLOCK AVENUE TYPICAL PLAN AND SECTION

*BELLGROVE II
EXHIBIT 13*

B. Local Internal Streets

Local internal streets (See Figure 15) with right-of-ways of 64 and 50\54 feet will carry lower volumes of vehicular traffic and be more conducive to pedestrian movement. Lower scale evergreen and deciduous canopy street trees emphasize this condition.

3.5 Entry Monumentation & Signage Character

A hierarchy of community entries with generous landscaping, signage, and community walls with wide pilasters is provided as part of the Bellgrove II development, reflecting the architectural theme and providing the residents and visitors with beauty and community identification. The Landscape Master Plan, (See Figure 12), shows the location of the hierarchy of entries and key intersections. Exhibit 16 & 17 illustrate entries in both plan view and elevation view.

Community Entry: Hemlock Avenue

The community entry at Hemlock Avenue a collector street (See Figure 16) provides the east access to Bellgrove II community. This community entry is a smaller scale version of the major entry, with a smaller planting area and signage wall.

Intersection Treatments: Hemlock Avenue/ and San Sevaine Avenue

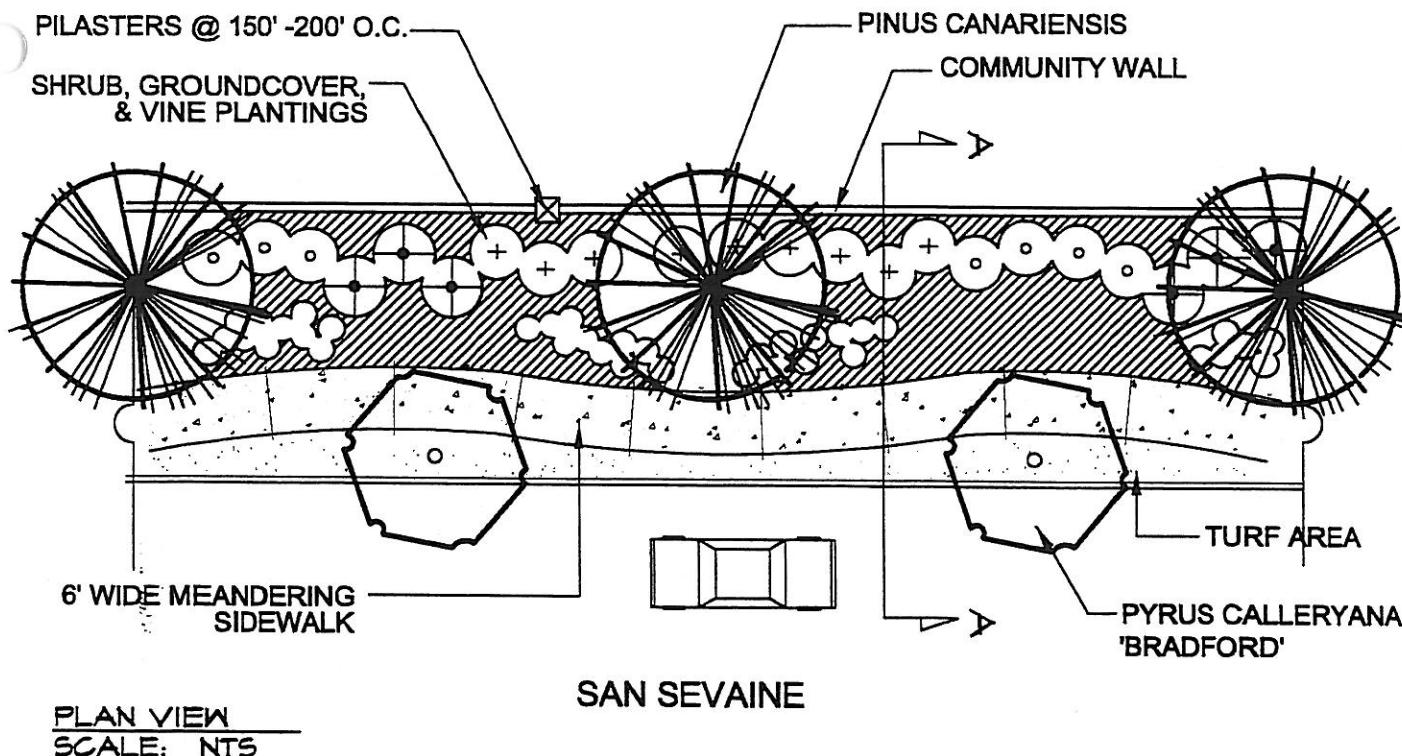
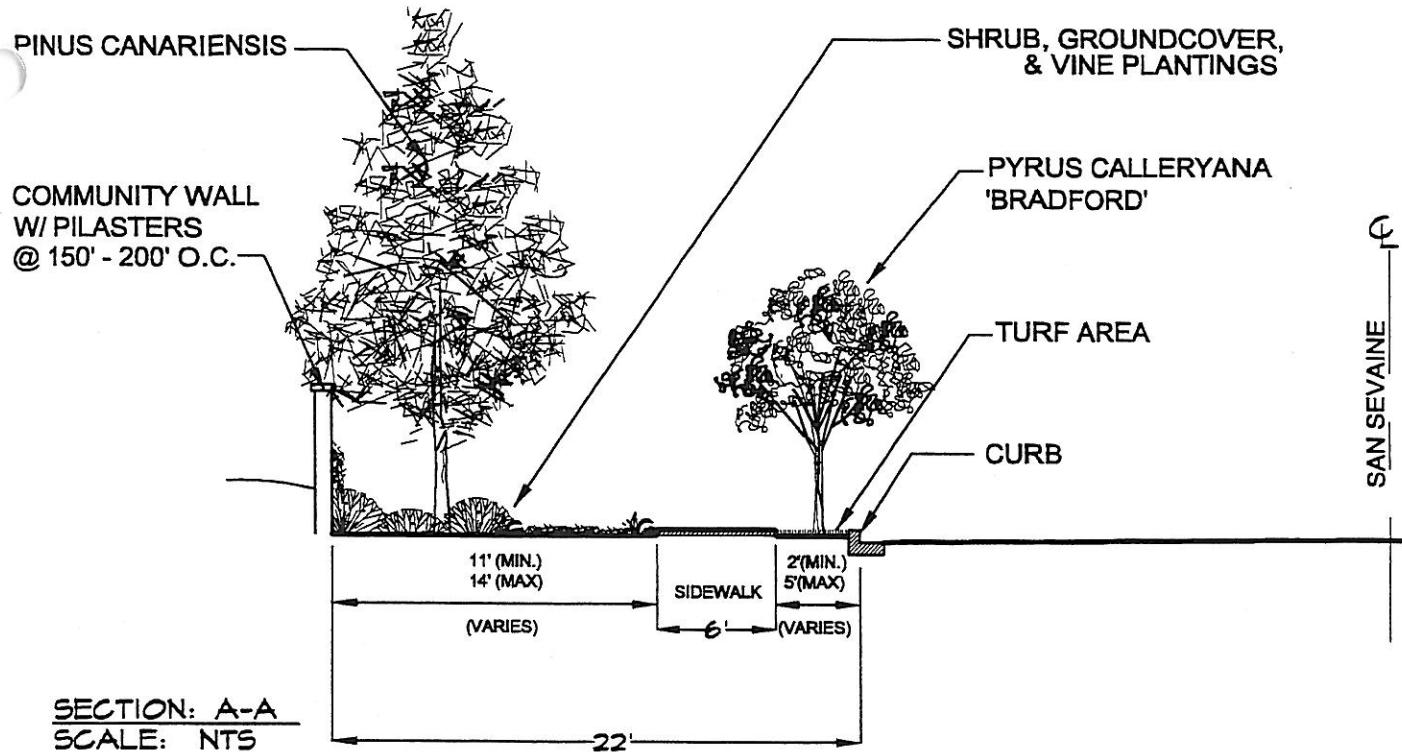
The intersection treatment at Hemlock Avenue and San Sevaine (See Exhibit 17) provides a theme entry at key corners of Bellgrove II. The foreground of the landscaped entry consists of several groupings of flowering Crape Myrtle with mounded turf annual color flowers and flowering shrubs. The backdrop consists of Camphor trees and a community theme wall with pilasters.

