

The Summit Heights Specific Plan Amendments Added

Specific Plan Regulations	Ordinance 1269	December 15 ^h 1998
Amendment #1	Ordinance 1352	August 7 th 2001
Amendment #2	Ordinance 1353	August 7 th 2001
Amendment #3	Ordinance 1430	August 19 th 2003
Amendment #4	Ordinance 1441	February 3 rd 2004
Amendment #5	Resolution #2001-89	July 17 th 2001
Amendment #6	Ordinance 1482	July 19 th 2005

12/15/98

**AN ORDINANCE OF THE CITY COUNCIL
OF THE CITY OF FONTANA APPROVING
THE SUMMIT HEIGHTS SPECIFIC PLAN**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Mitigating Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. The Summit Heights Specific Plan is consistent with the goals and policies of the General Plan.

Section 3. The Summit Heights Specific Plan is hereby approved as set forth in the Attachment which is incorporated herein by reference

Section 4. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 15th day of December, 1998.

READ AND APPROVED AS TO LEGAL FORM:



City Attorney

I, Beatrice Watson, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced at a regular meeting of said City Council on the 1st day of December, 1998, and was finally passed and adopted not less than five (5) days thereafter on the 15th day of December, 1998, by the following vote:

AYES: Mayor Eshleman, Council Members Mancha, Nuaimi and Roberts
NOES: None
ABSENT: None
ABSTAIN: Council Member Gonzales

#1
8/1/01

ORDINANCE NO. 1352

AN ORDINANCE OF THE CITY OF FONTANA APPROVING SPECIFIC PLAN AMENDMENT #00-005 (SUMMIT HEIGHTS SPECIFIC PLAN AMENDMENT #1) TO INCREASE THE ACREAGE OF PLANNING AREA 11 FROM 6.1 ACRES TO 25 ACRES; DESIGNATE PLANNING AREA 11 AS SINGLE-FAMILY RESIDENTIAL, AND REVISE SUMMIT HEIGHTS SPECIFIC PLAN AS IT RELATES TO PLANNING AREA 11.

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game de Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. Specific Plan Amendment #00-005 (Summit Heights Specific Plan Amendment #1) is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment #00-005 is hereby approved and the land use designation of Planning Area 11 (Assessor Parcel Nos. 0226-134-03, 0226-134-04 and 0226-134-05) will be changed from "R-1, 10,000" to "Summit Heights Specific Plan" Single-Family as shown on Exhibit "A" attached.

Section 4. In addition to the land use designation changes there are a number of other areas within the specific plan that are being revised as they relate to Planning Area 11 as shown in Exhibit "B" attached and incorporated herein.

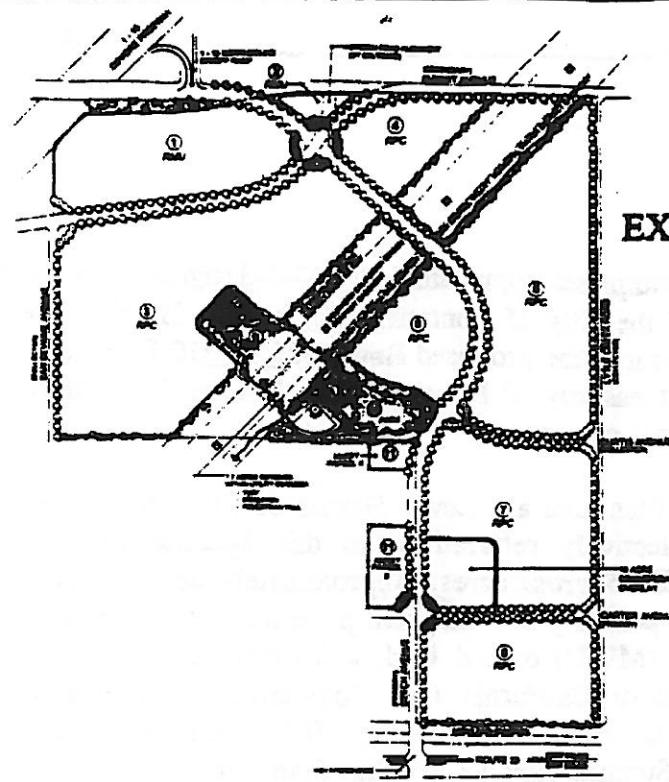
Section 5. Any provision of this ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

Section 6. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

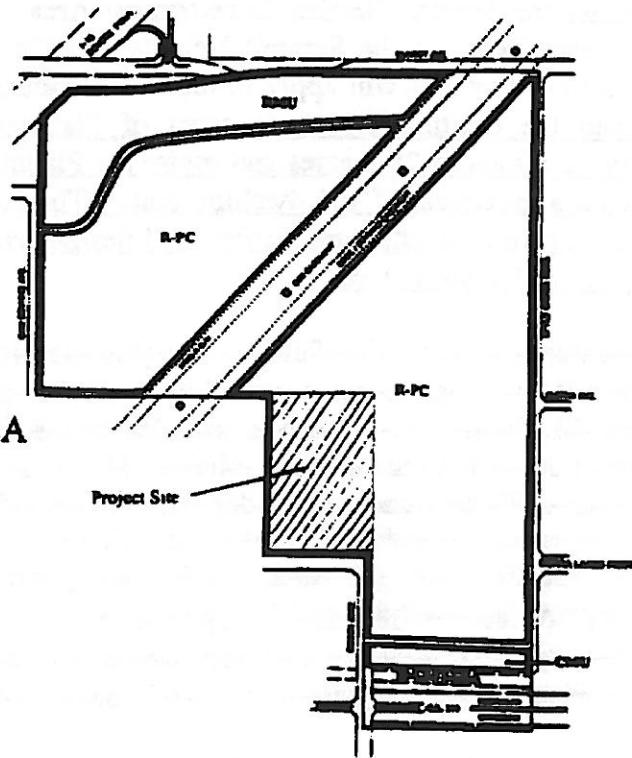
APPROVED AND ADOPTED this 7th day of August, 2001.

PLANNING DIVISION

CITY OF FONTANA



EXISTING SPECIFIC PLAN AREA



PROPOSED SPECIFIC PLAN AREA

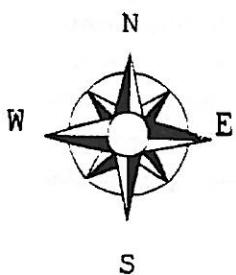
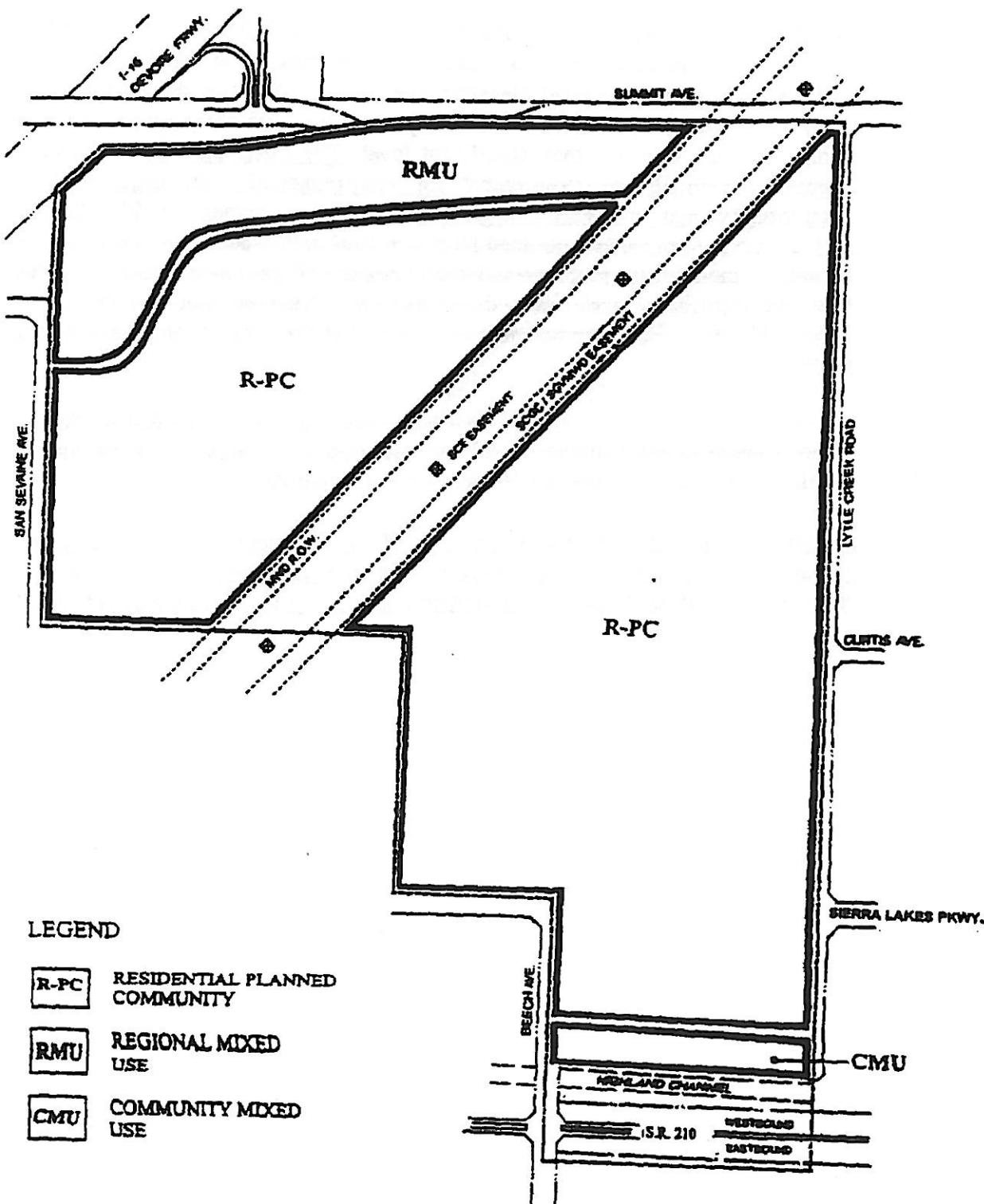


Exhibit "A"

DATE: July 17, 2001
CASE: SPA #00-005



SECTION 2 SPECIFIC PLAN OVERVIEW

2.1 PROJECT LOCATION

The Summit Heights Development Area (Development) as defined in the Land Use Exhibit on page 11, is comprised of approximately 291-316 gross acres of vacant land located in the northwest portion of the City of Fontana on the southwest side of the broad Lytle Creek alluvial plain which extends south from the San Gabriel Mountains north of the site. The site has a flag shaped configuration and is bounded by Summit Avenue to the north, Lytle Creek Road to the east, Highland Avenue and the proposed Route 30S.R. 210 to the south, and Interstate 15 and the proposed extension of San Sevaine Avenue to the west. The location of the project site is illustrated in Exhibit 3. The site is diagonally traversed by a 450 foot wide public utilities corridor comprised of land owned by the Metropolitan Water District and easements owned by the Southern California Edison Company, the Southern California Gas Company and the San Gabriel Valley Municipal Water District.

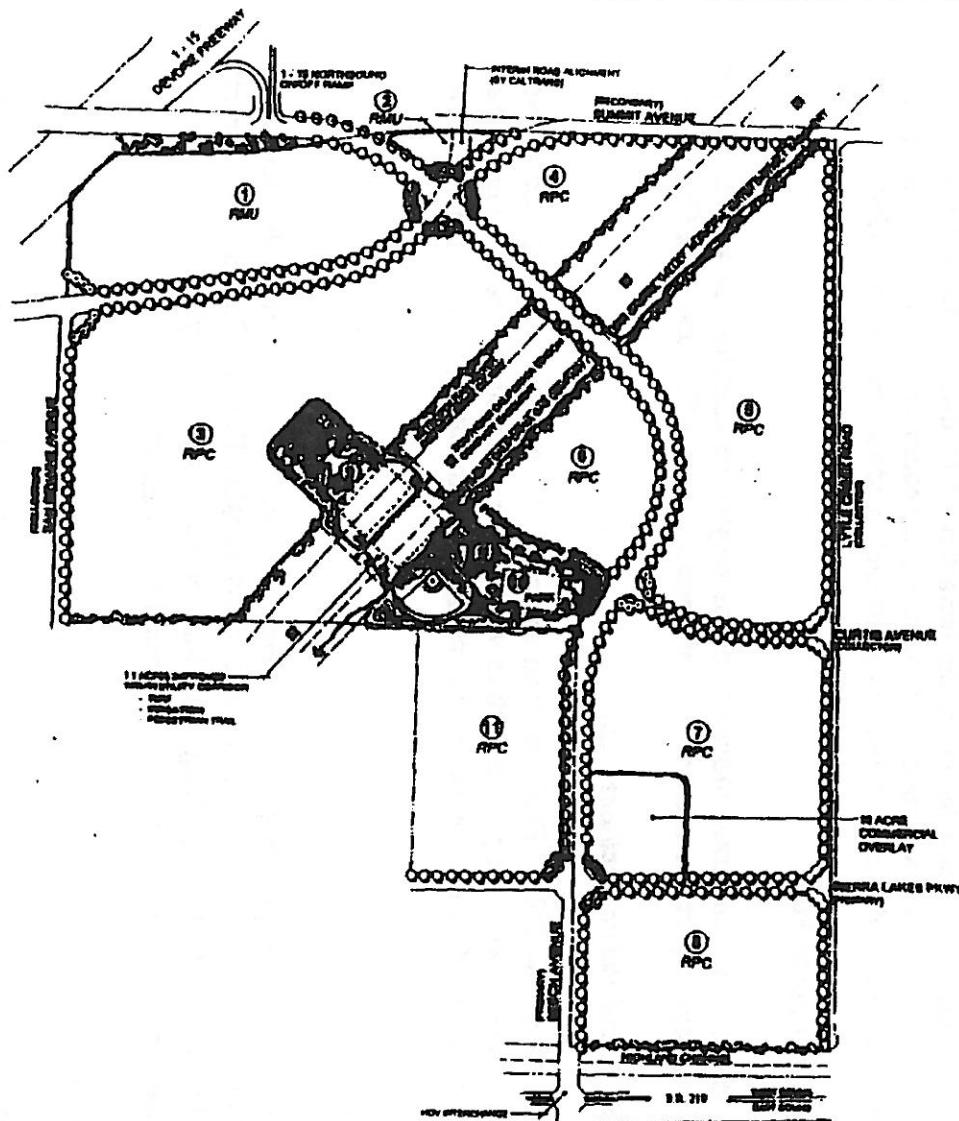
2.2 PROJECT SUMMARY

The Summit Heights Specific Plan (Plan) proposes a development plan mix of single family residential homes, and recreational and commercial land uses. The development plan is designed with the goal of achieving a planned community offering a pleasant residential living environment conveniently located proximate to commercial services which take advantage of the ease of freeway access. The Plan also provides for a development alternative including an eight acre local commercial overlay use within one of the residential planning areas. As part of the proposed development plan, freeway oriented and community serving commercial uses will be located adjacent to the proposed off ramp of the I-15 and Summit Avenue. The Plan provides for approximately 21.3 acres of contiguous recreation and open space area. Exhibit 4, the Summit Heights Land Use Plan describes the proposed development plan.

The Summit Heights Development is comprised of 291-316 gross acres of which 193.71 216.4 acres are proposed by the applicants for development of up to 9501.051 single family detached residential units with a minimum lot size of 6,200 square feet, a potential 10 acre commercial overlay development within one of the residential planning areas, a 27.84 acre freeway oriented and community serving commercial center, a 13.6 acre dedicated public park, and approximately 7.7 acres improved open space and recreational area within the utility corridor. The plan provides for approximately 27.429.7 acres of public perimeter street uses, and includes two parcels comprising a 6.1 acre residential single family area, not owned by the project applicants, and not proposed for development, but which would be zoned for development of single family detached homes with minimum lot sizes of 7,200 square feet.

The plan includes two centrally located neighborhood parks totaling 13.6 acres joined by a 6.2 acre segment of the public utility corridor which the applicant proposes to improve for recreational use. A 25 foot wide bicycle/pedestrian path on approximately 1.5 acres of land

will be developed within the 30 foot wide San Gabriel Valley Municipal Water District easement providing a link between the residential planning areas and the park. This bicycle



SUMMIT HEIGHTS

STATISTICAL SUMMARY

PLANNING AREA	ACRES	MAXIMUM DENSITY (DU/AC)	MAXIMUM TOTAL UNITS
RMU (COMMERCIAL USE)			
1	23.32	-	-
2	2.52	-	-
SUB-TOTAL	27.84	-	-
RPC (SINGLE FAMILY)¹			
3	66.2	4.9	321
4	11.2	5.0	56
5	42.4	4.9	207
6	15.9	4.8	77
7	35.9	4.8	172
8	22.1	5.3	117
SUB-TOTAL	216.4	-	1051
PARK			
9	3.6	-	-
10	10.0	-	-
SUB-TOTAL	13.6	-	-
OTHER USES			
ARTERIAL STREETS	29.71	-	-
UTILITY CORRIDORS ²	20.45	-	-
SUB-TOTAL	50.16	-	-
GRAND TOTAL	316.09	-	1051

FOOTNOTES:

1. RPC ACRES IS DEFINED AS ACRES INCLUDING LOCAL STREETS AND LANDSCAPE BASIN, BUT EXCLUDING ARTERIAL STREETS AND UTILITY CORRIDOR.

2. 7.7 ACRES TO BE DEVELOPED AS PARKLAND.

Land 1

SECTION 3 EXISTING CONDITIONS

3.1 SITE HISTORY

The Summit Heights Specific Plan site is vacant, undeveloped land comprised of three private property ownerships as described in Exhibit 5. The two principal property owners are Lewis and HJJV, who collectively own approximately 262.55 gross acres. ~~Approximately 6.1 gross acres are owned by McNay. 25.0 gross acres are owned by Forecast Homes. Prior to Specific Plan Amendment No. 1, application for development approvals associated with this Specific Plan pertained only to the properties owned by Lewis and HJJV. The acreage Approximately 6.1 gross acres within Planning Area 11 were owned by McNay is and included in the Specific Plan boundaries in keeping with the City of Fontana General Plan policy to master plan in-fill areas along with larger Specific Plan projects. The McNay property, however, is was not originally part of the Summit Heights Development as defined in Section 1, and will be subject to the City of Fontana Zoning and Development Code requirements for development of 7,200 square foot lots. Implementation of Specific Plan Amendment No. 1 expands Planning Area 11 to 25.0 gross acres, with a minimum lot size of 6,200 square feet and maximum of 101 units.~~

The project site was zoned for agricultural use by the County, prior to the annexation of the property by the City of Fontana. The agricultural zoning classification for the site was carried over by the City of Fontana after City incorporation and annexation of the area. In 1990, the City of Fontana adopted a new General Plan which provided new residential and commercial General Plan land use designations for the project site, providing the opportunity for development applications, including zoning consistent with the General Plan, to be approved by the City.

Until approximately the late 1940's or early 1950's the project site was used for agricultural use, predominantly as vineyards. After the early 1950's, the project site was no longer cultivated and has remained fallow for approximately the past 47 years.

General Plan and Zoning

The 1990 City of Fontana General Plan designated the property as Residential Planned Community (RPC), Regional Mixed Use (RMU), and Community Mixed Use (CMU). ~~A provision within the General Plan also provided for the opportunity to incorporate reduced lot sizes (6,200 s.f.) in the event the Applicant were to provide an Extraordinary Amenity. These land use categories permit the development of the following :~~

Residential Planned Community (RPC)

The RPC land use designation permits development of Detached Single Family Residential uses from 4.35 to 7.0 dwelling units per net acre with a minimum lot size of 10,000 square feet. The General Plan provides for minimum lot sizes of 7,200 square

3.2 PHYSICAL SITE CONDITIONS

The Summit Heights Specific Plan proposes a development which addresses existing physical site conditions. The project site is gradually sloping with an approximate 2.3% slope from the northeast to the southwest. The project site is bisected by a 450 foot wide public utility corridor. Within this corridor lies a 250 foot wide Southern California Edison easement, a 100 foot wide Metropolitan Water District right of way, and a 100 foot wide Southern California Gas Company easement, 30 feet of which is also encumbered by a San Gabriel Valley Municipal Water District easement, with underlying fee title held by the private property owners.

The project site is bounded on the south by Highland Avenue (and will be bounded by the proposed Highland Channel and State ~~Route 30~~S.R. 210), on the east by Lytle Creek Road, on the north by Summit Avenue, and on the west by San Sevaine Avenue. The ultimate right of way for ~~State~~Route 30 ~~210~~ has been established and acquired by CalTrans and construction of the segment of ~~Route 30~~S.R. 210 adjacent to the project site is scheduled to commence in 1998.

3.3 SURROUNDING CONDITIONS

3.3.1 EXISTING LAND USE

The existing surrounding land uses adjacent to the project site include single family residential easterly of Lytle Creek Road and northerly of ~~Carter Avenue~~Sierra Lakes Parkway with vacant land to the north, west, and south of the project site.

3.3.2 PROPOSED LAND USE

Future master planned community uses immediately adjacent to the project site have been approved by the City in the form of the California Landings Specific Plan located to the south of the project site and the Westgate Specific Plan adjacent to the project site on the north, south, and west. These Specific Plans include single family residential, single family attached residential, and commercial uses. Other approved planned communities surrounding the Summit Heights Specific Plan area include Sierra Lakes, Morningside, Hunter's Ridge, and Rancho Fontana. The locations of the surrounding and adjacent approved Specific Plans and Community Plans are illustrated on Exhibit 6. The following is a summary of the land uses approved in the adjacent Planned Communities of Westgate and California Landings.

Westgate Specific Plan

The Westgate Specific Plan is located to the north, west, and south of the Summit Heights Specific Plan area. The Summit Heights Specific Plan is immediately adjacent to Westgate on the northerly, westerly and southerly boundaries.

LEGEND

- [Dotted Pattern] CALIFORNIA LANDINGS
- [Cross-hatch Pattern] HUNTER'S RIDGE
- [Dotted Pattern] MORNINGSIDE
- [Horizontal Lines Pattern] RANCHO FONTANA
- [Cross-hatch Pattern] SIERRA LAKES
- [Solid Black] SUMMIT HEIGHTS
- [Horizontal Lines Pattern] WEST END
- [Dotted Pattern] WESTGATE

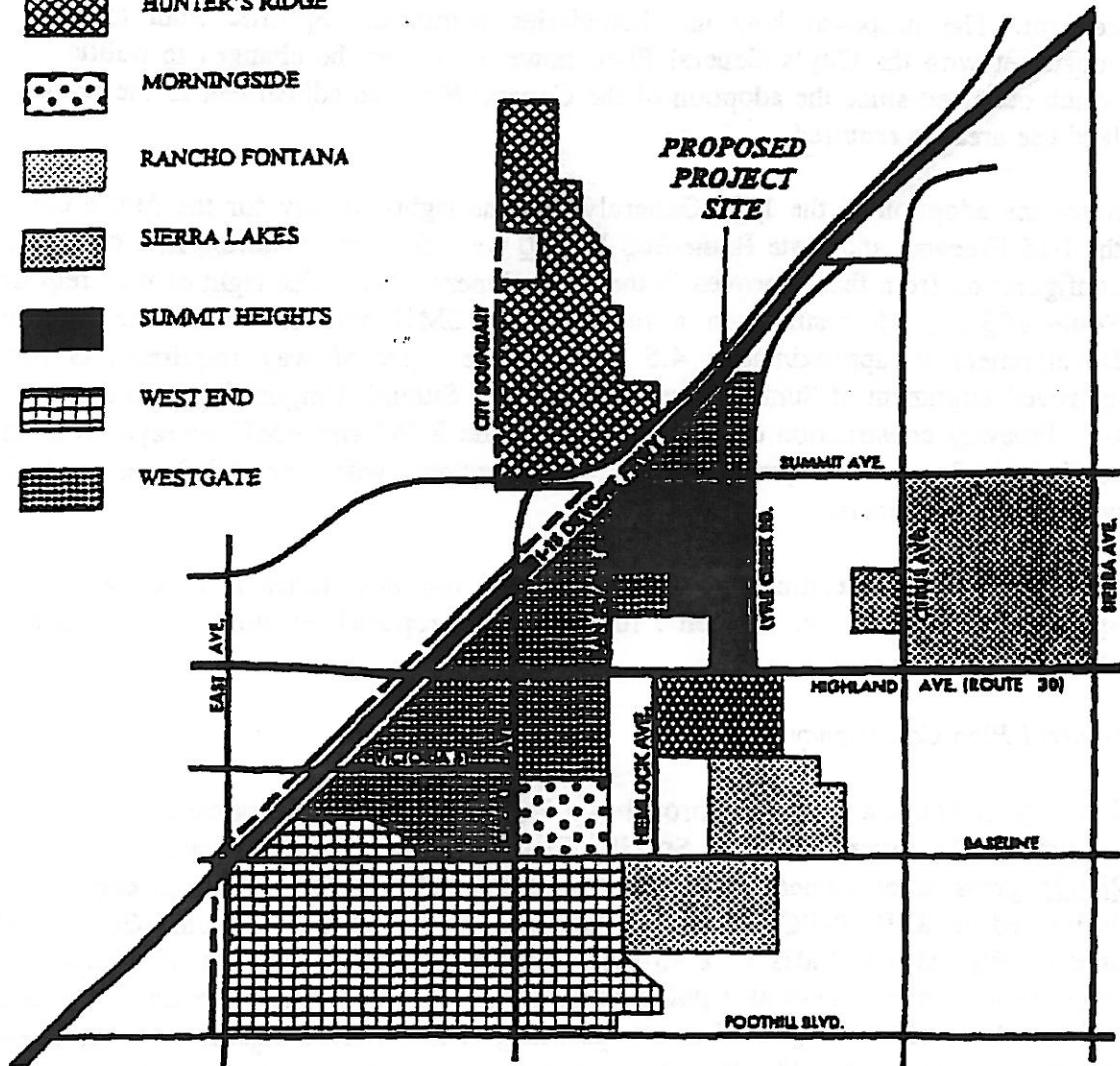


Exhibit 6
Surrounding Approved Specific Plans

Residential Planned Community (R-PC)

For Specific Plan projects the maximum residential density is 7.0 dwelling units per net acre with a minimum lot size of 6,200 square feet when an extraordinary amenity, as defined by the General Plan, is provided as part of the project. If an extraordinary amenity is not provided, the minimum lot size in a Specific Plan area is 7,200 square feet.

The Summit Heights Development proposes the development of ~~950~~^{1,051} single family detached residential units with a minimum lot size of 6,200 square feet. In accordance with the policies of the City of Fontana General Plan, an extraordinary amenity subject to approval by the City of Fontana, is proposed in exchange for the approval to develop 6,200 square foot lots. The extraordinary amenity will be approved as part of a Development Agreement to be approved by the City. In the event the applicant and the City do not agree on the specific terms and conditions for the development of the extraordinary amenity, the applicants propose the development of single family residential lots with a minimum area of 7,200 square feet.

A ten (10) acre commercial overlay zone is proposed for the northeast corner of Beech Avenue and ~~Carter Avenue~~^{Sierra Lakes} Parkway within Planning Area 7 of the Summit Heights Specific Plan. This location at the intersection of two primary arterials offers the potential for a smaller neighborhood commercial center for retailers such as a grocery store, convenience market, drugstore, video store, dry cleaners, photo shop, and other similar uses.

Development of commercial uses in Area 7 will occur only if the market will support such a development. Proposed development of the commercial overlay site will require submittal by the applicant to the City appropriate economic information to demonstrate the economic viability of commercial use at this location. If the commercial overlay is not utilized, single family residential lots will be developed in this location. Development of residential lots in this area will be within the maximum number of units established in the Summit Heights Specific Plan.

Proposed General Plan Amendment

Change CMU to RP-C

A General Plan Amendment is requested to convert the existing CMU area to R-PC due to the constraints imposed on the CMU area by the acquisition of right of way for the ~~Route 30 S.R.~~²¹⁰ Freeway. As a result of the ~~Route 30 S.R.~~²¹⁰ right of way acquisition, the existing CMU area has been reduced to approximately 4.5 acres. This acreage is not a suitable size for Community Mixed Use development. Additionally, the configuration of the CMU area is inadequate for commercial development and access to the parcel is limited. This area is suitable for residential use and will be included in the adjacent RPC land use designation. For these reasons, this 4.5 acre area is proposed for RPC land use designation, and the Summit Heights Specific Plan application includes a request for a General Plan Amendment.

SECTION 4 PLAN ELEMENTS

4.1 INTRODUCTION

The proposed Summit Heights Development Area ~~comprises comprised of 316.291-258.58 acres of the 297.1316 acre Summit Heights Specific Plan area~~ and is located in the northwesterly portion of the City of Fontana. The remainder of the Specific Plan area is comprised of the 6.1 acre McNay property. The Development Area combines residential, commercial, and recreational land uses into a comprehensive master plan of development. The Summit Heights land use plan, as depicted in Exhibit 8 below, is designed to respond to both on-site and off-site conditions, as well as anticipated market conditions. Summit Heights will provide quality housing opportunities for home buyers within a pleasant master planned setting. This setting offers a strong community identity for residents and visitors to Summit Heights, through a unified approach to the community's architecture, landscape theme, signage and other community elements. In addition, the master plan also provides for the necessary public facilities and improvements to support project development.

SUMMARY

PLANNING AREA	LOT SIZE	ACRES	MAXIMUM DENSITY (NET DU/ AC)	MAXIMUM TOTAL UNITS
RMU (COMMERCIAL USE)				
1	N/A	25.32	-	-
2	N/A	2.52	-	-
SUB-TOTAL		27.84		
R-PC (SINGLE FAMILY) (1)				
3	6,200 SF	66.2	4.9	321
4	6,200 SF	11.2	5.0	56
5	6,200 SF	42.4	4.9	207
6	6,200 SF	15.9	4.8	77
7	6,200 SF	35.9	4.8	172
8	6,200 SF	22.1	5.3	117
SUB-TOTAL		492.71		950
R-PC (SINGLE FAMILY) (2)				
11 (Parcels A&B)	7,200 SF 6,200 SF	6.122.772.7		101
SUB-TOTAL		6.122.772.7		1,051
PARK				
9		3.6		
10		10.0		
SUB-TOTAL		13.6		
OTHER USES				
PUBLIC ARTERIAL STREETS		27.428.729.71		
UTILITY CORRIDOR (2)		28.45		
SUB-TOTAL		55.857.1538.16		
GRAND TOTAL		297.2316.00		9501.051

FOOTNOTES

1. REPRESENTS NET ACRES WHICH INCLUDES LOCAL STREETS AND LANDSCAPE EASMENTS.
2. GROSS ACREAGE FOR MANY PARCELS IS INCLUDED FOR SPECIFIC PLAN PURPOSES ONLY BUT IS NOT A PART OF SUMMIT HEIGHTS DEVELOPMENT AREA AS DERIVED IN SECTION I. DEVELOPMENT LIMITED TO 7,200 SQ. FT. LOTS.
32. 7.7 ACRES TO BE DEVELOPED AS PARKLAND.

4.2 LAND USE

4.2.1 RESIDENTIAL

The residential land uses comprise the largest single land use within Summit Heights, totaling nearly 199.81 216.4 acres, of which 193.7 acres are proposed for as the Summit Heights Development. The remaining 6.1 gross acres are not a part of the Development Area, and currently, there is no development plan proposed for this area as part of the Specific Plan. The Specific Plan proposes the development of 950 1,051 single family lots with a minimum lot size of 6,200 square feet within the Summit Heights Development Area. The R-PC residential areas are depicted on Exhibit 9.

The decision to provide 6,200 square foot lots is based primarily upon real estate forecasts which indicate a relatively strong demand for all levels of single family housing into the foreseeable future. In exchange for the proposed 6,200 square foot lots, the master developer will contribute toward the development of an off-site extraordinary amenity as defined in the City of Fontana General Plan. If, however, such off-site extraordinary amenity is not agreed upon by the City and the project applicants, then 7,200 square foot lots not to exceed 850 units, would be developed within the Development Area instead.

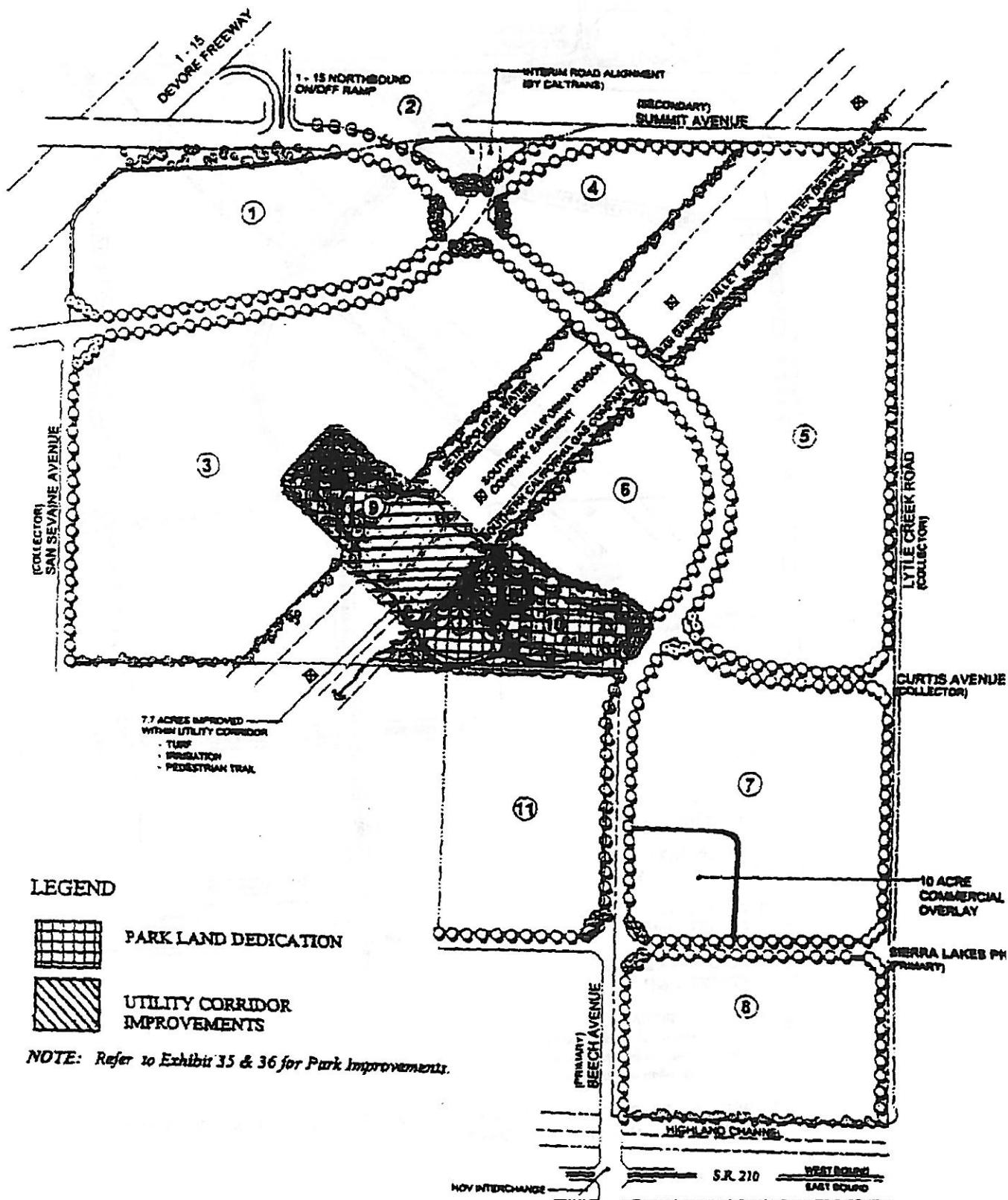
4.2.2 COMMERCIAL

Summit Heights is strategically located adjacent to the I-15 (Devore Freeway), providing an excellent opportunity for the development of a regionally serving, freeway oriented commercial retail center proximate to this busy interstate transportation corridor. Situated at the base of the proposed Summit Avenue freeway exit, two parcels provide a total of 27.84 acres devoted to commercial use. Potential tenants of these parcels would include "big-box" users such as home improvement stores or home furnishing, discount, and apparel stores, as well as community supporting retail services such as supermarket/drug store outlets, restaurants, banks, service stations, and other similar facilities.

This commercial component of Summit Heights, with its prominent visibility from I-15, provides many benefits to the City of Fontana. Foremost is the enhanced economic value that the increased sales tax revenue will bring to the City. This increased revenue stream will, in turn, offset the costs of providing services to the remaining residential portions of the master planned community. In addition, the provision of commercial development on-site reduces the number of automobile trips generated to and from the site, which would otherwise be necessary for residents of Summit Heights.

In addition to the community commercial sites, a commercial overlay of approximately 10 acres is included as a development plan alternative and is proposed as part of this Plan. Located at the northeast corner of Beech Avenue and ~~Carter Avenue~~ Sierra Lakes Parkway, this commercial center would be neighborhood serving providing for the day to day retail and service needs of area residents. Potential tenants of the commercial center could include a convenience store, grocery store, drug store, or hardware store, as well as neighborhood serving services such as bakeries, dry cleaners, and other similar facilities.

The land use areas allocated to Regional Mixed Use and Local Commercial uses are described in Exhibit 10.



4.3.1 VEHICULAR CIRCULATION

The vehicular circulation system is comprised of a hierarchy of roadways including Primary Highways (104 foot R.O.W.), Secondary Highways (92 foot R.O.W.), Collector Streets (68 foot R.O.W.), Local Perimeter Streets (64 foot R.O.W.), and Local Streets (ranging from a 50 to a 54 foot R.O.W.). The right of way provided for primary, secondary and collector level roadways meets the standards approved by the City's General Plan. In order to accommodate a unique community design theme along these roadways and provide a unifying design element for the Planned Community, an additional 10 foot landscaped setback area is provided on either side of these roadways behind the right of way line.

The community design elements within the rights of way and landscaped easements are described in detail in Section 5 of the Specific Plan. The Primary and Secondary Highways are intended to carry higher volumes of traffic based upon regional needs, leaving the collector and local streets to carry smaller traffic volumes serving individual neighborhoods and residences. As a result, the residential areas become quiet places providing a pleasant and desirable neighborhood environment with minimal traffic intrusion.

Primary Highways

Primary Highways are designed primarily to move regionally oriented traffic safely and efficiently between the various points of ingress and egress of Summit Heights, particularly the adjacent I-15 and Route 30S.R. 210 freeways.

The Primary Highways have a right-of-way dimension of 104 feet with two travel lanes in each direction separated by a raised and landscaped median. Left-turn pockets are provided at intersections and right-turn pockets are provided where warranted. In addition, a landscaped parkway is provided adjacent to each curb lane and a landscaped setback area of 10 feet is provided on each side between the back of sidewalk and property line walls.

The Primary Highways within Summit Heights include the following streets:

- Beech Avenue between Highland and Summit Avenue
- ~~Carter Ave~~ Sierra Lakes Avenue between Lytle Creek Road and westerly project site boundary

Exhibit 13 which follows, illustrates the proposed roadway right-of way design for Primary Highways within Summit Heights.

Local Streets

Local streets are designed to achieve a small neighborhood scale while moving traffic from nearby Collectors to individual residences. Lytle Creek Road between ~~Carter Avenue~~ ~~Sierra Lakes Parkway~~ and ~~Route 30 S.R. 210~~ right of way will be a local street.

The typical right-of-way dimension for Local Streets is 54 feet, consisting of one travel lane in each direction with curb parking permitted. Cul-de-sacs up to 650 feet in length and short loop streets are considered Short Locals, and have a right-of-way dimension of 50 feet. Exhibit 16 below illustrates the proposed right-of-way for local streets within Summit Heights.

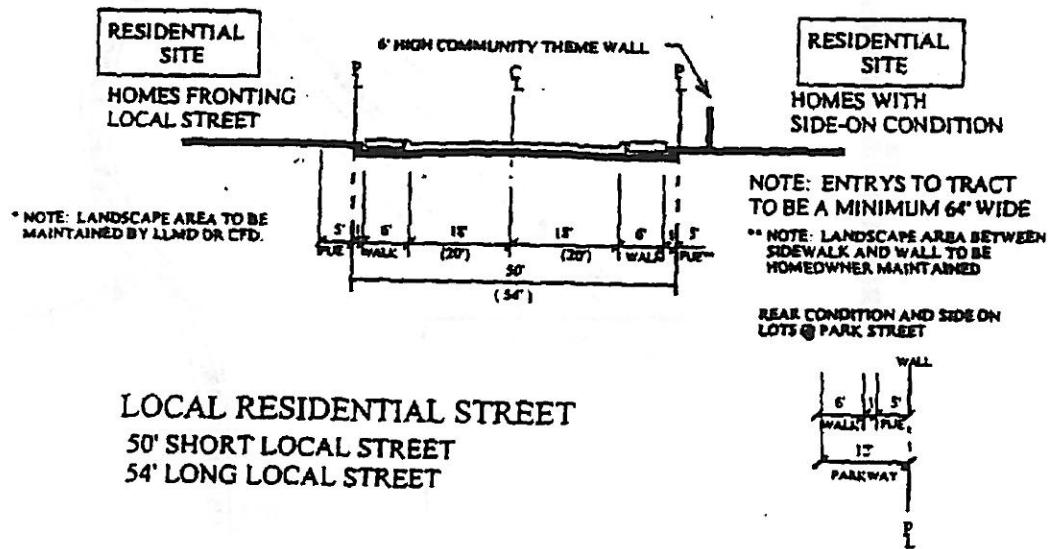


Exhibit 16
Local Residential Street

4.4.2 SANITARY SEWER

Existing Conditions

The City of Fontana provides sanitary sewer service in the City of Fontana. The City will be responsible for the sanitary sewer system in Summit Heights, including engineering plan checking and approval, inspection, and maintenance of these public facilities. Improvements to the system as part of the proposed project will be constructed according to the City of Fontana's Sewer Master Plan.

The City's sewage system is connected to Inland Empire Utilities Agency (formerly Chino Basin Municipal Water District) interceptor lines and sewer treatment plants. According to the City, sewage discharge from Summit Heights is slated to be treated at Inland Empire Utilities Agency Regional Plant No. 4 (RP-4) located on Etiwanda Avenue, south of Arrow Highway, under contract with the City.

Proposed Sewer System Improvements

Two points of connection to City sewer trunk lines are needed for the project. The 15" Beech Avenue Master Plan sewer has been extended to the ~~southerly boundary of the Highland Avenue~~ ~~Sierra Lakes Parkway~~ right of way as part of the ~~development of the California Landings Specific Plan area~~ ~~State Route (S.R.) 210 Freeway project~~. ~~Sierra Lakes Parkway includes an 8" sewer line extending adjacent to the southern boundary of the site~~. Summit Heights will join the sewer at this location and extend it through the project as required.

A second connection is needed at the southwest corner of Summit Heights, at San Sevaine Avenue, to accommodate the westerly portion of the project. Off-site portions will be constructed by the Westgate Project and/or by the Summit Heights developer, as needed. This sewer main will be connected to the existing 21" trunk sewer within Cherry Avenue following an alignment from Cherry Avenue easterly along South Highland Avenue to San Sevaine Avenue and then northerly along San Sevaine Avenue to the southwest corner of the project. Final engineering will be necessary to determine the size of these off-site sewer mains. The installation of this line will be required for both the Westgate Specific Plan and the Summit Heights Specific Plan. In the event the development of Summit Heights proceeds prior to the development of Westgate and the entire line is constructed by the developers of Summit Heights, a reimbursement agreement with the City will be executed to the benefit of the Summit Heights developers.

Within the Summit Heights Planned Community, 8" sewer mains are proposed. The project developer will be responsible for all required in-tract sewer system improvements necessary to serve the proposed project. These improvements are illustrated in Exhibit 18.

4.4.3 STORM DRAINAGE

Existing Conditions

The Summit Heights Specific Plan area is located on gently sloping undeveloped terrain with a uniform slope of approximately 2.3%. The property slopes in a southerly/southwesterly direction from Summit Avenue at an elevation of approximately 1600 feet to Highland Avenue at an elevation of approximately 1,475 feet.