3.6 Community Walls

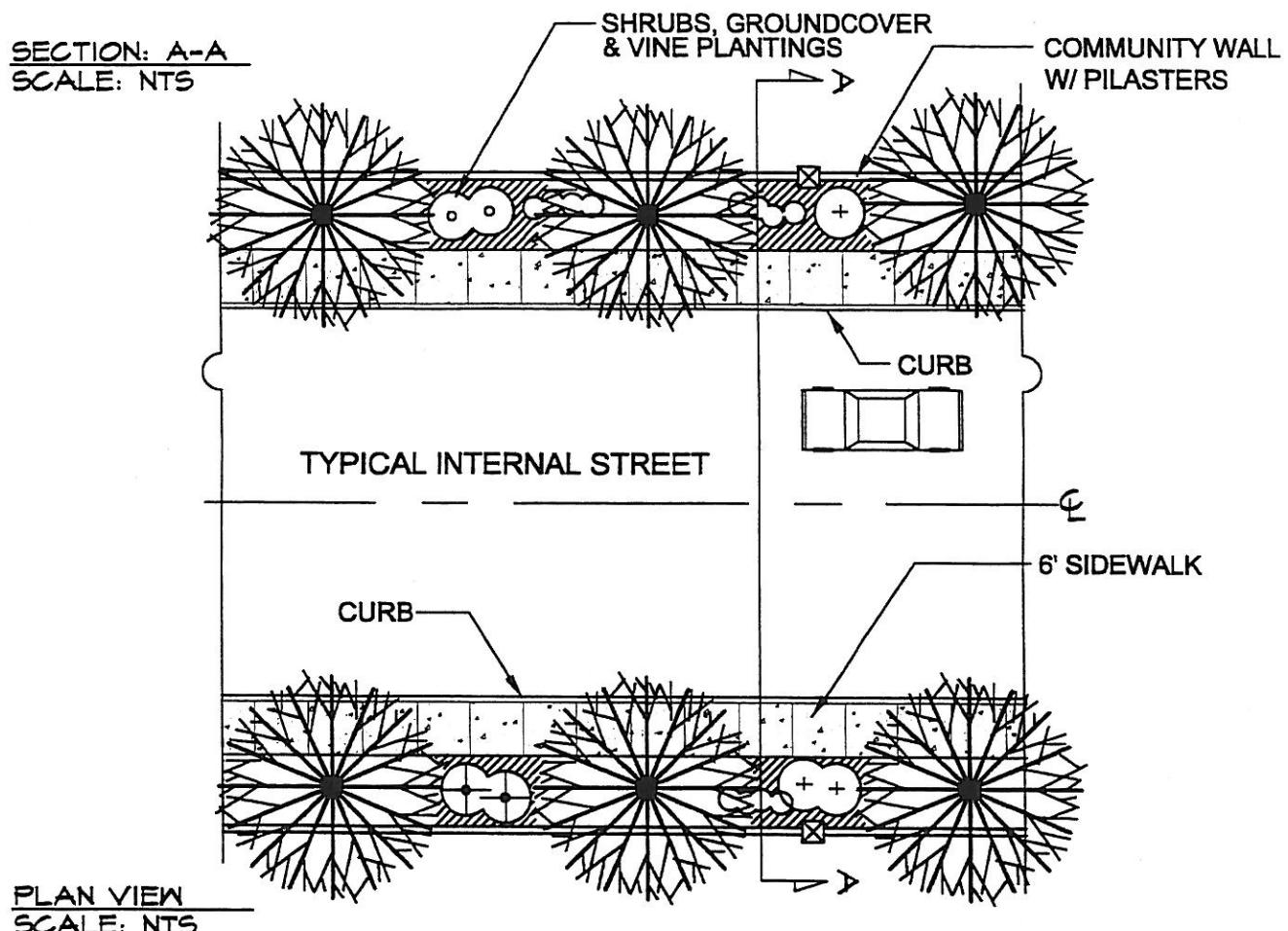
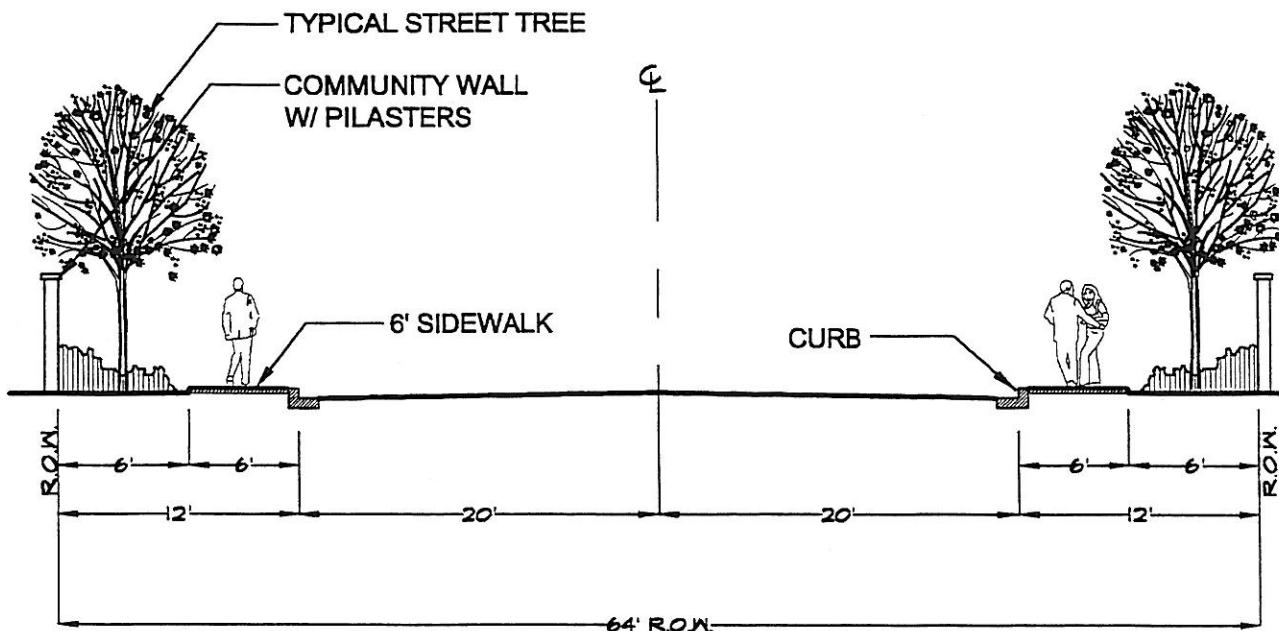
Community walls should be utilized to provide privacy screening and noise buffering for residential land uses, define the outer limits of the entire project, and act as a contributing design element to an overall landscape theme. The Community Wall Plan, (See Exhibit 18), shows the location of a hierarchy of walls used within the planned community. The Community Wall and Pilaster Elevations, (See Exhibit 19), illustrate design detail for each type of perimeter wall.

General Wall Guidelines:

- Walls should be a minimum of 6' high and be 6' minimum split face block with a cap block. Wall pilasters will occur approximately every 150' to 200' minimum and be constructed from split face block. Masonry walls will be used in limited locations where not visible from major roadways, as illustrated in Figure 11.
- Wall materials and patterns shall be compatible with adjacent building and community development materials.
- Walls shall be treated as extensions of the structures.
- The softening of wall and fence surfaces with vines and other planting is required.
- Masonry walls with wrought iron gate shall be used for each house.



SAN SEVAIN AVENUE TYPICAL PLAN AND SECTION



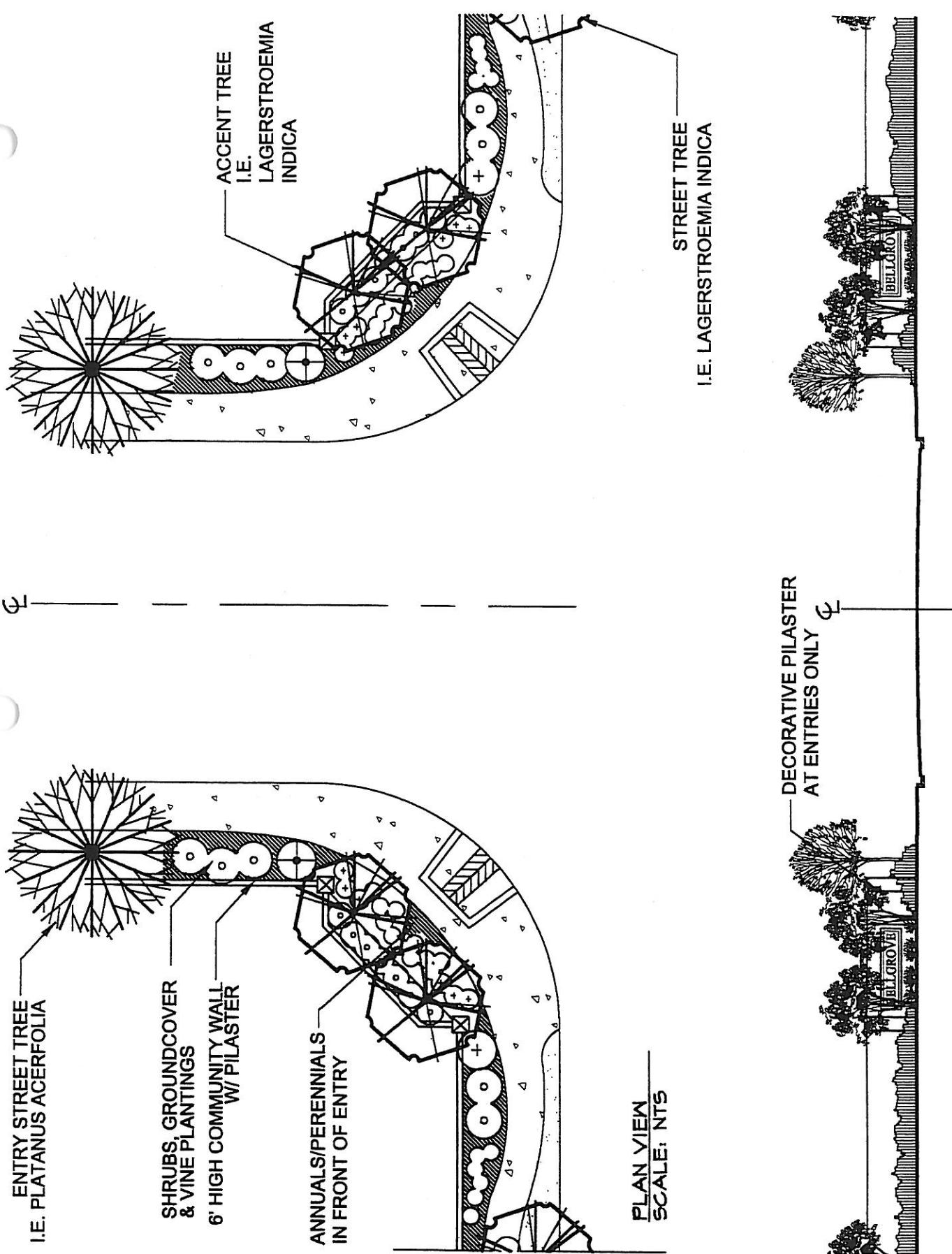
LOCAL RESIDENTIAL STREETS TYPICAL PLAN AND SECTION

A. Primary Community Entry at Walnut Avenue

The Primary Community Entry at Walnut Avenue (see Exhibit 17) provides the major gateway into Bellgrove II. Tall California Fan Palm trees provide distant visibility and the open bermed turf areas provide good vehicular intersection visibility. Specimen trees, flowering trees, groundcover, and decorative, colored scored concrete paving are used to enhance the entry. Entry walls with wide pilasters accent the entry. Signage identifying the community of Bellgrove II is located on a gently curved, low wall with pilasters on both sides of the entry.