An existing open channel along the north side of Summit Avenue intercepts storm flows from the undeveloped property to the north, and discharges this flow into the existing Hawker Crawford Channel on the west side of the I-15 freeway, thus providing flood protection for the Summit Heights property. In a north-south alignment, existing ditch swales (adjacent to Lytle Creek Road, San Sevaine Avenue and midway between those two streets, together with sheet flow across the entire property) conduct the storm water run-off from undeveloped property toward Highland Avenue. At Highland Avenue, existing ditch swales conduct minor flows westerly, while drainage from more intense storms would flow across Highland Avenue and continue in a southerly/southwesterly direction.

Proposed Storm Drain Infrastructure

Summit Heights will be developed in accordance with the City of Fontana Master Plan of Drainage. State Route 210/Route 30, extending in an east-west alignment along Highland Avenue, has begun construction by CalTrans. Part of the Route 30/S.R. 210 improvements include an open channel (Highland Channel) along it's north side. This facility conveys 100 year storm flows from tributary areas northerly to Summit Avenue. Master Plan Storm Drains connecting to the Highland Channel are proposed within San Sevaine Avenue and Beech Avenue. The Master Plan Storm Drains in San Sevaine Avenue and Beech Avenue are intended to carry the 25 year storm event, and the 100 year flow will be carried within the street right of way. At the downstream end of both San Sevaine and Beech Avenues north of the Highland Channel, however, the Master Plan Storm Drains must intercept and deliver the total 100 year storm flow to the Highland Channel.

Along with the S.R. 210/Route 30 construction, CalTrans is proposing to construct a 60" diameter storm drain stub within San Sevaine Avenue. CalTrans is also proposing to construct a 60" diameter storm drain within Beech Avenue from the Highland Channel northerly to Carter Avenue/Sierra Lakes Parkway. A 36" diameter storm drain within Sierra Lakes Parkway is proposed to extend in a westerly direction, adjacent to Summit Heights. The project developer will extend the required Master Plan Storm Drains within San Sevaine Avenue and Beech Avenue to serve all areas within this development. In addition, a 25 year Master Plan Storm Drain within Curtis Avenue will be constructed from Beech Avenue easterly to Lytle Creek Road to pick up future development east of Lytle Creek Road and north of the Curtis Avenue extension per the City of Fontana Master Plan of Drainage. The project developer will extend local storm drains from these Master Plan facilities into the proposed planning areas as needed.

The project developer will be responsible for all required in-tract storm drain system improvements necessary to serve the proposed project. The storm drain improvements to be constructed as part of the proposed project are illustrated in Exhibit 19.

Based on the latest CalTrans ~~Route 30S.R. 210~~ construction date projections, the Highland Channel should be complete and ready to accept flows ~~in June of 1999~~July 2001. Coordination shall occur with the San Bernardino County Flood Control District to determine if there is capacity in the San Sevaine Channel for the developed flows from the Summit Heights project. Interim detention basins may be required to limit the developed flows from the Summit Heights project to an acceptable amount determined by the Flood Control District until such time when improvements are made to San Sevaine Channel to accept total developed flows. These basins would be designed as temporary facilities in accordance with City of Fontana standards. Exhibit 20 illustrates potential sites for these temporary basins. As part of Specific Plan Amendment No. 1, an interim temporary detention basins will be provided within the southern portion of Planning Area 11 and off site adjacent to Carter Avenue, Sierra Lakes Avenue, Parkway.

The existing channel on the north side of Summit Avenue will be replaced by a 10'x9' RCB (Reinforced Concrete Basin) according to the Master Plan of Drainage and is anticipated to be constructed as part of the adjacent Westgate Specific Plan. Since the construction of this improvement is only needed when Westgate development north of Summit is completed, the Summit Heights development will not contribute to its construction.

4.4.4 SCHOOLS

Two school districts serve the project site. The Etiwanda Elementary School District will provide education for grades Kindergarten through eighth, and the Chaffey Joint Union High School District will serve students in grades 9 - 12. The Etiwanda School District presently operates the East Heritage Elementary School, located three miles to the south, which could serve the project site. Etiwanda High School, located approximately two miles to the south, could serve the project site for secondary education needs.

The developers of the Summit Heights Planned Community will either pay school fees, pursuant to Government Code Section 65995, or enter into separate agreements with both the Etiwanda School District and the Chaffey Joint Union High School District, within the limits established by State law, to provide for adequate elementary, middle and high school facilities.

4.5 PROJECT PHASING

The phasing of development within the Summit Heights Specific Plan is dependent upon several factors such as market demand, the timing of the construction of ~~Route 30~~State Rouie 210, the associated infrastructure improvements planned as a part of ~~Route 30~~S.R. 210 construction, and the timing and progression of development within the Westgate Specific Plan. All phases of development will provide for adequate circulation improvements and infrastructure to be in place at the time of occupancy of each phase. The detailed alignment and design of the circulation system and infrastructure improvements for each development phase will be addressed during final engineering for each phase as part of subdivision map approvals by the City.

5.2.2 ENTRIES

The Master Plan of Streetscapes and Entries, Exhibit 21, provides for a hierarchy of entry statements at key intersections throughout Summit Heights, which will serve to reinforce its overall community identity through the use of enhanced landscaping and signage. The following guidelines apply to the gateways of Summit Heights, while Exhibits 29 through 32 graphically depict the intended character of these elements.

Primary Community Entry

The primary community entries into the Summit Heights Planned Community are located at the intersections of Beech Avenue and ~~Carter Avenue~~ Sierra Lakes Parkway, and Beech Avenue and Summit Avenue. They are intended to provide a sense of arrival to Summit Heights featuring enhanced landscaping and community identification.

Secondary Community Entry

Similar to the primary community entries, the secondary community entries provide another level of community identification, but at those intersections which are not the major entries to the Planned Community.

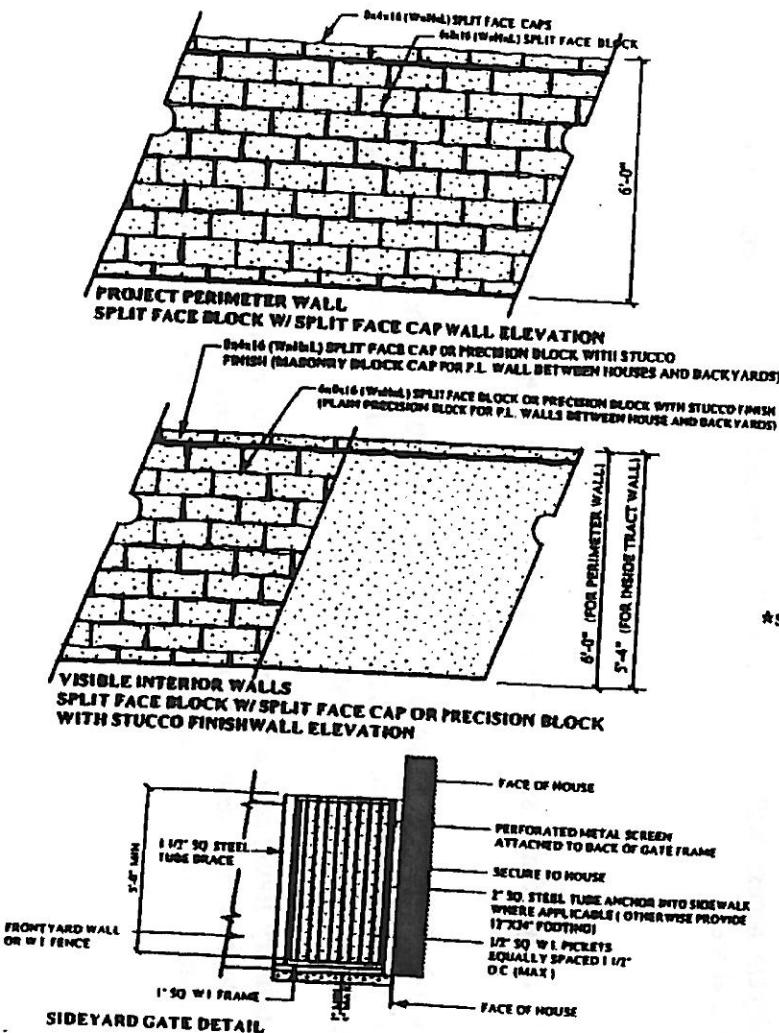
Neighborhood Entry

Neighborhood entries provide monumentation and identification for the different residential areas at a much reduced scale.

Design Elements

The key design elements incorporated into the Master Plan of Streetscapes and Entries include the following:

- Formal rows of trees to provide distant visibility, in conjunction with specimen trees as major design features.
- Entry monumentation pilasters, specimen trees, and/or low signage recalling the architectural elements of the regional landscape character of the surrounding area.
- Screening hedges and / or freestanding walls to define the gateway area.
- Medians planted with flowering accent trees at primary entries and major intersections.
- Scored and/or colored concrete paving at primary intersections.



LEGEND :

— 6'-0" HIGH SPLIT FACE BLOCK W/ SPLIT FACE CAP PERIMETER WALL

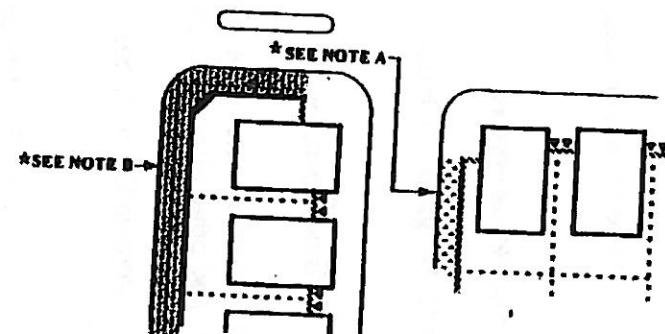
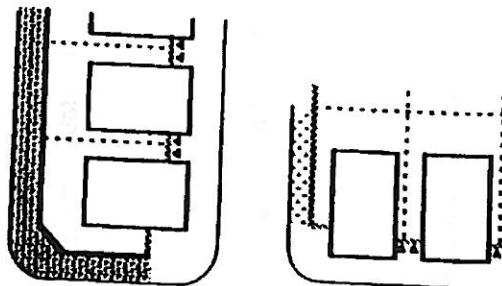
— 5'-0" WALL VISIBLE FROM STREET SHALL BE SPLIT FACE BLOCK OR STUCCO TO MATCH HOUSE

— 5'-0" HIGH PRECISION BLOCK, MASONRY BLOCK CAP INTERIOR WALL

— SIDEYARD GATE, STEEL WITH VIEW OBSTRUCTING MESH

INTERIOR LOT WALL LAYOUT

COMMUNITY THEME
 WALL LAYOUT AND
 ELEVATION



* NOTES:

A. PRIVATE MAINTENANCE WHERE UNITS SIDE ON ABUTTING'S LANDSCAPE/ P.U.E. SETBACK EASEMENT

B. PUBLIC MAINTENANCE WHERE REAR OF LOTS ABUT LANDSCAPE/ P.U.E. SETBACK EASEMENT

5.3.2 ARCHITECTURE

The architectural character envisioned for the residential neighborhoods within Summit Heights is influenced by the elements incorporated into other City approved developments within the North Fontana area. The Design Guidelines establish a framework to achieve harmony and compatibility within the residential neighborhoods while providing the flexibility to create variety in the architectural expression and interpretation of the design styles envisioned for the community. All too often, when designing a new residential community, the majority of the design effort is focused on the individual floor plans and elevations which comprise the project, rather than on the community as a whole.

Given the nature of current community plan projects, however, the community is perceived as a combination of buildings, landscape, walls, and circulation patterns rather than as a series of individual structures. Significant improvement to the project can be made by devoting more attention to the overall fabric of the community, the sequence of adjacencies, and the location of residential units within blocks.

Attention should be given to the fabric of shades and shadows, to the mass and scale of adjacent units, and to the relationship of open spaces. Recessed porches providing shadow, one story elements such as garage eyebrows, extended garages, and porches should be provided to give scale and variety to the streetscape and the neighborhood block.

Residential Architectural Standards

The Summit Heights Planned Community emphasizes the use of design components selected from a variety of sources and styles to encourage architectural creativity and diversity within an overall unifying theme for a community. Architectural character will be enhanced through the use of several different product types in Summit Heights. This will help create a community that appears as if it has been developed over a period of time, rather than simultaneously.

The following section provides architectural guidelines for design elements that are common to the various Summit Heights architectural types and styles. Exhibits 40 through 42 illustrate the Summit Heights residential design elements.

- Design Criteria

~~Neighborhood design should incorporate variety through the use of colors, textures, materials, roof types, massing, scale, variation in products, and the orientation of units and garages on the lot. Also to be incorporated is the current Plotting and Design Criteria as adopted by the Planning Commission.~~

Primary (front) Elevations

For all single family subdivisions a minimum of three elevations per floor plan type shall be required. Four elevations per floor plan shall be required for projects having fewer than three floor plan types. For purposes of calculating elevations, a reverse floor plan shall be considered as a separate elevation as would a variation in garage and unit colors.

Building elevations shall be articulated to create interesting roof lines, strong patterns of shade and shadow, and relief in wall planes.

~~At least one in three homes shall have enhanced architectural features along the front yard elevation as approved by the Planning Commission, including, but not limited to: wood shutters, stone veneer, wood planters, or a combination thereof, or such other enhanced architectural features approved by the Planning Commission on a case-by-case basis.~~

Rear and Side Elevations

~~Rear and side elevations have less impact on the design fabric of a community, except where they are visible to the public as a whole along exposed edges, along main streets or corner lots, or at the edges of the project. Rear and side elevations shall also include design elements such as second floor window trim, where visible from a public thoroughfare or park, to articulate otherwise blank wall planes.~~

Roofs

Roof design has a particular influence on a community street scene. Care should be taken to provide roof articulation with a variety of shapes and materials throughout the Summit Heights Community:

- a. All roofs shall be concrete tile.
- b. Variation in roof forms, colors, and materials shall be utilized to create a sense of individuality and diversity. These shall be compatible with the character of the entire planned community to create a sense of unity and order.
- c. Roof textures (i.e. flat tile, low profile, and barrel tile) and colors shall be varied, yet compatible within the individual neighborhoods.
- d. Roof pitches and forms may vary (4:12 to 6:12) to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the street scene.
- e. Roof additions shall be of the same building materials as main structures.

Chimneys

~~Chimney caps shall be trimmed and painted to complement the major architectural elements of the house.~~

Flashing and Sheet Metal

All flashing and sheet metal shall be painted to match the adjacent building material.

Balconies, Trellises, Patio Covers, Sun Shades, Structures, and Gazebos

All appurtenant structures shall be integrated with the main structure and designed to be consistent with the residential architectural character.

Vents

All vent stacks and pipes shall be colored to match the adjacent roof or wall material. Vent stacks shall be grouped to the side or rear of the roofs and shall avoid extending above the roof ridgeline.

Colors

Color schemes shall be appropriate to the architectural concept. Accent colors shall be used. Color blocking is an acceptable alternative to shape and mass articulation where appropriate. Final color schemes shall be approved during the design review process.

Side Yard Gates

Side yard gates shall be of perforated metal screen construction.

Goal 3.1 A balance of residential, commercial, industrial, open space and recreational land uses which will provide diverse economic, social and cultural opportunities.

Policy

Policy 3.1.1 Encourage the development of a pattern of land uses to establish an economic base which provides sufficient jobs for those who choose to both live and work in Fontana.

Policy 3.1.3 Encourage the development of office/commercial/industrial activity centers linked by arterial highway corridors.

Policy 3.2.1 Locate different land uses and provide adequate buffering of land uses to minimize potential adverse conflicts between land uses.

Specific Plan Consistency

The proposed land use plan and General Plan amendments will meet the goals and objectives of the General Plan as follows:

The Summit Heights Specific Plan proposes a mix of land uses within land use planning areas which are logically defined by major arterials and which respond to the market opportunities afforded by the adjacent I-15 and proposed ~~Route 30S.R.~~ 210 freeways. Commercial land uses are located within a contiguous planning area adjacent to I-15 providing opportunities for office and retail commercial development to both serve the professional and commercial needs of the community as well as providing jobs for residents. The proposed separation of commercial and residential land uses by the major arterial, Summit Avenue, provides adequate buffering to minimize potential adverse conflicts between uses.

The Summit Heights Specific Plan proposes a mix of residential, recreational, and commercial land uses designed with the goal of achieving a planned community offering a pleasant residential living environment conveniently located proximate to commercial services which take advantage of the ease of freeway access.

A.2 Land Use Development Criteria

Policy

The City's General Plan establishes a minimum lot size of 10,000 square feet for all residential lots within the City except in the case of a Specific Plan area where the minimum permitted lot size is 7,200 square feet. The General Plan furthermore provides that with the provision of an "extraordinary amenity" within a Specific Plan, the minimum permitted lot size is 6,200 square feet. The General Plan defines "extraordinary amenity" as:

Ordinance No. _____

AYES:

NOES:

ABSENT:

ABSTAIN:

City Clerk of the City of Fontana

Mayor of the City of Fontana

ATTEST:

City Clerk of the City of Fontana

PROOF OF PUBLICATION (2015.5 C.C.P.)

State of California
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, July 19, 2001.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 19th day of July.

Signature

This space is for the
County Clerk's stamp

SUMMARY OF PROPOSED ORDINANCE NO. 1352 P.O.# 02-0B003

**CITY OF FONTANA
FONTANA, CALIFORNIA**

**SUMMARY OF PROPOSED
ORDINANCE NO. 1352**

NOTICE IS HEREBY GIVEN
that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, August 7, 2001, in the City Hall Council Chambers, 8353 Sierra Avenue, will consider adoption of Ordinance No. 1352, an Ordinance of the City of Fontana, approving Specific Plan Amendment #00-005 (Summit Heights Specific Plan Amendment #1), to increase the acreage of Planning Area 11 from 6.1 acres to 25 acres; designate planning Area 11 as a Single-Family Residential, and revise Summit Heights Specific Plan as it relates to Planning Area 11.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

**CITY COUNCIL OF THE
CITY OF FONTANA**
David R. Eshleman, Mayor

Beatrice Watson
City Clerk

**Publish: July 19, 2001
P.O.# 02-0B003**

FONTANA HERALD NEWS
16981 Foothill Boulevard, Suite N
P.O. Box 549
Fontana, California 92334
Phone (909) 822-2231 Fax (909) 355-9358

X2
8/16/1
ORDINANCE NO. 1353

**AN ORDINANCE OF THE CITY OF FONTANA
APPROVING ZONE CHANGE #00-004 TO CHANGE THE
LAND USE DESIGNATION FROM "R-1, 10,000" TO
"SUMMIT HEIGHTS SPECIFIC PLAN" SINGLE-FAMILY
RESIDENTIAL.**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

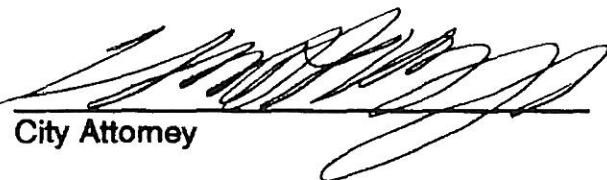
Section 2. Zone Change #00-004 is consistent with the goals and policies of the General Plan.

Section 3. Zone Change #00-004 is hereby approved and the land use designation will be changed from "R-1, 10,000" (Single-Family Residential – 10,000 square foot minimum lot size) to "Summit Heights Specific Plan" (Single-Family Residential) for parcels 0226-134-03, 0226-134-04 and 0226-134-05 as shown on Exhibit "A".

Section 4. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 7th day of August, 2001.

READ AND APPROVED AS TO LEGAL FORM:


City Attorney

XX3

8/19/03

ORDINANCE NO. 1430

**AN ORDINANCE OF THE CITY OF FONTANA APPROVING
SPECIFIC PLAN AMENDMENT #03-003 (SUMMIT HEIGHTS
SPECIFIC PLAN AMENDMENT #2) TO ADD A COMMERCIAL
SIGN PROGRAM TO THE SUMMIT HEIGHTS SPECIFIC PLAN.**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game de Minimis Impact Findings, and direct staff to prepare and file a Notice of Determination.

Section 2. Specific Plan Amendment No. 03-003 is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment No. 03-003 is hereby approved and adds a commercial sign program to the Summit Heights Specific Plan as shown on Exhibit "A" placed at the appendix section of the Summit Heights Specific Plan.

Section 4. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in the Herald News, a newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 19th day of August, 2003.

READ AND APPROVED AS TO LEGAL FORM:



City Attorney

**AN ORDINANCE OF THE CITY OF FONTANA APPROVING
SPECIFIC PLAN AMENDMENT #03-007 (SUMMIT HEIGHTS
SPECIFIC PLAN AMENDMENT #3), AN AMENDMENT TO
THE SUMMIT HEIGHTS SPECIFIC PLAN AND SIGN
PROGRAM**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:

Section 1. Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Section 2. Find Specific Plan Amendment #03-007 is consistent with the goals and policies of the General Plan.

Section 3. Specific Plan Amendment #03-007 is hereby approved and the Summit Heights Specific Plan is hereby amended as per the Attachment A.

Section 4. Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

Section 5. This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 3rd day of February, 2004.

READ AND APPROVED AS TO LEGAL FORM:



City Attorney

X5

7/17/01

A RESOLUTION APPROVING GENERAL PLAN AMENDMENT #00-001, AN AMENDMENT MODIFYING LAND USES IN THE RANCHO FONTANA SPECIFIC PLAN; GENERAL PLAN AMENDMENT #00-006, AN AMENDMENT TO CHANGE THE LAND USE DESIGNATION OF THE NEW PLANNING AREA 11 IN THE SUMMIT HEIGHTS SPECIFIC PLAN; AND GENERAL PLAN AMENDMENT #00-007, AN AMENDMENT TO THE LAND USE POLICY MAP TO CHANGE THE GENERAL PLAN FROM R-E (RESIDENTIAL ESTATES) TO R-PC (RESIDENTIAL PLANNED COMMUNITY) AND MODIFY THE LAND USE ELEMENT FOR THE COYOTE CANYON SPECIFIC PLAN

WHEREAS, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on October 23, 2000, June 25, 2001, and May 30, 2001 considered General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 respectively; and

WHEREAS, on October 23, 2000, June 25, 2001, and May 30, 2001, the Planning Commission recommended to the City Council that General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 be approved; and

WHEREAS, Notice of the City Council public hearing concerning General Plan Amendment #00-001, General Plan Amendment #00-006, and General Plan Amendment #00-007 was given pursuant to the Government Code by publication in The Herald News, a newspaper of general circulation within the City, on June 28, 2001.

NOW THEREFORE, be it resolved, determined, and ordered by the City Council of the City of Fontana as follows:

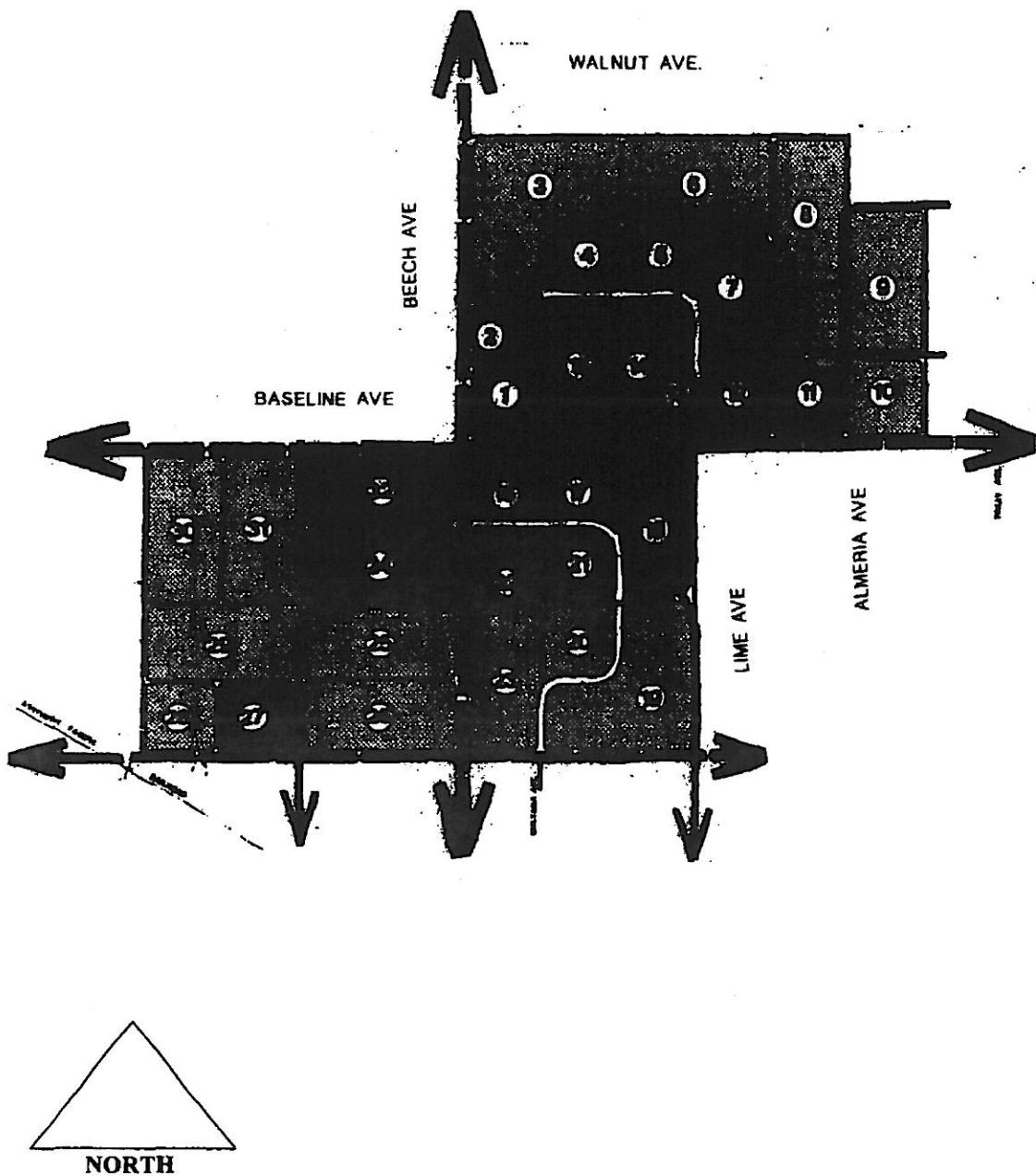
Section 1. The General Plan designations for the Rancho Fontana Specific Plan shall be amended per Specific Plan Amendment #00-001 (Rancho Fontana Specific Plan Amendment #7), General Plan Amendment #00-001, and per Attachment A.

Section 2. The General Plan designations for the Summit Heights Specific Plan shall be amended per Specific Plan Amendment #00-005 (Summit Heights Specific Plan Amendment #1), General Plan Amendment #00-006, and per Attachment B.

Section 3. The General Plan designations for the Coyote Canyon Specific Plan shall be per Specific Plan #00-002 (Coyote Canyon Specific Plan), General Plan Amendment #00-007, and per Attachment C.

PLANNING DIVISION

CITY OF FONTANA



ATTACHMENT A

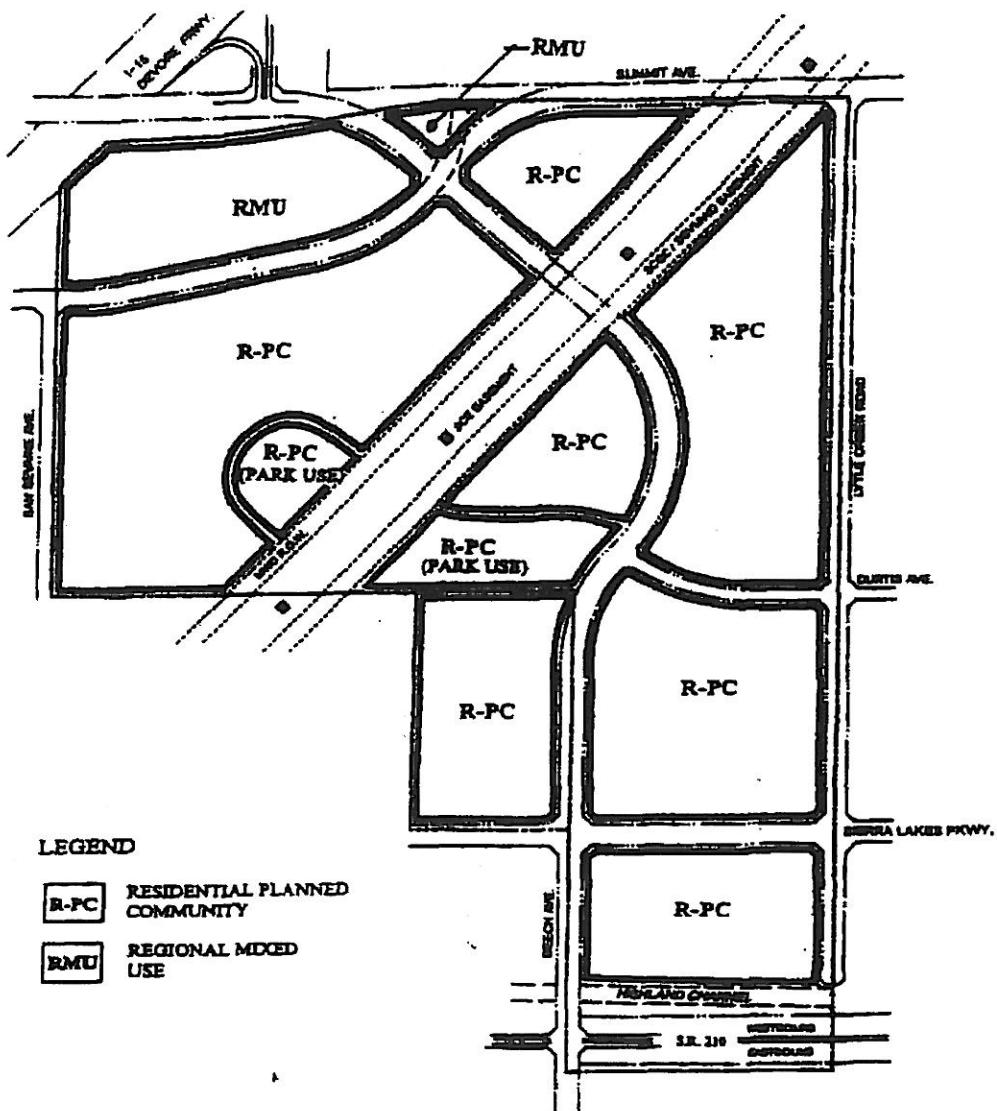
(Rancho Fontana Specific Plan)

DATE: July 17, 2001

CASE: General Plan
Amendment #00-001

PLANNING DIVISION

CITY OF FONTANA



ATTACHMENT B

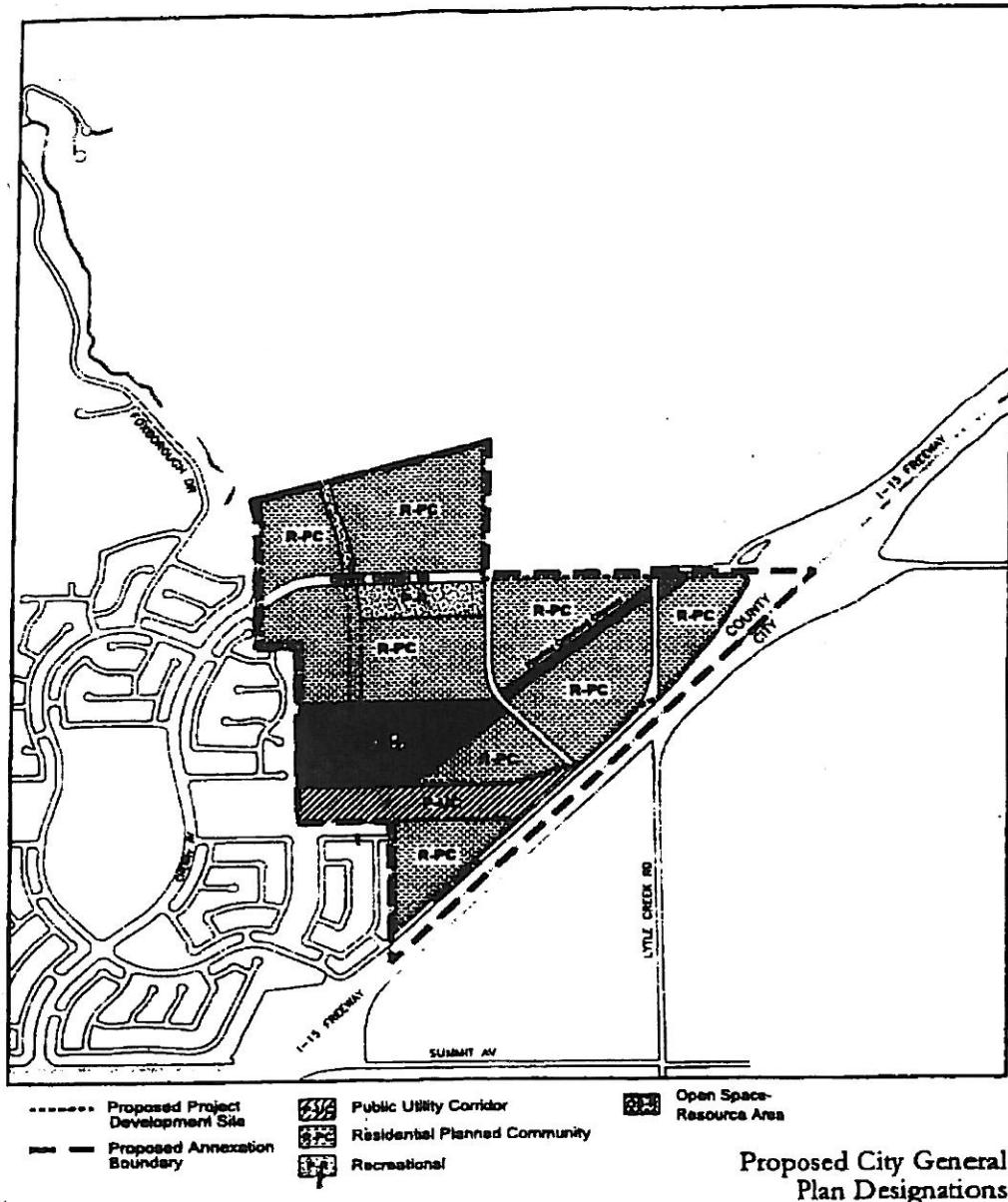
(Summit Heights Specific Plan)

DATE: July 17, 2001

CASE: General Plan
Amendment #00-006

PLANNING DIVISION

CITY OF FONTANA



ATTACHMENT C

(Coyote Canyon Specific Plan)

DATE: July 17, 2001

CASE: General Plan
Amendment #00-007

SUMMIT HEIGHTS GATEWAY REVISED SIGNAGE CRITERIA

I. GENERAL INFORMATION:

The intent of these sign criteria is to provide the guidelines to achieve a visually coordinated, balanced and appealing sign environment, harmonious with the architecture of the project, while maintaining provisions for individual graphic expression. The sign regulations herein have been established for the purpose of achieving the best possible effect for store identification, while allowing each Tenant creativity within the limit of their leasehold.

II APPROVALS:

A. It is a mandatory requirement that the design and construction of Tenant's exterior signs receive written approval by Lewis Retail Centers prior to fabrication and installation. For the purpose of the document "Lewis Retail Centers" will from hereon to be known as "Landlord".

Landlord's approval shall be based on:

1. Conformity to the sign criteria established for the center, including the fabrication and method of installation.
2. Final approval upon viewing of final sign installed, making sure plans submitted and approved were followed.
3. Landlord has the specific right to refuse approval of any sign design which does not conform to this specific criteria.

B. To secure Landlord's approval, Tenant agrees to conform to the following procedures:

1. Three (3) copies of the detailed sign design. One copy to be in full color of the proposed sign or signs, submitted to Landlord.
2. The detailed sign design shall be submitted on sheets of 11" x 17" only.
3. Submit copies to:

LEWIS RETAIL CENTERS
1156 N. Mountain Ave.
Upland, CA 91785
Attention: Chaz Costantino, Commercial Construction

C. All sign designs and specifications are to be prepared by a licensed sign contractor.
The sign drawings must indicate the following information:

1. A scaled leasehold/storefront drawing illustrating the proposed sign design and all dimensions, as it related to the leasehold/storefront elevation including side or rear elevations. The drawings are to include all exterior or window signs being requested for store usage.
2. A plot plan and elevation indicating the exact location of each Tenant's sign as it related to the building.
3. A detailed letter through section of the sign and building fascia to show its construction and method of attachment.
4. All aluminum, Plexiglas colors, paint finish colors with color swatch and material specifications.
5. Neon tubing sizes, color, intensity and transformer size.

D. All drawings marked "Disapproved" or "Approved as Noted" must be changed as noted and re-submitted to Landlord as specified in "II APPROVALS", "B", "1". Tenant or tenant's sign contractor will not be permitted to commence installation of any exterior sign, unless the following conditions are met:

1. No sign shall be installed until a design review Sign Application is approved by the City of Fontana Planning Department and permits from the City of Fontana Building and Safety Department have been secured by the sign contractor.
2. A "Permitted" stamped set of the final sign drawing are retained on Tenant's premises at all times during the installation of sign or signs, until a City inspector has signed off on and approved final inspection.
3. A "Permitted" stamped set of the final sign drawing are retained on Tenant's premises at all times during the installation of sign or signs, until a City inspector has signed off on and approved final inspection.

III CENTER IDENTIFICATION SIGN:

A. Identification Signs:

Project developer shall erect the following:

1. **Center Identification Sign. (A)**
 One (1) non-illuminated center identification main entrance sign.
 Center Identification shall not exceed 6'-6" overall height. Signage area shall not exceed eighty (80) square feet, not including back-ground.
 Center Identification sign shall be located at the intersections on Beech Avenue. and Summit Avenue as per attached site plan Exhibit F.
 Center Identification sign shall only display center name "SUMMIT HEIGHTS GATEWAY."
2. **Freeway Tenant Identification Signs. (B)**
 One (1) illuminated freeway tenant identification signs.
 Freeway tenant Identification signs shall not exceed 80'-0" overall height.
 Signage area shall not exceed three hundred (300) square feet per side, not including structure.
 Freeway tenant Identification signs shall be located on the Northwest side of the project property, next to freeway. A minimum setback from the property line of one (1) foot shall be required.
 See attached site plan Exhibit F.
3. **Tower Tenant Identification Signs. (C)**
 One (1) illuminated tower tenant identification sign.
 The tower tenant identification sign shall have the center identification sign shall be channel letters interior and halo illumination.
 Seven (7) single face aluminum interior illuminated cabinets shall be below center identification sign
 Tower tenant identification signs shall be located on building tower facing the off ramp of the northbound 1-15 freeway. See site plan Exhibit F.
4. **Entrance Tenant Monument Signs. (D)**
 Quantity: Two (2) illuminated entrance tenant monument signs.
 Size: Entrance tenant monument signs shall not exceed 6'-5" overall height.
 Signage area shall not exceed one thirty (30) square feet per side, not including structure.
 Location: Entrance tenant monument signs shall be located at the center entrance on Beech Avenue
 Entrance tenant monument signs to display tenant name only.
 See attached site plan Exhibit F.

5. Pad Tenant Monument Signs. Exhibit E

Quantity: Four (4) illuminated pad tenant monument signs.

Size: Pad tenant's monument signs shall not exceed 5'-6" overall height.

Signage area shall not exceed thirty (30) square feet per side, not including structure.

Location: The pad tenant monument signs shall be placed on East Frontage Ave at different drive entrances

A pad tenant monument sign cannot impede line of sight of vehicles and must be placed 5'-0" behind the sidewalk and twenty (20) feet away from any point of egress and ingress. See attached site plan Exhibit F

Pad tenant monument signs to display center identification and tenant name.

6. Directional Signs

Description: Pad Tenant shall erect non-illuminated directional signs.

Size: Panel size not to exceed 24" x 30". Post mounted, not to exceed 48" overall height

Location: To be oriented to oncoming traffic in parking landscaping island if required by Pad Tenant.

IV TENANT IDENTIFICATION SIGNS.**1. PRIMARY TENANTS (Over 80,000 square feet)****A. FREEWAY TENANT SIGNS (B)**

1. Description: The Landlord will erect a freeway tenant identification sign for the primary and several major tenants. Signs to be internally illuminated.
2. Freeway tenant identification sign shall not exceed 80'-0" overall height
3. Location: Freeway tenant identification sign to be located on the northwest side of the center property line, next to freeway. A minimum setback from the property line of one (1) foot as per attached plot plan.

B. ENTRANCE TENANT MONUMENT SIGNS (D).

1. Description: The Landlord will erect two (2) entrance tenant monument signs.
2. Entrance tenant monument signs shall not exceed 6'-6" overall height. Allowing signage area for primary tenants and major tenants. Signage area shall not exceed (30) square feet in size, per side. Sign to be internally illuminated.
3. Entrance tenant monument signs to be located at the main entrances on Summit Avenue.

C. PRIMARY TENANT BUILDING WALL SIGNS.

1. Quantity: Front and Side Elevations - One (1) sign will be allowed for each wall face, including secondary entrances for identification.
2. Size: Total combined signing area for primary Tenant shall not exceed 70% of leasehold for frontage and 30% of side of Tenant's building, if applicable.
3. Location: Landlord shall reasonably approve location of primary Tenant signs which shall be in keeping with the architectural design of the building.
4. Maximum channel letter height for primary Tenant to be 5'-0". A non-illuminated architectural feature may be added behind the sign to support the signage being submitted for approval. Secondary copy, for a separate entrance can not to exceed two feet 2'-0" in height, on one line and two foot six inches 2'-6", if stacked copy.

IV. TENANT IDENTIFICATION SIGNS**1. PRIMARY TENANTS (Over 80,000 Square Feet).****C. SIGN SPECIFICATIONS.**

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
6. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of the sign shall include the repair and restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

1. PRIMARY TENANTS (Over 80,000 square feet).**D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.**

The fabrication and installation all signs shall be subject to the following restrictions:

1. Major tenants will be allowed self contained channel letters, if requested. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letters are to be primed and painted a reflective white to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letters will not be permitted.
3. Letter faces shall be a minimum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
4. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
5. All channel letters to be illuminated with neon tubing with a 30 ma transformer. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana.
10. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall.

E. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at Sign Company's expense. Sign Company will also repair fascia from where the sign was moved.
- B. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option correct said sign at Tenant's expense.

IV. TENANT IDENTIFICATION SIGNS**1. MAJOR TENANTS (Over 18,000 to 35,000 square feet)****A. FREEWAY TENANT SIGN. (B)**

1. Description:
The landlord will erect a freeway tenant identification signs for the primary and several major tenants. Sign to be internally illuminated.
2. Freeway tenant identification sign shall not exceed 80'-0" overall height.
3. Location: Freeway tenant identification sign to be located on the northwest side of the center property line, next to freeway. A minimum setback from the property line of one (1) foot, as per attached plot plan.

B. ENTRANCE TENANT MONUMENT SIGNS: (D)

1. Entrance identification sign shall not exceed 6'-6" overall height. Allowing signage area for primary tenants and major tenants. Signage area shall not exceed thirty (30) square feet in size, per side. Sign to be internally illuminated.
2. Entrance tenant monument signs to be located at the main entrances on Beech Avenue.

C. MAJOR TENANT WALL SIGNS: (Over 18,000 to 35,000 Square feet)

1. Quantity: One (1) sign will be allowed for each wall face. A leasehold frontage facing a parking lot or street may be allowed an additional sign. No more than three (3) signs will be allowed per leasehold.
1. Size: Total combined signing area for Major Tenant shall not exceed 70% of leasehold for frontage and 30% of side of Tenant's building, if applicable.
2. Location: Landlord shall reasonably approve location of Major Tenant signs which shall be in keeping with the architectural design of the building.
3. Maximum channel letter height for Major Tenant to be 4'-0". Secondary copy, for a separate entrance can not to exceed 2'-0" in height, on one line and 2'-6", if stacked copy.