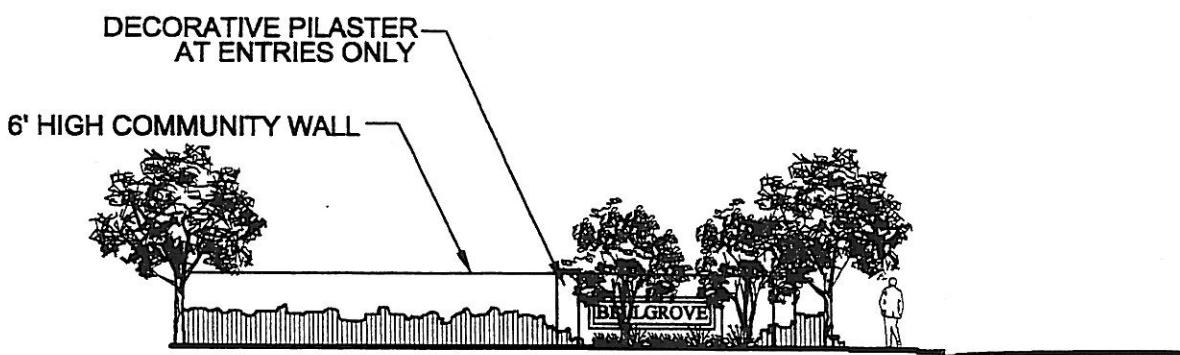
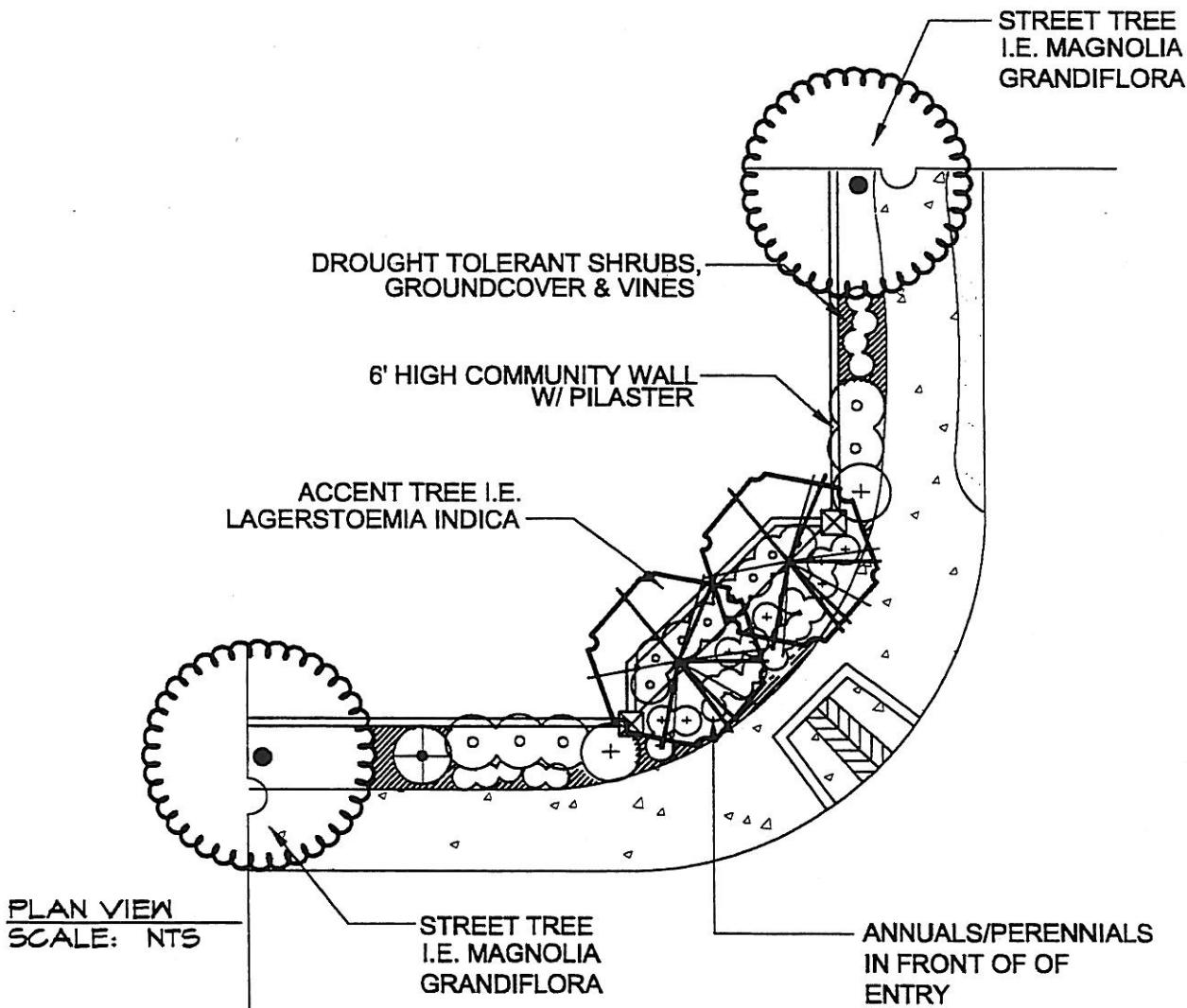
B. Secondary Community Entry at Hemlock Avenue

The Secondary Community Entry at Hemlock Avenue and San Sevaine (see Exhibit 17) provides the Bellgrove II access to the main internal roadway. This Community Entry is a smaller scale version of the Major Community Entry, with a smaller planting area and wall-mounted community signage.