1. MAJOR TENANT (Over 18,000 to 35,000 square feet)**C. SIGN SPECIFICATIONS.**

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
6. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of the sign shall include the repair and restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

1. MAJOR TENANTS (Over 18,000 – 35,000 square feet)**D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS**

The fabrication and installation all signs shall be subject to the following restrictions:

Major tenants will be allowed self contained channel letters, if requested.

1. All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white, to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted.
3. Letter faces shall be a minimum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
4. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
5. All channel letters to be illuminated with neon tubing with a 30 ma. Transformer. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
10. All channel letters must have a 3/16" diameter drain hole at bottom each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall.

E. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at Sign Company's expense. Sign Company will also repair fascia from where the sign was moved.
- B. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option to correct said sign at Tenant's expense.

IV. TENANT IDENTIFICATION SIGNS.

1. PAD TENANT – SINGLE USER

A. PAD TENANT MONUMENT SIGNS (E)

1. Description: Project developer shall erect four (4) internally illuminated monument signs.
2. Size: Height shall not exceed 5'-6" overall. Signage area shall not exceed thirty (30) square feet in size per side.
3. Location: Pad tenant monument signs to be placed on Summit Avenue as per site plan.
A Pad tenant monument sign cannot impede line of sight of vehicles and must be placed 5'-0" behind the sidewalk and twenty (20) feet away from any point of egress and ingress.
4. Each sign shall have tenant's name/names.

B. PAD TENANT BUILDING IDENTIFICATION SIGNS: Single User

1. Quantity: Each single user pad tenant shall be permitted a maximum of four (4) illuminated channel letter signs, Pad Tenants signs to be located only within the space and surface specifically approved on the building.
2. All channel letter signs mounted on the front, side, or rear elevations of Tenant's leasehold premises shall not exceed 70% per elevation.
3. Maximum channel letter height for pad tenant to be 2'-0" for single line and 2'-6" inches for double line.
4. Directional or menu signs may be allowed, if required by tenant and approved by City and Landlord.

1. PAD TENANT – Single User

C. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file. Each
6. Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of the sign shall include the repair and restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

1. PAD TENANT – SINGLE USER.

D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS

1. The fabrication and installation all signs shall be subject to the following restrictions: All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted.
3. Letter faces shall be a minimum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
4. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
5. All channel letters to be illuminated with neon tubing with a 30 ma. transformer. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
10. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall.

E. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at sign company's expense. Sign company will also repair fascia from where the sign was moved.
- B. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option to correct said sign at Tenant's expense.

IV. TENANT IDENTIFICATION SIGN

1. PAD / MULTI-TENANT BUILDING TENANTS.

A. PAD TENANT MONUMENT SIGNS. (Exhibit E)

1. Description: Project developer shall erect four (4) internally illuminated monument signs, to include off street pad, multi-tenant building and in-line shop tenants.
2. Size: Height shall not exceed 5'-6" overall. Signage area shall not exceed thirty (30) square feet in size per side.
3. Location: Pad / Multi-tenant Building monument signs to be placed as per attached site plan.
A Pad / Multi-tenant Monument sign cannot impede line of sight of vehicles and must be placed 5'-0" behind the sidewalk and twenty (20) feet away from any point of egress and ingress.
4. Each sign shall only have a limited number of spaces available on each sign for off street Pad tenants, Pad / Multi-tenant Building, in-line shop tenants and shall be subject to Landlord approval. Actual tenant panel placement to be determined by Landlord.

B. PAD / MULTI-TENANT BUILDING IDENTIFICATION SIGNS

1. Quantity: Each single user pad tenant shall be permitted a maximum of two (2) illuminated channel letter signs. Pad / Multi-tenant building facing a parking lot, street, main entrance to center or end cap may be allowed an additional sign on these building areas. No more than one (1) sign per side as approved by City and Landlord.
Signs to be located only within the space and surface specifically approved on the building.
2. All channel letter signs mounted on the front, sides, or rear elevations of Tenant's leasehold premises shall not exceed 70% per elevation.
3. Maximum channel letter height for pad tenant to be 2'-0" for single line and 2'-6" for double line.
4. Directional or Drive up signs may be allowed, if required by tenant and approved by City and Landlord.

IV. TENANT IDENTIFICATION SIGNS.

1. IN-LINE SHOP TENANT. Up to 5,999 square feet

A. IN-LINE SHOP MONUMENT SIGNS. (E)

1. Description: Project developer shall erect four (4) internally illuminated pad/multi tenant monument signs, to include off street in-line shop tenants. Tenant panel placement to be determined by Landlord.
2. Size: Height shall not exceed 5'-6" overall. Signage area shall not exceed thirty (30) square feet in size per side.
3. Location: Pad/multi tenant monument signs to be located as per attached site plan.
A Pad/multi tenant monument sign cannot impede line of sight of vehicles and must be placed 5'-0" behind the sidewalk and twenty (20) feet away from any point of egress and ingress.
4. Each sign shall only have a limited number of spaces available on each sign to allow for some off street Pad tenant and in-line shop tenants and shall be subject to Landlord approval. Tenant panel placement to be determined by Landlord.

B. IN-LINE SHOP TENANT BUILDING SIGNS

1. Quantity: Each retail tenant shall be permitted a one (1) illuminated channel letter signs. Creativity for signage is encouraged. Shop tenant building facing a parking lot, street or main entrance to center may be allowed an additional sign on these building elevation. No more than one (1) sign per side as approved by City and Landlord. Signs to be located only within the space and surface specifically approved on the building.
2. All channel letter signs mounted on the front or rear elevations of Retail tenant's leasehold premises shall not exceed 70% per elevation.
3. Maximum channel letter height for in-tenant to be 2'-0" for single line 2'-6" for double line.

1. IN-LINE SHOP TENANT

C. SIGN SPECIFICATIONS.

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
6. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

IV. TENANT IDENTIFICATION SIGNS.

2. IN-LINE SHOP TENANT. 6,000 – 17,999 square feet.

A. IN-LINE SHOP MONUMENT SIGNS. (E)

5. Description: Project developer shall erect four (4) internally illuminated pad/multi tenant monument signs, to include off street in-line shop tenants. Tenant panel placement to be determined by Landlord.
6. Size: Height shall not exceed 5'-6" overall. Signage area shall not exceed thirty (30) square feet in size per side.
7. Location: Pad/multi tenant monument signs to be located as per attached site plan.
A Pad/multi tenant monument sign cannot impede line of sight of vehicles and must be placed 5'-0" behind the sidewalk and twenty (20) feet away from any point of egress and ingress.
8. Each sign shall only have a limited number of spaces available on each sign to allow for some off street Pad tenant and in-line shop tenants and shall be subject to Landlord approval. Tenant panel placement to be determined by Landlord.

B. IN-LINE SHOP TENANT BUILDING SIGNS

1. Quantity: Each retail tenant shall be permitted a one (1) illuminated channel letter signs. Creativity for signage is encouraged. Shop tenant building facing a parking lot, street or main entrance to center may be allowed an additional sign on these building elevation. No more than one (1) sign per side as approved by City and Landlord. Signs to be located only within the space and surface specifically approved on the building.
2. All channel letter signs mounted on the front or rear elevations of Retail tenant's leasehold premises shall not exceed 70% per elevation.
3. Maximum channel letter height for in-tenant to be 3'-0" for single line 3'-6" for double line.

1. IN-LINE SHOP TENANT

C. SIGN SPECIFICATIONS.

10. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
11. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
12. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
13. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
14. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
15. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
16. Each Tenant shall be responsible for the performance if it's sign contractor.
17. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
18. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

2. IN-LINE SHOP TENANT 6,000 – 17,999 square feet**D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.**

13. The fabrication and installation all signs shall be subject to the following restrictions: All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white to assist with even lighting.
14. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted. Letter faces shall be aluminum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
15. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
16. All channel letters to be illuminated with neon tubing with a 30 ma. transformer.
17. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
18. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
19. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
20. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
21. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
22. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
23. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
24. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall.

E. NON-CONFORMANCE

- C. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at the sign company's expense. The Sign company will also repair fascia from where the sign was moved.
- D. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option to correct said sign at Tenant's expense.

1. IN-LINE SHOP TENANT - Up to 5,999 square feet.**D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.**

1. The fabrication and installation all signs shall be subject to the following restrictions: All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted. Letter faces shall be aluminum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
3. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
4. All channel letters to be illuminated with neon tubing with a 30 ma. transformer.
5. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
10. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall.

E. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at the sign company's expense. The Sign company will also repair fascia from where the sign was moved.
- B. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option to correct said sign at Tenant's expense.

IV. TENANT IDENTIFICATION SIGNS**1. SERVICE STATION – PAD TENANT Single User.****A. SERVICE STATION AND PRICING MONUMENT SIGN.**

1. Quantity: One (1) internally illuminated station identification sign with pricing.
2. Size: Monument shall not exceed 5'-6" overall height. Signage area shall not exceed thirty (30) square feet per side not including structure.
3. Location: Monument sign to be placed on planter area as per attached site plan. Exhibit F
4. Monument sign to display station name and pricing.

B. SERVICE STATION TENANT BUILDING SIGNS

1. Quantity: The Service Station tenant shall be permitted a maximum of four (4) illuminated channel letter signs.
2. Service Station tenant may be allowed signs on building wall. No more than one (1) sign per side as approved by City and Landlord. Signs to be located only within the space and surface specifically approved on the wall. Graphic striping shall not be considered signage on the canopy.
3. Maximum channel letter height for pad tenant to be 2'-0" for single line and 2'-6" for double line.

C. DIRECTIONAL SIGNS

1. Description: Service Station tenant shall erect non-illuminated directional signs.
2. Size: Panel size not to exceed 2'-00" x 2'-6". Post mounted, not to exceed 4'-0" overall height
3. Location: To be oriented to street or Center traffic, located in parking landscaping island, if required by service station tenant.

1. SERVICE STATION TENANT.

E. SIGN SPECIFICATIONS

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
6. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

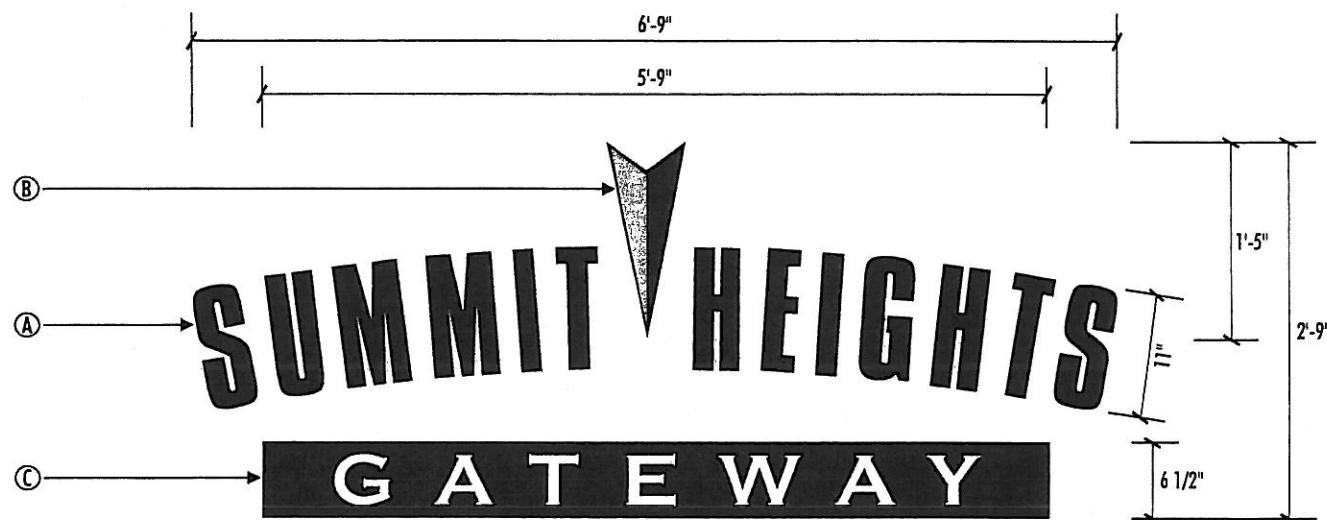
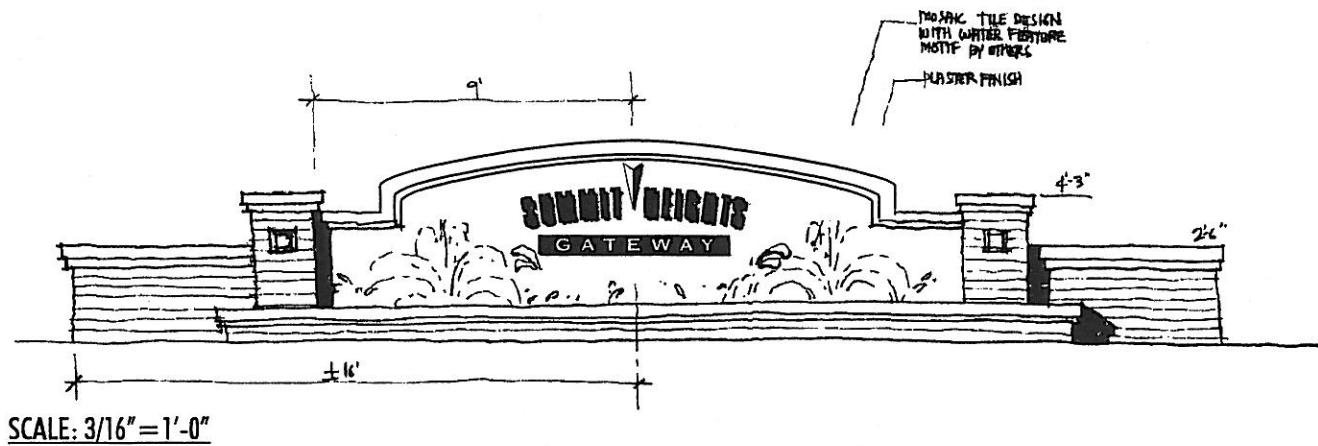
1. SERVICE STATION TENANT.

D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.

1. The fabrication and installation all signs shall be subject to the following restrictions: All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white, to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted.
3. Letter faces shall be a minimum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
4. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
5. All channel letters to be illuminated with neon tubing with a 30 ma. transformer. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
10. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall

E. NON-CONFORMANCE

- A. No field installation changes are permitted without first notifying Landlord in writing. If in the event any sign is changed as to placement or location, which differs from the plan, the Tenant's sign company will be responsible to remove and relocate sign to proper placement at Sign Company's expense. Sign Company will also repair fascia from where the sign was moved.
- B. Any sign that is installed by Tenant which is not in conformance of approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into compliance within said fifteen (15) day period, then Landlord shall have the option correct said sign at Tenant's expense



NON-ILLUMINATED FLAT CUT OUT LETTERS

SCALE: 3/4" = 1'-0"

QTY: ONE (1)

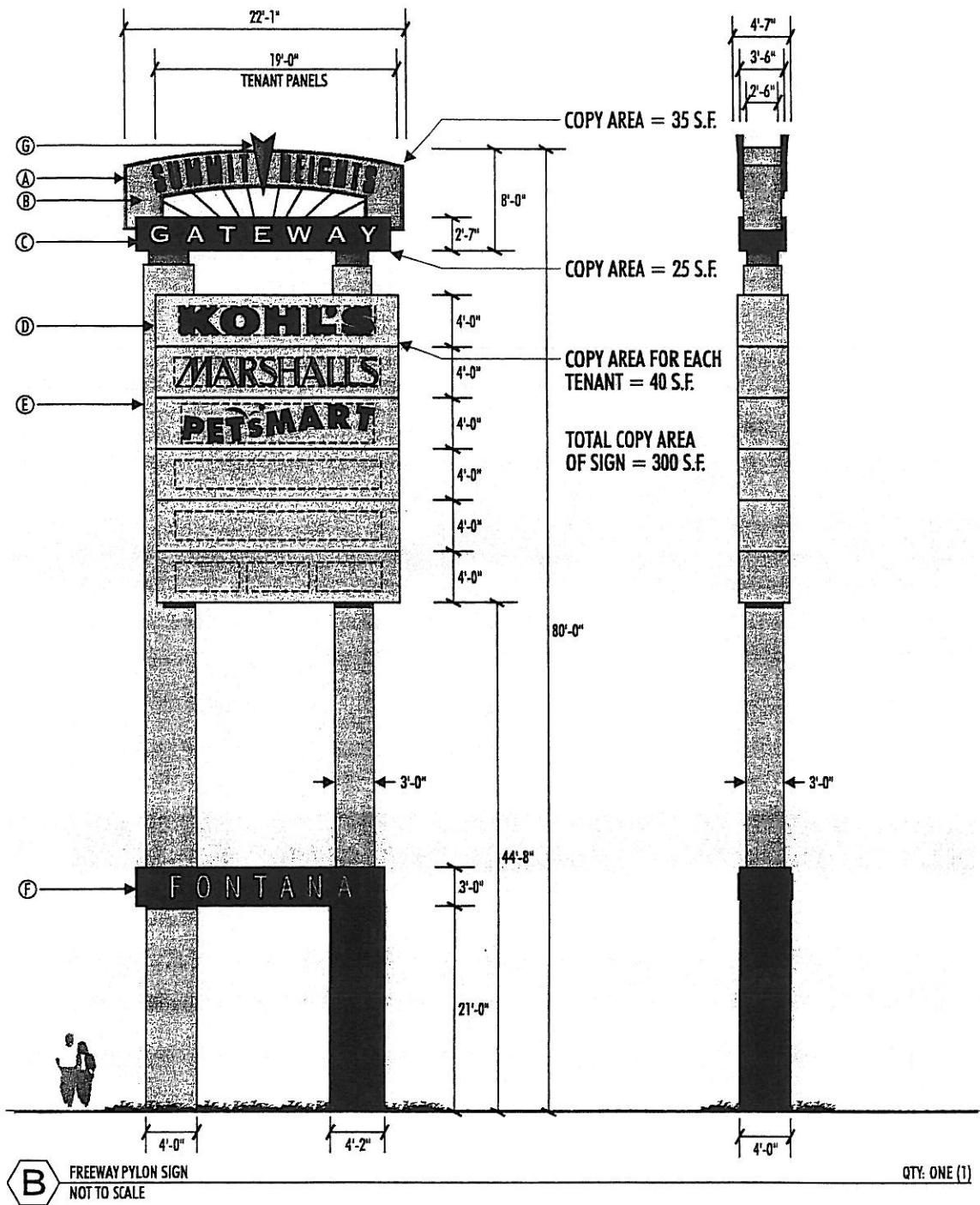
SPECIFICATIONS:

- Ⓐ LETTERS AND LOGO TO BE FLAT CUT ALUMINUM LETTERS AND PEGGED OFF BACKGROUND OF MONUMENT.
LETTERS TO BE PAINTED P1.
- Ⓑ LOGO TO BE PAINTED P1 & P3.
- Ⓒ 1/4" THICK ALUMINUM PANEL PAINTED P1 AND PEGGED OFF BACKGROUND OF MONUMENT.
COPY TO BE 1/4" THICK FLAT CUT OUT ALUMINUM PAINTED WHITE.

NOTE: ILLUMINATION TO BE FROM GROUND LIGHTS OR LIGHTS FROM INSIDE FOUNTAIN AREA.

COLOR CHART

	P1 - BENJAMIN MOORE "GENTLE VIOLET" #2071-20
	P3 - FRAZEE "BEACH BASKET" #7750W

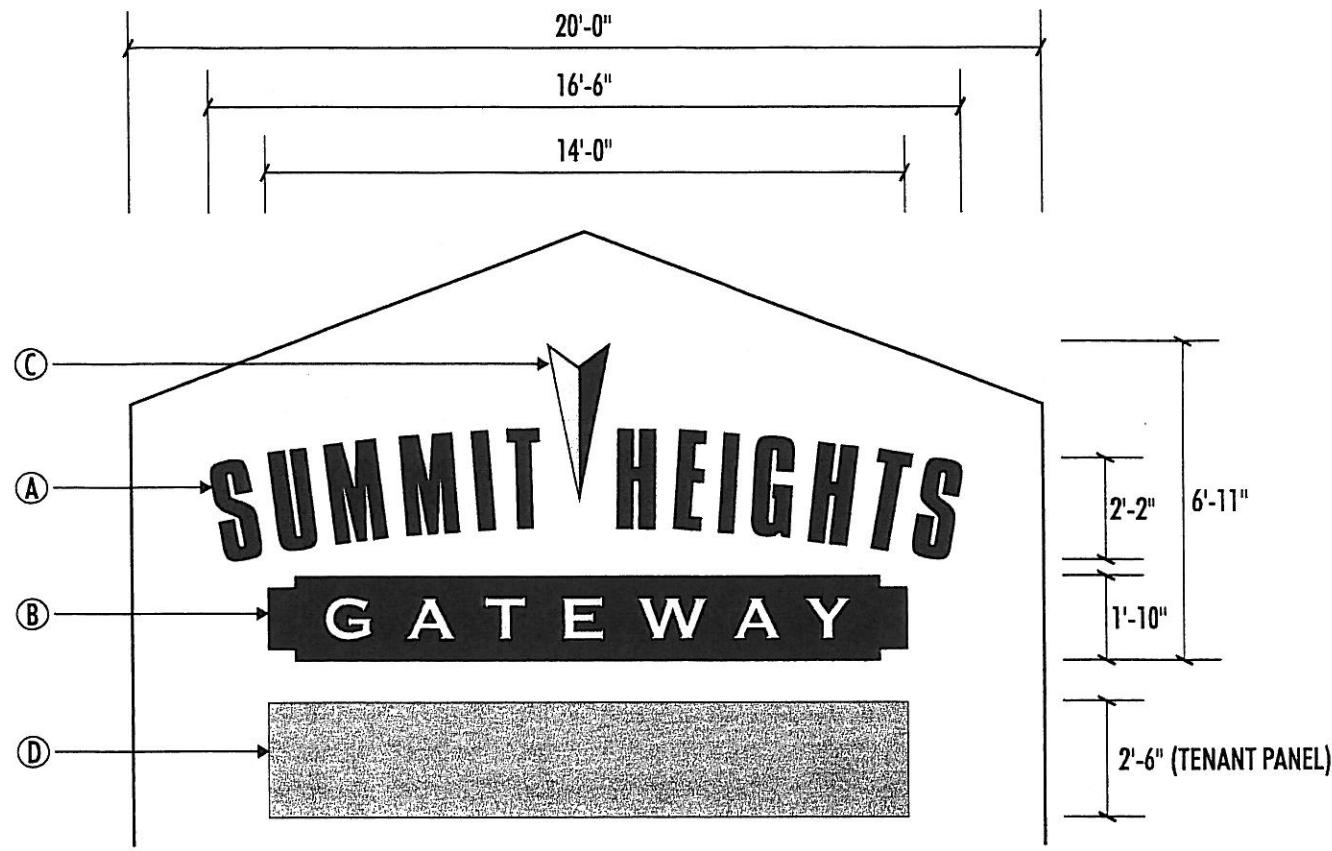


SPECIFICATIONS:

- Ⓐ ALUMINUM CABINET PAINTED P4.
- Ⓑ ALUMINUM CABINET PAINTED P3.
"SUMMIT HEIGHTS" TO BE ILLUMINATED CHANNEL LETTERS WITH FACES TO BE WHITE ACRYLIC WITH EMERALD GREEN (230-126) VINYL OVERLAY.
RETURNS AND TRIM CAP TO BE PAINTED TO MATCH EMERALD GREEN (230-126).
ILLUMINATION TO BE 6500 WHITE NEON.
- Ⓒ INTERNALLY ILLUMINATED CABINET PAINTED P1.
"GATEWAY" TO BE ROUTED OUT AND BACKED UP WITH IVORY ACRYLIC.
ILLUMINATION TO BE FLUORESCENT LAMPS.
- Ⓓ INTERNALLY ILLUMINATED TENANT CABINETS PAINTED P3.
TENANT COPY TO BE ROUTED OUT AND BACKED UP WITH ACRYLIC.
(ACRYLIC COLORS WILL VARY)
ILLUMINATION TO BE FLUORESCENT LAMPS.
- Ⓔ ALUMINUM POLE COVER PAINTED P2.
- Ⓕ INTERNALLY ILLUMINATED CABINET PAINTED P1.
COPY TO BE 3/4" PUSH THRU ACRYLIC WITH IVORY (230-005)
VINYL OVERLAY.
ILLUMINATION TO BE FLUORESCENT LAMPS.
- Ⓖ ALUMINUM ACCENT PAINTED P1 AND P4.

COLOR CHART

	P1 - BENJAMIN MOORE "GENTLE VIOLET" #2071-20
	P2 - SHERWIN WILLIAMS "GOLDEN BLUFF" #SW 2331
	P3 - FRAZEE "BEACH BASKET" #7750W
	P4 - FRAZEE "COFFEE N' CREAM" #7764A
	P5 - FRAZEE "PEACH BEIGE" #7782W



TOWER SIGN

SCALE: 1/4" = 1'-0"

QTY: ONE (1)

COLOR CHART

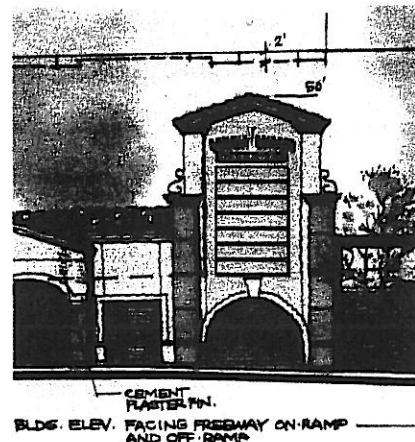
SPECIFICATIONS:

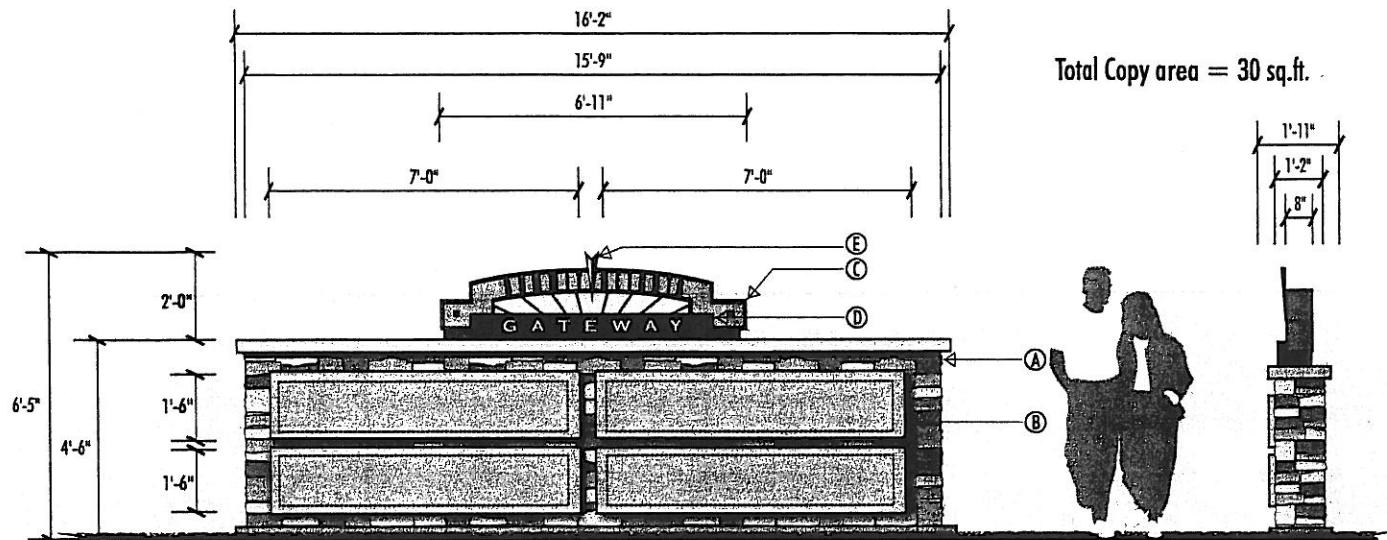
- (A) HALO-ILLUMINATED ALUMINUM CHANNEL LETTERS.
FACES & RETURNS TO BE PAINTED P1.
ILLUMINATION TO BE PURPLE NEON.
- (B) FRONT AND HALO-ILLUMINATED ALUMINUM CABINET PAINTED P1.
COPY TO BE ROUTED OUT AND BACKED UP WITH IVORY ACRYLIC.
ILLUMINATION TO BE FLOURESCENT LAMPS AND 6500 WHITE NEON.
- (C) HALO-ILLUMINATED ALUMINUM CHANNEL LOGO.
FACE TO BE PAINTED P1 AND P3.
ILLUMINATION TO BE 6500 WHITE NEON.
- (D) INTERNALLY ILLUMINATED ALUMINUM TENANT CABINET PAINTED P3.
COPY TO BE ROUTED OUT AND BACKED UP WITH ACRYLIC. (TO BE DETERMINED)
ILLUMINATION TO BE FLOURESCENT LAMPS.



P1 - BENJAMIN MOORE "GENTLE VIOLET" #2071-20

P3 - FRAZEE "BEACH BASKET" #7750W





SINGLE FACED TENANT MONUMENT SIGN

QTY: TWO (2)

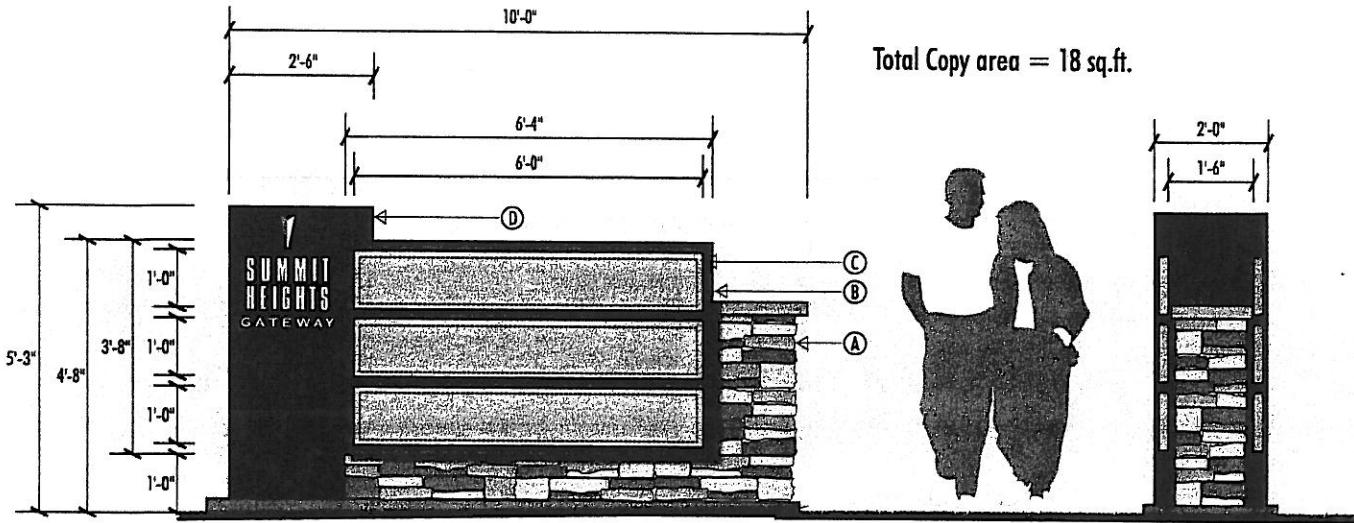
SCALE: NOT TO SCALE

SPECIFICATIONS:

- (A) STONE BASE TO MATCH PROJECT.
- (B) ILLUMINATED TENANT PANEL PAINTED P3. (COPY TO BE DETERMINED)
ILLUMINATION TO BE FLOURESCENT LAMPS.
- (C) INTERNALLY ILLUMINATED CABINET PAINTED P4.
BACKGROUND TO BE ALUMINUM PAINTED P5.
"SUMMIT HEIGHTS" TO BE ROUTED OUT AND BACKED UP WITH WHITE ACRYLIC WITH PLUM PURPLE (230-128) VINYL OVERLAY.
ILLUMINATION TO BE 6500 WHITE NEON.
- (D) ILLUMINATED CABINET PAINTED P1.
"GATEWAY" TO BE ROUTED OUT AND BACKED UP WITH WHITE ACRYLIC WITH IVORY (230-005) VINYL OVERLAY.
ALUMINUM BACKGROUND STAND TO BE PAINTED P6.
- (E) ALUMINUM ACCENT PAINTED P1 AND P3.

COLOR CHART

- P1 - BENJAMIN MOORE "GENTLE VIOLET" #2071-20
- P3 - FRAZEE "BEACH BASKET" #7750W
- P4 - FRAZEE "COFFEE N CREAM" #7750W
- P5 - FRAZEE "PEACH BEIGE" #7782W
- P6 - ICI "TOMORROW'S TAUPE" #369



DOUBLE FACED TENANT MONUMENT SIGN
SCALE: NOT TO SCALE

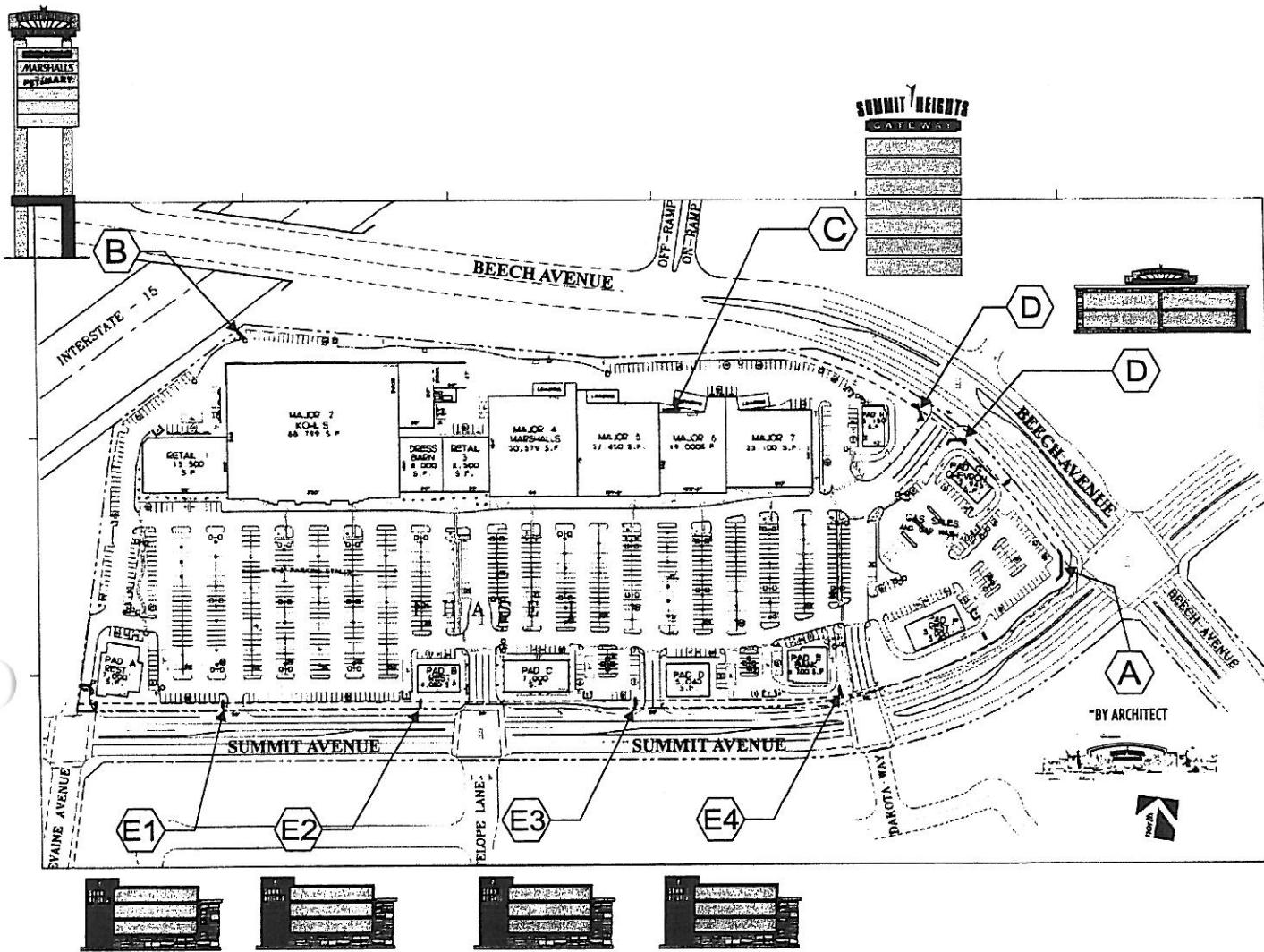
QTY: TWO (2)

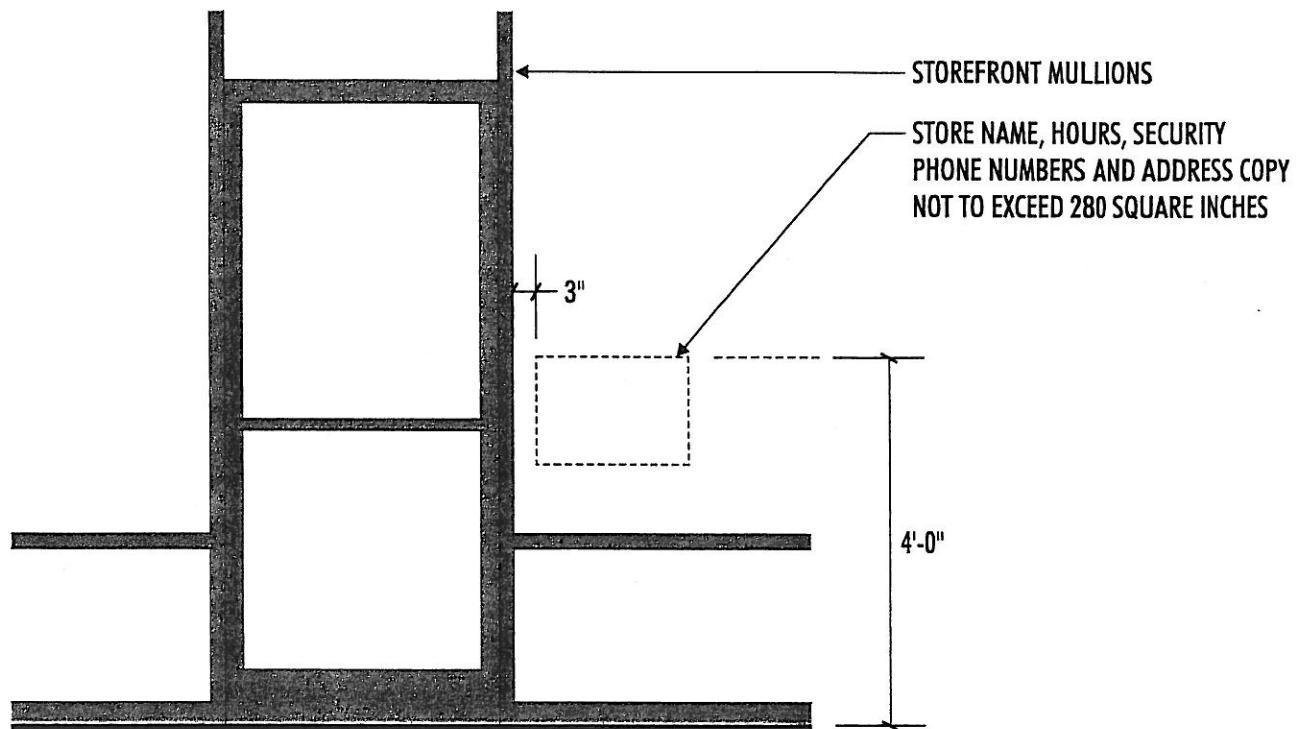
SPECIFICATIONS:

- (A) STONE BASE TO MATCH PROJECT.
- (B) ALUMINUM CABINET PAINTED P6.
- (C) ILLUMINATED TENANT PANEL PAINTED P3. (COPY TO BE DETERMINED)
ILLUMINATION TO BE FLOURESCENT LAMPS.
- (D) ALUMINUM CABINET PAINTED P1.
COPY TO BE ROUTED OUT AND BACKED UP WITH WHITE ACRYLIC AND HAVE LIGHT BEIGE (230-149) VINYL OVERLAY.

COLOR CHART

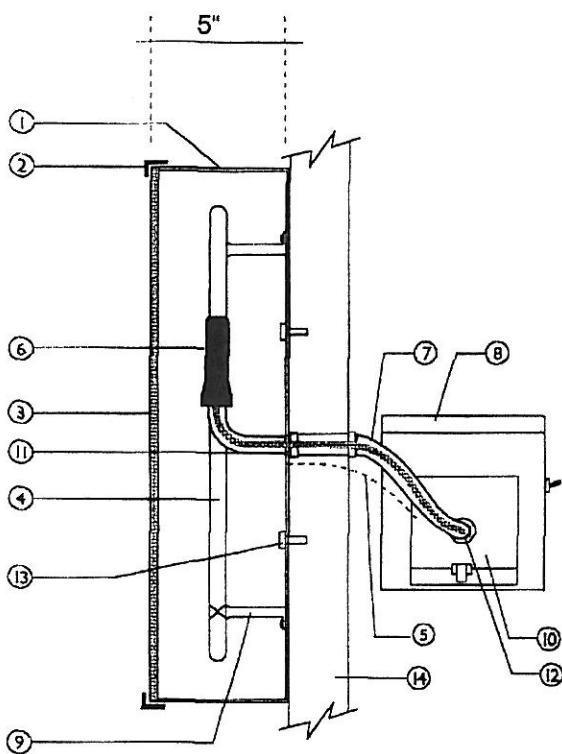
-  P1 - BENJAMIN MOORE "GENTLE VIOLET" #2071-20
-  P3 - FRAZEE "BEACH BASKET" #7750W
-  P6 - ICI "TOMORROW'S TAUPE" #369





SCALE: 1/2" = 1'-0"

GRAPHICS TO BE HIGH PERFORMANCE WHITE VINYL AND
APPLIED FIRST SURFACE TO STOREFRONT GLASS.



CHANNEL LETTER SECTION DETAIL
NTS, ELECTRO BIT

CUSTOM FAB. CHANNEL LETTER FROM ALUMINUM OR SHEET METAL WITH AUTOMOTIVE PAINTED RETURNS. FULLY WELDED

- ① AND CAULKED SEAMS TO ELIMINATE LIGHT LEAKS. SOLID BACKS. 1/4" WEEP HOLES AT BOTTOMS OF LETTERS, (2) PER LETTER.
- ② 3/4" TRIMCAP RETAINER W/ #8 X 1/2" ALUMINUM SCREWS.
- ③ 1/8" ACRYLIC FACE.
- ④ 13-15 MM NEON.
- ⑤ BONDING JUMPER (MIN. #14 COPPER).
- ⑥ ELECTRO BIT HIGH VOLTAGE SS3/5, U.L. APPROVED CON.
- ⑦ 1/2" DIAM. METAL FLEXIBLE CONDUIT.
- ⑧ GALVANIZED TRANSFORMER BOX IN REMOTE LOCATION.
- ⑨ NEON TUBE STAND.
- ⑩ (1) 30MA TRANSFORMER WITH DISCONNECT SWITCH. 15,000V, 3.75 AMP.
- ⑪ #3830 GTO SLEEVING
- ⑫ GTO CABLE
- ⑬ FASTENER TO WALL (2-5 PER LETTER)

- SIGN MUST BE U.L. LISTED.
- SIGN TO BE ON ITS OWN CIRCUIT.
- TRANSFORMER(S) MUST ACCESSIBLE AND HAVE A WORK SPACE OF AT LEAST 3' x 3'.

		SUMMIT HEIGHTS SIGNAGE PROGRAM		
MAIN SIGNAGE	HEIGHT	AREA	SETBACK	
Center Identification	6' - 6"	80¤	1'	
Freeway Tenant Identification Sign	80' - 0"	300¤	1' from property line	
Tower Tenant Identification Sign	2' - 6" x 14' - 0	36.4¤	1'	
Entrance Tenant Monument Sign	6' - 5"	30¤	1'	
Pad Tenant Monument Sign	5' - 6"	30¤	5' - 0" behind the sidewalk 20' - 0" away from any point of egress and ingress	
NUMBER OF SIGNS ALLOWED	TENANT WALL SIGNS	MAX HEIGHT	MAX SIGN AREA	LOCATION
3 Sets Max	Primary	5' - 0"	70% Bldg Frontage	Over Entry
	2nd/3rd sets 1 lines	2' - 0"	30% Bldg Frontage	Building Fascia
	2nd/3rd set 2 line	2' - 6"	30% Bldg Frontage	
3 Sets Max	Major	4' - 0"	70% Bldg Frontage	Over Entry
	2nd/3rd sets 1 lines	2' - 0"	30% Bldg Frontage	Building Fascia
	2nd/3rd sets 2 line	2' - 6"	30% Bldg Frontage	Building Fascia
2 Sets Max	Pad - Multi Tenants			
	1 Lines	2' - 0"	70%	Over Entry &/or facing parking lot, street, end cap or main entrance to center.
	2 Line	2' - 6"	70%	
4 Sets Max	Pad - Single Tenant			
	1 Lines	2' - 0"	70%	All Sides
	2 Line	2' - 6"	70%	All Sides
2 Set Max up to 5,999¤	In Line Shops			
	1 Lines	2' - 0"	70%	Over Entry &/or facing parking lot, street, end cap or main entrance to center.
	2 Line	2' - 6"	70%	

SUMMIT HEIGHTS SIGNAGE PROGRAM				
NUMBER OF SIGNS ALLOWED	TENANT WALL SIGNS	MAX HEIGHT	MAX SIGN AREA	LOCATION
2 Sets Max 6,000 -17,000±	1 Line	3' - 0"	70%	Over Entry &/or facing parking lot, street, end cap or main entrance to center
	2 Lines	3' - 6"		

SUMMIT HEIGHTS SPECIFIC PLAN

CITY OF FONTANA
8353 Sierra Avenue
Fontana, California 92335

Kenneth R. Hunt, City Manager
Frank A. Schuma, Community Development Director
Debbie Brazill, Planning Manager
Cindy Ousley, Senior Planner
(909) 350-6717

July, 2001

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1.0 Introduction

SECTION 1 INTRODUCTION

1.1 BACKGROUND

The Summit Heights Specific Plan area comprises approximately 316 gross acres within the undeveloped northwestern portion of the City of Fontana. The Summit Heights Specific Plan area is located northerly of and adjacent to the proposed S.R. 210 Freeway (to be constructed south of the project site) and easterly of Interstate 15. Exhibit 1 illustrates the location of Summit Heights within a regional context.

Principal landowners within the Specific Plan area are Lewis Homes of California ("Lewis") and Harmon/Johnson J.V. (HJJV), collectively referred to in this Specific Plan as the "applicants", who own approximately 262.55 gross acres. Approximately 28.45 gross acres comprise a utility corridor transecting the property in a diagonal pattern across the project site occupied by Metropolitan Water District (MWD) owned land, a Southern California Edison Company (SCE) easement, and a Southern California Gas Company/San Gabriel Valley Municipal Water District (SGVMWD) easement. The Lewis, HJJV, and utility corridor acreage total 291 gross acres within the Summit Heights Specific Plan. It is this area, which constitutes the Summit Heights Development Area. The development regulations and design criteria established in the Summit Heights Specific Plan for both 6,200 square foot lots and 7,200 square foot lots will apply to this Development Area. Specific Plan Amendment No. 1 expanded the existing 6.1 gross acres of Planning Area 11, previously owned by Mary McNay, to a total of 25.0 acres and revise the Planning Area minimum lot size to 6,200 square feet with a maximum of 101 dwelling units. The landowner for Planning Area 11 is Forecast Homes. The development regulations and design criteria established within this document will also apply to Planning Area 11.

Until the late 1940's and/or early 1950's, the project site was used for agricultural purposes, primarily for the cultivation of grapes. Since the early 1950's, the project site has remained in a fallow condition. The project site was annexed to the City of Fontana as part of the annexation of the approximately 14 square mile area now comprising the northwest portion of the City commonly and referred to as North Fontana.

In 1990, the City adopted a new General Plan, which provided new urban land use designations for the project site. The proposed Summit Heights Specific Plan will serve as a General Plan implementation mechanism and as such will comply with the City's General Plan policies. The Summit Heights Specific Plan area contains three General Plan Land Use designations: Residential Planned Community (RPC), Regional Mixed Use (RMU), and Community Mixed Use (CMU). The existing General Plan land use designations are illustrated in Exhibit 2.

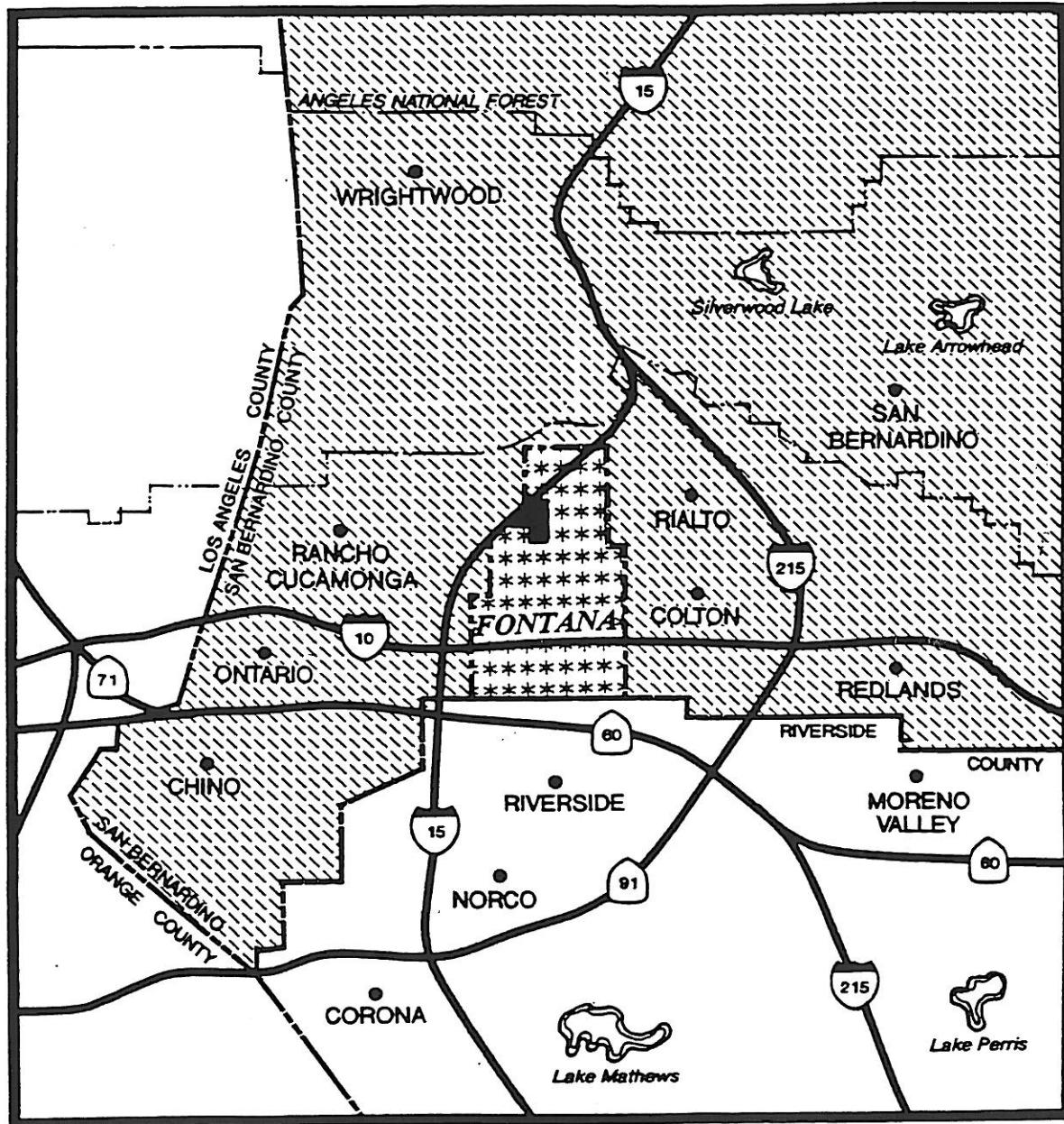


Exhibit 1
Regional Context Map

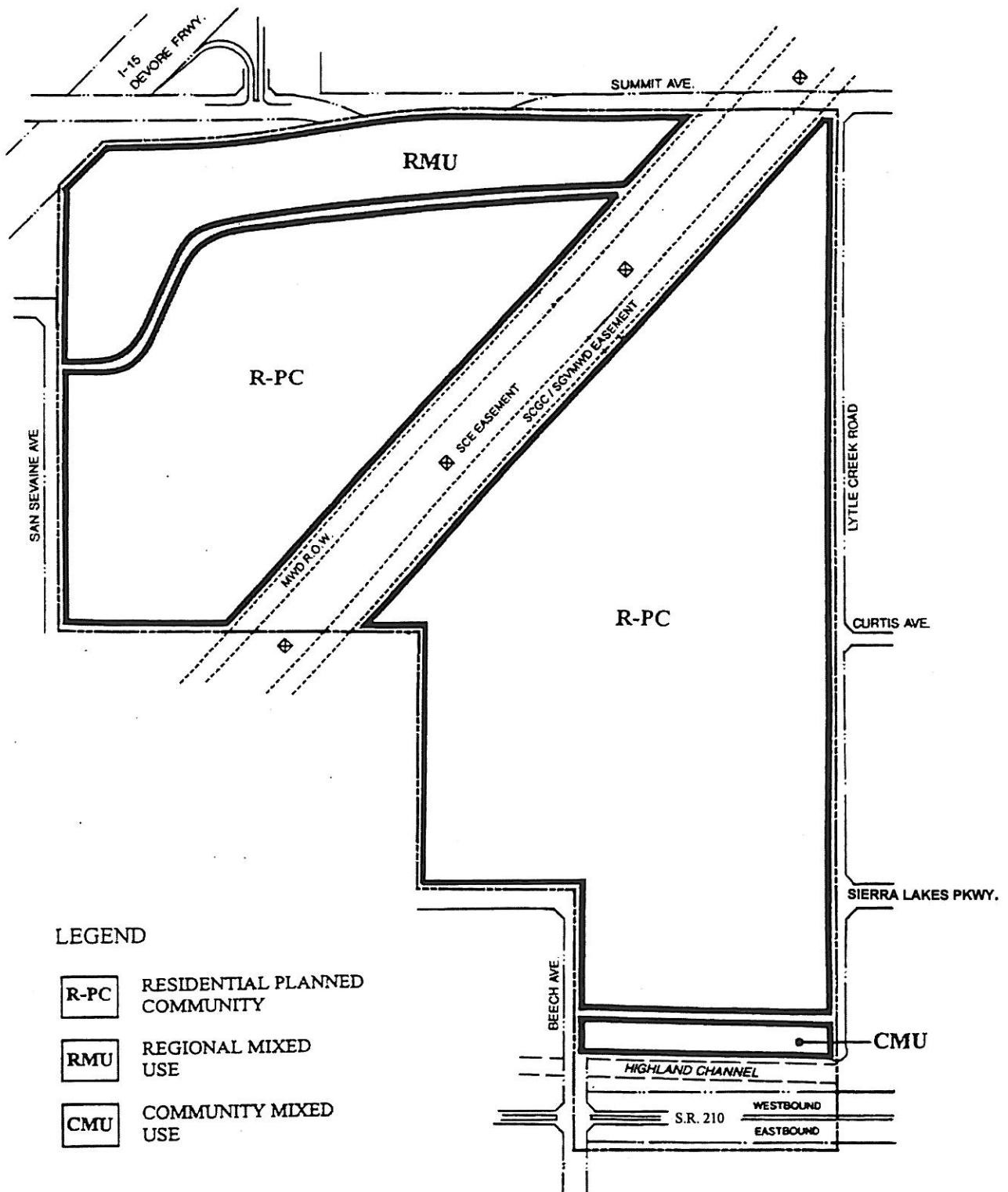


Exhibit 2
Existing General Plan - Land Use

1.2 PURPOSE AND AUTHORITY OF THE SPECIFIC PLAN

The Summit Heights Specific Plan will define the development regulations, requirements, and design guidelines for the development of residential, commercial, and recreational uses within the boundaries of the plan area and will define the method for implementation of the Specific Plan. The Specific Plan insures that the City of Fontana General Plan, as it applies to the project site, is implemented, that applicable provisions of the City of Fontana Zoning and Development Code are adhered to, and that the development of the site will occur in a manner responsive to the unique characteristics of the site.

State of California Government Code, Title 7, Division 1, Chapter 3, Articles 8 and 9, Section 65450-57 grants authority to cities to adopt Specific Plans for purposes of implementing the goals and policies of General Plans. The Government Code specifies that cities may adopt specific plan ordinances setting forth the requirements and review procedures for specific plans including the minimum requirements of the State Government Code regarding specific plans. The City of Fontana Zoning and Development Code requires that Specific Plans be adopted by ordinance to establish the zoning regulations for the development of a proposed project.

The City of Fontana Zoning and Development Code sets forth the purpose, general requirements, application and review requirements, and site development and performance standards to be included in all specific plans. The Summit Heights Specific Plan is designed to meet the requirements of the State of California Government Code, the City of Fontana General Plan, and the City of Fontana Zoning and Development Code except as otherwise provided for in the Summit Heights Specific Plan.

The project specific objectives of the Summit Heights Specific Plan are as follows:

- To provide a quality planned residential community of appropriate density and lot size on the project site, supported by local and community serving commercial, professional service, and recreational uses;
- To provide for adequate planning, financing, and implementation mechanisms for infrastructure to serve the project site;
- To create a planned community integrating residential and commercial uses in a manner designed to reduce fiscal impacts to the City and to provide new sources of sales tax revenue.
- To ensure that the proposed development of the project adequately addresses the City of Fontana General Plan requirements for provision of public facilities and services as required for all new development.

- To ensure that the plan for development is consistent with the City's General Plan Land Use requirements.
- To provide community and architectural guidelines which specify the design elements establishing the unique character of the Summit Heights Planned Community and providing unifying elements for the community.
- To assure that the Summit Heights Specific Plan is compatible with and complementary to other planned communities approved in the area, particularly where shared boundaries necessitate a coordinated approach to the planning of infrastructure and community design elements.
- To provide open space and recreational features within the public utility corridor in keeping with the City's General Plan goals to utilize these areas for recreation purposes by:
 - a) linking Summit Heights with the other open space and recreational amenities located within adjacent planned communities through the planned improvement of a bicycle/pedestrian trail within that portion of the Southern California Gas Company/San Gabriel Valley Water Company easement adjacent to the Summit Heights Planned Community and;
 - b) improving that portion of the utility corridor which connects the proposed Summit Heights neighborhood parks, thereby integrating the utility corridor into the open space and recreational component of the Planned Community.

The Summit Heights Specific Plan is the major component of a multi-step process that will result in the development of the Summit Heights Development Area. The components of the approval process are discussed below.

Entitlement Provided by the Specific Plan

The Summit Heights Specific Plan, when adopted, will serve as a legal document that provides the zoning for the Summit Heights Specific Plan area. It will serve as a "blueprint" for development, based upon the regulations and development standards set forth herein. The Specific Plan establishes the development requirements and planning guidelines to be applied to each phase of development within the Development Area.

Subdivision Maps

Subdivision maps for the Summit Heights development will be reviewed concurrently with the City's review of the Specific Plan.

1.3 CEQA COMPLIANCE

A Mitigated Negative Declaration has been prepared by the City of Fontana for Summit Heights in accordance with the California Environmental Quality Act (CEQA) and City requirements. The Mitigated Negative Declaration addresses the potential impacts associated with the project proposed for the Development Area and recommends mitigation measures to reduce impacts to a less than significant level. The Mitigated Negative Declaration has been prepared to fulfill the requirement for environmental determinations for all subsequent discretionary and ministerial applications for development within the Summit Heights Development Area.

As part of Specific Plan Amendment No. 1, a Mitigated Negative Declaration was prepared to address potential impact with the development of Planning Area 11 and recommend mitigation measures to reduce impacts to a less than significant level.

2.0 Specific Plan Overview

SECTION 2 SPECIFIC PLAN OVERVIEW

2.1 PROJECT LOCATION

The Summit Heights Development Area (Development) as defined in the Land Use Exhibit on page 11, is comprised of approximately 316 gross acres of vacant land located in the northwest portion of the City of Fontana on the southwest side of the broad Lytle Creek alluvial plain which extends south from the San Gabriel Mountains north of the site. The site has a flag shaped configuration and is bounded by Summit Avenue to the north, Lytle Creek Road to the east, Highland Avenue and the proposed S.R. 210 to the south, and Interstate 15 and the proposed extension of San Sevaine Avenue to the west. The location of the project site is illustrated in Exhibit 3. The site is diagonally traversed by a 450 foot wide public utilities corridor comprised of land owned by the Metropolitan Water District and easements owned by the Southern California Edison Company, the Southern California Gas Company and the San Gabriel Valley Municipal Water District.

2.2 PROJECT SUMMARY

The Summit Heights Specific Plan (Plan) proposes a development plan mix of single-family residential homes, and recreational and commercial land uses. The development plan is designed with the goal of achieving a planned community offering a pleasant residential living environment conveniently located proximate to commercial services, which take advantage of the ease of freeway access. The Plan also provides for a development alternative including an eight acre local commercial overlay use within one of the residential planning areas. As part of the proposed development plan, freeway oriented and community serving commercial uses will be located adjacent to the proposed off ramp of the I-15 and Summit Avenue. The Plan provides for approximately 21.3 acres of contiguous recreation and open space area. Exhibit 4, the Summit Heights Land Use Plan describes the proposed development plan.

The Summit Heights Development is comprised of 316 gross acres of which 216.4 acres are proposed by the applicants for development of up to 1,051 single family detached residential units with a minimum lot size of 6,200 square feet, a potential 10 acre commercial overlay development within one of the residential planning areas, a 27.84 acre freeway oriented and community serving commercial center, a 13.6 acre dedicated public park, and approximately 7.7 acres improved open space and recreational area within the utility corridor. The plan provides for approximately 29.7 acres of public perimeter street uses.

The plan includes two centrally located neighborhood parks totaling 13.6 acres joined by a 6.2 acre segment of the public utility corridor which the applicant proposes to improve for recreational use. A 25-foot wide bicycle/pedestrian path on approximately 1.5 acres of land will be developed within the 30-foot wide San Gabriel Valley Municipal Water District easement providing a link between the residential planning areas and the park. This bicycle path will also provide a link in the regional bicycle path system recommended by the City's General Plan for this utility corridor. The dedicated public park area, together with the improvements within the utility corridor, will provide residents of Summit Heights with 21.3 acres of contiguous open space and recreational area.

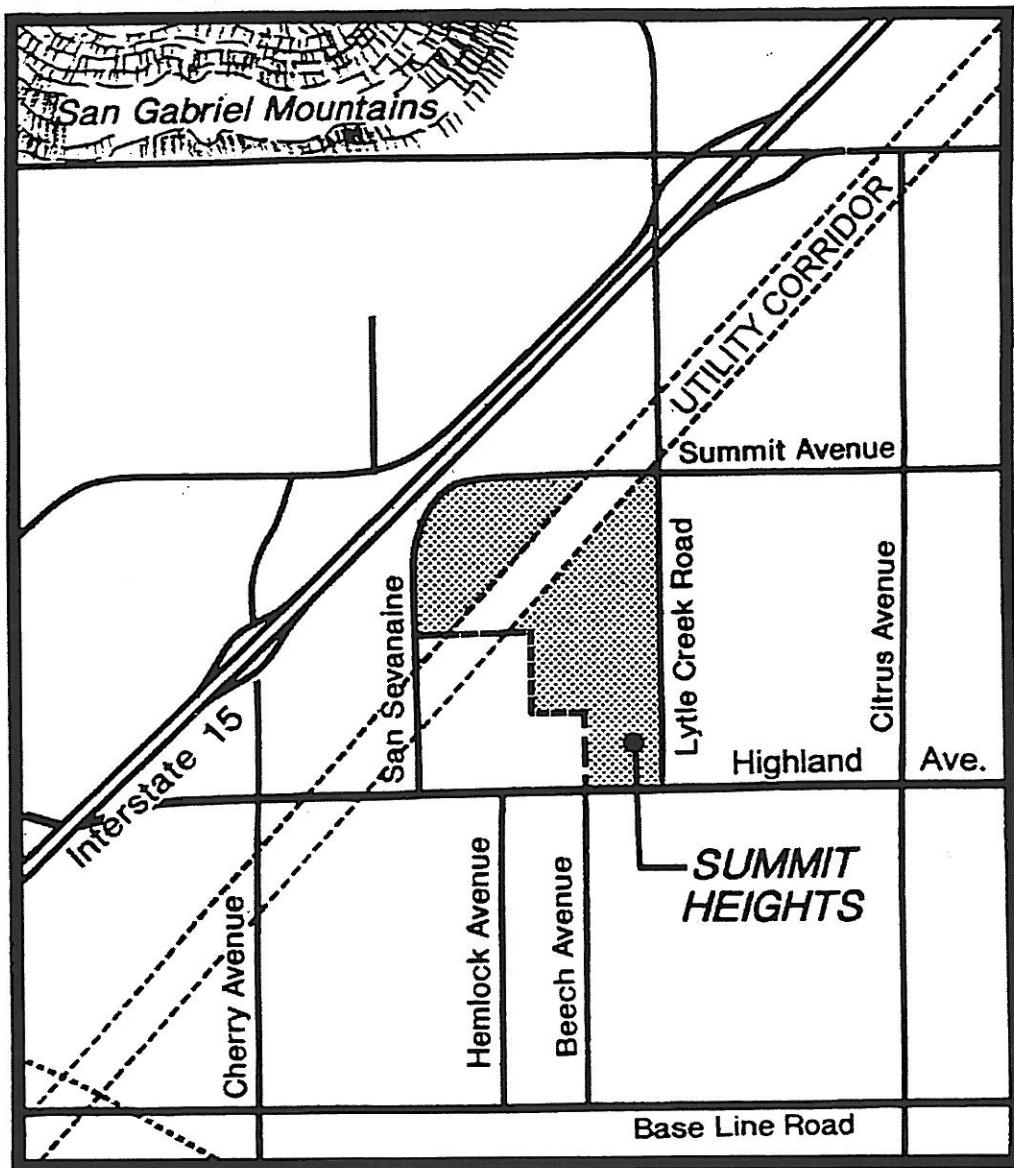


Exhibit 3
Location Map

2.3 SPECIFIC PLAN COMPONENTS

The components of the Summit Heights Specific Plan are described below.

Land Use Plan

The land use plan proposed in the Summit Heights Specific Plan provides a comprehensive master plan of development for the 316-acre Development Area site, which addresses the goals and objectives of the City of Fontana General Plan. The land use plan provides a description of each planning area, the proposed use for each area, a statistical summary of each land use, and the alternative concept of a ten acre commercial overlay within a residential planning area.

Circulation Plan

The circulation plan provides a listing of the hierarchy of roadways within the Summit Heights Specific Plan along with a description of all bicycle and pedestrian pathways. Descriptions of the purpose and the specific dimensions and design of each roadway are also provided.

Open Space and Parks Plan

The open space, parks, and trails provided for the project are described as well as a comparison of the park acreage requirements of the City of Fontana General Plan and Park Ordinance.

Infrastructure and Public Facilities Plan

The Infrastructure and Public Facilities Plan describes the existing and proposed infrastructure systems necessary to serve the project such as water, sewer, and storm drains. The Infrastructure and Public Facilities Plan also proposes the method for funding the required improvements and facilities.

Design Guidelines

Design Guidelines include graphic representations and text to guide the land planning, architectural design, and landscaping of the Summit Heights Planned Community. Streetscapes, entries, building orientation, plotting, grading, parking, signs, lighting, architectural design features, and conceptual park layout are addressed in this section.

Development Regulations

The specific standards regulating the plotting and design of buildings within each land use are described in the Development Regulations section. Types of standards addressed include minimum site areas, lot size, setback, lot coverage, density, building height, and parking.

Plan Implementation

This section addresses the policies and procedures for the City's review and approval of development proposals within the Summit Heights Specific Plan. This section also stipulates the methods and procedures for interpreting and amending the Specific Plan when necessary.

3.0 Existing Conditions

SECTION 3 EXISTING CONDITIONS

3.1 SITE HISTORY

The Summit Heights Specific Plan site is vacant, undeveloped land comprised of three private property ownerships as described in Exhibit 5. The two principal property owners are Lewis and HJV, who collectively own approximately 262.55 gross acres. Approximately 25.0 gross acres are owned by Forecast Homes. Prior to Specific Plan Amendment No. 1, application for development approvals associated with this Specific Plan pertained only to the properties owned by Lewis and HJV. Approximately 6.1 gross acres within Planning Area 11 were owned by McNay and included in the Specific Plan boundaries in keeping with the City of Fontana General Plan policy to master plan in-fill areas along with larger Specific Plan projects. The McNay property, however, was not originally part of the Summit Heights Development as defined in Section 1. Implementation of Specific Plan Amendment No. 1 expands Planning Area 11 to 25.0 gross acres, with a minimum lot size of 6,200 square feet and maximum of 101 units.

The project site was zoned for agricultural use by the County, prior to the annexation of the property by the City of Fontana. The agricultural zoning classification for the site was carried over by the City of Fontana after City incorporation and annexation of the area. In 1990, the City of Fontana adopted a new General Plan which provided new residential and commercial General Plan land use designations for the project site, providing the opportunity for development applications, including zoning consistent with the General Plan, to be approved by the City.

Until approximately the late 1940's or early 1950's the project site was used for agricultural use, predominantly as vineyards. After the early 1950's, the project site was no longer cultivated and has remained fallow for approximately the past 47 years.

General Plan and Zoning

The 1990 City of Fontana General Plan designated the property as Residential Planned Community (RPC), Regional Mixed Use (RMU), and Community Mixed Use (CMU). A provision within the General Plan also provided for the opportunity to incorporate reduced lot sizes (6,200 sq. ft.) in the event the Applicant were to provide an Extraordinary Amenity. These land use categories permit the development of the following:

Residential Planned Community (RPC)

The RPC land use designation permits development of Detached Single Family Residential uses from 4.35 to 7.0 dwelling units per net acre with a minimum lot size of 10,000 square feet. The General Plan provides for minimum lot sizes of 7,200 square feet pursuant to approval of a Specific Plan or Community Plan, as applicable. The General Plan further provides for a minimum lot size of 6,200 square feet provided that an extraordinary amenity, as defined by the General Plan, is also approved as part of a Specific Plan.

Extraordinary amenities can include public open space facilities provided over and above the required park dedication for a project, or facilities or amenities for which a developer would contribute land and capital costs toward the development of a public facility.

Regional Mixed Use (RMU)

The RMU land use designation permits development of regional-serving freeway oriented and community serving commercial uses such as:

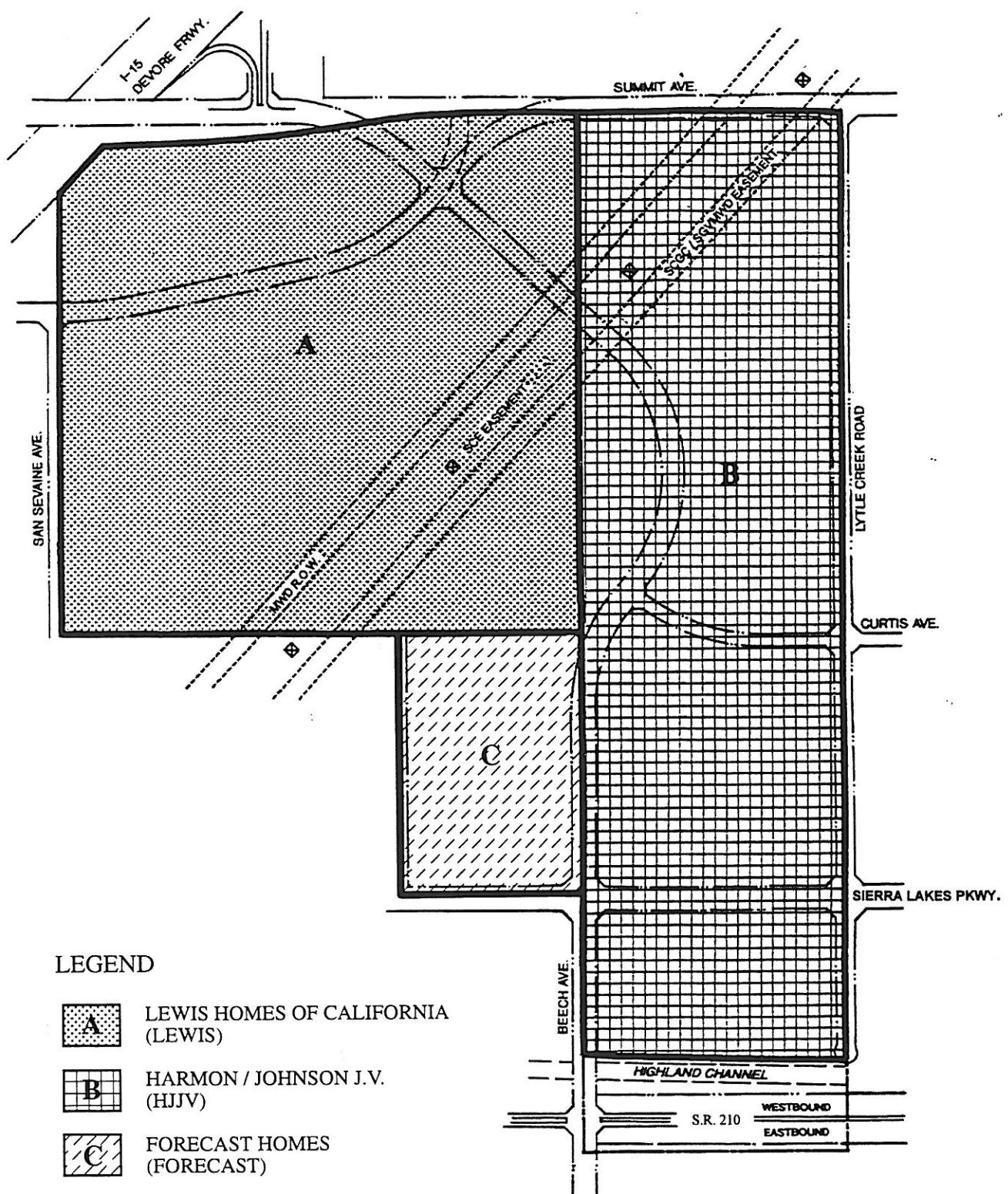
- Retail Commercial
- Business and Professional Office
- Service Establishments
- Amusement Establishments

Community Mixed Use (CMU)

The CMU land use designation permits development of community serving commercial uses such as:

- Commercial Retail
- Business and Professional Office
- Service Establishments

The project site is currently zoned for agricultural use. With the approval of the Summit Heights Specific Plan, zoning will be established for the project site consistent with the General Plan.



3.2 PHYSICAL SITE CONDITIONS

The Summit Heights Specific Plan proposes a development, which addresses existing physical site conditions. The project site is gradually sloping with an approximate 2.3% slope from the northeast to the southwest. The project site is bisected by a 450 foot wide public utility corridor. Within this corridor lies a 250 foot wide Southern California Edison easement, a 100 foot wide Metropolitan Water District right of way, and a 100 foot wide Southern California Gas Company easement, 30 feet of which is also encumbered by a San Gabriel Valley Municipal Water District easement, with underlying fee title held by the private property owners.

The project site is bounded on the south by Highland Avenue (and will be bounded by the proposed Highland Channel and State S.R. 210), on the east by Lytle Creek Road, on the north by Summit Avenue, and on the west by San Sevaine Avenue. The ultimate right of way for State Route 210 has been established and acquired by Caltrans and construction of the segment of S.R. 210 adjacent to the project site is scheduled to commence in 1998.

3.3 SURROUNDING CONDITIONS

3.3.1 EXISTING LAND USE

The existing surrounding land uses adjacent to the project site include single family residential easterly of Lytle Creek Road and northerly of Sierra Lakes Parkway with vacant land to the north, west, and south of the project site.

3.3.2 PROPOSED LAND USE

Future master planned community uses immediately adjacent to the project site have been approved by the City in the form of the California Landings Specific Plan located to the south of the project site and the Westgate Specific Plan adjacent to the project site on the north, south, and west. These Specific Plans include single family residential, single family attached residential, and commercial uses. Other approved planned communities surrounding the Summit Heights Specific Plan area include Sierra Lakes, Morningside, Hunter's Ridge, and Rancho Fontana. The locations of the surrounding and adjacent approved Specific Plans and Community Plans are illustrated on Exhibit 6. The following is a summary of the land uses approved in the adjacent Planned Communities of Westgate and California Landings.

Westgate Specific Plan

The Westgate Specific Plan is located to the north, west, and south of the Summit Heights Specific Plan area. The Summit Heights Specific Plan is immediately adjacent to Westgate on the northerly, westerly and southerly boundaries.

LEGEND

- [Hatched pattern] CALIFORNIA LANDINGS
- [Hatched pattern] HUNTER'S RIDGE
- [Dotted pattern] MORNINGSIDE
- [Solid pattern] RANCHO FONTANA
- [Dotted pattern] SIERRA LAKES
- [Solid black] SUMMIT HEIGHTS
- [Hatched pattern] WEST END
- [Hatched pattern] WESTGATE

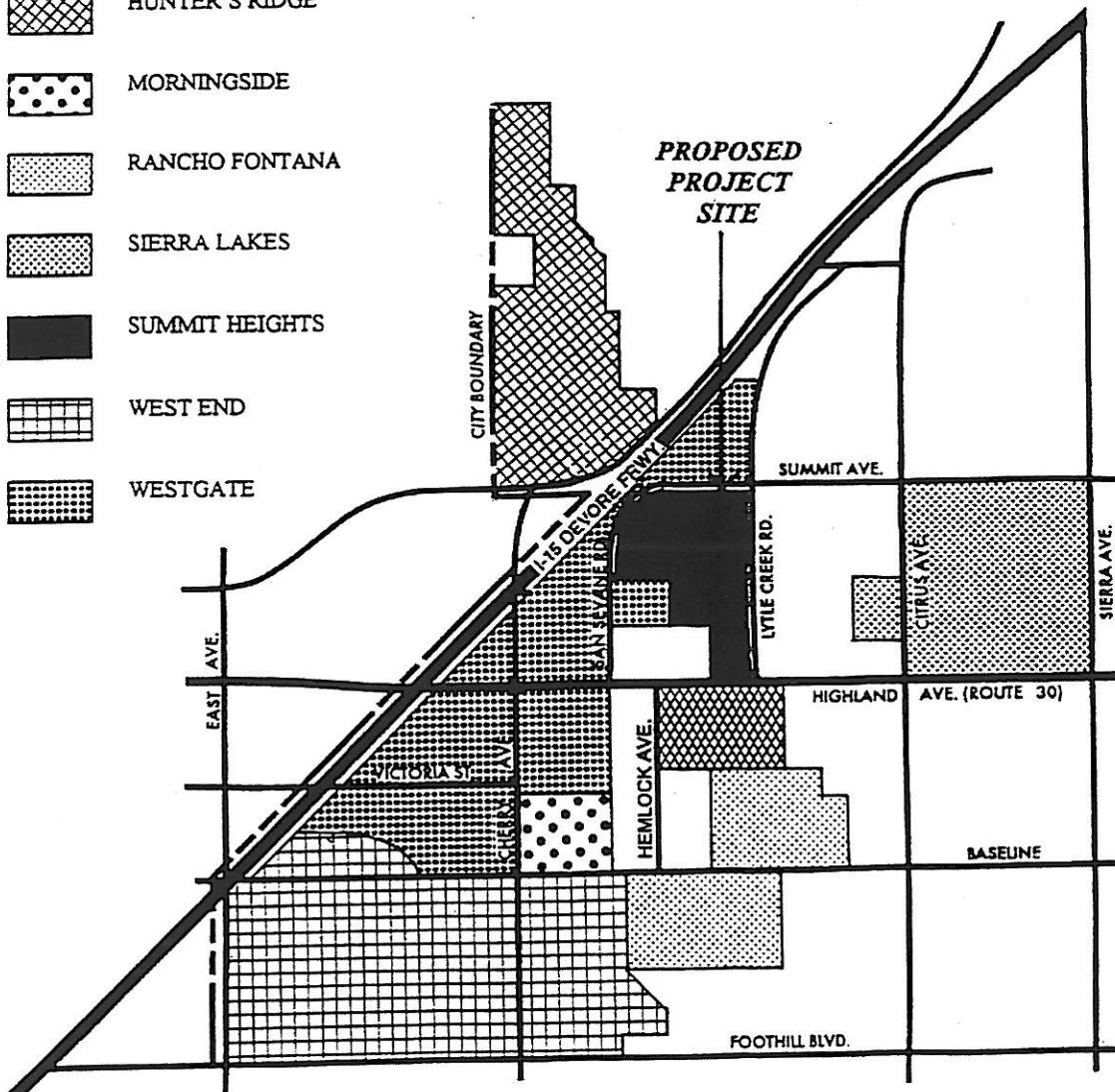


Exhibit 6
Surrounding Approved Specific Plans

The Westgate Specific Plan area is comprised of 954.10 acres. The approved Specific Plan proposes the development of approximately 117 acres of Business Park uses, 9 acres of Commercial Retail, approximately 130 acres of Mixed Use development including office parks and regional/community commercial and business uses, 2457 residential units, 41.35 acres of parkland, and the reservation of a ten acre site for an elementary school.

The Summit Heights Specific Plan proposes a coordinated planning effort with the Westgate Specific Plan elements where shared boundaries occur. This coordinated planning effort will be implemented with the proposed improvements within the Southern California Gas/San Gabriel Valley Municipal Water District easement and through a streetscape design for those streets which connect both planned communities to complement that approved for the Westgate Specific Plan.

California Landings

The California Landings Specific Plan area is located to the south of Summit Heights adjacent to the proposed S.R. 210 Freeway. The Specific Plan area is comprised of 223 acres and is approved for the development of 791 single-family dwelling units on lots ranging from 5,000 square feet to 7,200 square feet. Approximately 14.8 acres is proposed for commercial development, and the Specific Plan includes a ten-acre school site and a 10-acre park site.

3.4 RELATIONSHIP TO CITY OF FONTANA GENERAL PLAN & ZONING

GENERAL PLAN

The General Plan Land Use Map has designated the Summit Heights project area as Residential Planned Community (R-PC), Regional Mixed Use (RMU) and Community Mixed Use (CMU). At the time of General Plan adoption, the boundaries for each land use area were established in concept. The proposed land use boundaries within the Specific Plan area are generally consistent with the City's General Plan, however due to the changes in public rights of way which occurred since the adoption of the General Plan, an adjustment to the boundaries of the land use areas is required.

Since the adoption of the 1990 General Plan, the rights of way for the future construction of the I-15 Freeway and State S.R. 210 were finalized resulting in a change of land use configuration from that approved in the 1990 General Plan. The right of way requirements for S.R. 210 resulted in a reduction of CMU acreage within the Summit Heights Development to approximately 4.5 acres. The right of way requirements for the final approved alignment of Summit Avenue within the Summit Heights Development as part of the I-15 Freeway construction divided portions of the R-PC and RMU acreage from distinct and contiguous land development areas, as approved with the 1990 General Plan, into noncontiguous parcels.

A General Plan Amendment to adjust the land use boundaries is proposed as part of the Specific Plan application. Exhibit 7 illustrates the proposed revisions to the General Plan land use boundaries.

General Plan Consistency

The City of Fontana requires approval of a Specific Plan for development projects of 160 acres or more. The Summit Heights Specific Plan proposes a Development comprised of 287.55 gross acres owned by Lewis, HJJV and Forecast. This acreage includes areas designated as RMU, R-PC, and CMU land uses in the City of Fontana General Plan. The Specific Plan also includes a 28.45 gross acre public utility corridor of which 7.7 acres are proposed for development as a public recreational area within the Specific Plan.

Residential Planned Community (R-PC)

For Specific Plan projects the maximum residential density is 7.0 dwelling units per net acre with a minimum lot size of 6,200 square feet when an extraordinary amenity, as defined by the General Plan, is provided as part of the project. If an extraordinary amenity is not provided, the minimum lot size in a Specific Plan area is 7,200 square feet.

The Summit Heights Development proposes the development of 1,051 single family detached residential units with a minimum lot size of 6,200 square feet. In accordance with the policies of the City of Fontana General Plan, an extraordinary amenity subject to approval by the City of Fontana is proposed in exchange for the approval to develop 6,200 square foot lots. The extraordinary amenity will be approved as part of a Development Agreement to be approved by the City. In the event the applicant and the City do not agree on the specific terms and conditions for the development of the extraordinary amenity, the applicants propose the development of single-family residential lots with a minimum area of 7,200 square feet.

A ten (10) acre commercial overlay zone is proposed for the northeast corner of Beech Avenue and Sierra Lakes Parkway within Planning Area 7 of the Summit Heights Specific Plan. This location at the intersection of two primary arterials offers the potential for a smaller neighborhood commercial center for retailers such as a grocery store, convenience market, drugstore, video store, dry cleaners, photo shop, and other similar uses.

Development of commercial uses in Area 7 will occur only if the market will support such a development. Proposed development of the commercial overlay site will require submittal by the applicant to the City appropriate economic information to demonstrate the economic viability of commercial use at this location. If the commercial overlay is not utilized, single-family residential lots will be developed in this location. Development of residential lots in this area will be within the maximum number of units established in the Summit Heights Specific Plan.

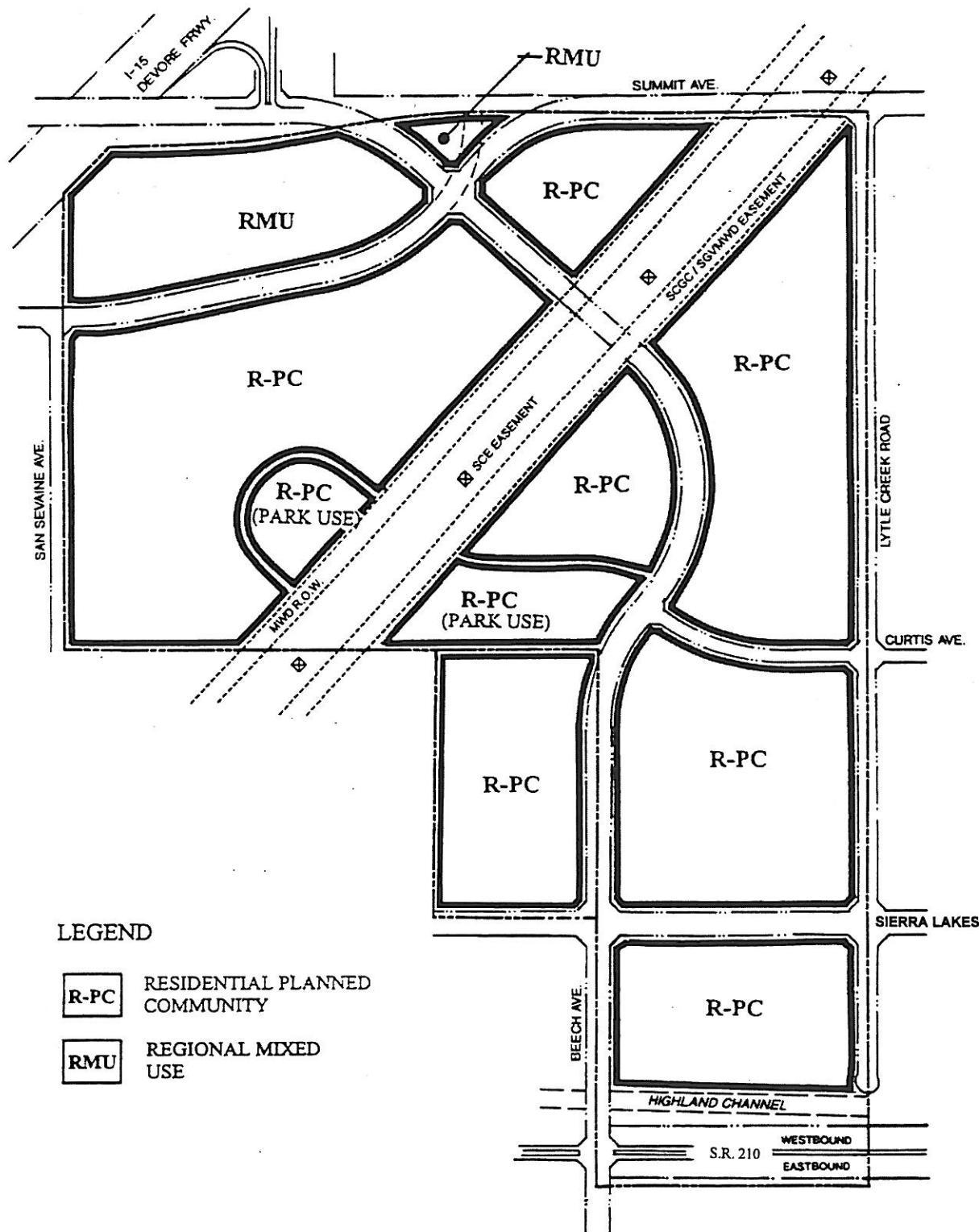


Exhibit 7
Proposed General Plan - Land Use

Proposed General Plan Amendment

Change CMU to RP-C

A General Plan Amendment is requested to convert the existing CMU area to R-PC due to the constraints imposed on the CMU area by the acquisition of right of way for the S.R. 210 Freeway. As a result of the S.R. 210 right of way acquisition, the existing CMU area has been reduced to approximately 4.5 acres. This acreage is not a suitable size for Community Mixed Use development. Additionally, the configuration of the CMU area is inadequate for commercial development and access to the parcel is limited. This area is suitable for residential use and will be included in the adjacent RPC land use designation. For these reasons, this 4.5-acre area is proposed for RPC land use designation, and the Summit Heights Specific Plan application includes a request for a General Plan Amendment.