SECONDARY COMMUNITY ENTRY

BELLGROVE II
EXHIBIT 16

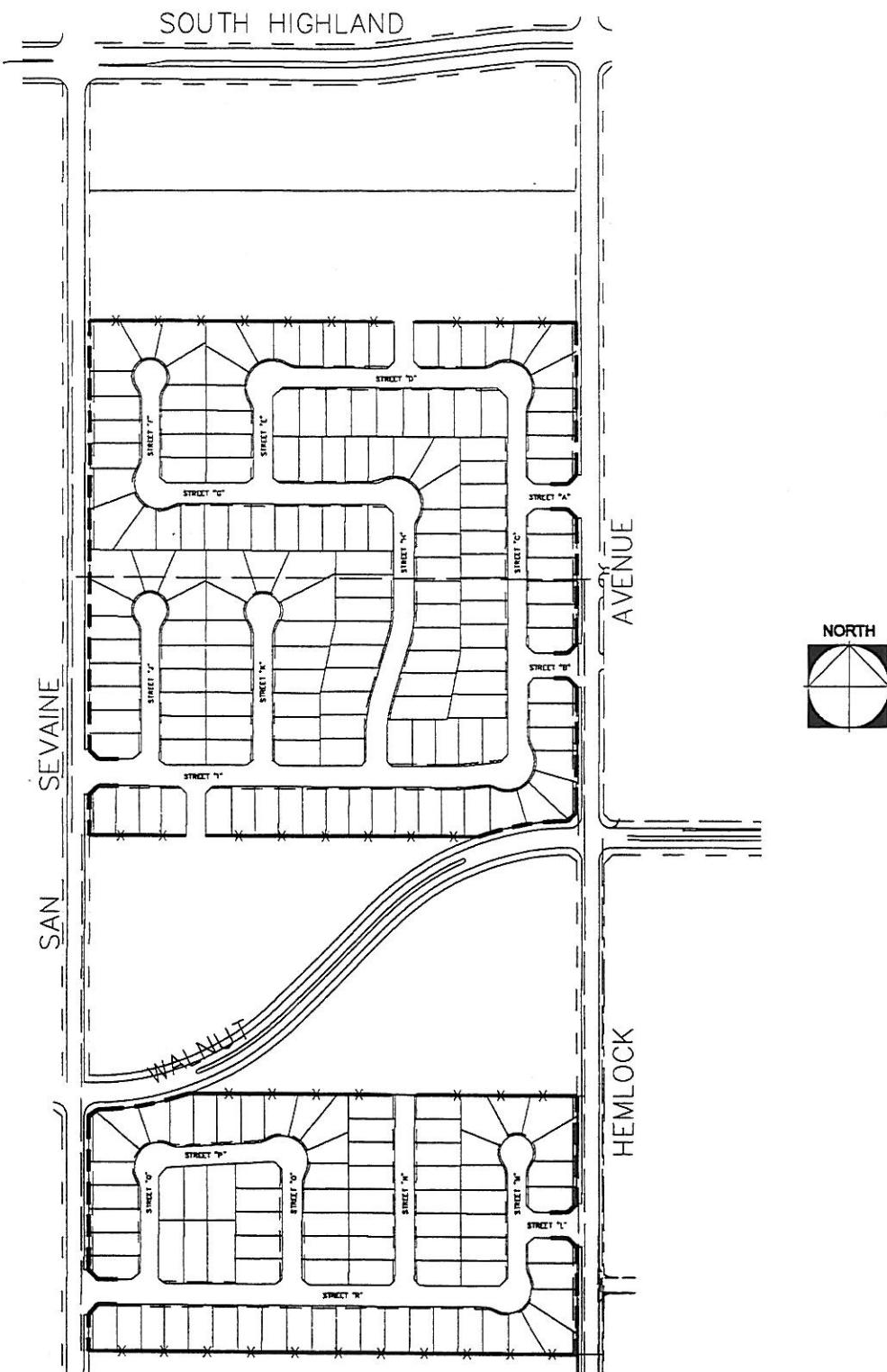


SECONDARY INTERSECTION ENTRY

LEGEND

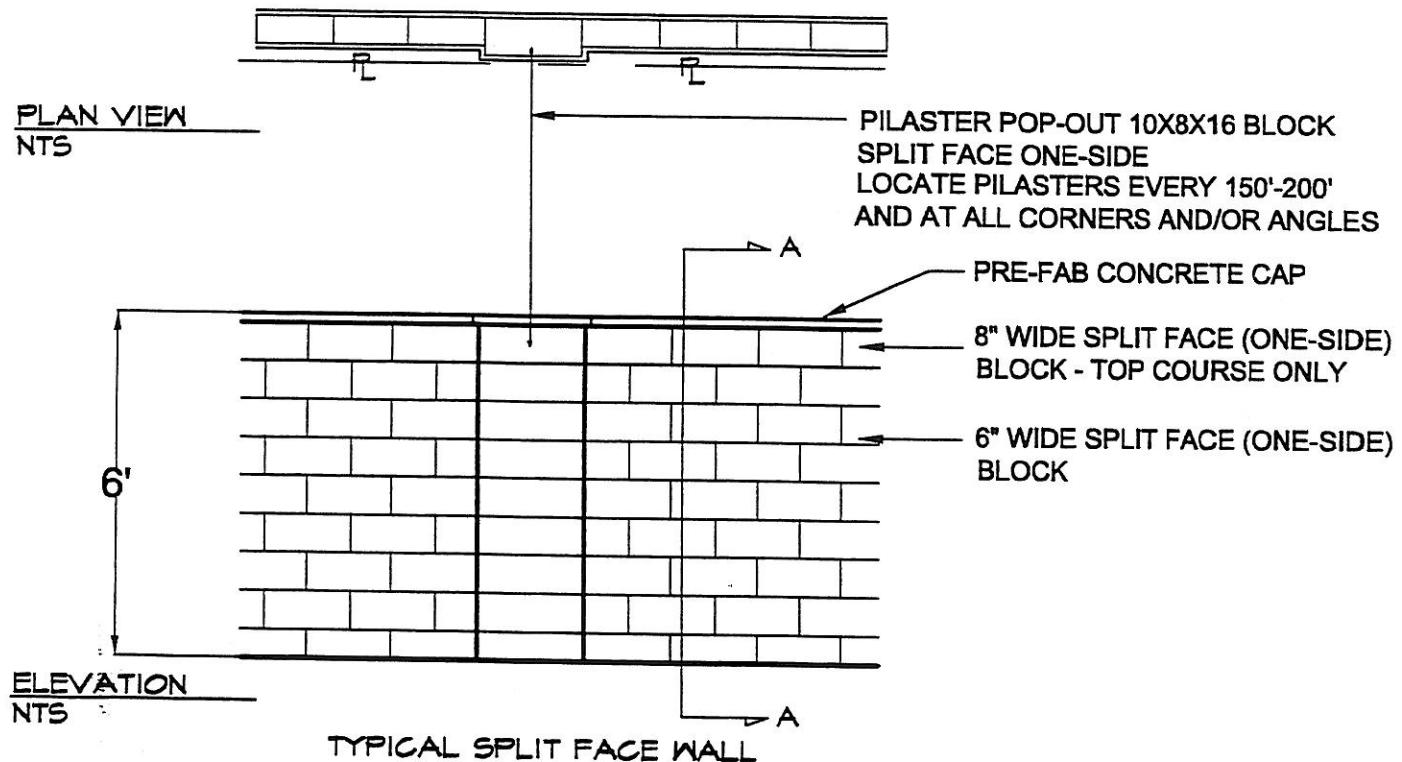
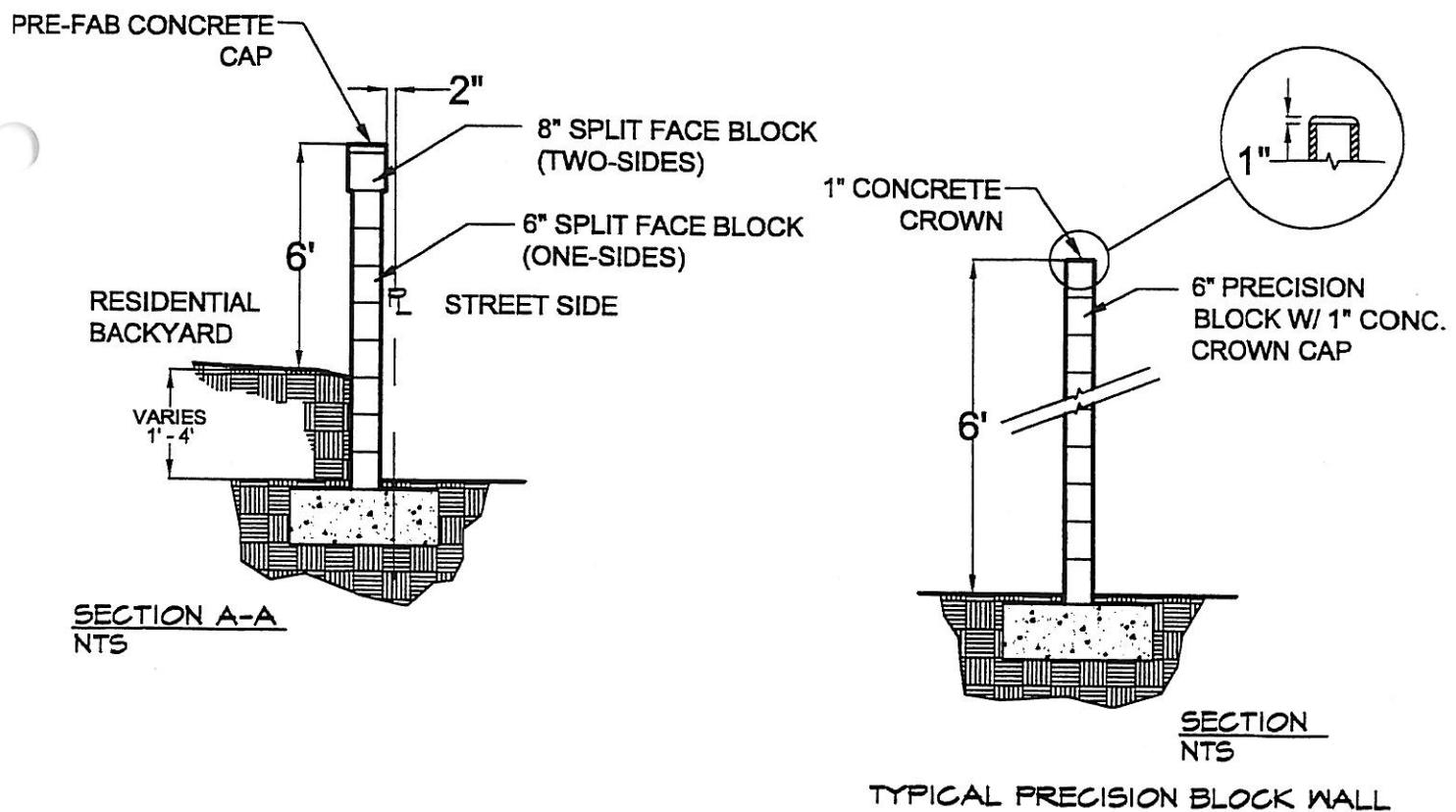
— — — — COMMUNITY PERIMETER WALL

— X — X — MASONRY WALL



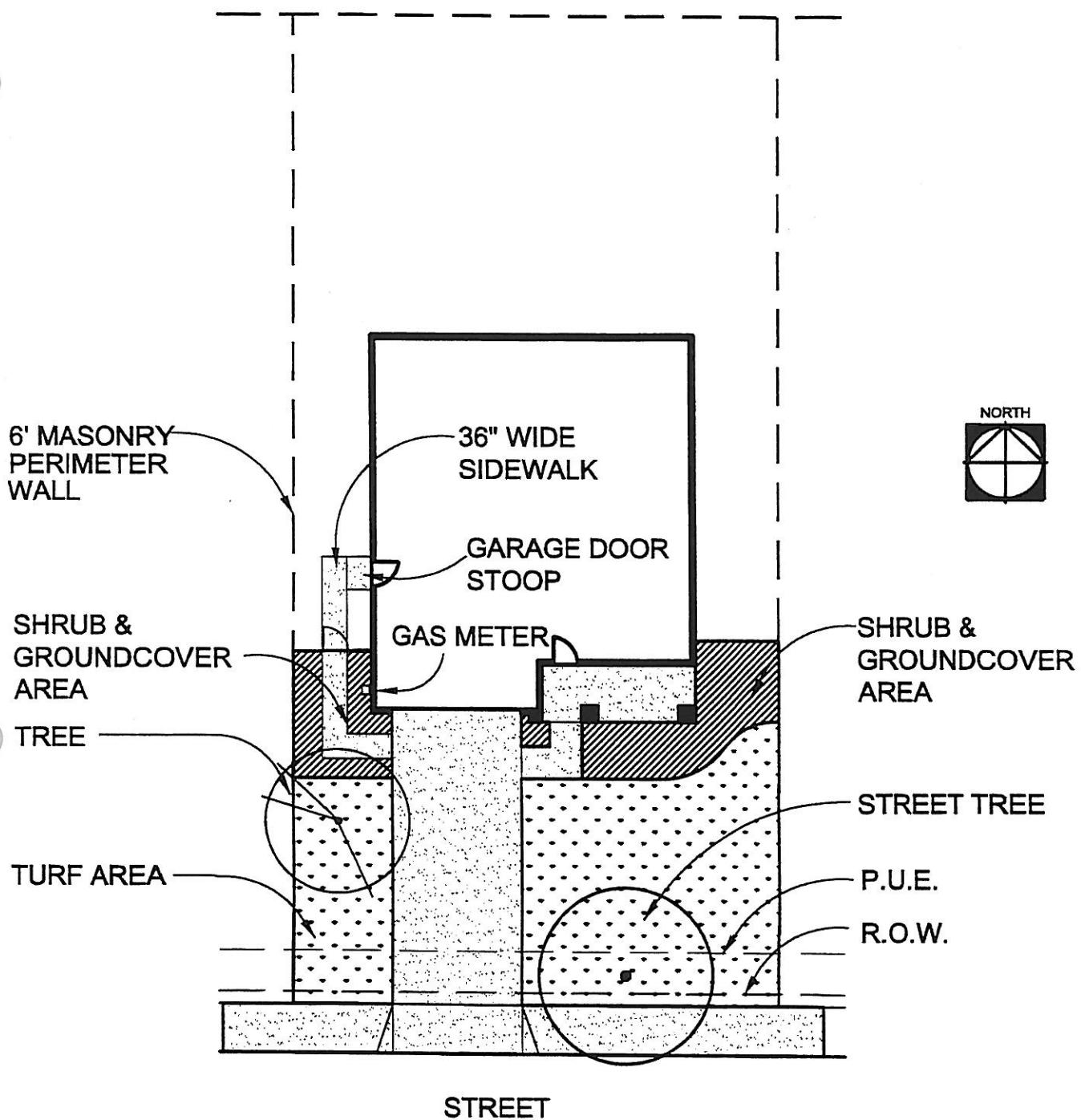
COMMUNITY WALL PLAN

BELLGROVE II
EXHIBIT 18



COMMUNITY PERIMETER WALL DETAILS

BELLGROVE II
EXHIBIT 19



**TYPICAL FRONT YARD
LANDSCAPE**

3.7 Proposed Infrastructure Plan

The development of the Bellgrove II Planned Community will include the installation of a number of infrastructure improvements to serve the residential uses.

A. Water

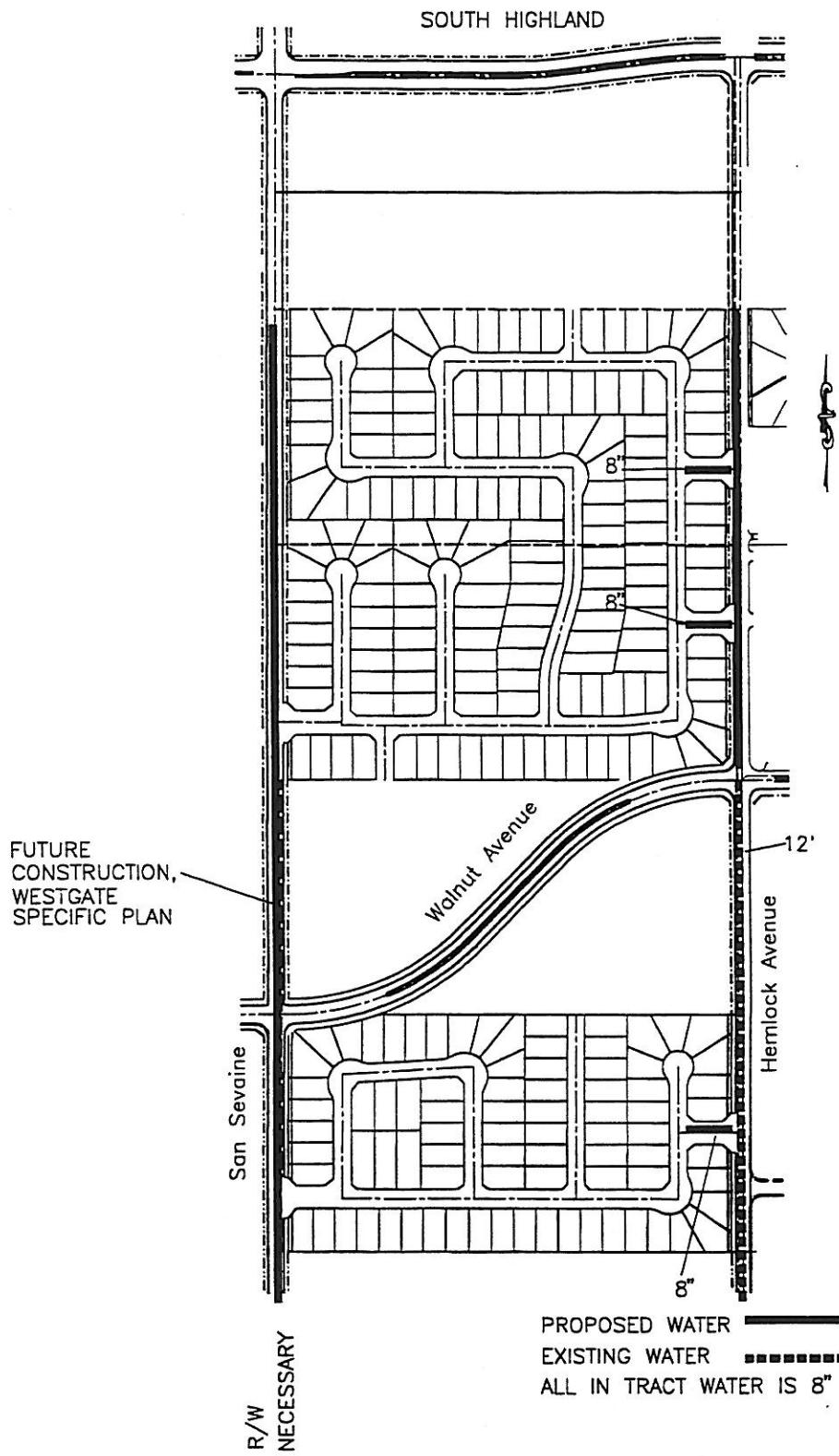
The development of the planned community area will require the installation of water lines to serve the residential and non-residential areas. It is anticipated that the site will be serviced by the Fontana Water Company. A 12 inch water line exists in Hemlock Avenue. The proposed water system is illustrated in Exhibit 21. Final determination of line sizes and water system design will be determined by Final Engineering Plans and will be based on fire flow and/or domestic requirements.

B. Sewer

The proposed sewer plan is shown in Exhibit 22. A 12 inch trunk sewer exists within the Baseline Avenue right-of-way.

The serving agencies are the Inland Empire Utility Agency (IEUA) and the City of Fontana. The IEUA is responsible for the construction and maintenance of the wastewater treatment facilities and the sewer interceptor lines. The City of Fontana is responsible for constructing and maintaining the collection system within the City limits.

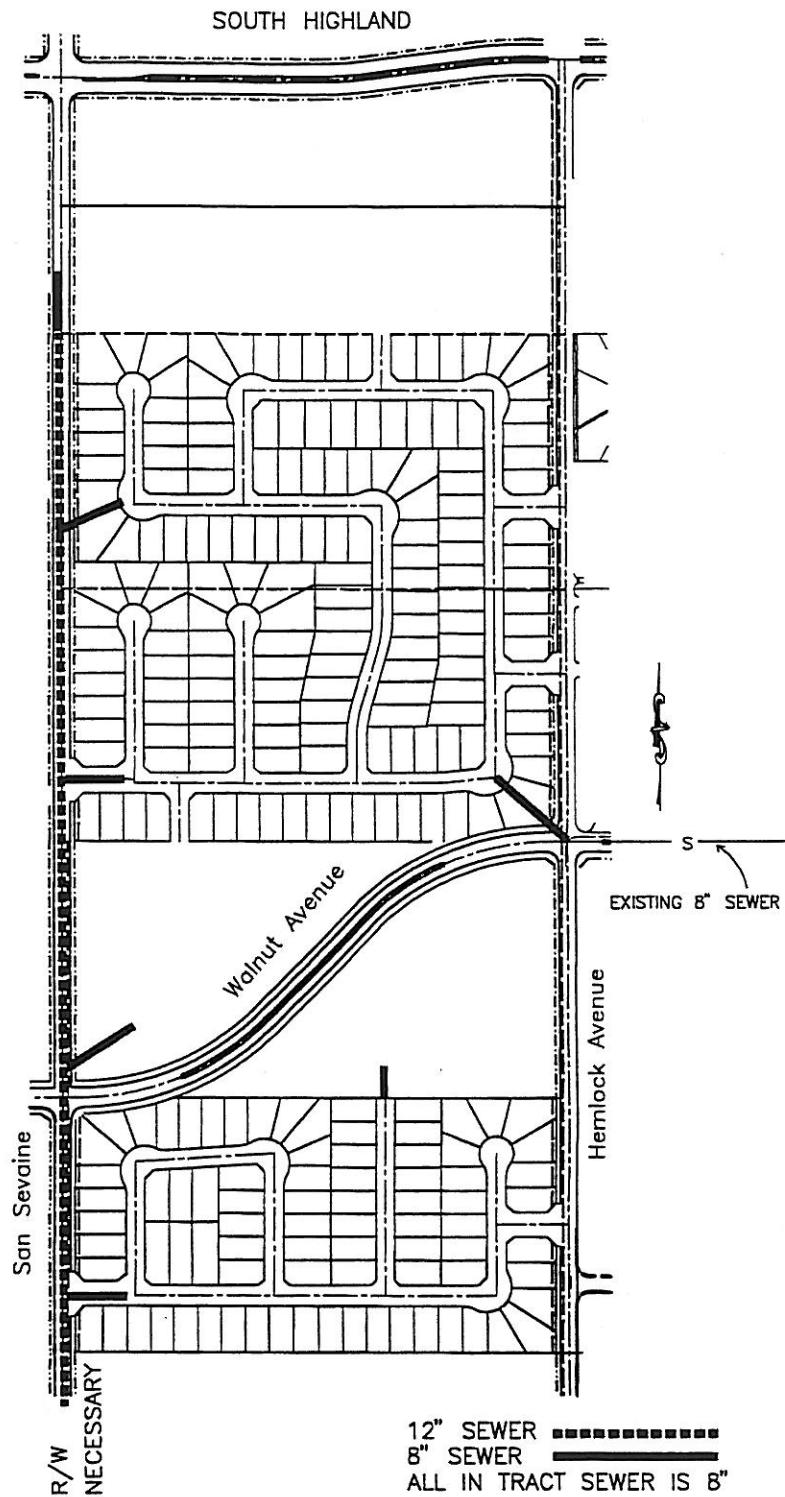
The on-site sewage from the residential planning areas will be collected and conveyed through 8 inch sewer lines. The Bellgrove II residential portion will be conveyed through on-site 8 inch lines that feed directly into the existing 12 inch trunk sewer at Baseline Avenue. The sewage will be conveyed through on-site 8 inch lines that will connect to an 8 inch line running in San Sevaine Avenue. The new 8 inch line will feed into the existing sewer at the intersection of San Sevaine and Baseline Avenues.