Change a Portion of RMU to R-PC and Change an Equivalent Amount of R-PC to RMU

The existing Summit Heights General Plan land use designation of RMU is delineated based upon the existing alignment of Summit Avenue. This land use area will be impacted from the realignment of Summit Avenue resulting from Caltrans requirements for an on and off ramp at Summit Avenue and for a frontage road adjacent to I-15. As a result of the realignment of Summit Avenue, a General Plan Amendment is necessary to create a logical RMU planning area with the new alignment of Summit Avenue serving as a distinct separation and boundary between land use areas.

Similarly, the existing Summit Heights General Plan land use designation of R-PC adjacent to Summit Avenue is delineated based upon the existing alignment of Summit Avenue. This General Plan land use area will be impacted in the same manner as the RMU area described above due to the realignment of Summit Avenue pursuant to Caltrans requirements for an on and off ramp at Summit Avenue and I-15 and for a frontage road adjacent to I-15. As a result of the realignment of Summit Avenue, a General Plan Amendment is necessary to create a logical R-PC planning area with the new alignment of Summit Avenue serving as a distinct separation and boundary between land use areas.

ZONING

The City of Fontana Development Code requires developments with one or more owners proposed for properties over 160 acres in size require approval of a Specific Plan. Furthermore, only Specific Plan applications may include a request for approval of the provision of an extraordinary amenity in exchange for the a reduction in the minimum residential lot size from 7,200 square feet to 6,200 square feet.

The Summit Heights Specific Plan application complies with this provision of the City of Fontana Development Code. Furthermore, the Summit Heights Specific Plan, when approved, will serve as the zoning for the project site. Where development regulations in the Summit Heights Specific Plan differ from those of the City's Zoning and Development Code, the Specific Plan shall prevail. Where the Specific Plan is silent on a development regulation, the City's Zoning and Development Code shall prevail.

4.0 Plan Elements

SECTION 4 PLAN ELEMENTS

4.1 INTRODUCTION

The proposed Summit Heights Development Area comprised of 316 acres and is located in the northwesterly portion of the City of Fontana. The Development Area combines residential, commercial, and recreational land uses into a comprehensive master plan of development. The Summit Heights land use plan, as depicted in Exhibit 8 below, is designed to respond to both on-site and off-site conditions, as well as anticipated market conditions. Summit Heights will provide quality-housing opportunities for home buyers within a pleasant master planned setting. This setting offers a strong community identity for residents and visitors to Summit Heights, through a unified approach to the community's architecture, landscape theme, signage and other community elements. In addition, the master plan also provides for the necessary public facilities and improvements to support project development.

STATISTICAL SUMMARY

PLANNING AREA	LOT SIZE	ACRES	MAXIMUM DENSITY (NET DU/ AC)	MAXIMUM TOTAL UNITS
RMU (COMMERCIAL USE)				
1	N/A	25.32	-	-
2	N/A	2.52	-	-
SUB-TOTAL		27.84		
R-PC (SINGLE FAMILY) (1)				
3	6,200 SF	66.2	4.9	321
4	6,200 SF	11.2	5.0	56
5	6,200 SF	42.4	4.9	207
6	6,200 SF	15.9	4.8	77
7	6,200 SF	35.9	4.8	172
8	6,200 SF	22.1	5.3	117
11	6,200 SF	22.7		101
SUB-TOTAL		216.4		1,051
PARK				
9		3.6		
10		10.0		
SUB-TOTAL		13.6		
OTHER USES				
PUBLIC ARTERIAL STREETS		29.71		
UTILITY CORRIDOR (2)		28.45		
SUB-TOTAL		58.16		
GRAND TOTAL		316.00		1,051

FOOTNOTES

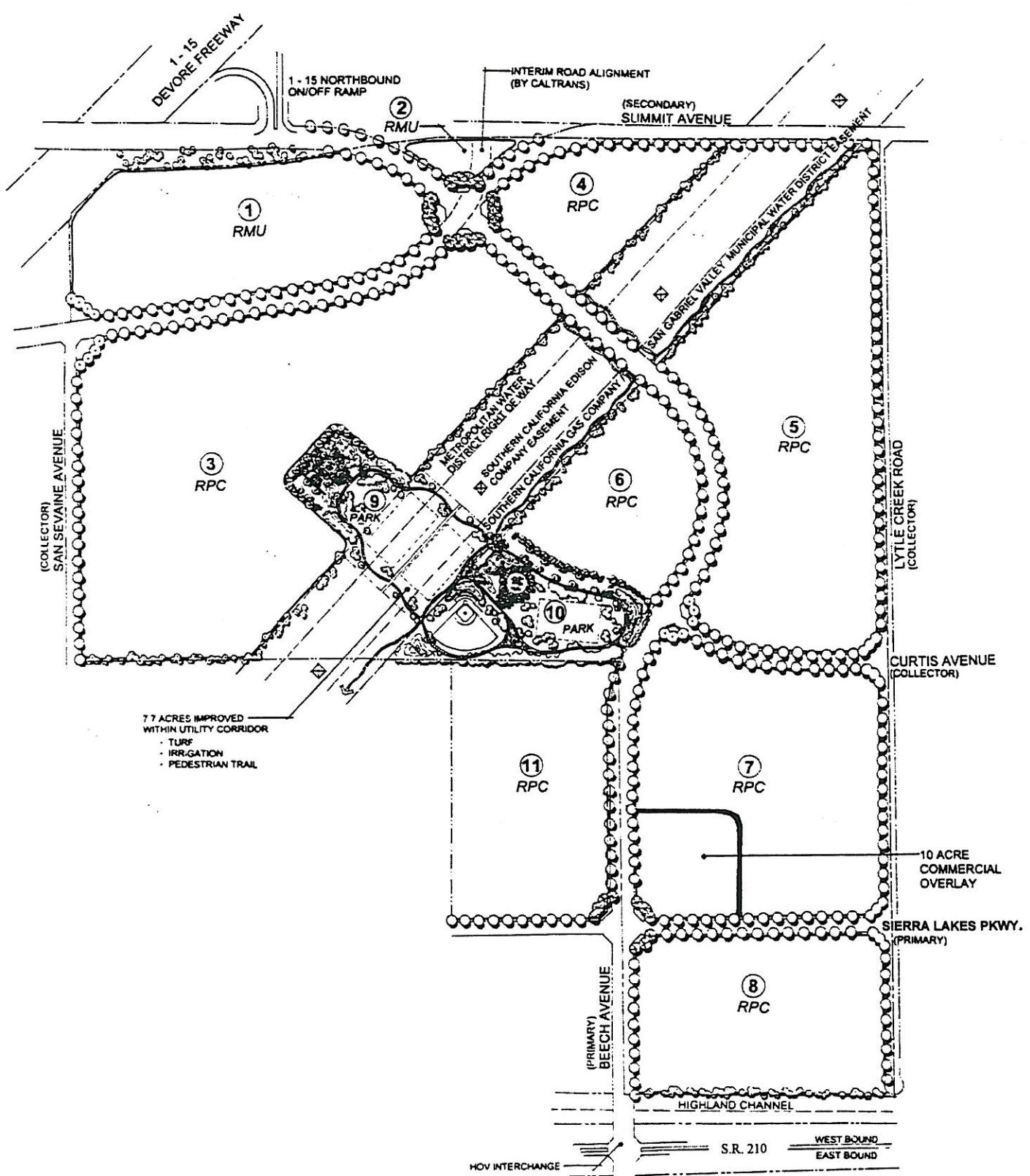
1. REPRESENTS NET ACRES THAT INCLUDES LOCAL STREETS AND LANDSCAPE EASMENTS.
2. 7.7 ACRES TO BE DEVELOPED AS PARKLAND.

STATISTICAL SUMMARY – 10 ACRE COMMERCIAL OVERLAY

PLANNING AREA	LOT SIZE	ACRES	MAXIMUM DENSITY (NET DU/ AC)	MAXIMUM TOTAL UNITS
RMU AND COMMERCIAL OVERLAY				
1	N/A	25.32	-	-
2	N/A	2.52	-	-
7	N/A	10		
<i>SUB-TOTAL</i>		<i>37.84</i>		
R-PC (SINGLE FAMILY) (1)				
3	6,200 SF	66.2	4.9	321
4	6,200 SF	11.2	5.0	56
5	6,200 SF	42.4	4.9	207
6	6,200 SF	15.9	4.8	77
7	6,200 SF	25.9	5.0	129
8	6,200 SF	22.1	5.3	117
11	6,200 SF	22.7		101
<i>SUB-TOTAL</i>		<i>216.4</i>		<i>1,008</i>
PARK				
9		3.6		
10		10.0		
<i>SUB-TOTAL</i>		<i>13.6</i>		
OTHER USES				
PUBLIC ARTERIAL STREETS		29.71		
UTILITY CORRIDOR (2)		28.45		
<i>SUB-TOTAL</i>		<i>58.16</i>		
<i>GRAND TOTAL</i>		<i>316.00</i>		<i>1,008</i>

FOOTNOTES

1. REPRESENTS NET ACRES THAT INCLUDES LOCAL STREETS AND LANDSCAPE EASMENTS.
2. 7.7 ACRES TO BE DEVELOPED AS PARKLAND.



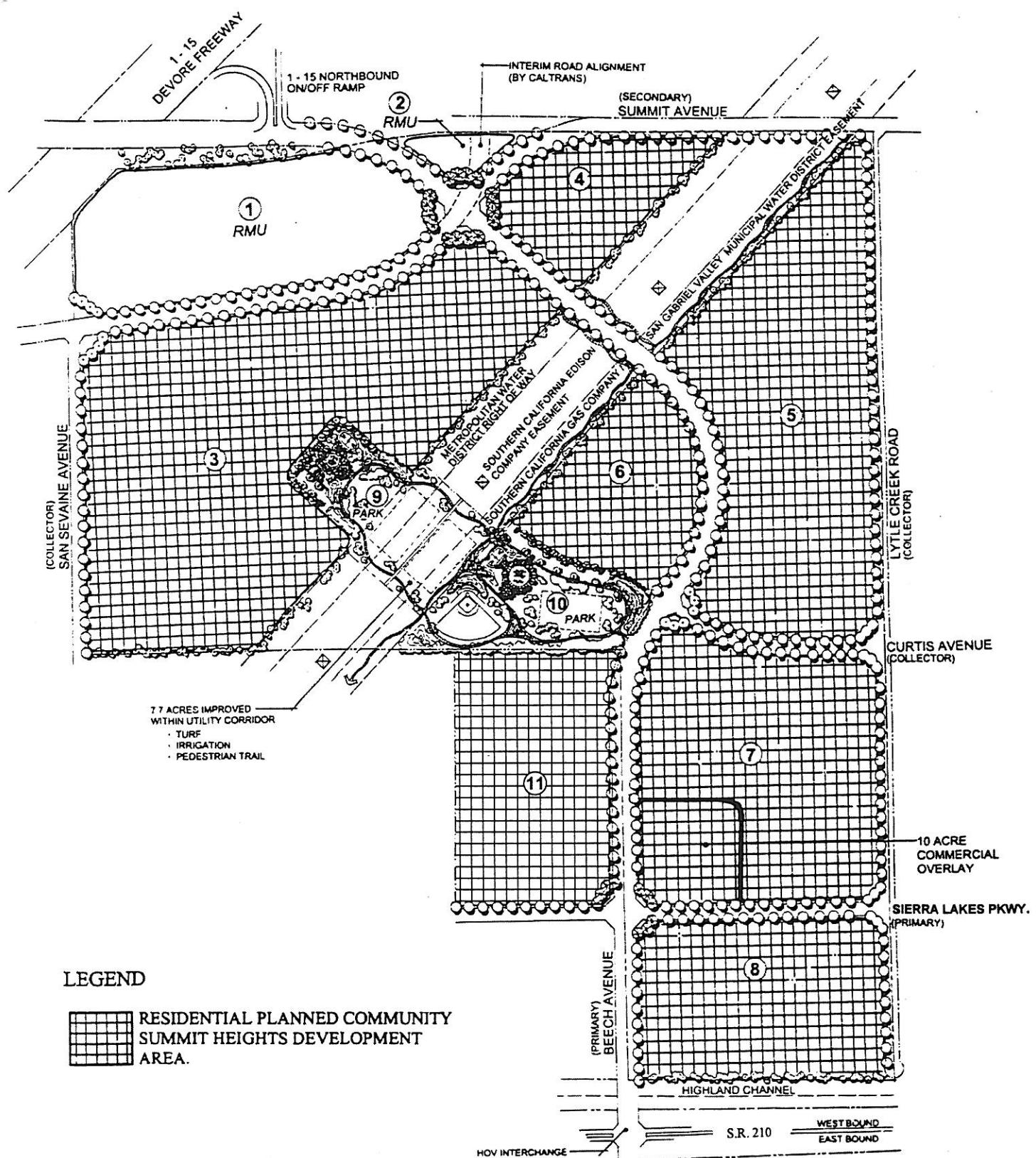
*Exhibit 8
Land Use*

4.2 LAND USE

4.2.1 RESIDENTIAL

The residential land uses comprise the largest single land use within Summit Heights, totaling nearly 216.4 acres. The Specific Plan proposes the development of 1,051 single family lots with a minimum lot size of 6,200 square feet within the Summit Heights Development Area. The R-PC residential areas are depicted on Exhibit 9.

The decision to provide 6,200 square foot lots is based primarily upon real estate forecasts, which indicate a relatively strong demand for all levels of single family housing into the foreseeable future. In exchange for the proposed 6,200 square foot lots, the master developer will contribute toward the development of an off-site extraordinary amenity as defined in the City of Fontana General Plan. If, however, such an off-site extraordinary amenity is not agreed upon by the City and the project applicants, then 7,200 square foot lots not to exceed 850 units, would be developed within the Development Area instead.



LEGEND

RESIDENTIAL PLANNED COMMUNITY
SUMMIT HEIGHTS DEVELOPMENT
AREA.

Exhibit 9
Residential Land Use

4.2.2 COMMERCIAL

Summit Heights is strategically located adjacent to the 1-15 (Devore Freeway), providing an excellent opportunity for the development of a regionally serving, freeway oriented commercial retail center proximate to this busy interstate transportation corridor. Situated at the base of the proposed Summit Avenue freeway exit, two parcels provide a total of 27.84 acres devoted to commercial use. Potential tenants of these parcels would include "big-box" users such as home improvement stores or home furnishing, discount, and apparel stores, as well as community supporting retail services such as supermarket/drug store outlets, restaurants, banks, service stations, and other similar facilities.

This commercial component of Summit Heights, with its prominent visibility from I-15, provides many benefits to the City of Fontana. Foremost is the enhanced economic value that the increased sales tax revenue will bring to the City. This increased revenue stream will, in turn, offset the costs of providing services to the remaining residential portions of the master planned community. In addition, the provision of commercial development on-site reduces the number of automobile trips generated to and from the site, which would otherwise be necessary for residents of Summit Heights.

In addition to the community commercial sites, a commercial overlay of approximately 10 acres is included as a development plan alternative and is proposed as part of this Plan. Located at the northeast corner of Beech Avenue and Sierra Lakes Parkway, this commercial center would be neighborhood serving providing for the day-to-day retail and service needs of area residents. Potential tenants of the commercial center could include a convenience store, grocery store, drug store, or hardware store, as well as neighborhood serving services such as bakeries, dry cleaners, and other similar facilities.

The land use areas allocated to Regional Mixed Use and Local Commercial uses are described in Exhibit 10.

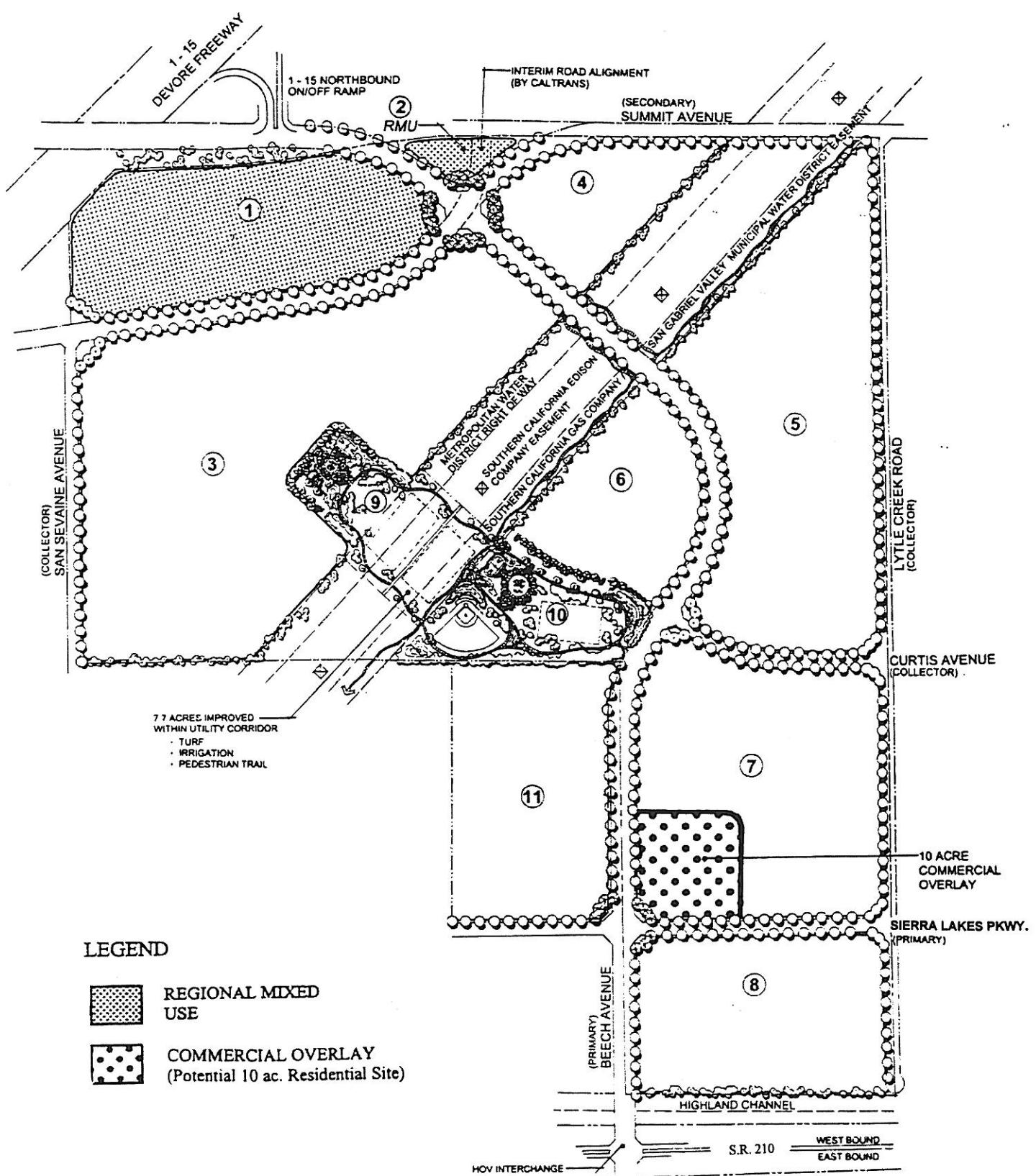


Exhibit 10
Commercial Land Use

4.2.3 OPEN SPACE / RECREATION

The open space system is designed as an integral part of the overall Summit Heights master plan. Improved parkland to be dedicated by the applicants totals 13.6 acres and is comprised of two parks located on either side of the utility corridor, which bisects the community. The land use areas allocated for open space and recreational uses are described on Exhibit 11.

Planning Area 10 is a 10-acre park site adjacent to and southeasterly of the public utility corridor. This park site is planned to include a shelter/BBQ area, picnic areas, tot lot, concessions/restrooms, seating, pathways, and open turf areas large enough to accommodate softball or soccer play areas, a baseball field, two basketball half courts, and parking. Planning Area 9 is a 3.6-acre park site directly across the utility corridor from the ten-acre park site. This park, which also serves as a focal point for the residential neighborhood within Planning Area 3, provides more passive recreational opportunities such as picnic and barbecue areas, open play turf areas, pathways, restrooms, paved plaza area, and parking.

Park improvements to the public utility corridor bisecting the project site are proposed, however the installation of these improvements is contingent upon receipt of approvals from the affected utility companies. The two parks will be connected by a pathway across the utility corridor, along with a turfed and irrigated area of 6.2 acres intended for use by the City of Fontana as soccer fields. Additionally, a landscaped, linear bicycle/pedestrian pathway, approximately 25 feet in width comprising approximately 1.5 acres is planned within and adjacent to the southeasterly boundary of the San Gabriel Valley Municipal Water District Easement. This pathway will provide additional points of access to the open space/park system, as well as a linkage to the adjoining Westgate Specific Plan area.

The combined acreage of the two public parks and the acreage to be improved for recreational use within the utility corridor will provide approximately 21.3 acres of contiguous public park and recreation area for residents of Summit Heights.

Calculation of Parkland Provided

Dedicated Land plus Improvements	13.6 acres
Improvements in Utility Corridor	<u>7.7 acres</u>
Total Park Acreage Provided	21.3 acres

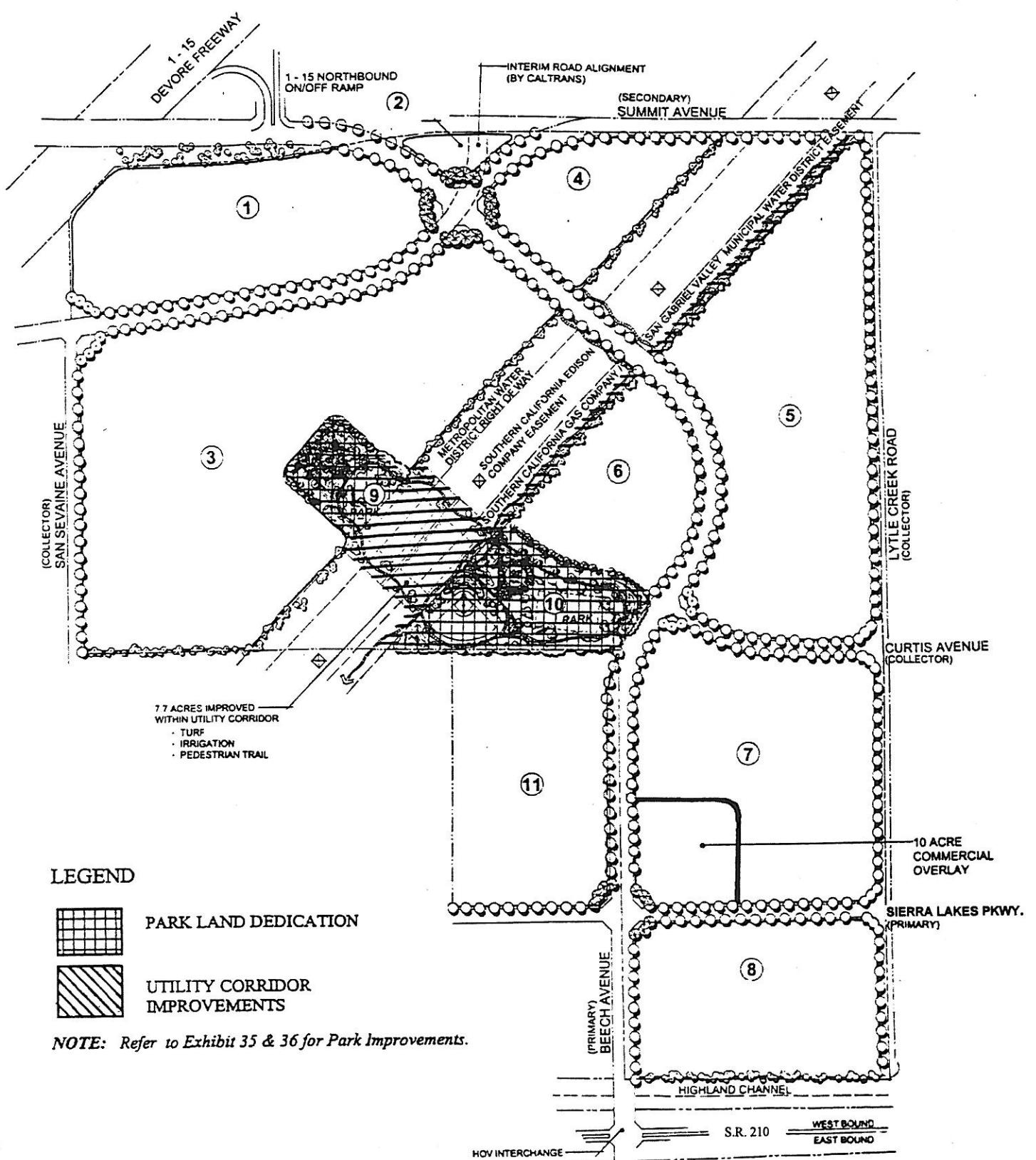
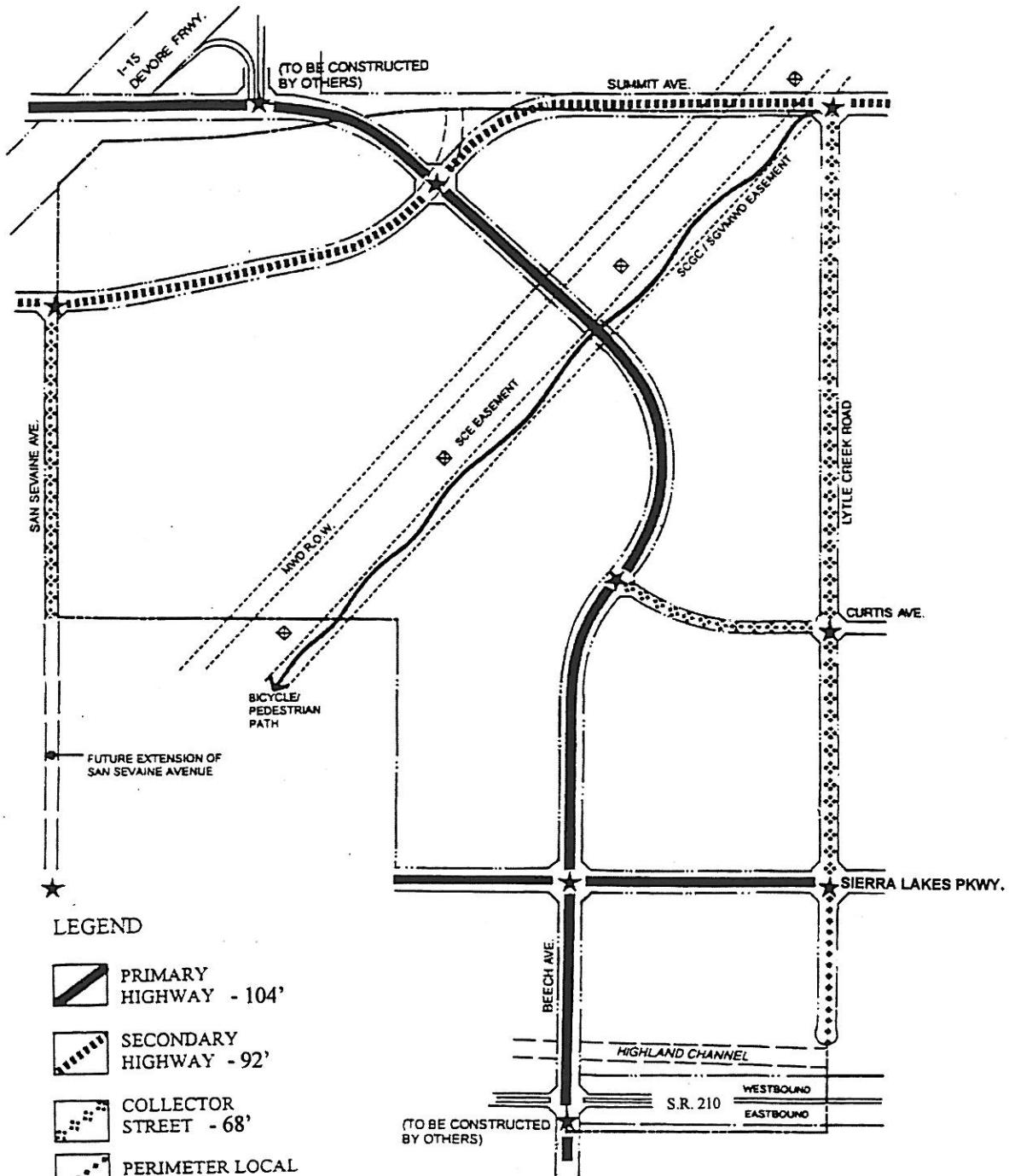


Exhibit 11
Conceptual Open Space / Recreation Plan

4.3 CIRCULATION

The circulation system for Summit Heights consists of a hierarchy of vehicular roadways, along with bicycle paths and pedestrian trails. As a result of a collaborative effort between Caltrans, the City of Fontana, and the applicants, the circulation system is designed to promote the movement of vehicles and pedestrians in a safe and efficient roadway network. Exhibit 12 describes the Circulation Plan for the Summit Heights Development.



NOTE: DESIGN AND LOCATION OF FUTURE BUS TURN-OUT TO BE DETERMINED BY THE CITY OF FONTANA AND OMNI TRANS.

Exhibit 12
Vehicular Circulation System

4.3.1 VEHICULAR CIRCULATION

The vehicular circulation system is comprised of a hierarchy of roadways including Primary Highways (104 foot R.O.W.), Secondary Highways (92 foot R.O.W.), Collector Streets (68 foot R.O.W.), Local Perimeter Streets (64 foot R.O.W.), and Local Streets (ranging from a 50 to a 54 foot R.O.W.). The right of way provided for primary, secondary and collector level roadways meets the standards approved by the City's General Plan. In order to accommodate a unique community design theme along these roadways and provide a unifying design element for the Planned Community, an additional 10-foot landscaped setback area is provided on either side of these roadways behind the right of way line.

The community design elements within the rights of way and landscaped easements are described in detail in Section 5 of the Specific Plan. The Primary and Secondary Highways are intended to carry higher volumes of traffic based upon regional needs, leaving the collector and local streets to carry smaller traffic volumes serving individual neighborhoods and residences. As a result, the residential areas become quiet places providing a pleasant and desirable neighborhood environment with minimal traffic intrusion.

Primary Highways

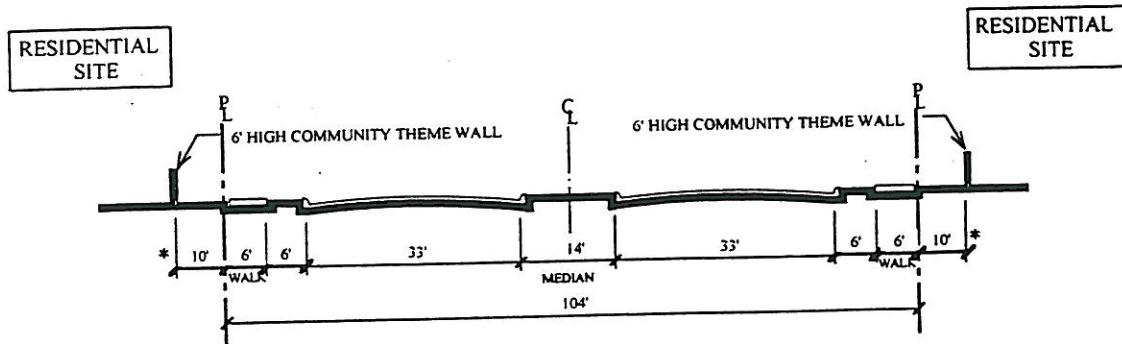
Primary Highways are designed primarily to move regionally oriented traffic safely and efficiently between the various points of ingress and egress of Summit Heights, particularly the adjacent I-15 and S.R. 210 freeways.

The Primary Highways have a right-of-way dimension of 104 feet with two travel lanes in each direction separated by a raised and landscaped median. Left-turn pockets are provided at intersections and right-turn pockets are provided where warranted. In addition, a landscaped parkway is provided adjacent to each curb lane and a landscaped setback area of 10 feet is provided on each side between the back of sidewalk and property line walls.

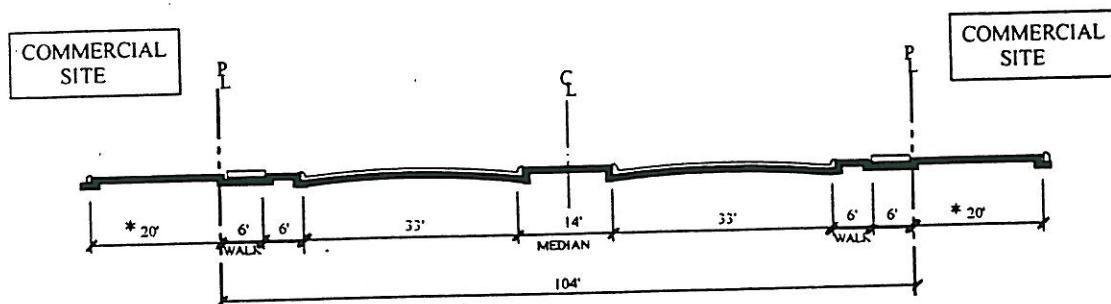
The Primary Highways within Summit Heights include the following streets:

- **Beech Avenue between Highland and Summit Avenue**
- **Sierra Lakes Avenue between Lytle Creek Road and westerly project site boundary**

Exhibit 13 that follows, illustrates the proposed roadway right-of way design for Primary Highways within Summit Heights.



PRIMARY HIGHWAY (BEECH BLVD AND SIERRA LAKES PKWY.)
 PARKWAY WIDTH WILL BE 12'
 * INDICATES ADDITIONAL LANDSCAPE SETBACK.



PRIMARY HIGHWAY (BEECH BLVD.) COMMERCIAL SITE ONLY
 PARKWAY WIDTH WILL BE 12'.
 * INDICATES ADDITIONAL LANDSCAPE SETBACK.

Secondary Highways

The Secondary Highways are similarly designed to carry regionally-oriented traffic safely and efficiently between the various points of ingress/egress of Summit Heights, particularly providing access to the I-15 freeway and the adjacent Westgate Specific Plan area.

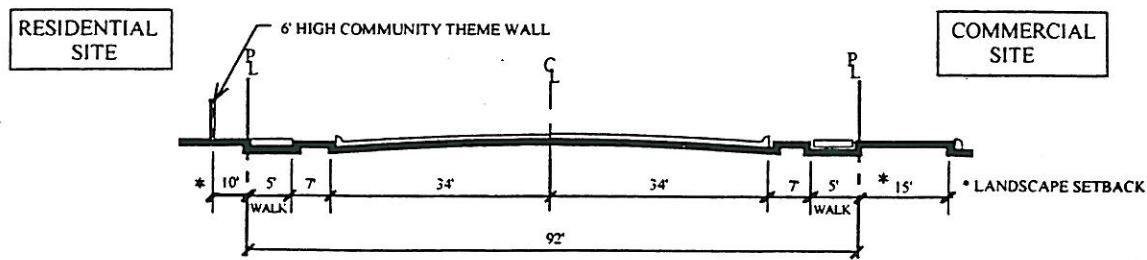
The Secondary Highways have a right-of-way dimension of 92 feet consisting of two travel lanes in each direction separated by an at-grade painted median. Left-turn pockets are provided at intersections. In addition, a landscaped parkway is provided adjacent to each curb lane and a landscaped setback area is provided adjacent to each side of the right of way within residential areas.

The Secondary Highways within Summit Heights include the following streets:

- Summit Avenue between Lytle Creek Road and San Sevaine Avenue

Exhibit 14 that follows, illustrates the proposed right-of-way for Secondary Highways within Summit Heights.

MAP
L-100



SECONDARY HIGHWAY (SUMMIT AVE.)

PARKWAY WIDTH WILL BE 12'

* INDICATES ADDITIONAL LANDSCAPE SETBACK.

Exhibit 14
Secondary Highway

Collector Streets and Perimeter Local Street

The collector streets are designed primarily to collect traffic from residential neighborhoods and distribute it to streets of higher classification.

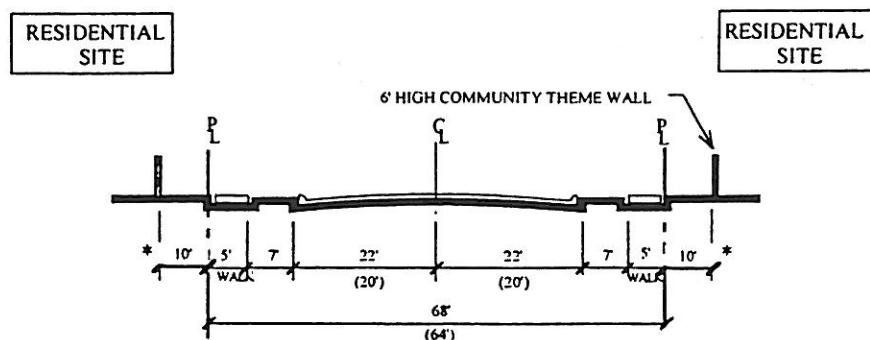
The Collectors have a right-of-way dimension of 68 feet consisting of one travel lane in each direction. Left-turn pockets are provided at intersections. In addition, a landscaped parkway is provided adjacent to each curb lane and a landscaped setback area is provided on either side of the street between the back of sidewalk and the property line walls.

The Collector Streets within Summit Heights include the following streets:

- San Sevaine Avenue north of Sierra Lakes Parkway
- Lytle Creek Road north of Sierra Lakes Parkway
- Curtis Avenue

The Perimeter Local Street is designed to achieve a small neighborhood scale street adjacent to the perimeter of the project that will carry neighborhood related traffic only. The Perimeter local has a right-of-way of 64 feet with one travel lane in each direction. A landscaped parkway is provided adjacent to each curb lane and a landscaped setback area is provided on either side of the street between the back of sidewalk and the property line wall. The Perimeter Local street within Summit Heights includes Lytle Creek Road between Sierra Lakes Parkway and the Highland Channel.

Exhibit 15 below illustrates the proposed right-of-way for Collector Streets within Summit Heights.



68' COLLECTOR STREET (SAN SEVAINE AVE., LYTLE CREEK RD., AND CURTIS AVE.)
64' PERIMETER LOCAL (LYTLE CREEK RD. BETWEEN SIERRA LAKES PKWY AND HIGHLAND CHANNEL.)

COLLECTOR STREET (SAN SEVAINE AVE., LYTLE CREEK RD.
AND CURTIS AVE.)

PARKWAY WIDTH WILL BE 12'

* INDICATES ADDITIONAL LANDSCAPE SETBACK.

TYPICAL LOCAL STREET
CROSS SECTION

*Exhibit 15
Collector Street*

Local Streets

Local streets are designed to achieve a small neighborhood scale while moving traffic from nearby Collectors to individual residences. Lytle Creek Road between Sierra Lakes Parkway and S.R. 210 right of way will be a local street.

The typical right-of-way dimension for Local Streets is 54 feet, consisting of one travel lane in each direction with curb parking permitted. Cul-de-sacs up to 650 feet in length and short loop streets are considered Short Locals, and have a right-of-way dimension of 50 feet. Exhibit 16 below illustrates the proposed right-of-way for local streets within Summit Heights.

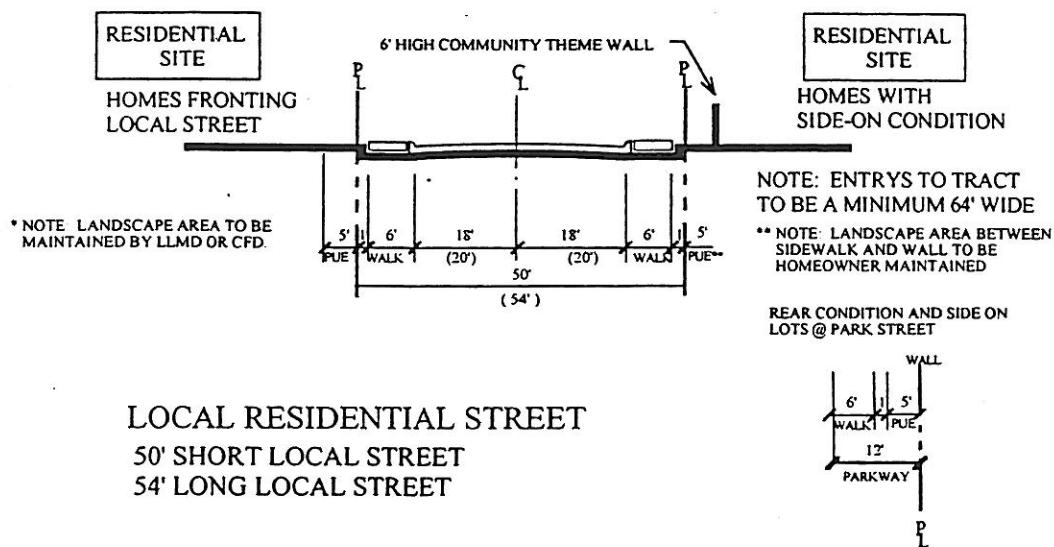


Exhibit 16
Local Residential Street

4.4 INFRASTRUCTURE AND PUBLIC FACILITIES PLAN

4.4.1 WATER

Existing Conditions

Summit Heights is located within the Fontana Water Company's (Company) service area, according to the Fontana Water Company Service Area Map as filed with and approved by the California Public Utilities Commission. Fontana Water Company (also known as the San Gabriel Valley Municipal Water District) has reviewed its most recently adopted Urban Water Management Plan and has determined that the water demand requirements for Summit Heights are included in that plan. The water supply available to the Company during normal, single dry and multiple dry years is adequate to meet the water supply needs of Summit Heights, as well as the Company's existing and projected water demand for the next 20 years.

Fontana Water Company has indicated it is capable of meeting all of the water service requirements within Summit Heights. The Company currently provides water utility service to customers within the immediate vicinity, and the Company has access to ample water resources in the Chino groundwater basin, the Lytle Creek Region, the Colton-Rialto Basin, and elsewhere to provide the water necessary to meet the anticipated water service requirements within Summit Heights.

Fontana Water Company produces water for domestic uses from stream flow in Lytle Creek, a horizontal tunnel, and 34 water production wells in the Chino groundwater basin, the Lytle Creek Region, the Colton-Rialto basin, and elsewhere. In addition to its water production facilities, the Company's infrastructure includes water storage reservoirs, booster pumping facilities and more than 500 miles of pipelines which form a completely integrated water system that has the capacity to produce, transport, and deliver water throughout the Company's service area. The Company's existing water system infrastructure includes facilities located in and near streets bordering Summit Heights, and those facilities can be extended to provide water utility service to Summit Heights.

Proposed Improvements

Connections to existing water mains (24" at Summit Avenue and 12" at Highland Avenue, and at the adjacent proposed projects of Westgate and California Landings) can be made. The Company will determine what additional water facilities are necessary to provide service to Summit Heights once the Company has had an opportunity to review more detailed development plans.

Fontana Water Company has indicated its support of the use of reclaimed water within Summit Heights and elsewhere within its service area where its use is appropriate and where reclaimed water is available. The Company currently provides reclaimed water to customers elsewhere within its service area at a substantially reduced rate from its regular domestic tariff rate. Where practical, the Company will make such arrangements as may be necessary with the Summit Heights developer and the operators of reclaimed water treatment facilities in order to provide reclaimed water to Summit Heights for irrigation of public parks and rights of way. If available, and acceptable to the applicants and the City, reclaimed water will be provided to users within Summit Heights by the Fontana Water Company in accordance with all of the regulations, standards, and safeguards regarding its use and protection of the public water system.

The project developer will be responsible for all required in-tract water system improvements necessary to serve the proposed project. These improvements are illustrated in Exhibit 17.

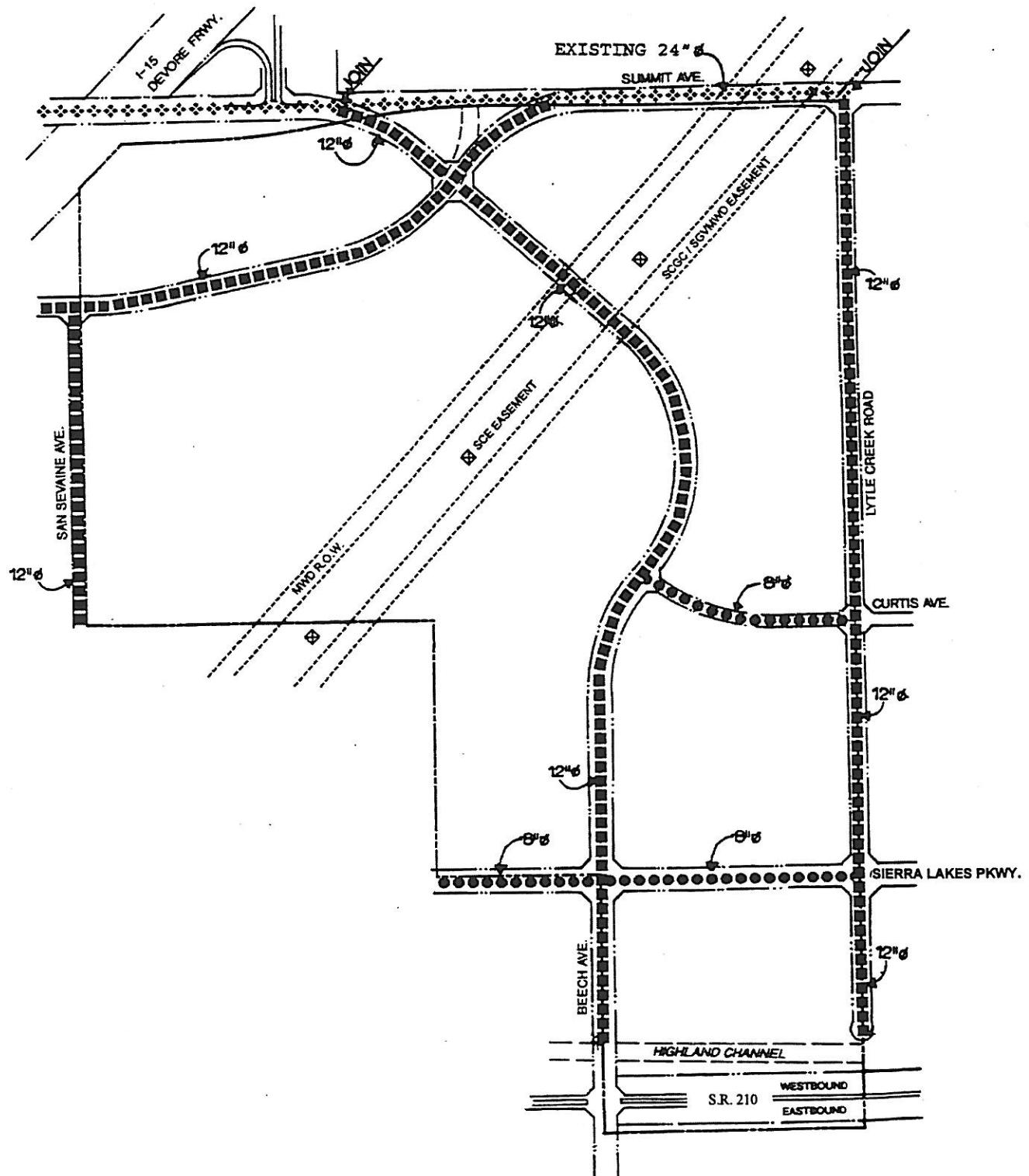


Exhibit 17
Proposed In-Tract Water System

4.4.2 SANITARY SEWER

Existing Conditions

The City of Fontana provides sanitary sewer service in the City of Fontana. The City will be responsible for the sanitary sewer system in Summit Heights, including engineering plan checking and approval, inspection, and maintenance of these public facilities. Improvements to the system as part of the proposed project will be constructed according to the City of Fontana's Sewer Master Plan.

The City's sewage system is connected to Inland Empire Utilities Agency (formerly Chino Basin Municipal Water District) interceptor lines and sewer treatment plants. According to the City, sewage discharge from Summit Heights is to be treated at the Inland Empire Utilities Agency Regional Plant No. 4 (RP-4) located on Etiwanda Avenue, south of Arrow Highway, under contract with the City.

Proposed Sewer System Improvements

Two points of connection to City sewer trunk lines are needed for the project. The 15" Beech Avenue Master Plan sewer has been extended to the Sierra Lakes Parkway right-of-way as part of the State Route (S.R.) 210 Freeway project. Sierra Lakes Parkway includes an 8" sewer line extending adjacent to the southern boundary of the site. Summit Heights will join the sewer at this location and extend it through the project as required.

A second connection is needed at the southwest corner of Summit Heights, at San Sevaine Avenue, to accommodate the westerly portion of the project. Off-site portions will be constructed by the Westgate Project and/or by the Summit Heights developer, as needed. This sewer main will be connected to the existing 21" trunk sewer within Cherry Avenue following an alignment from Cherry Avenue easterly along South Highland Avenue to San Sevaine Avenue and then northerly along San Sevaine Avenue to the southwest corner of the project. Final engineering will be necessary to determine the size of these off-site sewer mains. The installation of this line will be required for both the Westgate Specific Plan and the Summit Heights Specific Plan. In the event the development of Summit Heights proceeds prior to the development of Westgate, and the entire line is constructed by the developers of Summit Heights, a reimbursement agreement with the City will be executed to the benefit of the Summit Heights developers.

Within the Summit Heights Planned Community, 8" sewer mains are proposed. The project developer will be responsible for all required in-tract sewer system improvements necessary to serve the proposed project. These improvements are illustrated in Exhibit 18.

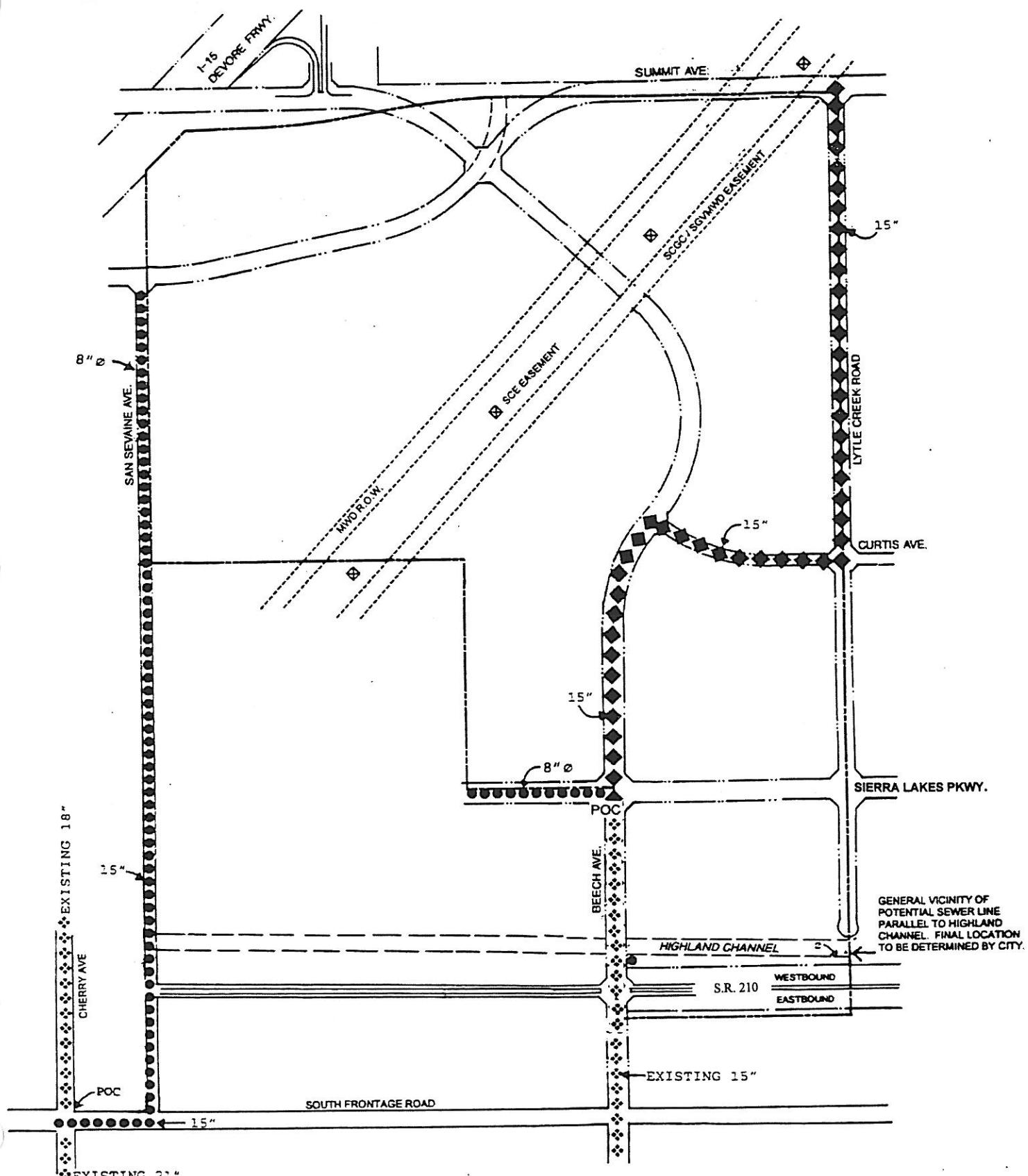


Exhibit 18

Proposed Sewer Improvements

4.4.3 STORM DRAINAGE

Existing Conditions

The Summit Heights Specific Plan area is located on gently sloping undeveloped terrain with a uniform slope of approximately 2.3%. The property slopes in a southerly/southwesterly direction from Summit Avenue at an elevation of approximately 1600 feet to Highland Avenue at an elevation of approximately 1,475 feet.

An existing open channel along the north side of Summit Avenue intercepts storm flows from the undeveloped property to the north, and discharges this flow into the existing Hawker Crawford Channel on the west side of the I-15 freeway, thus providing flood protection for the Summit Heights property. In a north-south alignment, existing ditch swales (adjacent to Lytle Creek Road, San Sevaine Avenue and midway between those two streets, together with sheet flow across the entire property) conduct the storm water run-off from undeveloped property toward Highland Avenue. At Highland Avenue, existing ditch swales conduct minor flows westerly, while drainage from more intense storms would flow across Highland Avenue and continue in a southerly/southwesterly direction.

Proposed Storm Drain Infrastructure

Summit Heights will be developed in accordance with the City of Fontana Master Plan of Drainage. State Route 210, extending in an east-west alignment along Highland Avenue, has begun construction by Caltrans. Part of the S.R. 210 improvements include, an open channel (Highland Channel) along its north side. This facility conveys 100-year storm flows from tributary areas northerly to Summit Avenue. Master Plan Storm Drains connecting to the Highland Channel are proposed within San Sevaine Avenue and Beech Avenue. The Master Plan Storm Drains in San Sevaine Avenue and Beech Avenue are intended to carry the 25-year storm event, and the 100-year flow will be carried within the street right of way. At the downstream end of both San Sevaine and Beech Avenues north of the Highland Channel, however, the Master Plan Storm Drains must intercept and deliver the total 100-year storm flow to the Highland Channel.

Along with the S.R. 210 construction, Caltrans is proposing to construct a 60" diameter storm drain stub within San Sevaine Avenue. Caltrans is also proposing to construct a 60" diameter storm drain within Beech Avenue from the Highland Channel northerly to Sierra Lakes Parkway. A 36" diameter storm drain within Sierra Lakes Parkway is proposed to extend in a westerly direction, adjacent to Summit Heights. The project developer will extend the required Master Plan Storm Drains within San Sevaine Avenue and Beech Avenue to serve all areas within this development. In addition, a 25-year Master Plan Storm Drain within Curtis Avenue will be constructed from Beech Avenue easterly to Lytle Creek Road to pick up future development east of Lytle Creek Road and north of the Curtis Avenue extension per the City of Fontana Master Plan of Drainage. The project developer will extend local storm drains from these Master Plan facilities into the proposed planning areas as needed.

The project developer will be responsible for all required in-tract storm drain system improvements necessary to serve the proposed project. The storm drain improvements to be constructed as part of the proposed project are illustrated in Exhibit 19.

Based on the latest Caltrans S.R. 210 construction date projections, the Highland Channel should be complete and ready to accept flows in July 2001. Coordination shall occur with the San Bernardino County Flood Control District to determine if there is capacity in the San Sevaine Channel for the developed flows from the Summit Heights project. Interim detention basins may be required to limit the developed flows from the Summit Heights project to an acceptable amount determined by the Flood Control District until such time when improvements are made to San Sevaine Channel to accept total developed flows. These basins would be designed as temporary facilities in accordance with City of Fontana standards. Exhibit 20 illustrates potential sites for these temporary basins. As part of Specific Plan Amendment No. 1, an interim detention basin will be provided within the southern portion of Planning Area 11 adjacent to Sierra Lakes Parkway.

The existing channel on the north side of Summit Avenue will be replaced by a 10'x9' RCB (Reinforced Concrete Basin) according to the Master Plan of Drainage and is anticipated to be constructed as part of the adjacent Westgate Specific Plan. Since the construction of this improvement is only needed when Westgate development north of Summit is completed, the Summit Heights development will not contribute to its construction.

4.4.4 SCHOOLS

Two school districts serve the project site. The Etiwanda Elementary School District will provide education for grades Kindergarten through eighth, and the Chaffey Joint Union High School District will serve students in grades 9 - 12. The Etiwanda School District presently operates the East Heritage Elementary School, located three miles to the south, which could serve the project site. Etiwanda High School, located approximately two miles to the south, could serve the project site for secondary education needs.

The developers of the Summit Heights Planned Community will either pay school fees, pursuant to Government Code Section 65995, or enter into separate agreements with both the Etiwanda School District and the Chaffey Joint Union High School District, within the limits established by State law, to provide for adequate elementary, middle and high school facilities.

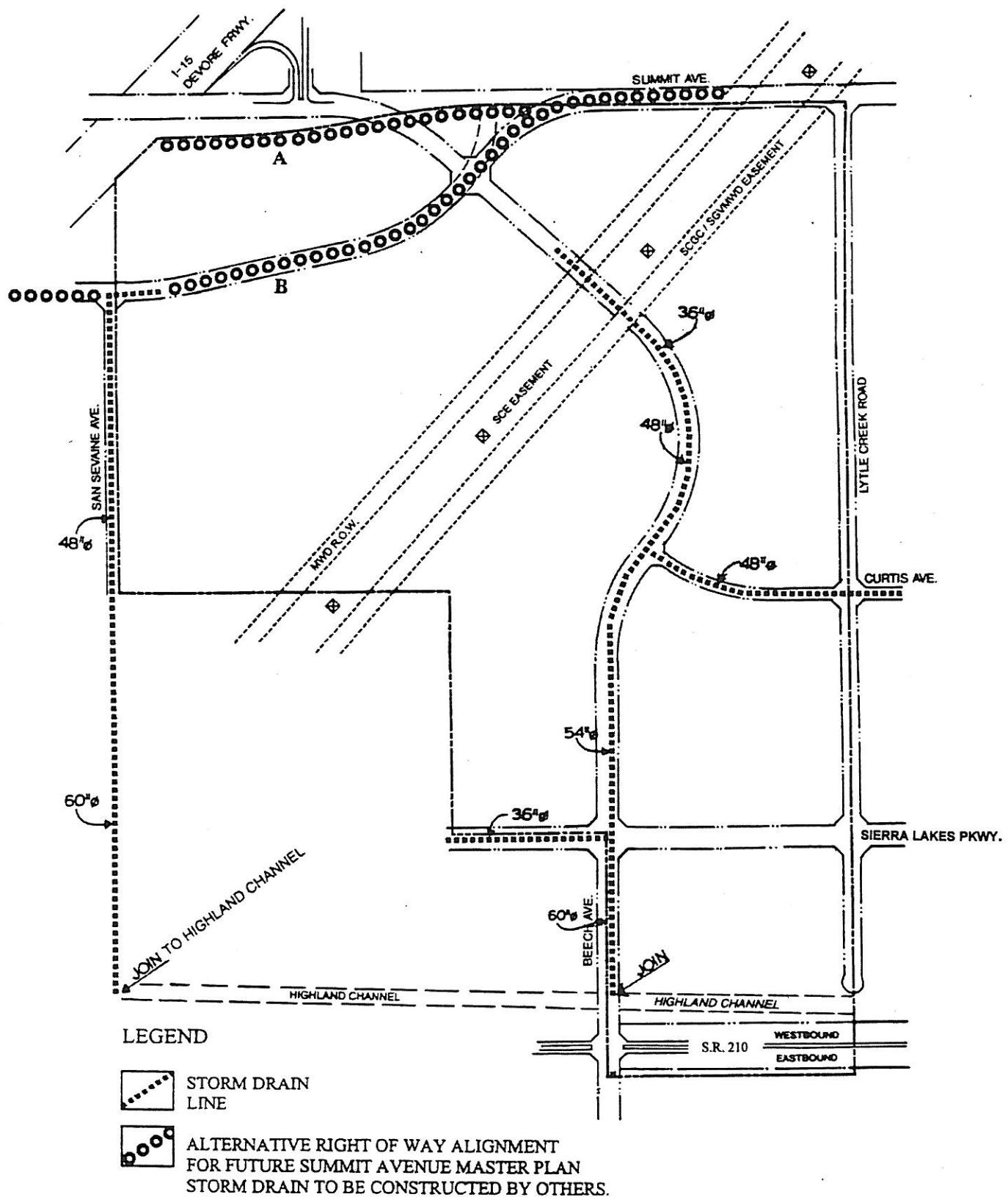


Exhibit 19
Proposed Project Storm Drain Improvements

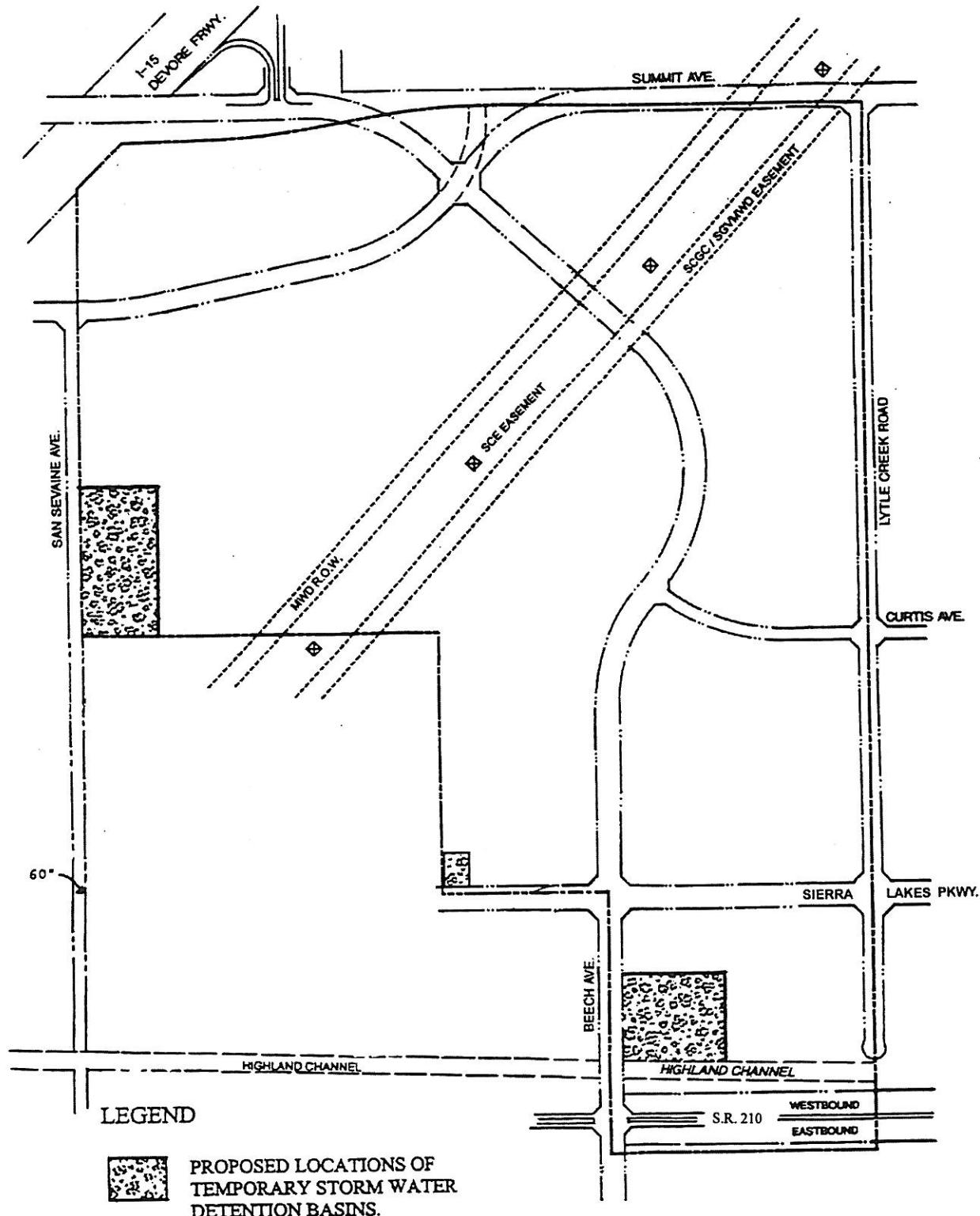


Exhibit 20
Temporary Detention Basins

4.5 PROJECT PHASING

The phasing of development within the Summit Heights Specific Plan is dependent upon several factors such as market demand, the timing of the construction of State Route 210, the associated infrastructure improvements planned as a part of S.R. 210 construction, and the timing and progression of development within the Westgate Specific Plan. All phases of development will provide for adequate circulation improvements and infrastructure to be in place at the time of occupancy of each phase. The detailed alignment and design of the circulation system and infrastructure improvements for each development phase will be addressed during final engineering for each phase as part of subdivision map approvals by the City.

5.0 Design Guidelines

SECTION 5 DESIGN GUIDELINES

5.1 INTRODUCTION

The purpose of the Specific Plan Design Guidelines is to provide planning, architectural, and landscape design criteria for the various land uses and facilities within Summit Heights that will promote a quality development and an aesthetically pleasing living environment. The sketches and graphic representations contained herein are for conceptual purposes only, and are to be used as general visual aids in understanding the basic intent of the guidelines. They are not meant to depict any actual lot or building design. In an effort to encourage creativity and innovation, the guidelines express "intent" rather than "absolute", thereby allowing certain flexibility in fulfilling the intended design goals and objectives.

The Design Guidelines are organized in the following manner:

COMMUNITY GUIDELINES	RESIDENTIAL GUIDELINES	COMMERCIAL GUIDELINES
<ul style="list-style-type: none">▪ STREETSCAPES▪ ENTRIES▪ PARKS / UTILITY CORRIDOR▪ WALLS▪ SIGNAGE▪ LIGHTING	<ul style="list-style-type: none">▪ SITE PLANNING▪ ARCHITECTURE▪ LANDSCAPE	<ul style="list-style-type: none">▪ SITE PLANNING▪ ARCHITECTURE▪ LANDSCAPE

5.2 COMMUNITY GUIDELINES

The Summit Heights Specific Plan proposes a comprehensive set of community design guidelines to address streetscapes, entries, edge treatments, and community image through the use of coordinated and cohesive application of plant materials and hardscape such as walkways, walls, and signage. The architectural guidelines included in the Summit Heights Design Guidelines provide a unified approach to the community's architecture through the combined application of site plan criteria, and recommended treatment of building massing, articulation, roofs, building materials and colors. These Community Guidelines, when implemented, will provide a strong community identity, distinctive neighborhoods, and a sense of place for residents Summit Heights.

The overall community guidelines focus on those elements which serve as unifying elements throughout the Summit Heights community, such as streetscape landscape treatments, gateways and entry monumentation, and the design of the park and landscape improvements. Together, the appropriate treatment of these elements will establish a distinctive community image, which is consistent throughout Summit Heights.

The primary objective of the Landscape Plan is to create an identifiable "signature" landscape character which is reminiscent of the regional character of the surrounding area. Plant materials have been selected which will complement the image of the community, and tolerate the local climatic conditions with a minimum of irrigation or maintenance requirements. The continuity of the landscape materials along the community roadways and within open space areas of the community, as well as the continuity of the freestanding, perimeter walls throughout the community is crucial to the definition and enhancement of the Plan as a cohesive and unified master planned community. All landscape plans, streetscape plans, perimeter wall plans, and related graphic designs shall conform to the guidelines as set forth herein and shall be subject to review and approval by the City of Fontana.

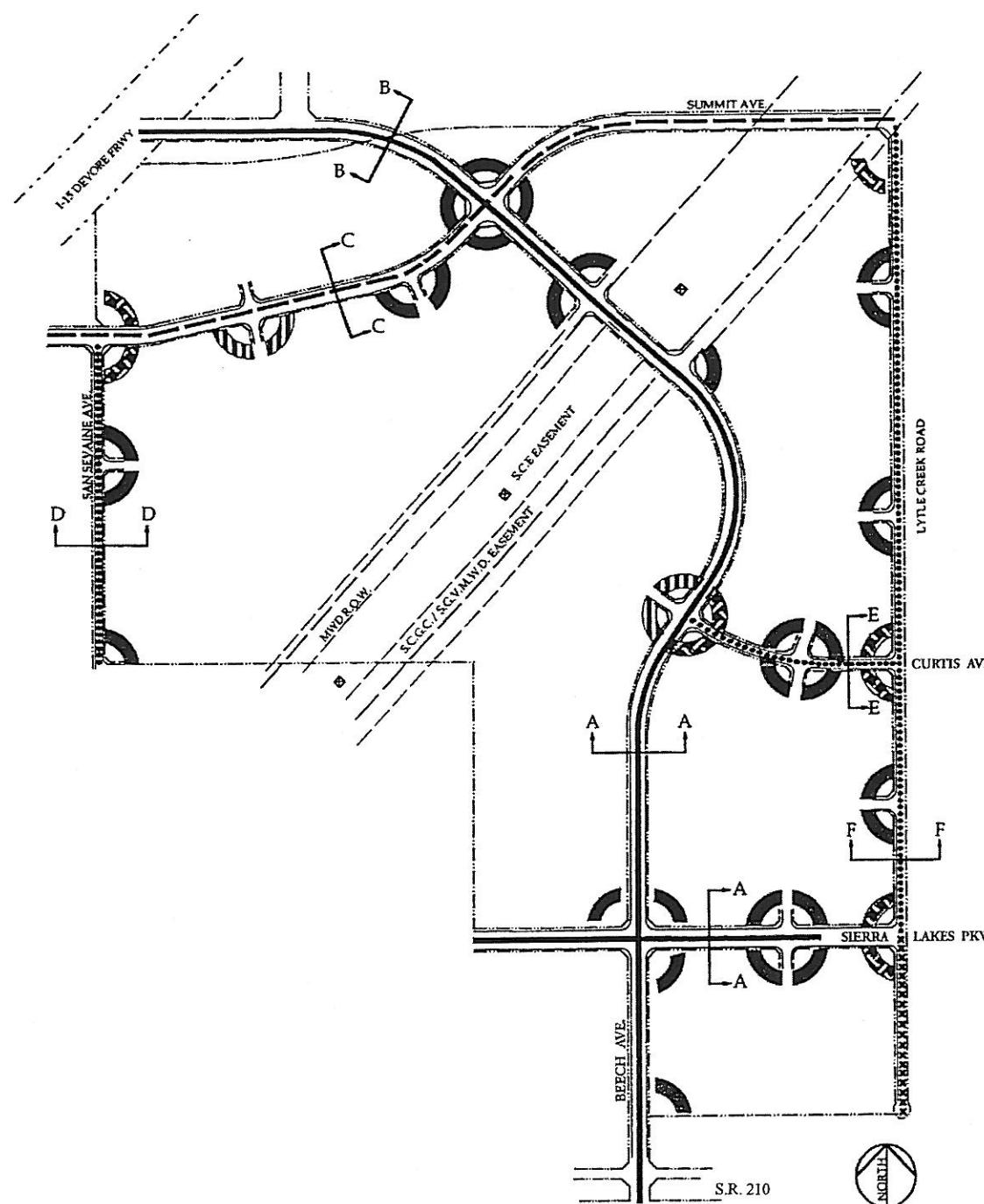
5.2.1 STREETSCAPES

The following guidelines describe the design intent of the streetscape system of Summit Heights, while Exhibits 21 through 28 graphically depict their intended character.

Primary Highways (104 foot R.O.W.)

Beech Avenue, Sierra Lakes Parkway

As the primary roadways providing "through" access through Summit Heights, Beech Avenue and Sierra Lakes Parkway present an excellent opportunity to feature the community character envisioned for Summit Heights. Thus, the landscape treatment of both these roadways is planned to be reminiscent of the regional character of the area through the use of "windrows" along the parkways of Beech and Sierra Lakes Parkways. The windrows will feature the formal use of evergreen canopy trees such as Red Iron Bark Eucalyptus. At key intersections along Beech and Sierra Lakes Parkways, formal rows of California Fan Palms with California Pepper Trees as accents will be used to accentuate these gateway locations. To further reinforce the windrow concept, the center median islands will also be planted in this manner, again using Red Iron Bark trees and accented with plantings of flowering Crape Myrtles at key intersections. Exhibits 22 and 23 illustrate the streetscape plan for Primary Highways within Summit Heights.



LEGEND:

SECTION A-A (RESIDENTIAL SITE)
BEECH AVE. STREETSCAPE
SIERRA LAKES PKWY. STREETSCAPE

SECTION B-B (COMMERCIAL SITE)
BEECH AVE. STREETSCAPE

SECTION C-C
SUMMIT AVE. STREETSCAPE

SECTION D-D
SAN SEVAINE AVE. STREETSCAPE

SECTION E-E
CURTIS AVE. STREETSCAPE

SECTION F-F
LYTLE CREEK ROAD STREETSCAPE

PRIMARY COMMUNITY ENTRY.
(COMMERCIAL MAY VARY FROM
RESIDENTIAL SHOWN.)

SECONDARY COMMUNITY ENTRY.
(COMMERCIAL MAY VARY FROM
RESIDENTIAL SHOWN.)

PRIMARY NEIGHBORHOOD ENTRY.

SECONDARY NEIGHBORHOOD ENTRY.

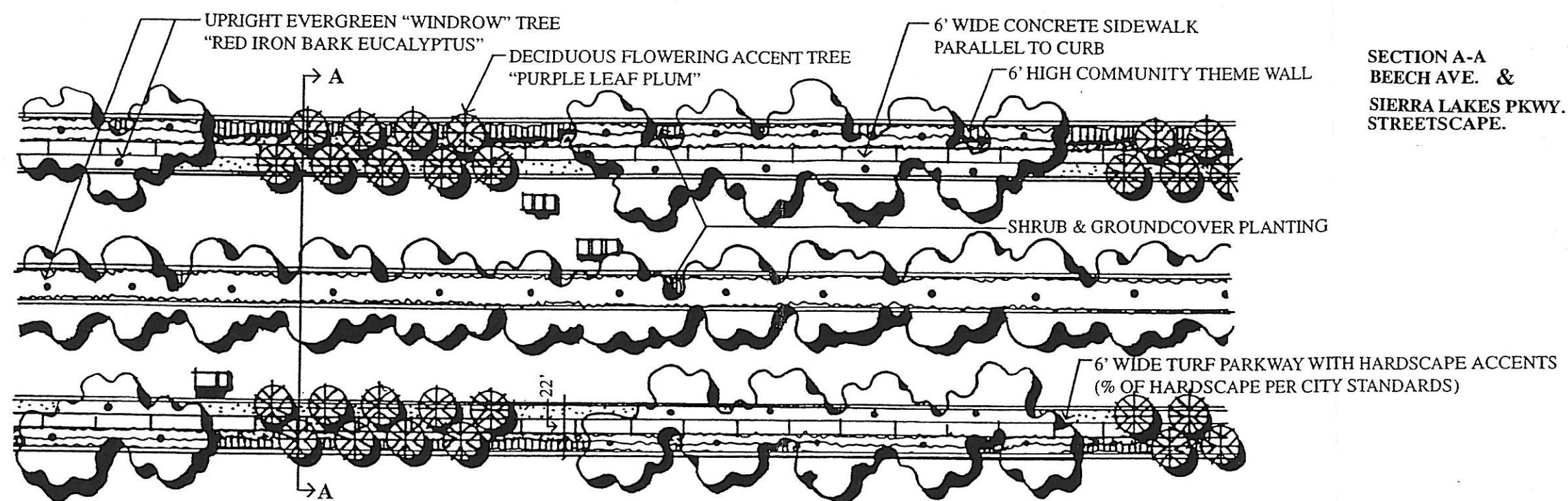
LEGEND:

PRIMARY HIGHWAY

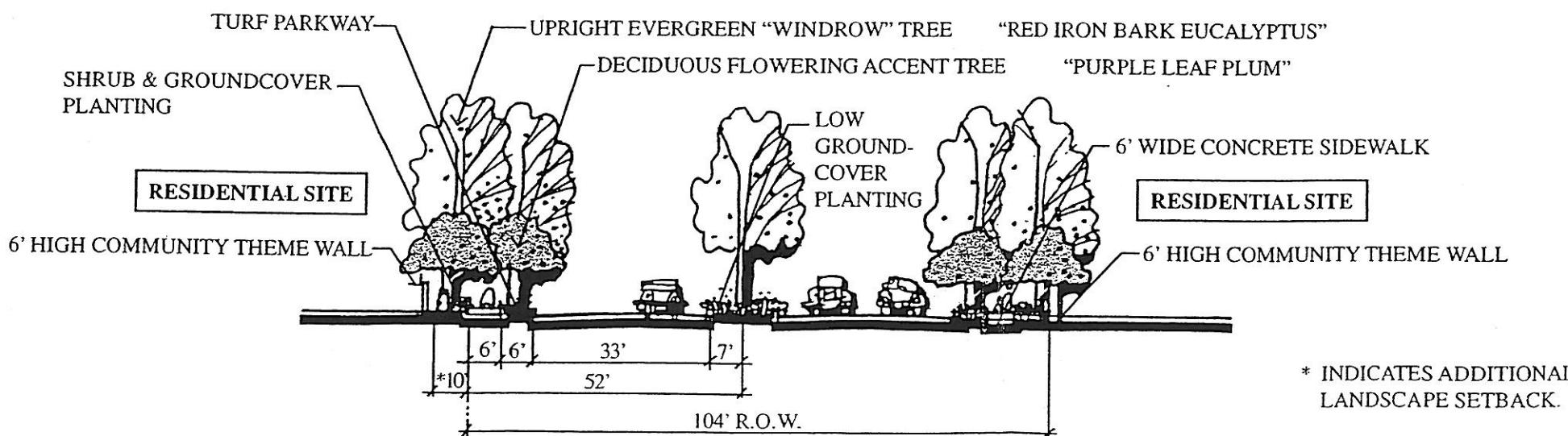
SECONDARY HIGHWAY

COLLECTOR STREET

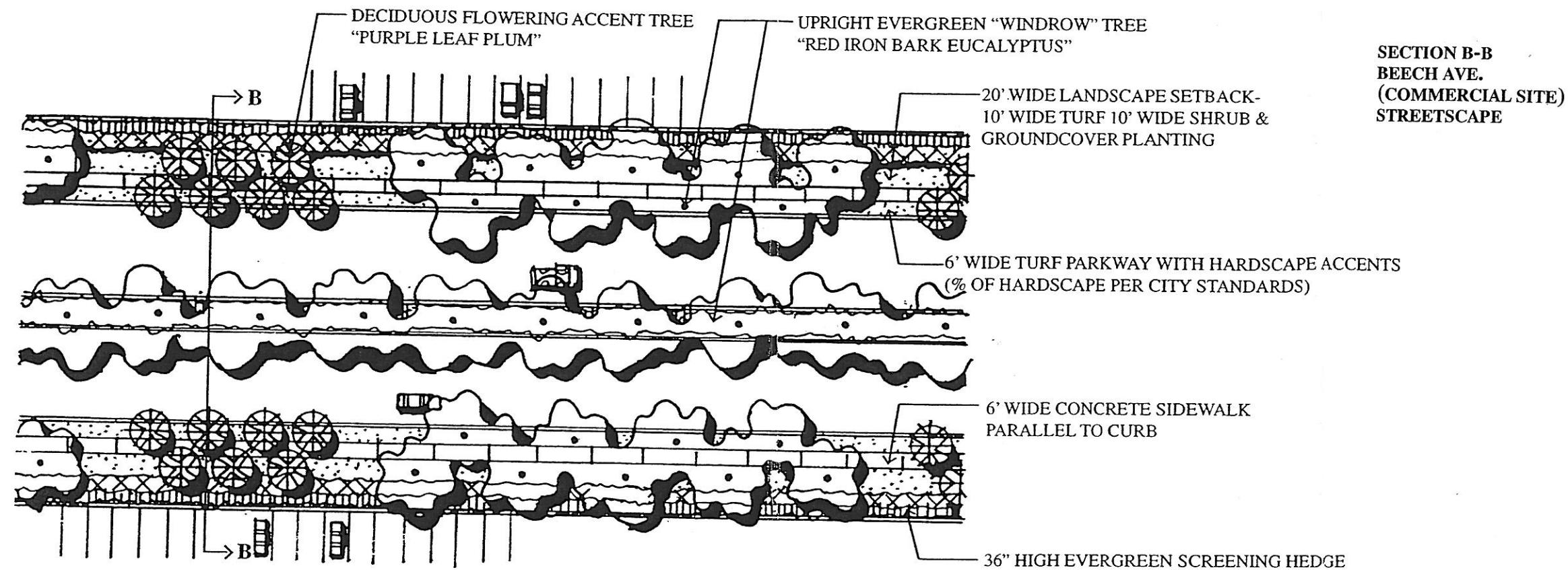
PERIMETER LOCAL STREET



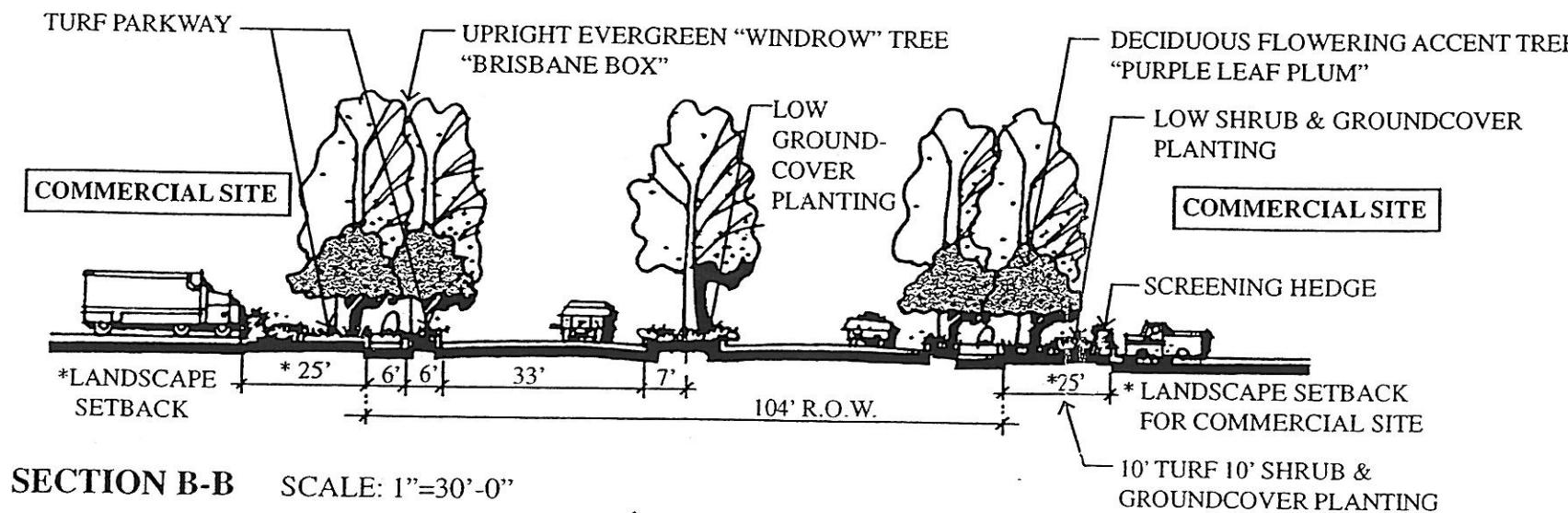
PLAN VIEW SCALE: 1"=50'-0"



SECTION A-A SCALE: 1"=30'-0"

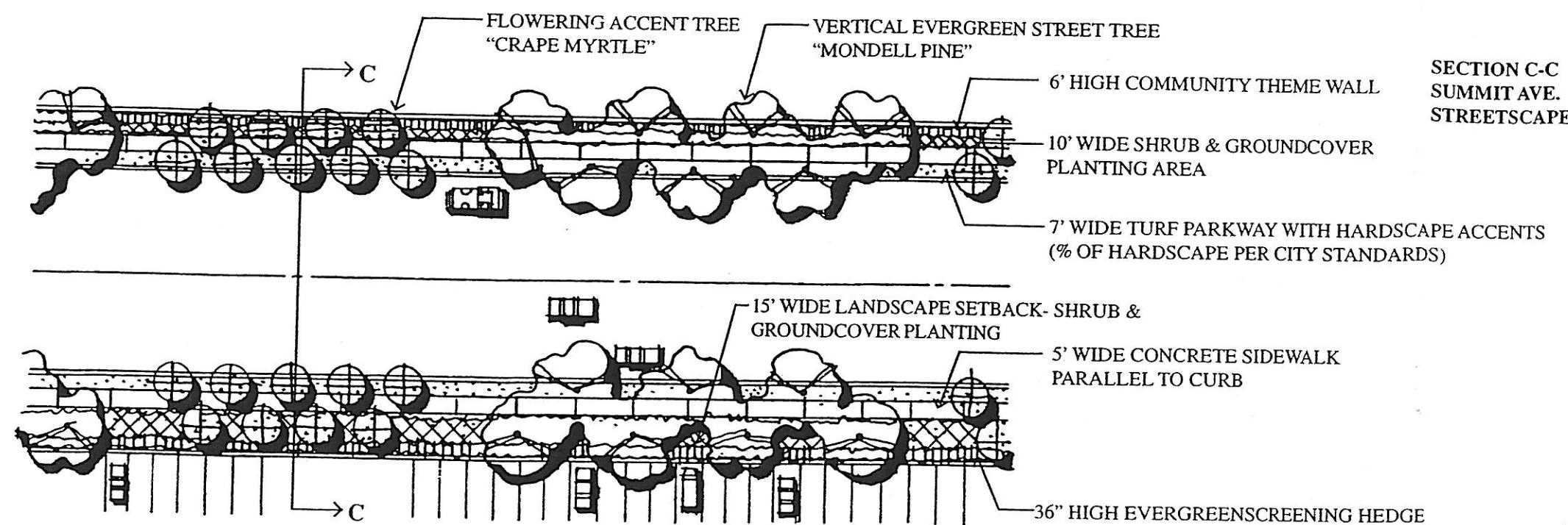


PLAN VIEW SCALE: 1"=50'-0"

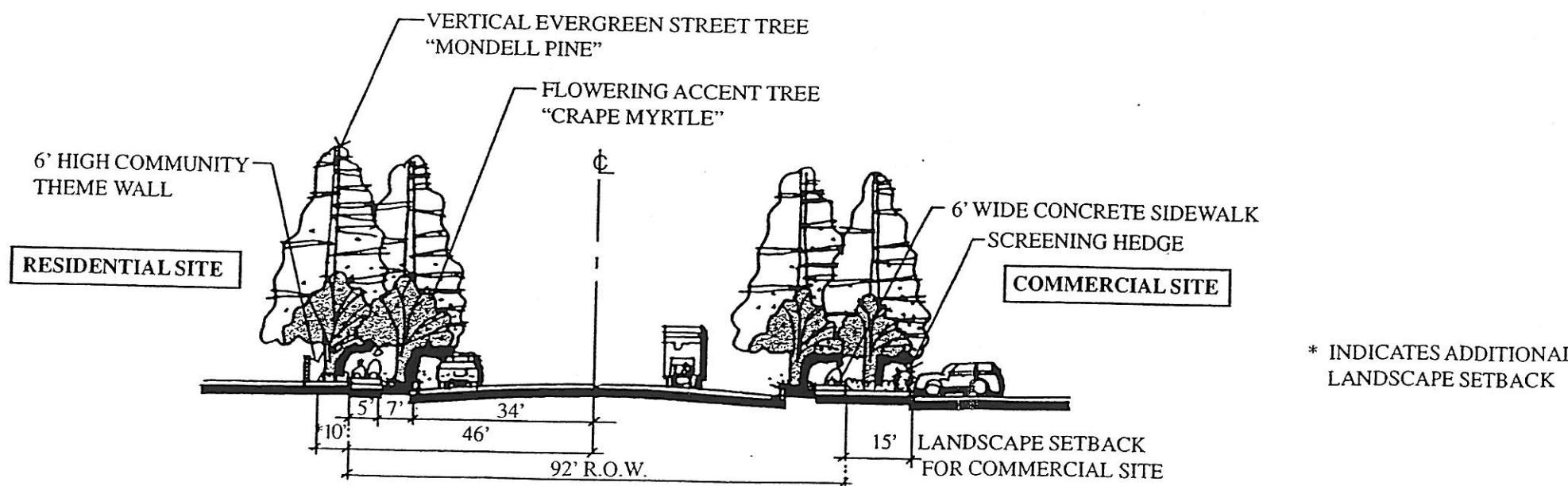


Secondary Highways (92 foot R.O.W.)
Summit Avenue

Summit Avenue forms a portion of the northern boundary of Summit Heights and connects to the adjacent Westgate Specific Plan area. Summit Avenue will continue the regional landscape concept established for Summit Heights, with the roadway parkways featuring formal rows of vertical evergreen trees such as Mondell Pines with recessed pockets of Crape Myrtles at regular intervals as flowering accents. Exhibit 24 illustrates the streetscape concept for Secondary Highways within Summit Heights.