PROPOSED WATER SYSTEM

ALLARD ENGINEERING
 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
 EXHIBIT 21



PROPOSED SEWER SYSTEM

ALLARD ENGINEERING
 Civil Engineering - Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
 EXHIBIT 22

C. Drainage

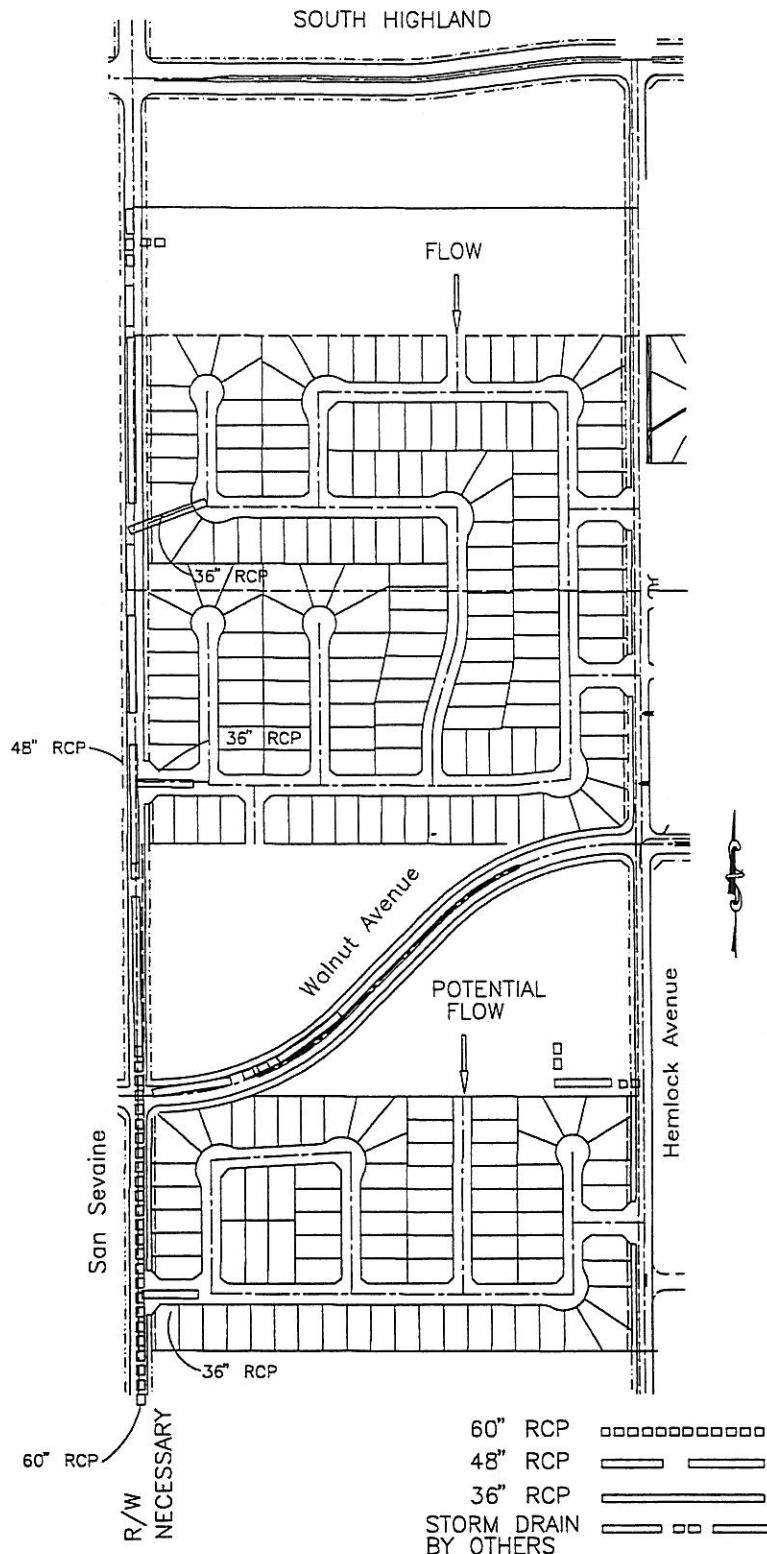
Local drainage systems are the responsibility of the City of Fontana. The proposed drainage system for the project is part of the North Fontana Master Storm Drain Plan, as modified by the "Project Report for the Baseline Storm Drain", dated October 1997, by Allard Engineering. The RCB storm drain system currently ends at The Village of Heritage approximately 2,000 feet west of the intersection of Cherry Avenue and Baseline Avenue. This RCB will ultimately be extended the entire length of Baseline Avenue.

Ultimately, a double box culvert will be constructed in Baseline Avenue. The tract will also construct the RCP in San Sevaine northerly from Baseline to the tract, in lieu of fees. Any costs of construction of drainage facilities which exceeds the I-10 North drainage fee obligation will require a reimbursement agreement between the City of Fontana and the developer.

At present, an earthen drainage ditch north of the existing edge of pavement conveys undeveloped flow rates from the intersection of Hemlock Avenue and Baseline Avenue to the existing RCB. Should hydrological studies warrant, this channel will be enlarged to carry the additional runoff resulting from the development of the project. If the project Master Plan Storm Drain System is not available to the site in a timely fashion, or is under construction but not complete, the construction of a short-term, interim detention basin will be required.

The on-site residential storm runoff will be handled by the roadways and an on-site storm drain system, as shown on Exhibit 23. The street improvements proposed for Walnut Avenue and San Sevaine Avenue will serve to convey storm runoff from north of the property to the Baseline Avenue drain.

Final determination of storm system design and financing will be determined by the final engineering plans.



PROPOSED STORM DRAIN SYSTEM

ALLARD ENGINEERING
 Civil Engineering – Land Planning
 6101 Cherry Avenue
 Fontana, California 92336
 (909) 899-5011 Fax (909) 899-5014

BELLGROVE II
 EXHIBIT 23

D. Solid Waste Disposal

The proposed project will require the expansion of an existing waste removal service route to include the planned community area. No offsite landfill construction will be required as a result of the proposed project.

E. Energy Systems

The planned community area will require the extension of electrical, telephone and natural gas service.

3.8 Schools

The impact of this project on the local school system will be mitigated through the payment of fees.

3.9 Parks

The impact of this project on the local park system will be mitigated through the payment of fees.

4.0 General Development, Site Planning, and Architectural Standards

4.0 GENERAL DEVELOPMENT, SITE PLANNING, AND ARCHITECTURAL STANDARDS

4.1 General Development Standards: Community Plan Conformance with the City Development Code

Unlike a Specific Plan, a Community Plan must generally conform to the development regulations of the Fontana Development Code. Therefore, regulations such as allowed uses in each zone; setback requirements; etc., will be per the City Development Code requirements, with several minor Development Code interpretations (see Section 4-2A). Additionally, all signage must be in compliance with Chapter 3 of the Municipal Code.

Many of the benefits of this Community Plan far outweigh the minor interpretations to the Development Code mentioned above. These benefits include:

- All lots will be 7,200 square feet or larger. Most master-planned communities approved in the City to date have much smaller lots. Examples of communities with smaller lots include Southridge with 3,500 square foot lots, Hunter's Ridge with 4,500 square foot lots, and Heritage with 5,000 square foot lots.
- Homes will be generally larger than those in most of the master-planned communities approved in the City to date.
- The Primary Entry at Hemlock and the Secondary Entry at Walnut Avenue will be highly upgraded, with landscaping, enhanced paving, and other visual amenities extensively exceeding City standards.

4.2 Site Planning, Architectural/Design Guidelines, and Standards

The purpose of this section is to provide site planning and architectural design criteria that will promote quality development and an aesthetically pleasing environment within the Bellgrove II Community. The guidelines, when combined with the landscape designs presented in this Community Plan, provide the overall framework for establishing a sense of community identity, land use character, scale, and environmental sensitivity in the planning and design of development within the Bellgrove II community.

The following guidelines express "intent" rather than "absolutes", thereby allowing flexibility in fulfilling the intended design goals and objectives. Moreover, these guidelines are intended to promote creativity and innovation as well as consistent quality in the implementation of land uses.

A. Site Planning

Residential Site Planning

The following residential site planning standards shall apply:

- Buildings and other improvements shall be located to compliment the site on which they are placed.
- 70% percent of the lots will be plotted with houses over 2,000 square feet in size.
- Where feasible, consideration shall be given to building elements as they relate to the environment eg. use of native materials or those found in area.
- Design shall maximize utilization of visual amenities.
- Local street system design shall consider ease of auto traffic movement and provide opportunities for pedestrian, bicycle, and other alternative transportation modes.
- Local street layouts shall promote compatibility with building sites and lot arrangements to ensure consistent streetscape character.
- Several minor interpretations of the City Development Code requirements shall be allowed:
 - a. Depth of residential lots on knuckles and cul-de-sacs shall be a minimum average of 100 feet. This provision will allow for greater flexibility in site design, while meeting the spirit of the Development Code.
 - b. Lot width on cul-de-sacs is to be measured at 25 feet from the right-of-way at the setback line and shall be a minimum width of 54 feet. This provision will allow for greater flexibility in site design, while meeting the spirit of the Development Code.

- c. Minor architectural modifications may be reviewed and approved by the Community Development Director.
- Monolithic and stark streetscapes shall be prohibited through varying setback, roof lines and landscaping.
- The "Dynamic Plotting" criteria which will be applied to this development are provided below:

The following are basic, flexible plotting criteria for development under new Design Reviews. Variation and possibly additional criteria may be added by the Planning Commission to individual Design Reviews based upon Planning Commission consideration of individual circumstances:

 1. A floor plan shall not be used consecutively more than three times in a row (whether reversed or not).
 2. If the same floor plan is used for adjoining homes, one shall be the reverse of the other.
 3. If the same plan is used for adjoining homes, one unit shall have a front setback at least three (3) feet greater in depth than the like, adjacent home.
 4. No more than 65% of any one floor plan shall be used on any cul-de-sac or along any street between intersecting streets.
 5. No two adjacent homes using the same floor plan, whether reversed or not, shall have the same exterior color scheme/treatment.
 6. A variety of design shall be used on garage doors, with no two adjoining homes which have the same floor plan and elevation using the same door pattern. In no case shall three homes of any floor plan have the same garage door pattern in a row.
 7. Adjacent homes shall have varying setbacks. Minimum variation shall be two feet. When one and two story homes are adjacent, the two-story home shall have the larger front setback.
 8. Homes with one-story features on corner lots shall orient the one story feature adjacent to the side street.

9. At least one in four homes shall have enhanced architectural features along the rear yard elevation. These enhancements may include, but are not limited to, the use of stuccoed pop-outs, wood plant-ons, shutters, color bands, enlarged trim, decorative or arched windows, decorative lighting fixtures, etc.
10. At least one in three homes shall have enhanced architectural features along the front yard elevation as approved by the Planning Commission, including, but not limited to: wood shutters, stone veneer, brick veneer, wood planters or a combination thereof, or such other enhanced architectural features approved by the Planning Commission on a case-by-case basis.
11. When a floor plan is repeated on adjacent lots, one of the homes shall use the enhanced architectural features noted above.
12. Side(s) and rear home elevations visible from any public right-of-way shall carry the architectural features and theme of the front to those visible side(s) or rear elevations.
13. Subtle, discriminating variations in the architecture are encouraged. These variations may include, but are not limited to, the use of stuccoed pop-outs, wood plant-ons, shutters, color bands, enlarged trim, decorative or arched windows, decorative lighting fixtures, etc.
14. Floor plan maximum and minimum percentages for each model type shall be established.
15. Any plan type, elevation, color scheme, and veneer treatment shall be switched with another only if it conforms to all of the criteria listed above.
16. The Community Development Director, or his/her designee, shall have the authority for minor architectural changes focusing around items such as window treatments, color combinations, facade treatments, and architectural reliefs. Questions on the interpretation of this provision or changes not clearly within the scope of this provision shall be submitted to the Planning Commission for consideration under a Revision to the Design Review.

B. Architecture

The Architectural Design Guidelines establish the framework to achieve harmony and compatibility within the residential neighborhoods, while providing the flexibility to create variety in the architectural expression and interpretation of the design styles envisioned for the community. All too often, when designing a new residential community, the majority of the design effort is focused on the individual floor plans and elevations that comprise the project, rather than on the community as a whole.

The community is perceived as a combination of buildings, landscape, walls/fences, and circulation patterns rather than as a series of individual structures. Significant improvement to the project can be made by devoting more attention to the overall fabric of the community, and the location of residential units within blocks.

Attention shall be given to the fabric of shades and shadows, to the mass and scale of adjacent units, and to the relationship of open spaces. Recessed porches providing shadow, one-story elements such as garage eyebrows, extended garages, and porches shall be provided to give scale and variety to the community and the neighborhood block.

Architectural Standards

The following section provides architectural guidelines for design elements within the Bellgrove II Community:

General Design Elements:

- a. Homes will generally be larger than in the majority of the master-planned communities in Fontana. 70% of the houses shall be more than 2,000 square feet in size. Exact sizes for the various home plans will be approved at the time of architectural approval of the specific development project. The minimum house square footage shall be per City code.
- b. For each floor plan in residential areas, varying complimentary elevations shall be provided to create visual interest and varied neighborhood streetscene.
- c. Materials, colors and general style shall be integrated through each development area to achieve continuity in design.
- d. The height and bulk of buildings shall be approximate in scale to the size, shape and topography of the site and shall be harmonious with the setting, verified through grading concept plans and site plan review.
- e. Two-foot projections, no more than ten feet in width, shall be permitted into setback areas for fireplaces, chimneys, entertainment alcoves, and other features.
- f. Roof protrusions such as vents or flashing shall be positioned away from the street side of the house or finished to match the roof color in order to minimize visual impact.
- g. Architectural screens, walls and accessory structures shall be compatible in material, color and texture to the main buildings.
- h. Neighborhood design shall incorporate variety through the use of colors, materials, roof types, massing, scale and the orientation of units and garages on the lot.
- i. Patio covers, room additions, swimming pools, spas and any other accessory structures attached or detached shall be subject to the requirements in the Municipal Code.

Building Massing and Scale

Building massing can play an important role in creating interest and diversity in the street scene and in developing a human scale for individual neighborhoods. Whenever possible, the following shall be addressed:

The general character of the residential area shall reflect a neighborhood scale so that the massing of the buildings does not overwhelm the street scene. This is achieved by addressing the massing of the individual houses, but more importantly, by addressing the assemblage of individual houses into a street scene composition.

Articulated roofscapes shall be designed through the use of a variety of roof forms including hips, gables, and clipped gables. These varied roof forms shall be considered in the design of the individual buildings as well as within the assemblage of buildings into a street scene composition.

Articulation of Elements

In order to provide design interest and variety within individual neighborhood areas, articulation of architectural elements and color shall be incorporated into the design of houses through the special treatment of window, doors, entries, porches, balconies, railings, columns, and chimneys. These elements shall work together to unify the building's architectural design as a complete composition.

Windows, Doors, and Porches

Windows, Doors, and Porches can be used as strong design elements and can help to articulate otherwise blank wall planes. Window details help to add diversity and create an opportunity to provide contrasting trim colors.

- a. Recessed or pop-out windows and doors, along with other architectural projections and recesses, may be used to achieve articulation and shadowing effects.
- b. A porch may be utilized in an entry area as the organizing element for the front elevation. The entry area may be further articulated through the appropriate use of roof elements, columns or other architectural features. The one story porch satisfies the "neighborhood scale" mentioned previously.

Primary (Front Elevations)

A minimum of three elevations types per floor plan type shall be required

Building elevations shall be articulated to create interesting roof lines, strong patterns of shade and shadow, and relief in wall planes.

Rear and Side Elevations

Rear and side elevations have less impact on the design fabric of a community, except where they are visible to the public as a whole along exposed edges or main street locations. In these locations, the following criteria shall apply:

- a. Where rear and side elevations face public streets, they shall be treated with architectural articulation complementary to that of the front elevation.

Roofs

Roof design has a particular influence on a community street scene. Care shall be taken to provide roof articulation with a variety of shapes and materials throughout the Bellgrove II Planned Community:

- a. Variation in eaves and fascia lines, colors, and materials may be utilized to create a sense of individuality and diversity. These shall be compatible with the character of the entire planned community to create a sense of unity and order.
- b. Roof colors shall be varied, yet compatible within the individual neighborhoods.
- c. Roof pitches and forms may vary (4:12 to 6:12) to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the street scene.

Garages

Garages are an integral component of each individual residence. The garage design and placement must be carefully assessed to successfully incorporate it into the overall design and massing of the house.

- a. Garage doors shall be simple in design so as not to distract from the architectural elevation of the house. Garage doors may be recessed to create depth and shadow patterns. Roll-up doors shall be used on all houses.

- b. Where garages occur adjacent to one another along interior lot lines, a variation in setbacks shall be provided, where possible, to break up the massing of garages along the streetscape.
- c. Garage doors may be "painted out" to match the body color of the house. This will draw attention away from the garage door.

Second Stories

- a. Two story houses shall incorporate architectural elements above the garage such as special window treatments and projected elements, where necessary, to provide appropriate architectural character and variety to the second story.
- b. Second story windows and balconies shall be placed carefully in order to protect the privacy of adjacent properties.

Miscellaneous Design Elements

A number of minor design elements subtly influence the way a community's design is perceived. Care shall be taken to ensure the various design elements enhance the house, without dominating the elevation or streetscape.