PLAN VIEW SCALE: 1"=50'-0"

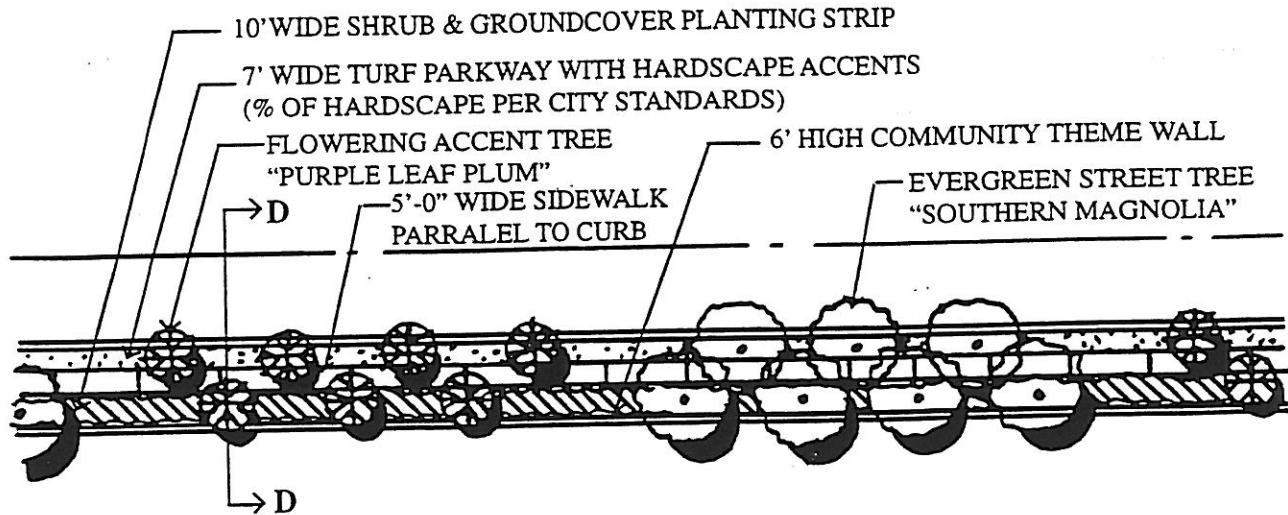


SECTION C-C SCALE: 1"=30'-0"

Collector Streets (68 foot R.O.W.) and Perimeter Local Street (64 foot R.O.W.)
San Sevaine Road, Lytle Creek Road, Curtis Avenue

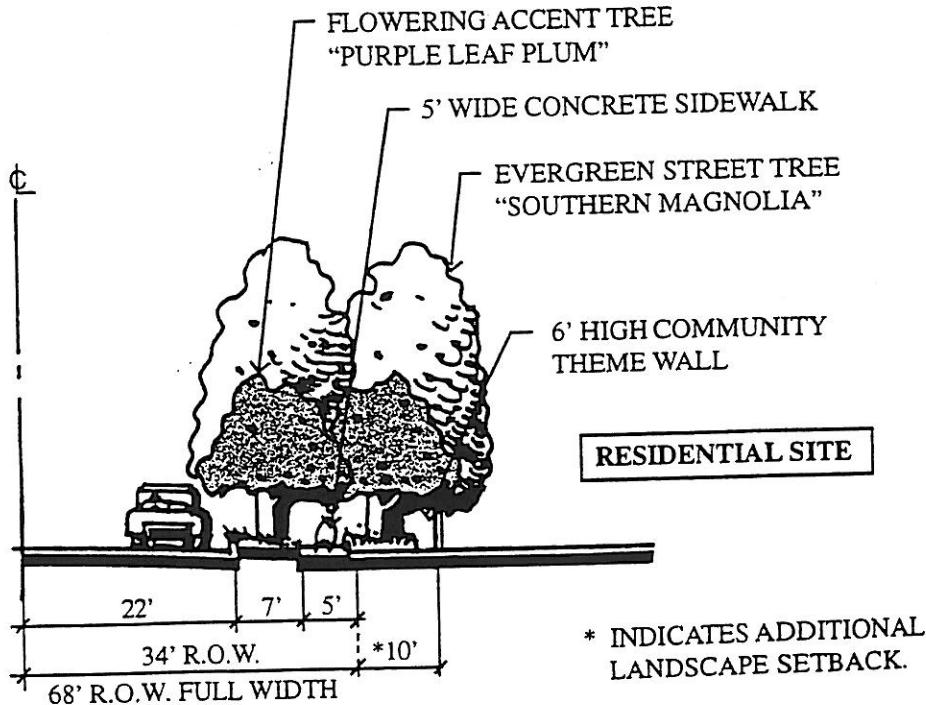
The streetscape treatment of the collector streets will also reinforce the regional landscape concept of Summit Heights. The parkways of San Sevaine Road, forming the western boundary of the site will be treated with rows of both evergreen trees, such as Southern Magnolias and flowering accent trees, such as Purple Leaf Plums. Lytle Creek Road which forms the eastern boundary of Summit Heights will reinforce the overall community concept by featuring formal rows of vertical evergreen trees such as Mondell Pines with recessed pockets of Crape Myrtles at regular intervals as flowering accents. Curtis Avenue is an internal collector street within Summit Heights and its parkways will feature formal rows of vertical evergreen trees such as Mondell Pines along with recessed pockets of Crape Myrtles at regular intervals as flowering accent elements. Exhibits 25, 26, and 27 illustrate the streetscape concept for Collector Streets within Summit Heights.

SECTION D-D
SAN SEVAINE AVE.
STREETSCAPE



PLAN VIEW

SCALE: 1"=50'-0"



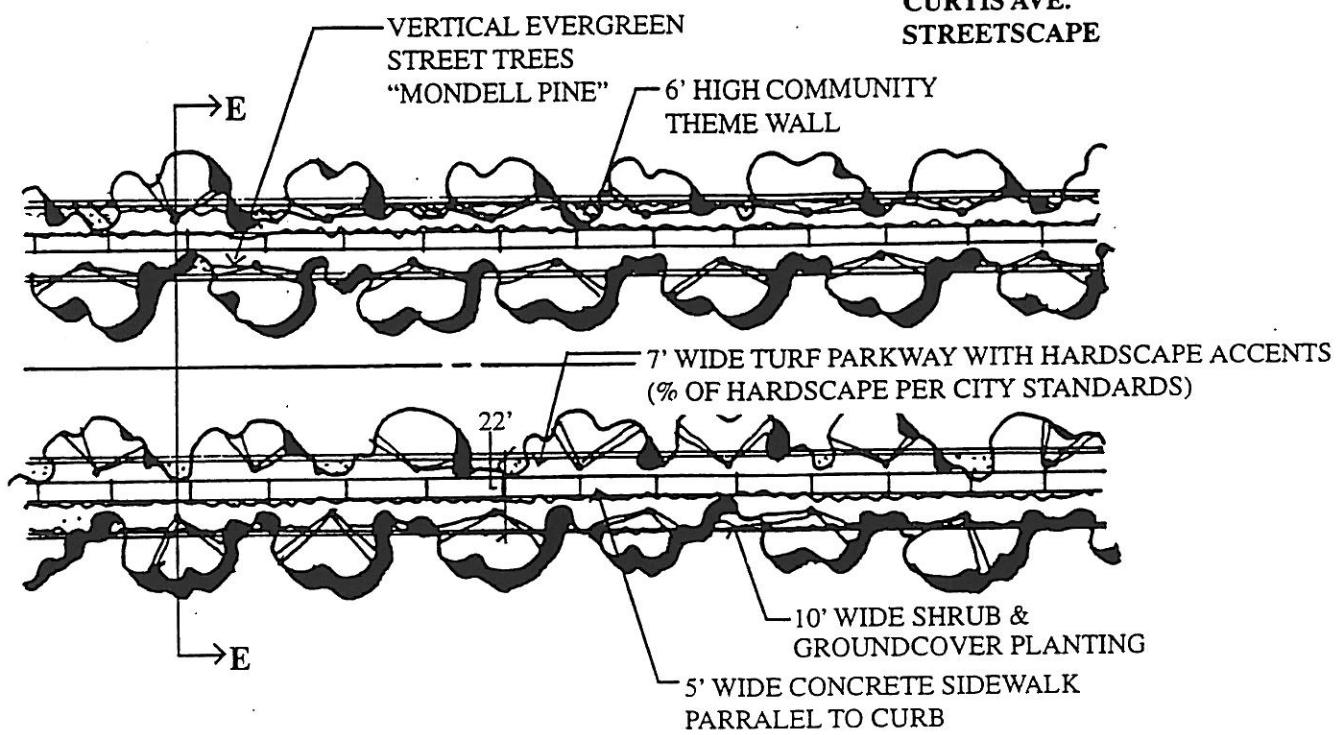
SECTION D-D SCALE: 1"=20'-0"

SUMMIT HEIGHTS

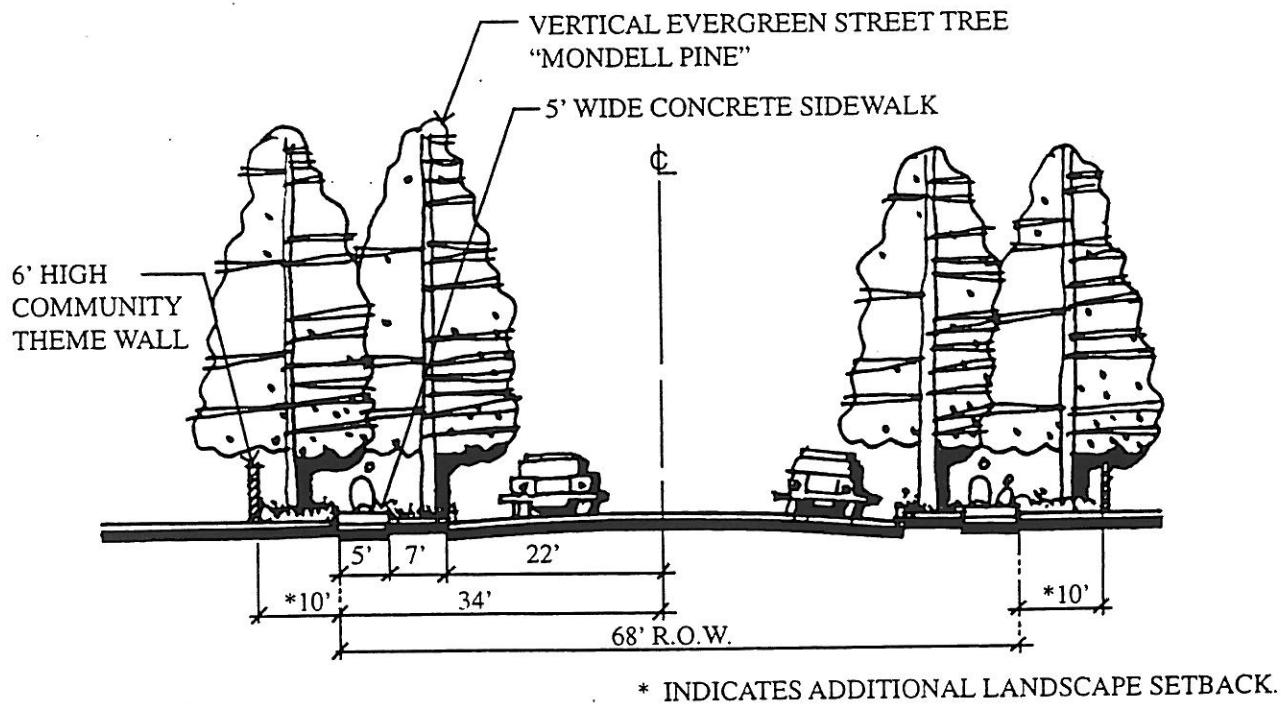
Exhibit 25
San Sevaine Avenue Streetscape

Specific Plan

SECTION E-E
CURTIS AVE.
STREETSCAPE



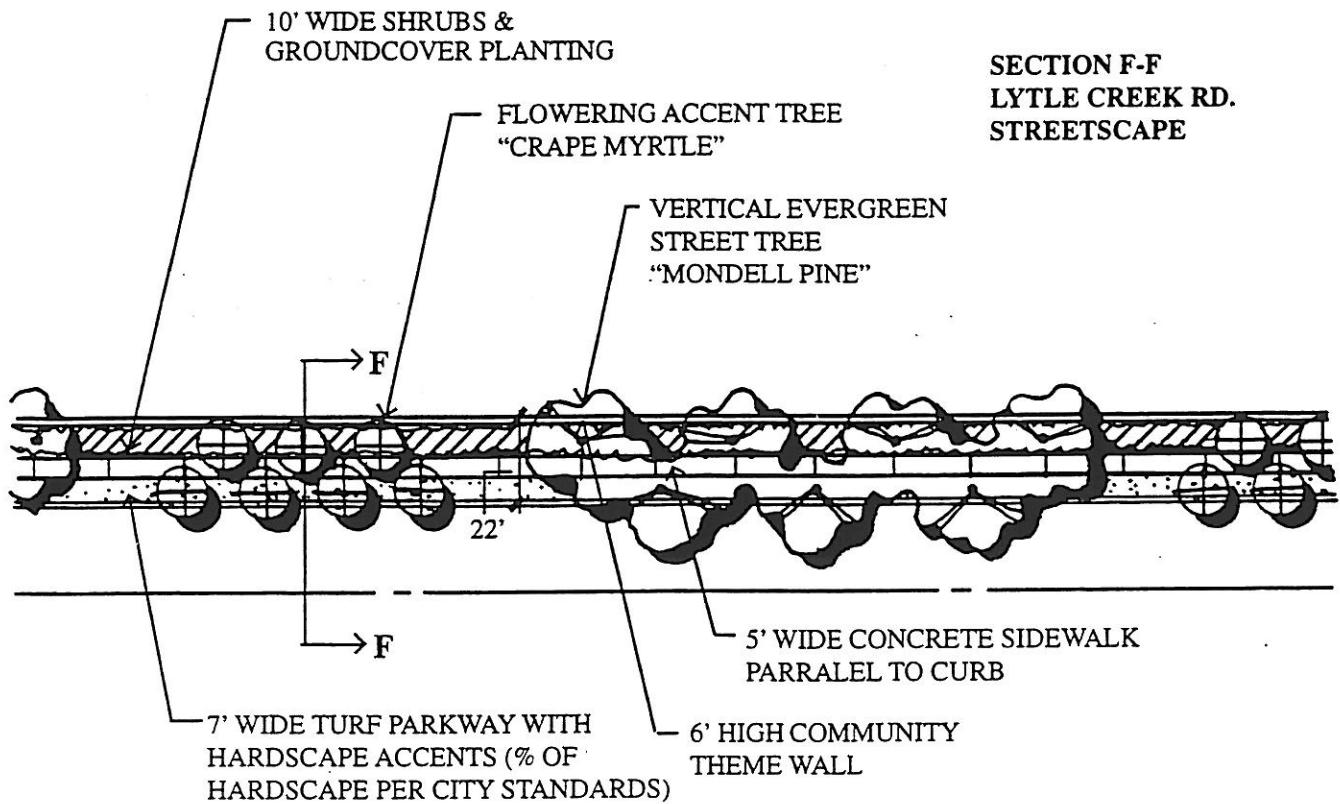
PLAN VIEW SCALE: 1"=50'-0"



SECTION E-E SCALE: 1"=20'-0"

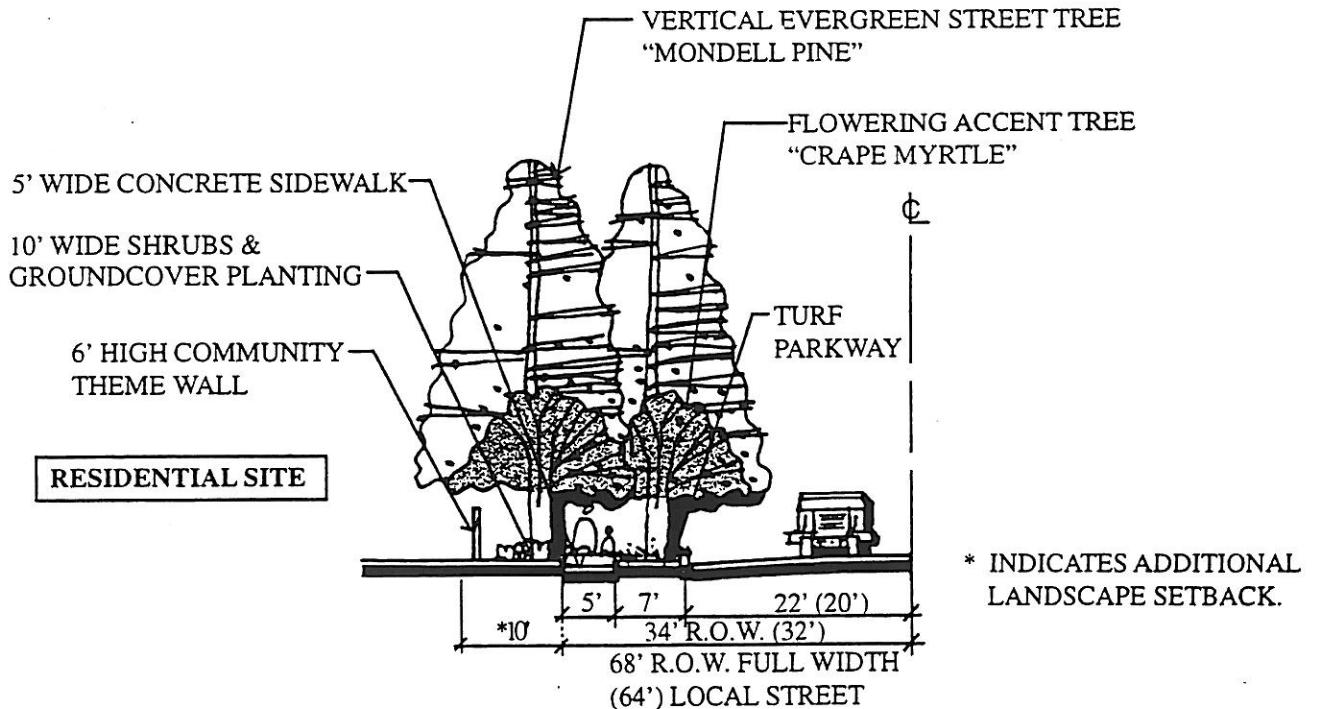
Exhibit 26
Curtis Avenue Streetscape

Specific Plan



PLAN VIEW

SCALE: 1"=50'-0"



SECTION F-F SCALE: 1"=20'-0"

SUMMIT HEIGHTS

Exhibit 27
Lytle Creek Road Streetscape

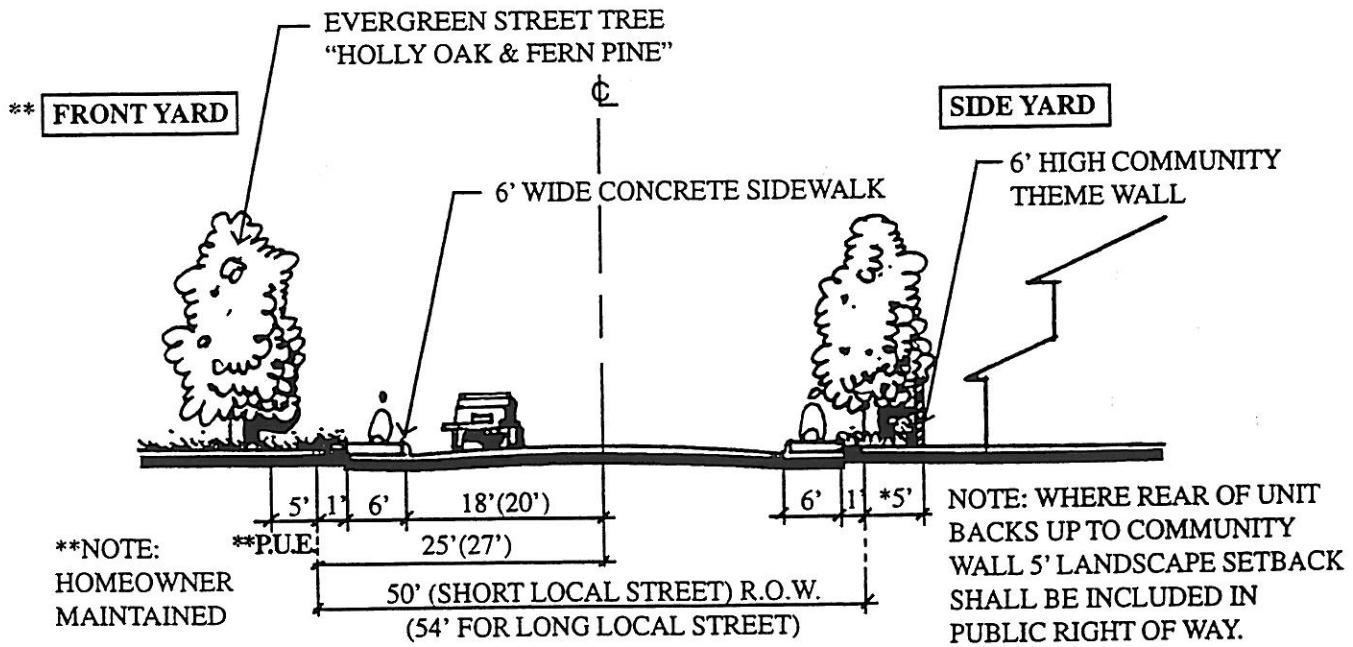
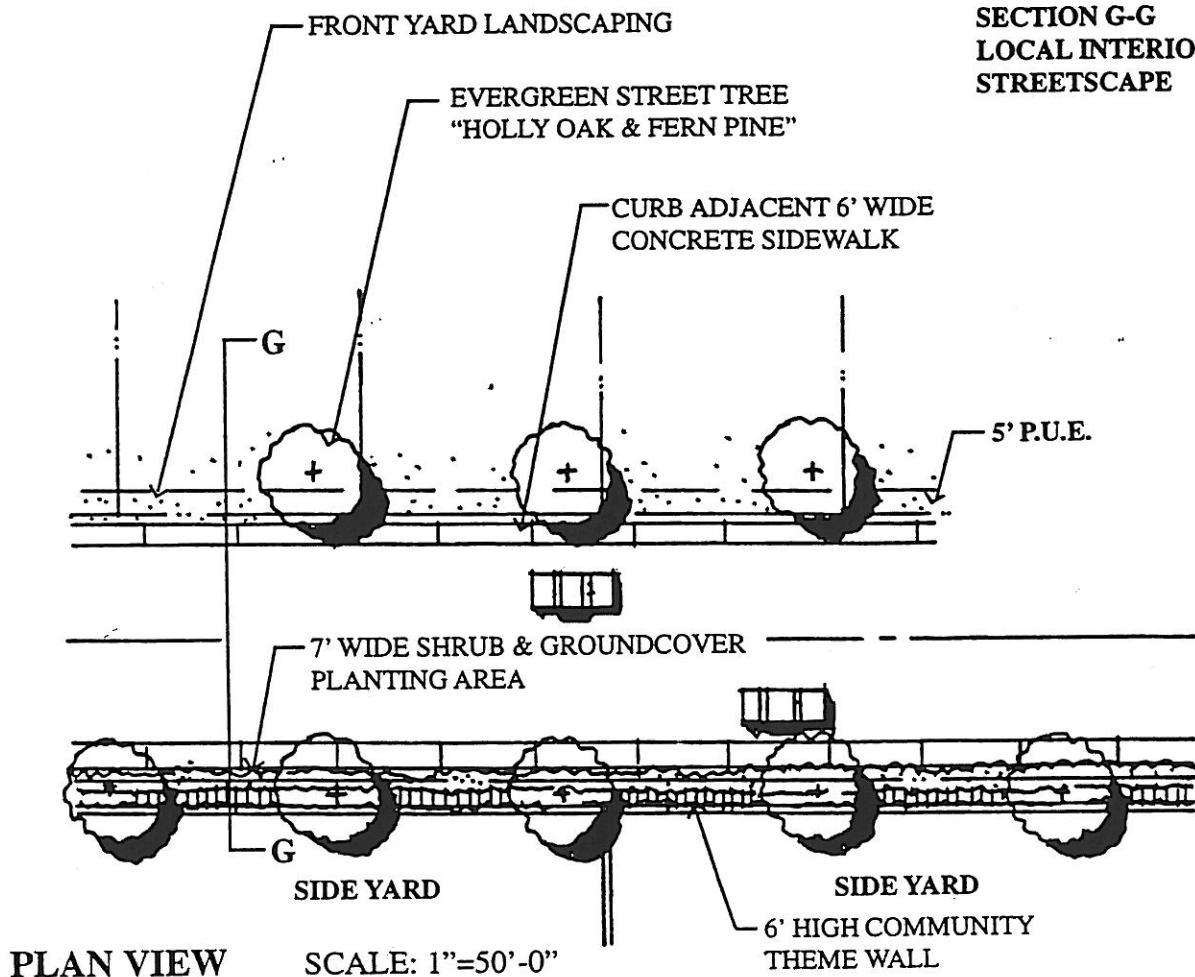
Page 60

Local Streets (50 foot - 54 foot R.O.W.)

Individual neighborhoods within Summit Heights will be served by local streets, which should also reinforce the overall community landscape concept. The lower intensity pedestrian scale of these streets should be reflected in the selection of plant material for these local neighborhood streets, such as evergreen Holly Oaks and Fern Pines. Exhibit 28 illustrates the streetscape concept for Local Streets within Summit Heights.

Specific Plan

SECTION G-G
LOCAL INTERIOR
STREETSCAPE



* INDICATES ADDITIONAL LANDSCAPE SETBACK.

SECTION G-G SCALE: 1"=20'-0"

Exhibit 28
Local Street Streetscape

5.2.2 ENTRIES

The Master Plan of Streetscapes and Entries, Exhibit 21, provides for a hierarchy of entry statements at key intersections throughout Summit Heights, which will serve to reinforce its overall community identity through the use of enhanced landscaping and signage. The following guidelines apply to the gateways of Summit Heights, while Exhibits 29 through 32 graphically depict the intended character of these elements.

Primary Community Entry

The primary community entries into the Summit Heights Planned Community are located at the intersections of Beech Avenue and Sierra Lakes Parkway, and Beech Avenue and Summit Avenue. They are intended to provide a sense of arrival to Summit Heights featuring enhanced landscaping and community identification.

Secondary Community Entry

Similar to the primary community entries, the secondary community entries provide another level of community identification, but at those intersections which are not the major entries to the Planned Community.

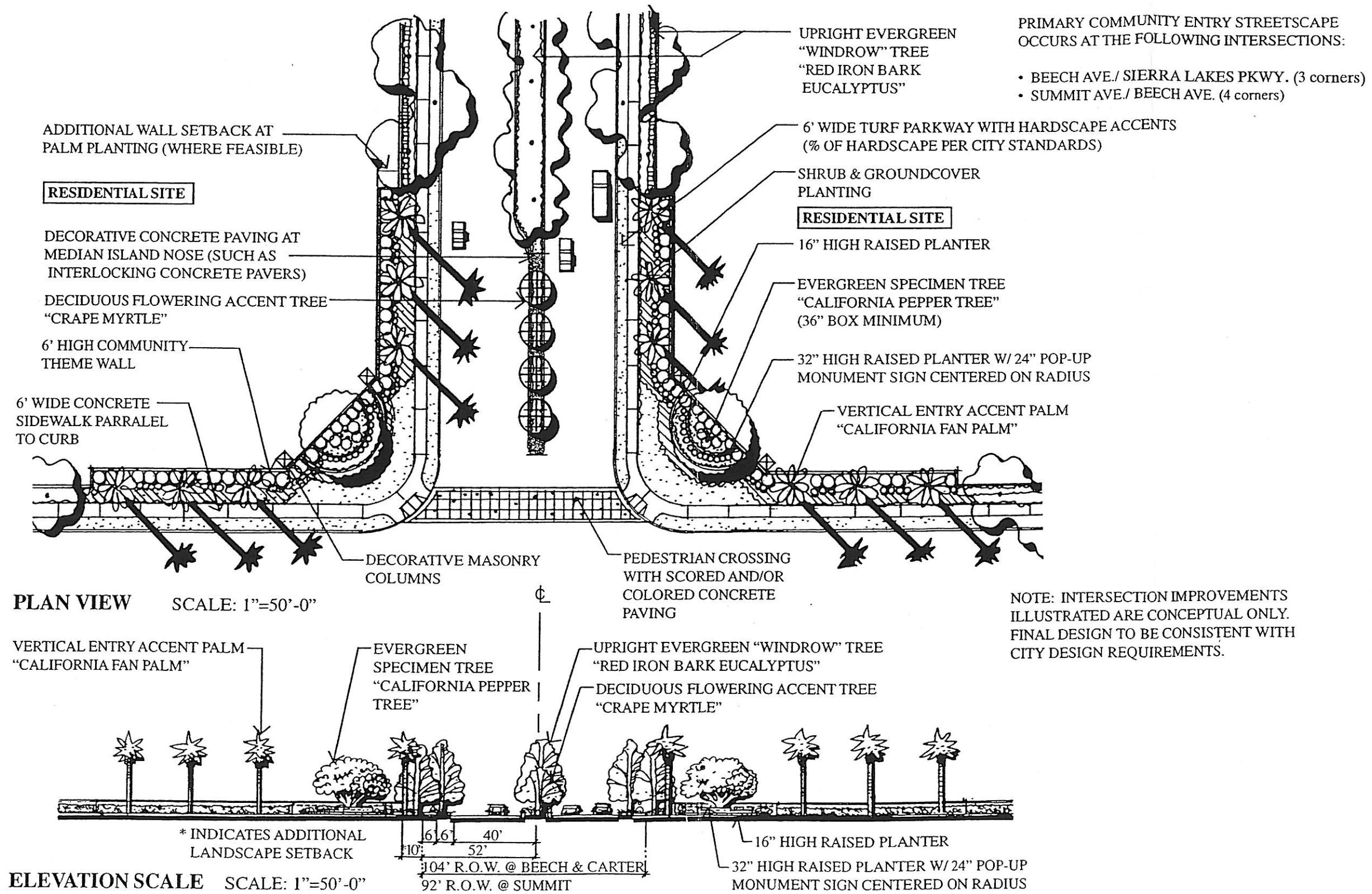
Neighborhood Entry

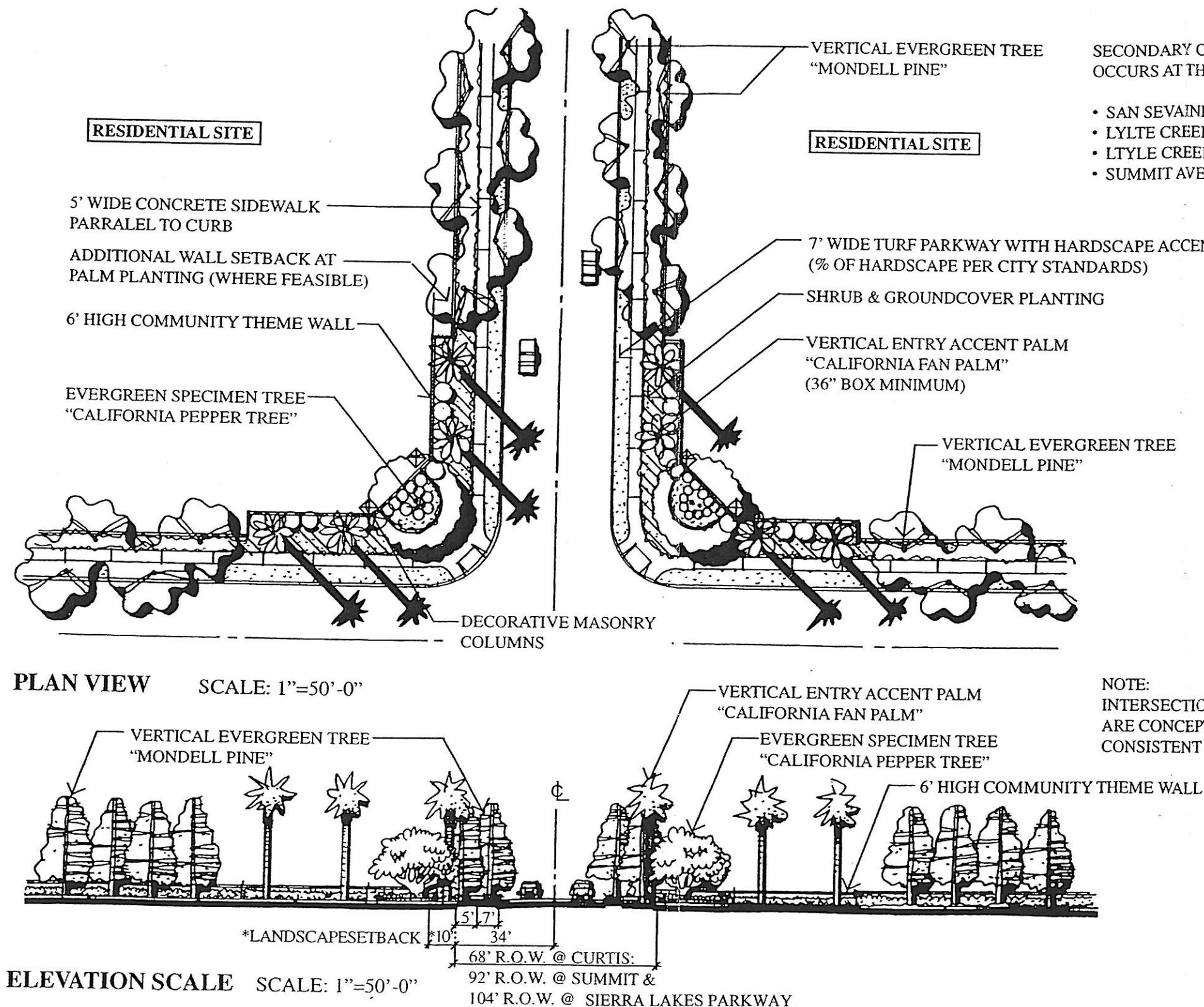
Neighborhood entries provide monumentation and identification for the different residential areas at a much reduced scale.

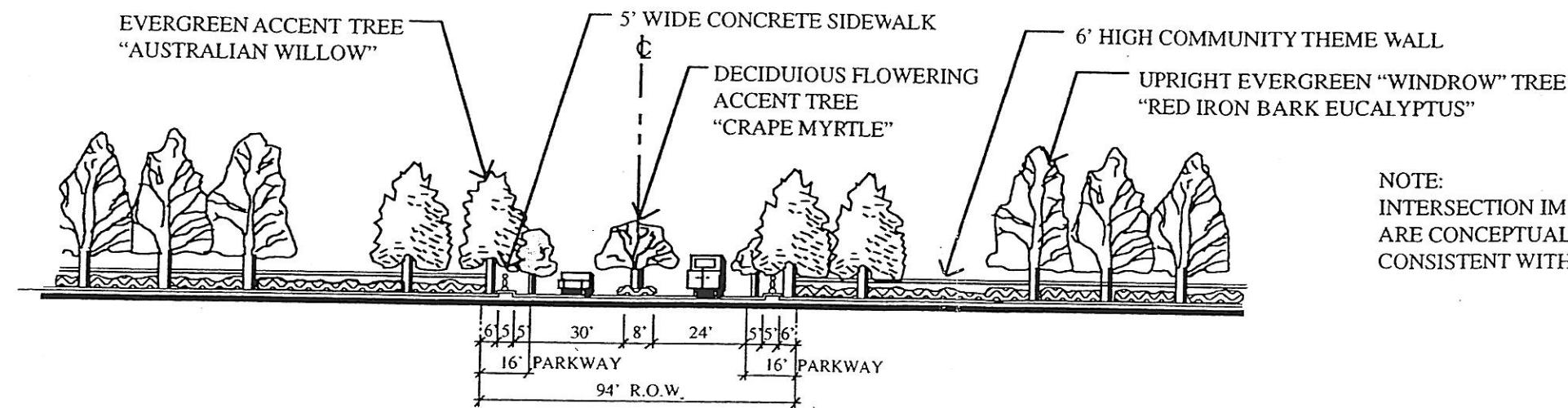
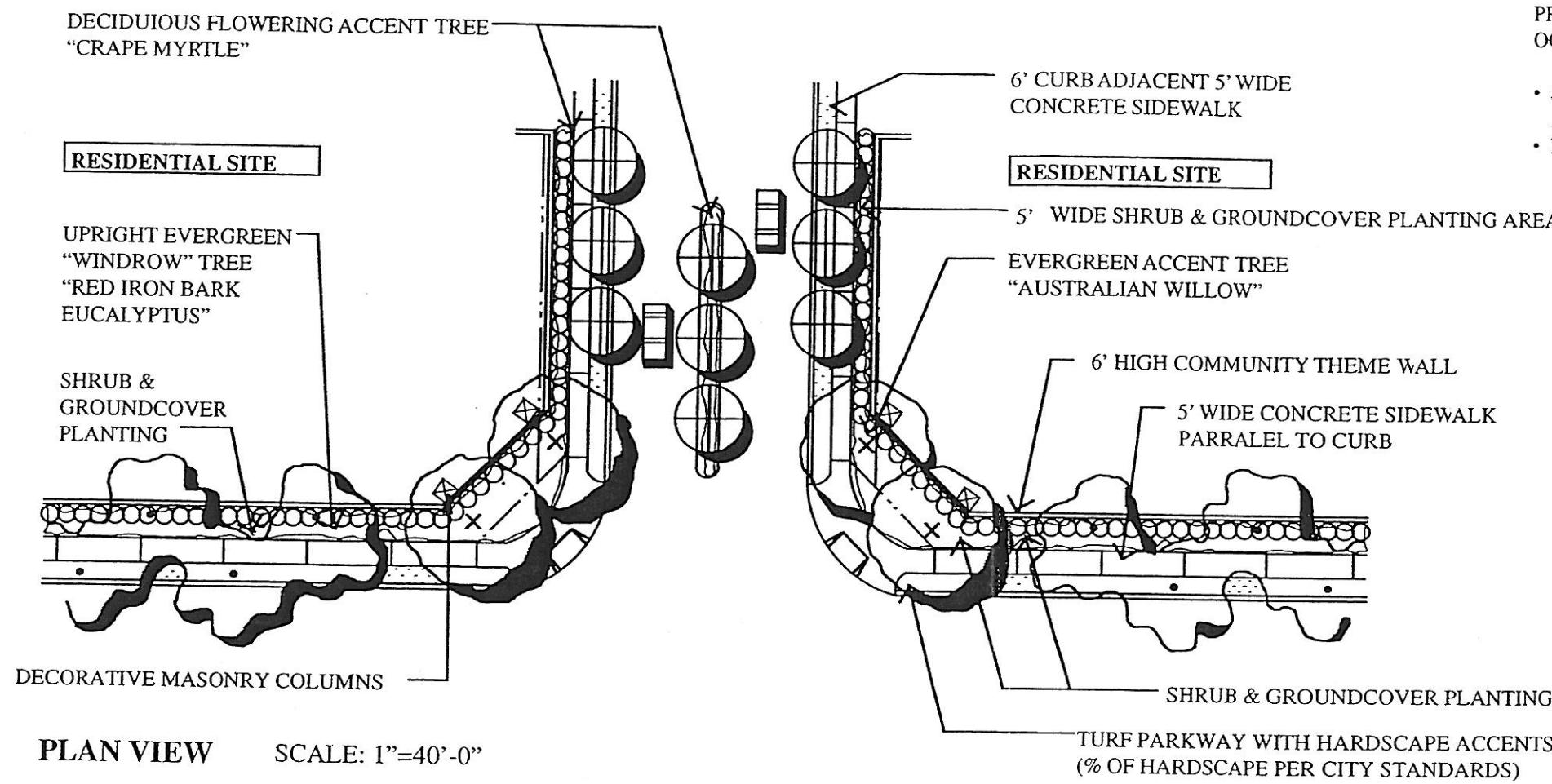
Design Elements

The key design elements incorporated into the Master Plan of Streetscapes and Entries include the following:

- Formal rows of trees to provide distant visibility, in conjunction with specimen trees as major design features.
- Entry monumentation pilasters, specimen trees, and/or low signage recalling the architectural elements of the regional landscape character of the surrounding area.
- Screening hedges and / or freestanding walls to define the gateway area.
- Medians planted with flowering accent trees at primary entries and major intersections
- Scored and/or colored concrete paving at primary intersections.