- a. Chimneys: Chimney caps shall be trimmed and painted to complement the major architectural elements of the house.
- b. Flashing and bare metallic surfaces: All flashing and bare metallic surfaces (flashings, vents, pipes, gutter, etc.) shall be painted to match the adjacent building material, or covered from view in a manner harmonious with the general exterior architectural treatment of the building.
- c. Balconies, Trellies, Patio Covers, Sun Shades, Structures, and Gazebos: All appurtenant structures shall be integrated with the main structure and designed to be consistent with the residential architectural character.
- d. Vents: All vent stacks and pipes shall be colored to match the adjacent roof or wall material. Vent stacks shall be grouped to the side or rear of the roofs and shall avoid extending above the roof ridgeline.
- e. Colors: Color schemes shall be appropriate to the architectural concept. Accent colors may be used, as appropriate. Color blocking is an acceptable alternative to shape and mass articulation. Final color schemes shall be approved during the design review process.

5.0 Implementation

5.0 IMPLEMENTATION

The following documents shall be prepared for approval by the City at Fontana to ensure that development of the Community Plan area proceeds in an orderly manner.

5.1. Environmental Review

A separate environmental assessment will be prepared and submitted with this Community Plan document. Based upon a review of this document, it is anticipated that the City of Fontana will issue a mitigated negative declaration for the proposed project in accordance with the California Environmental Quality Act (CEQA) Guidelines and Regulations and local guidelines to implement CEQA.

5.2 Community Plan Approval

This Community Plan will be reviewed and approved by the City of Fontana Planning Commission. It is intended to provide land use, design, and other controls for the proposed project in conformance with the City's General Plan, Development Code, and California Government Code Section 65450 (minor interpretations to the Development Code shall be allowed - see Section 4.1).

5.3 Tentative Tract Maps 16009 and 16046

Tentative Tract Maps 16009 and 16046 will be reviewed and approved pursuant to applicable provisions of the Subdivision Map Act (Government Code Section 66410 through 66499) and City of Fontana applicable rules and procedures.

5.4 Amendments and Changes

A. Major Changes

The developer/or property owner(s) may initiate an amendment if substantial changes are required in the project during the development process. Any amendment to the Bellgrove II Community Plan shall be in accordance with City requirements and will be reviewed for approval by the Planning Commission. Revisions to the tentative tract map shall be in accordance with the Subdivision Map Act (Government Code Section 66410 through 66499) and applicable City of Fontana procedures.

B. Minor Changes

Minor revisions and or modifications to approved components of this Community Plan may be approved by the Community Development Director. Minor revisions and/or modifications shall include, but are not necessarily limited to, the following:

- 1) Minor boundary shifts (lot line adjustments).
- 2) Minor changes in design concepts included within the Community Plan; including but not necessarily limited to access points, streetscape designs, entry designs, design guidelines, etc. The design guidelines within the Community Plan are intended to be conceptual in nature only and are intended to be flexible in implementation.

5.5 Appeals

Appeal(s) from any determination of the Community Development Director shall be made to the Planning Commission and appeal(s) from any determination, decision, or condition of approval by the Planning Commission shall be made to the City Council in accordance to the appeal procedures established by the City of Fontana Municipal Code.

5.6 Maintenance

Maintenance responsibilities within the Bellgrove II Planned Community area will be divided between the City of Fontana, special districts, service community facilities districts, and individual property owner(s).

1) Streets

All streets within the Bellgrove II Community Plan will be maintained by the City of Fontana.

2) Parkways and Entries

Maintenance of parkway landscaping, median landscaping, plantings along public streets (except on local roads), and project entry monumentation will be by a service community facilities district.

3) Drainage Facilities

The maintenance and liability for drainage improvements that are defined as "interim", if any, will generally remain the responsibility of the project sponsor, unless specifically accepted by the City of Fontana for maintenance by another agency. The City shall retain, at its sole discretion, the option to accept or not accept for maintenance any improvement initially constructed as interim facilities, but which are to be incorporated into the future permanent drainage system prior to the time such facility is upgraded to permanent status.

Permanent drainage improvements within the Bellgrove II Planned Community area will be constructed to the standards of the City of Fontana or San Bernardino County Flood Control District, and will be dedicated to either the City or District for maintenance, as appropriate.

Where it is necessary to construct drainage improvements outside of public rights-of-way, drainage easements will be dedicated to the City of Fontana or Flood Control District, as appropriate. Upon dedication, the City or District will assume responsibility for maintenance of the underground facilities only; maintenance responsibility for surface improvements within drainage easements will not be transferred.

Drainage facilities on private property, in the absence of an easement, will be considered to be private drains. Maintenance of such private drains will be the sole responsibility of the landowner or the association charged with the general maintenance of the landscaping and other common improvements of the area in question.

4) Water and Sewer

The City of Fontana will assume responsibility for the maintenance and monitoring of sewer facilities and the Fontana Water Company will assume responsibility for maintenance and monitoring of water facilities constructed within public rights-of-way within Bellgrove II.

Where it is necessary to construct water or sewer improvements outside of public rights-of-way, easements will be dedicated to the City of Fontana or Fontana Water Company, as appropriate. Upon dedication, the City will assume responsibility for maintenance of the underground facilities only; maintenance responsibility for surface improvements within drainage easements, other than those facilities for which the easement was specifically granted, will not be transferred.

Water and sewer facilities located on private property, in the absence of an easement, will be considered to be private facilities. Maintenance of such private facilities will be the responsibility of the landowner or tenants charged with the general maintenance of the landscaping and other common improvements.

5) Other Facilities

The Southern California Gas Company will maintain natural gas lines within the project site. Southern California Edison will maintain onsite electrical facilities. Pacific Bell will maintain telephone facilities. Comcast is the provider of cable TV facilities.

6.0 Appendix One

6.0 APPENDIX ONE

6.1 Ownership List and Map

Several different owners hold title to land within the Community Plan boundary. These owners are identified on the ownership list and keyed to the assessor's parcel map, book and page below:

<u>Ownership List</u>	<u>Assessor's Parcel Numbers</u>
Joyce & Richard Lamm	228-101-07
Gleicher et. al.	228-101-15
Gleicher et. al.	228-101-16
Chou et. al.	228-021-02
Herrmann et. al.	228-021-05
Herrmann et. al.	228-021-12
Herrmann et. al.	228-021-25
Lewis Homes	228-021-21

228-10

Fontana City
Tax Rate Area
10020

S. 1/2 Sec. 35, T1N, R. 6W, S.B.B. 8 M.

SCALE IN 1/10 OF AN INCH

1-800-345-7334



JAN 05 1998
Assassins Map
Book 228 Page
San Bernardino Co

Parcel Map No. 11735, RM. 135/26-27
Parcel Map No. 1959, RM. 28/18

DE Oct 1950

Tentative Tract Maps 16009 & 16046

The Tentative Tract Maps will be inserted following this page after they have been approved by the Fontana Planning Commission.

6.2 Final Approval

Final approval of the Bellgrove II Community Plan by the Fontana Planning Commission occurred on October 25, 1999, pursuant to Resolution No. PC-99-16.

RESOLUTION NO. PC 99-16

**A RESOLUTION OF THE PLANNING COMMISSION OF
THE CITY OF FONTANA ADOPTING THE BELLGROVE II
COMMUNITY PLAN AND, RECOMMENDING APPROVAL
OF ZONE CHANGE #99-04**

WHEREAS, Allard Engineering ("Applicant") has applied for approval of the Bellgrove II Community Plan ("Community Plan") and Zone Change #99-04 and prepared for adoption of a Mitigated Negative Declaration on the Community Plan; and

WHEREAS, Zone Change #99-04 would change the land use designation of 90 acres of the Bellgrove II Community Plan area from "R-1, 10,000" to "R-1" Single-Family Residential with a minimum lot size of 7,200 square feet (APN Nos. 0228-101-07, 0228-101-15, 0228-101-16, 0228-021-02, 0228-021-05, 0228-021-12, 0228-021-25, and 0228-021-21 – See Exhibit "A"); and

WHEREAS, at the meeting of October 25, 1999, the Planning Commission of the City of Fontana (the "Commission") received public testimony concerning the Community Plan and Zone Change #99-04, and reviewed and considered all written and oral information presented to it; and

WHEREAS, at its meeting of October 25, 1999, the Commission received public testimony concerning the environmental documents and considered all written and oral information presented to it; and

WHEREAS, the Commission has reviewed and considered the requirements of Fontana Municipal Code Section 30-63 relative to community plans; and

WHEREAS, the approval of the Community Plan is contingent upon City Council's approval of Zone Change #99-04;

WHEREAS, the Community Plan will be consistent with the General Plan; and

WHEREAS, notice of the Commission's public hearing was given pursuant to Government Code Sections 65090 and 65091; and

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Fontana that:

Section 1: The Commission hereby finds that:

A. The Community Plan and Zone Change #99-04 are consistent with the goals and policies of the Fontana General Plan.

Resolution No. PC 99-16

- B. The adoption of the Mitigated Negative Declaration and the State of California Department of Fish and Game De Minimis Impact Finding has been prepared pursuant to the California Environmental Quality Act and the Community Plan and adequately addresses the environmental impacts of the Bellgrove II Community Plan.
- C. The Bellgrove II Community Plan substantially complies with the objectives of a community plan as identified in Section 30-63 of the Code of the City of Fontana.

APPROVED AND ADOPTED THIS 25th day of October, 1999.



Janice Rutherford
Chairperson, Janice Rutherford

ATTEST:

I, Ken Galasso, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on 25th day of October, 1999, by the following vote, to-wit:

AYES:

NOES:

ABSENT:

ABSTAIN:



Ken Galasso
Secretary, Ken Galasso