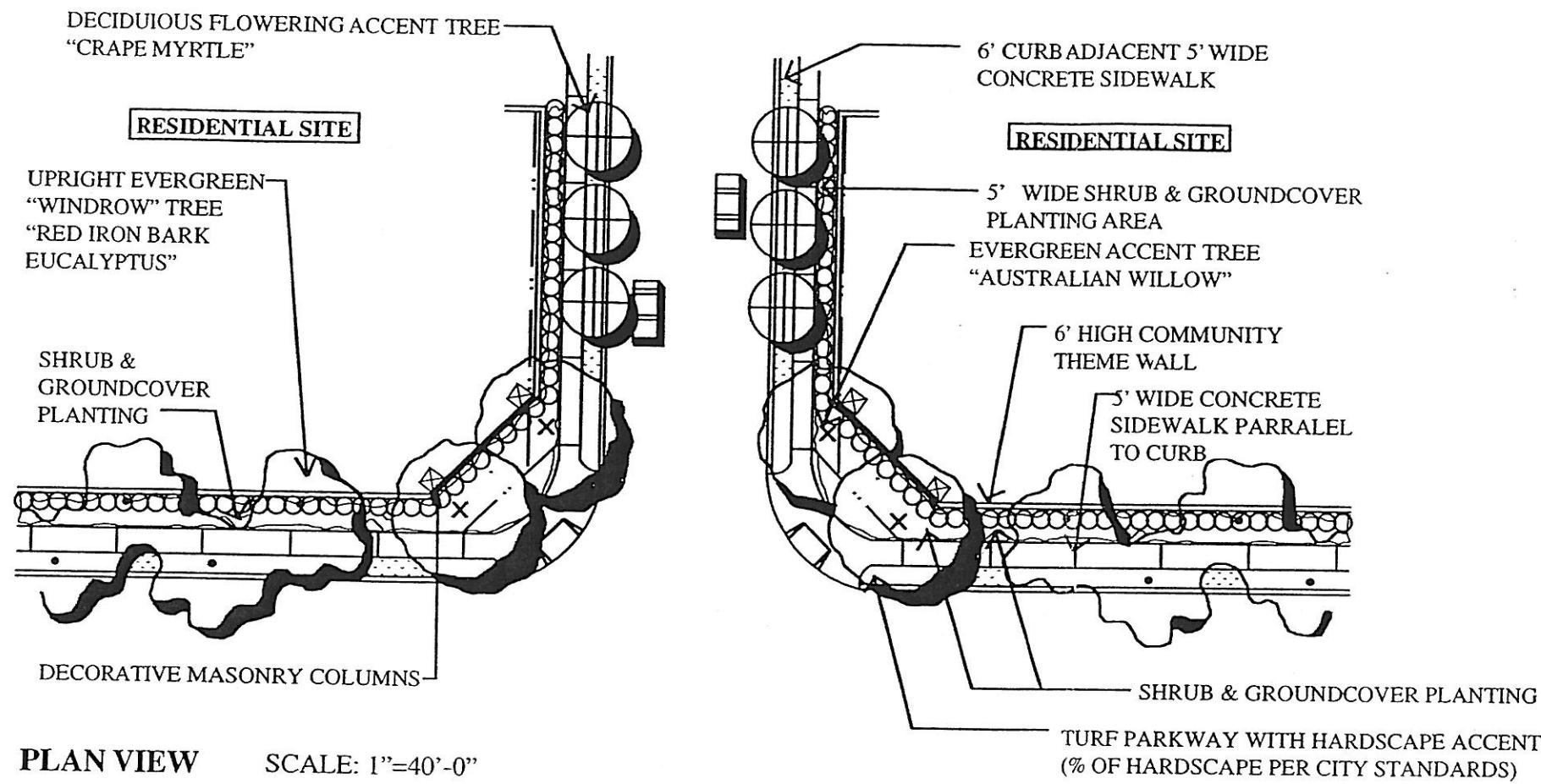




PRIMARY NEIGHBORHOOD ENTRY STREETSCAPE OCCURS AT THE FOLLOWING INTERSECTIONS:

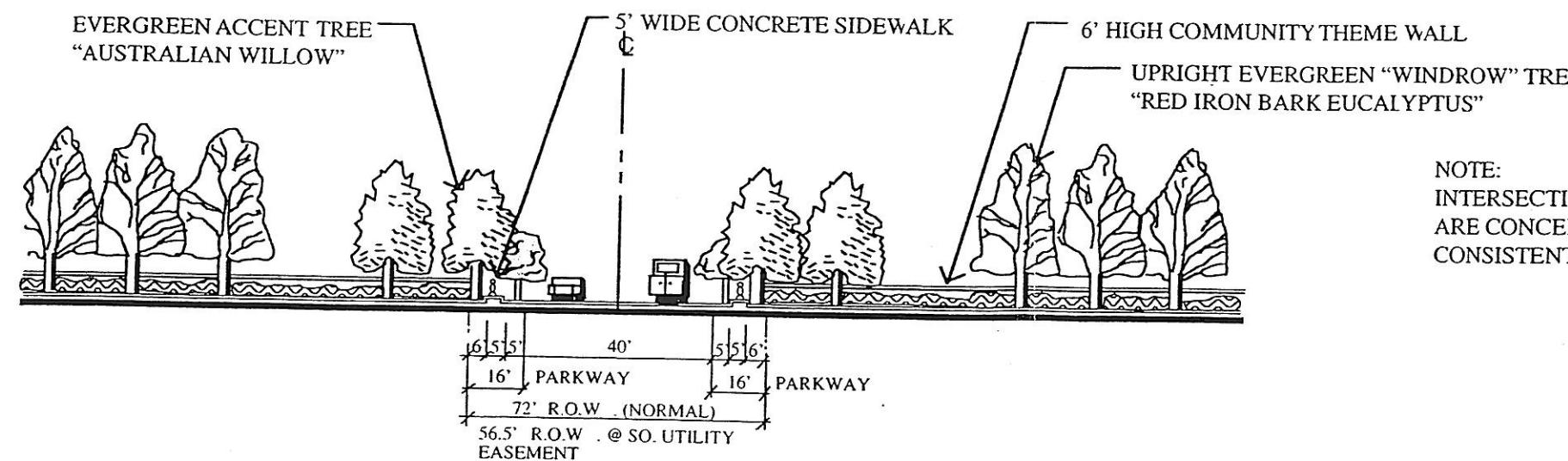
- SUMMIT AVE. BETWEEN SAN SEVAINE AVE. AND BEECH AVE. (2 corners)
- BEECH AVE. AND CURTIS AVE. (4 corners)

NOTE:
INTERSECTION IMPROVEMENTS ILLUSTRATED
ARE CONCEPTUAL ONLY. FINAL DESIGN TO BE
CONSISTENT WITH CITY DESIGN STANDARDS.



SECONDARY NEIGHBORHOOD ENTRY STREETSCAPE OCCURS AT THE FOLLOWING INTERSECTIONS:

- LYITLE CREEK AT FOUR LOCATIONS BETWEEN SUMMIT AVE. AND ROUTE 30. (2 corners)
- CARTER AVE. BETWEEN BEECH AVE. AND LYITLE CREEK RD. (4 corners)
- SIERRA LAKES PKWY BETWEEN BEECH AVE. AND LYITLE CREEK RD. (4 corners)
- SUMMIT AVE. BETWEEN SAN SEVAINE AVE. AND BEECH AVE. (2 corners)
- SAN SEVAINE AVE. BELOW SUMMIT AVE. (4 corners)



NOTE:
INTERSECTION IMPROVEMENTS ILLUSTRATED ARE CONCEPTUAL ONLY. FINAL DESIGN TO BE CONSISTENT WITH CITY DESIGN STANDARDS.

ELEVATION SCALE SCALE: 1"=30'-0"

SUMMIT HEIGHTS

5.2.3 COMMUNITY WALLS

Community walls should be utilized within Summit Heights to reinforce screening requirements for adjacent land uses, define the perimeter of the community, and / or act as a contributing site element to an overall landscape theme for a specific parcel.

- Walls should include pilasters at street intersections or other methods to increase visual interest and appeal. Exhibit 33 describes the community wall plan for Summit Heights.
- Walls should be a minimum of 6' high, and shall be split face or precision block courses and a continuous split face cap. Exhibit 34 illustrates the conceptual wall design for community walls within Summit Heights.
- Walls will be located adjacent to perimeter boundaries of the development area and along arterial right of way within the development and will terminate neighborhood entries.
- Walls shall be planted with vines to prevent graffiti and add visual interest.

5.2.4 PARK

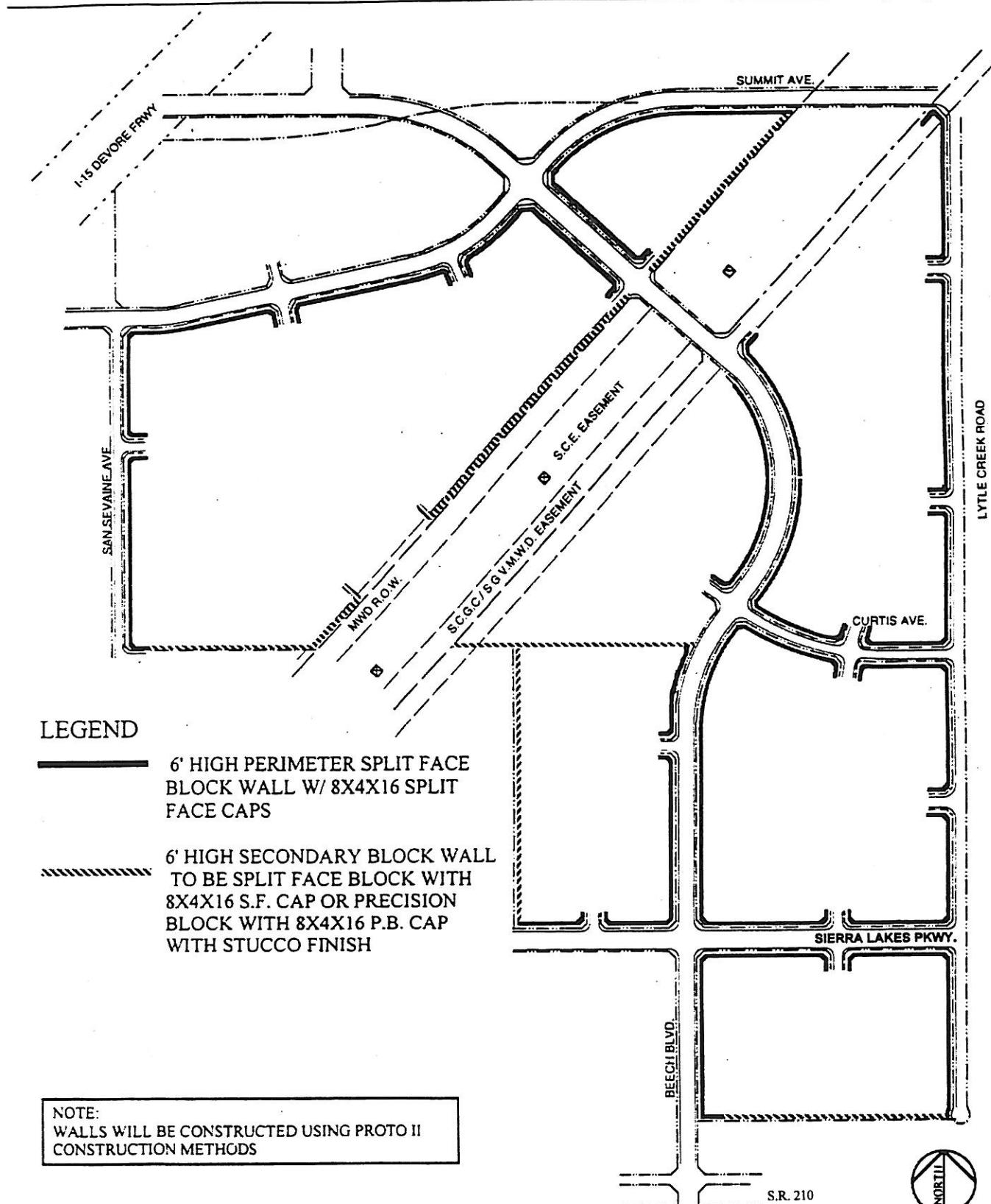
Primary access to the proposed park is planned from adjacent local streets, which will also provide access to neighboring residential uses. Exhibit 35 depicts the intended conceptual character of the park proposed for Summit Heights.

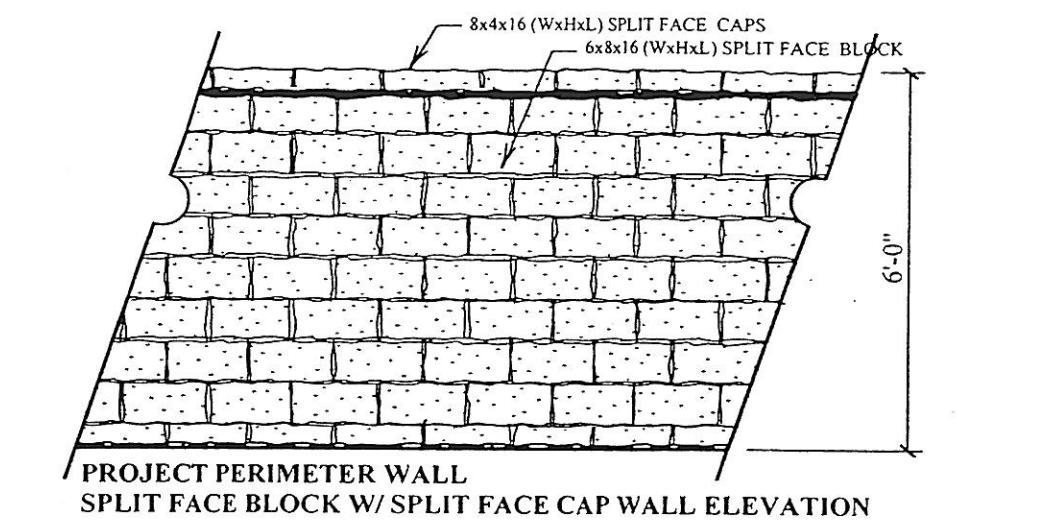
- Vehicular access to the park should be from the local streets.
- Parking areas should be screened in a manner which improves off-site views from the public rights-of-way but which does not compromise public safety within the parking areas. Screening should incorporate landscaping to aesthetically enhance the parking area and to provide shade.

5.2.5 UTILITY CORRIDOR RECREATIONAL IMPROVEMENTS

The overall community image established for Summit Heights should continue, to the extent feasible, into the utility corridor, which bisects the site, and in accordance with the approval and requirements of the affected utility companies. The following guidelines apply to the treatment of the utility corridor, while Exhibit 36 graphically depicts their intended character.

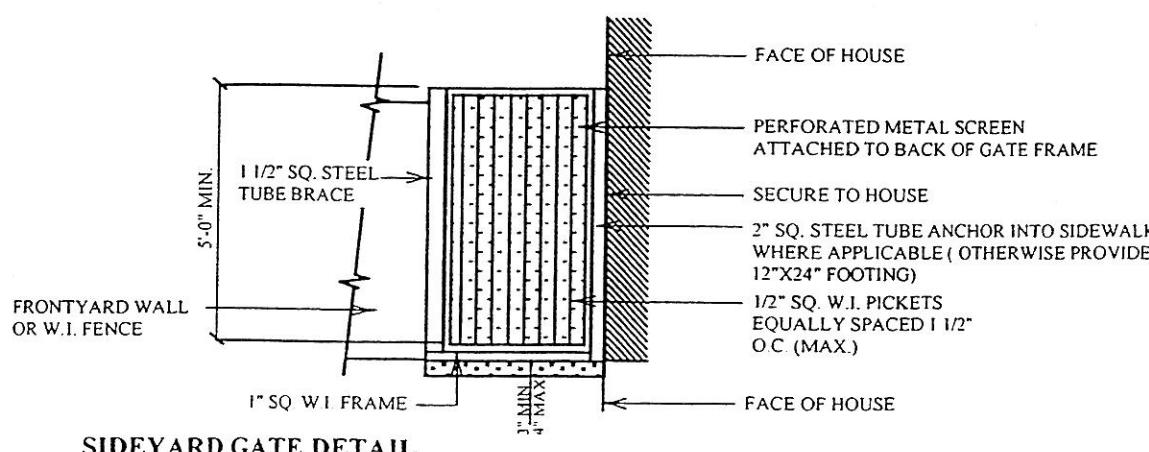
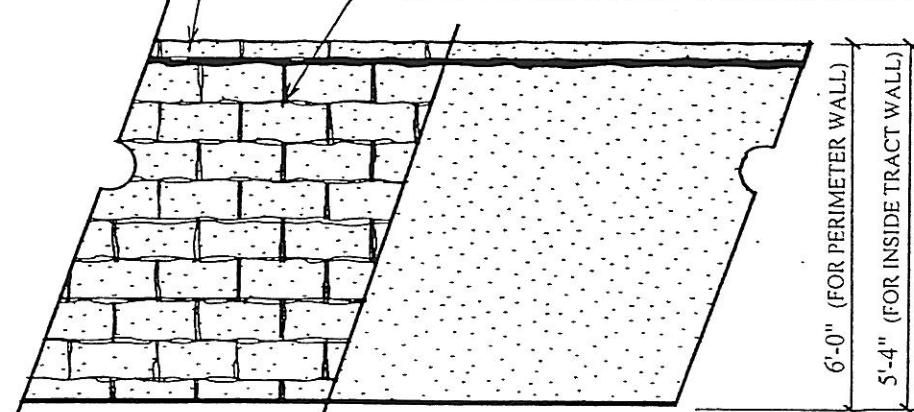
- A meandering 8' concrete/asphalt bicycle path should be installed and maintained along a portion of the Southern California Gas Company/San Gabriel Valley Water Company District easement, subject to a letter agreement with between the City and the utility companies. This path will provide linkages between various parcels within Summit Heights, as well as providing a regional connection to the adjacent Westgate Specific Plan area.
- A meandering 8' concrete / asphalt path should also be provided across the utility corridor to connect the park in Planning Area 9 with the park in Planning Area 10.
- Drought tolerant landscaping (xeriscape) using California native plant material should be utilized to enhance the path and provide a water-conserving buffer between the easement edge and the adjacent residential uses.



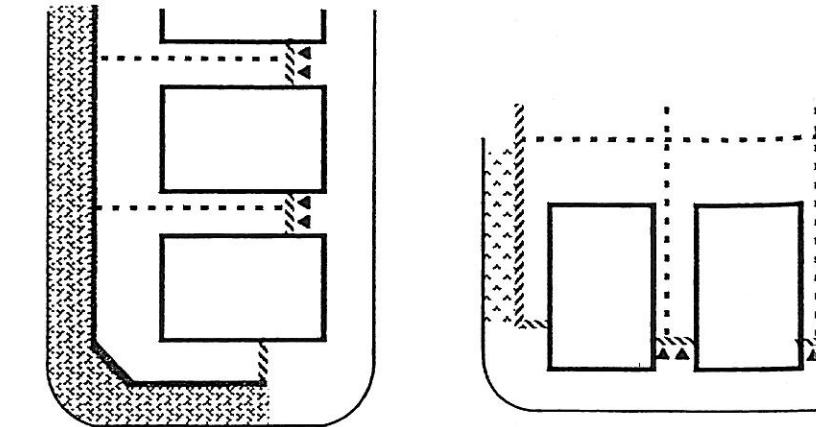
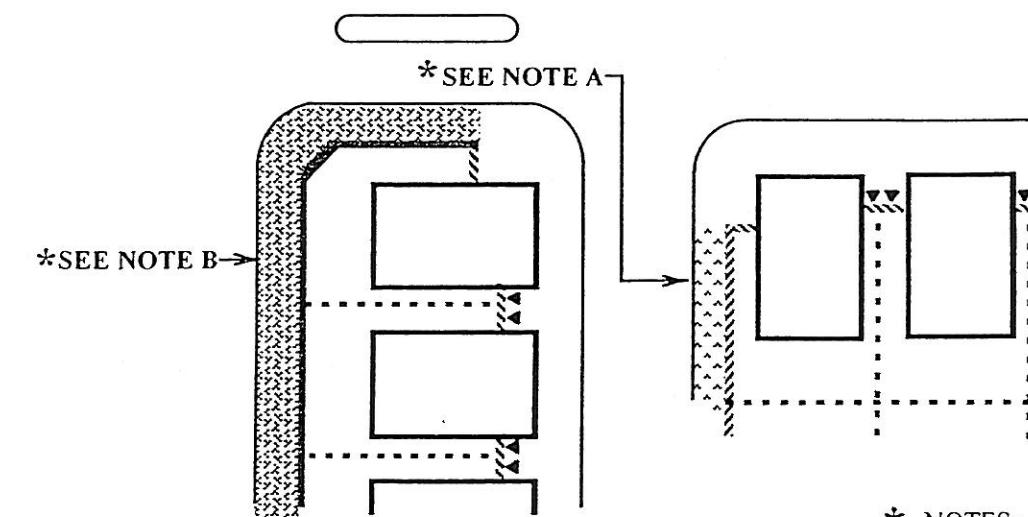


8x4x16 (WxHxL) SPLIT FACE CAP OR PRECISION BLOCK WITH STUCCO FINISH
(MORTAR CAP FOR P.L. WALL BETWEEN HOUSES AND BACKYARDS)

6x8x16 (WxHxL) SPLIT FACE BLOCK OR PRECISION BLOCK WITH STUCCO FINISH
(PLAIN PRECISION BLOCK FOR P.L. WALLS BETWEEN HOUSE AND BACKYARDS)



INTERIOR LOT WALL LAYOUT

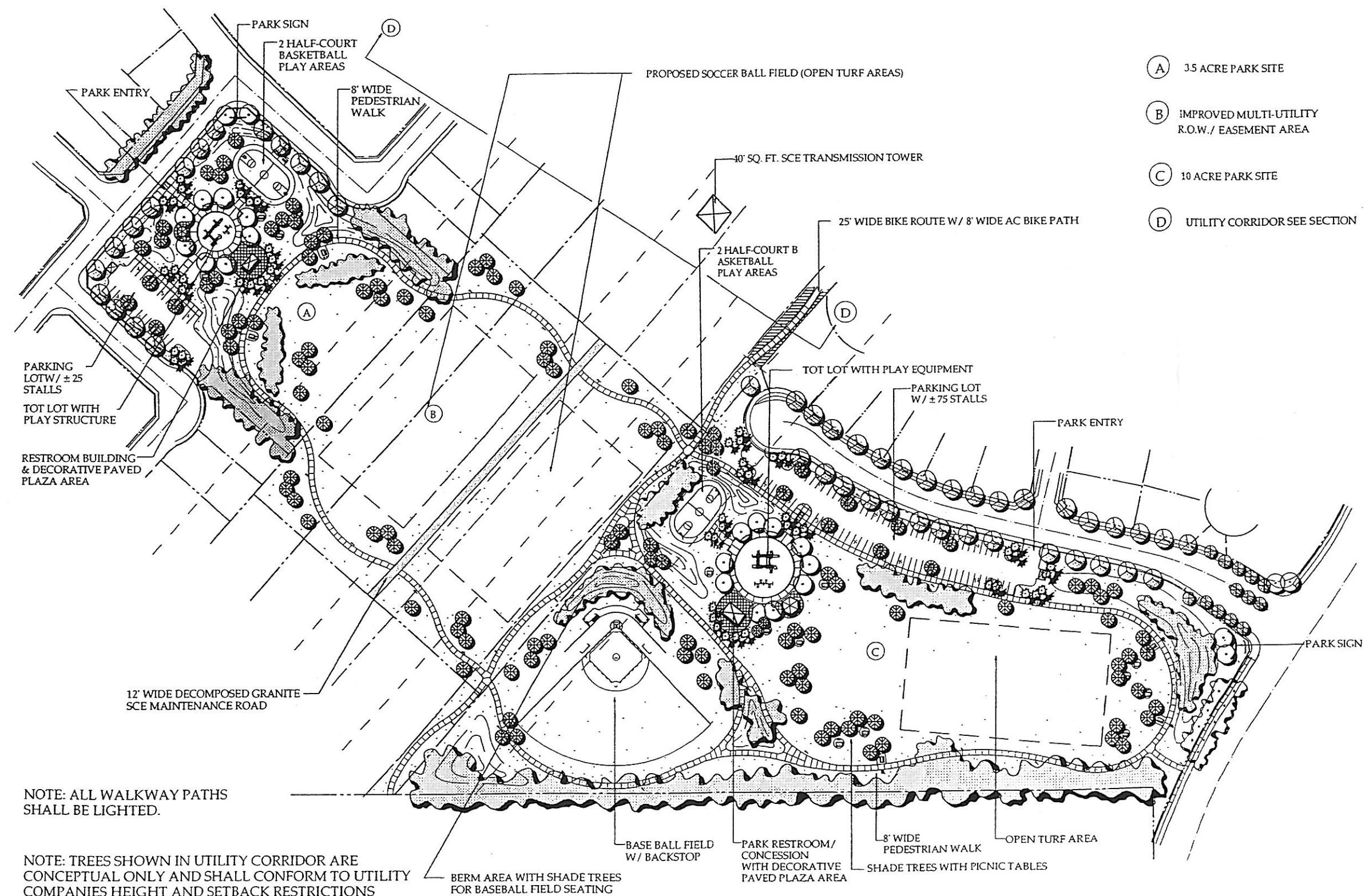
COMMUNITY THEME
WALL LAYOUT AND
ELEVATION

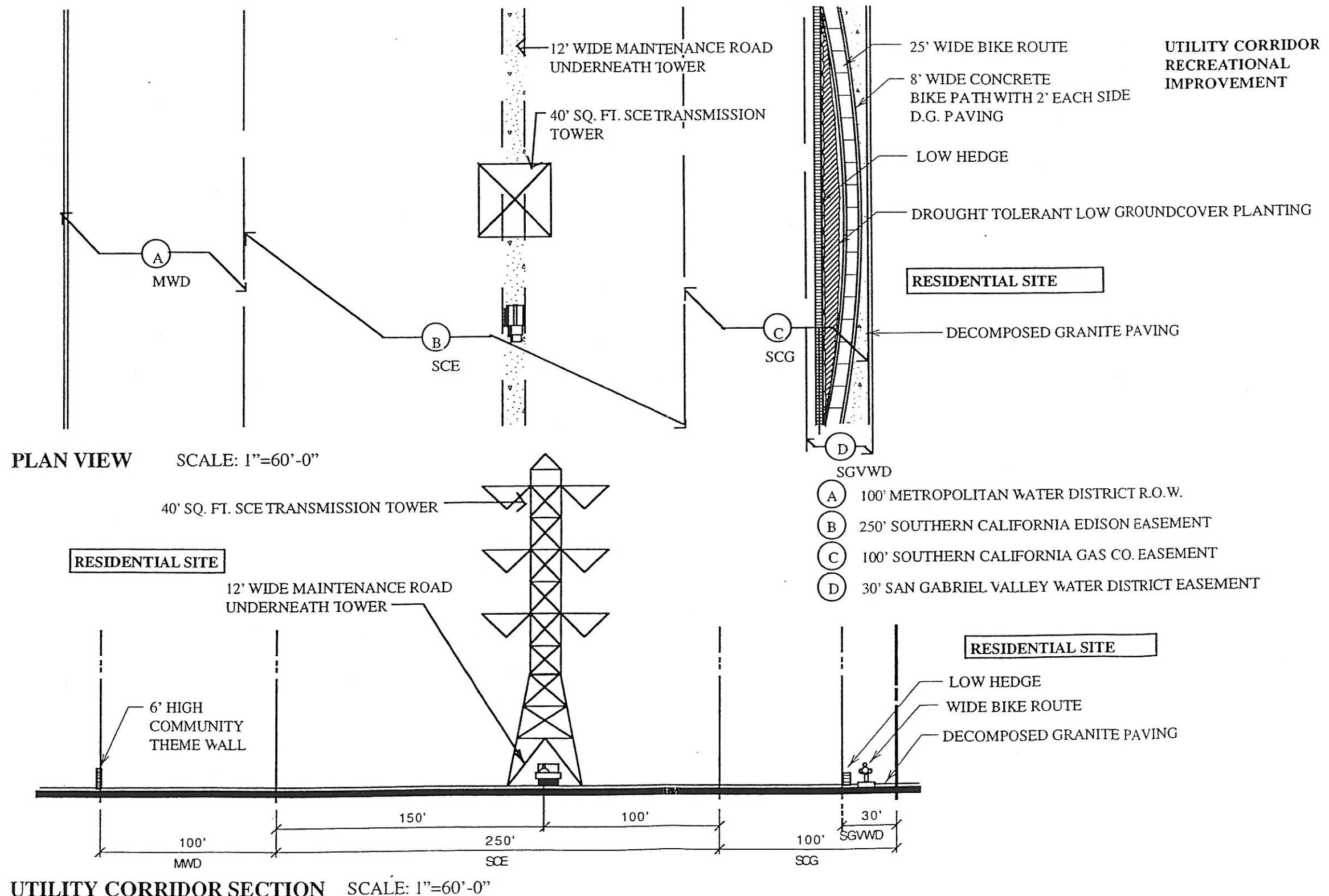
LEGEND :

- 6'-0" HIGH SPLIT FACE BLOCK W/ SPLIT FACE CAP PERIMETER WALL
- 5'-4" WALL VISIBLE FROM STREET SHALL BE SPLIT FACE BLOCK OR STUCCO TO MATCH HOUSE
- 5'-4" HIGH PRECISION BLOCK W/ MORTAR CAP INTERIOR WALL
- ▲ SIDEYARD GATE: STEEL WITH VIEW OBSTRUCTING MESH

* NOTES:

- A. PRIVATE MAINTENANCE WHERE UNITS SIDE ON ABUTTING 5' LANDSCAPE/ P.U.E. SETBACK EASEMENT
- B. PUBLIC MAINTENANCE WHERE REAR OF LOTS ABUT LANDSCAPE/ P.U.E. SETBACK EASEMENT





5.3 RESIDENTIAL

5.3.1 SITE PLANNING

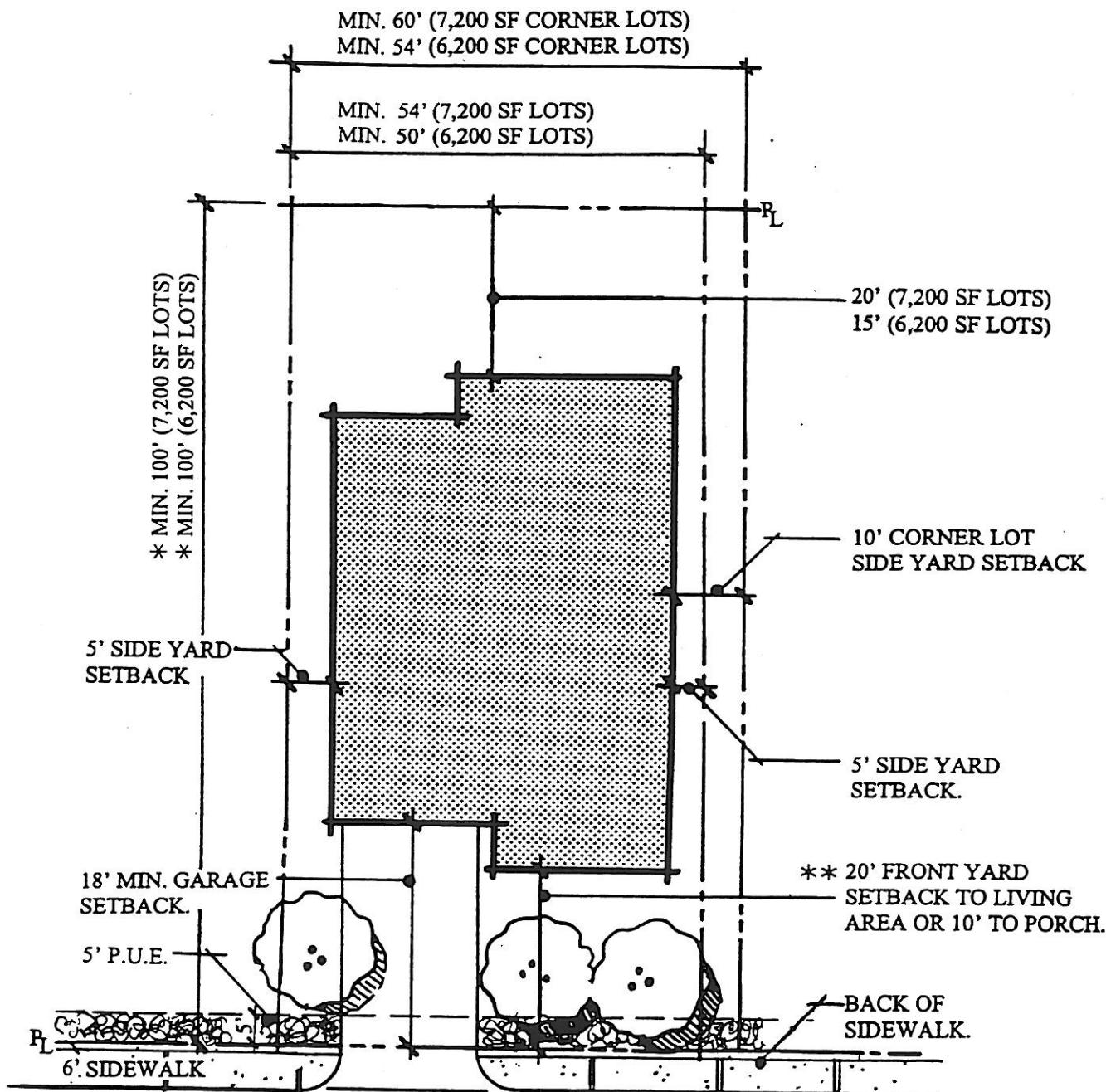
- Buildings and other improvements should be located to compliment the site on which they are placed.
- Where feasible, consideration should be given to building elements as they relate to the environment.
- Design should maximize utilization of visual amenities.
- Local street system design should consider ease of auto traffic movement and provide opportunities for pedestrian, bicycle, and other alternative transportation modes.
- Local street layouts should promote compatibility with building sites and lot arrangements to ensure consistent streetscape character.
- Pedestrian and bicycle access will be conveniently provided to connect neighborhoods to parks and commercial areas.

Building Orientation

- Buildings should be designed and sited to minimize the impact of built forms on the natural landscape. Refer to Exhibits 37 through 39.
- The orientation of a building and its parts should relate naturally to the surroundings and form neighborhood and village clusters. The design and placement of windows and doors should be considered with exposure to natural elements in mind.
- A majority of the primary living spaces within a residence should receive direct sunlight for the daylight hours. Building architecture should be carefully designed to minimize the impact of the sun in the summer, while allowing sunlight to penetrate the residence during the winter.
- "Defensible space" design should be incorporated into the design of residences to minimize crime threats. Examples of defensible space include the positioning of the front entrance to the dwelling unit along a street, providing an opportunity of continuous supervision by passers-by.
- Appropriate single family building elements should be integrated with the major intersections and neighborhood entries to form a unified whole giving special meaning to these entries.

Grading

- Grading should result in a harmonious transition from the man-made grade to the natural terrain. Finished grades shall not adversely affect adjacent lands, shall avoid high retaining walls on property lines, shall provide for the disposal of water, and shall ensure the privacy of existing adjacent homes.



- * MINIMUM LOT DEPTH MAY BE REDUCED BY 20' FOR LOTS WITH CURVE, CUL DE SAC, OR KNUCKLE STREET FRONTAGE.
- ** FOR SINGLE STORY UNITS ON 6,200 SF LOT SETBACK MAY BE REDUCED UP TO FIVE FEET FOR UP TO 20% OF THE UNITS.

Exhibit 37
Typical Single Family Residential Plot Plan
for 6,200 SF & 7,200 SF Lots

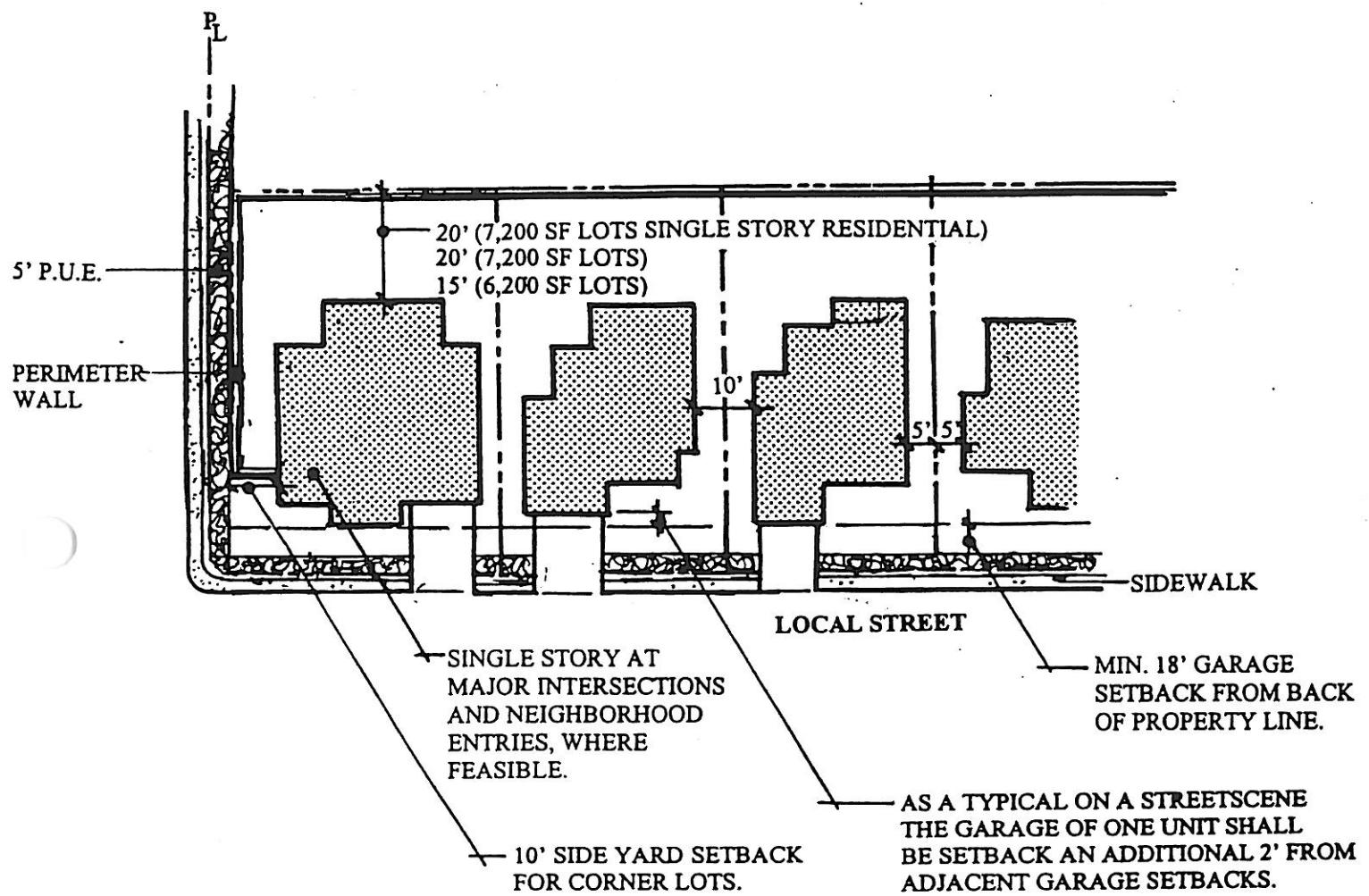
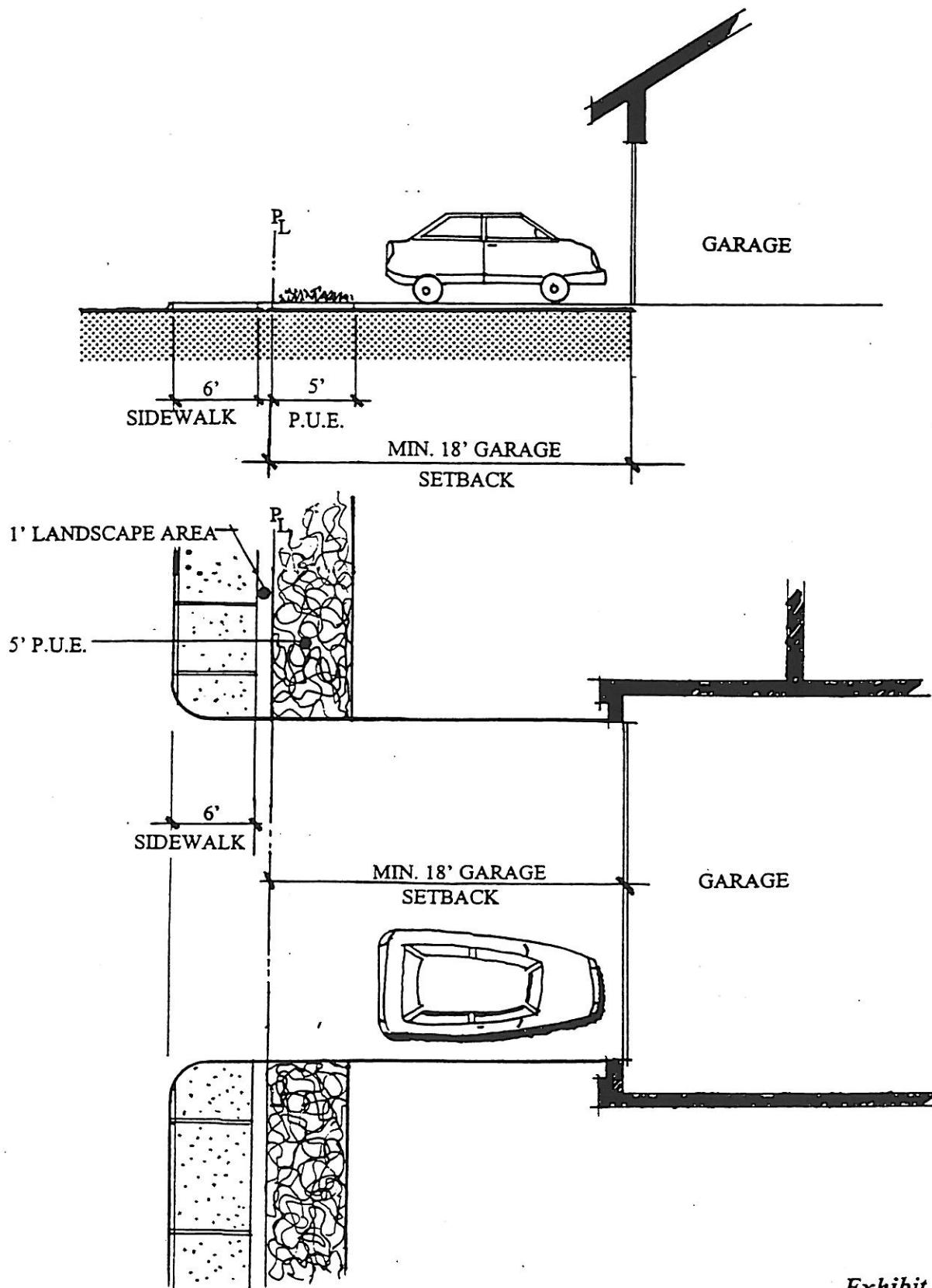


Exhibit 38
Typical Streetscene Plotting
for 6,200 SF & 7,200 SF Lots

Specific Plan



*Exhibit 39
Front Entry Garage*

5.3.2 ARCHITECTURE

The architectural character envisioned for the residential neighborhoods within Summit Heights are influenced by the elements incorporated into other City approved developments within the North Fontana area. The Design Guidelines establish a framework to achieve harmony and compatibility within the residential neighborhoods while providing the flexibility to create variety in the architectural expression and interpretation of the design styles envisioned for the community. All too often, when designing a new residential community, the majority of the design effort is focused on the individual floor plans and elevations, which comprise the project, rather than on the community as a whole.

Given the nature of current community plan projects, however, the community is perceived as a combination of buildings, landscape, walls, and circulation patterns rather than as a series of individual structures. Significant improvement to the project can be made by devoting more attention to the overall fabric of the community, the sequence of adjacencies, and the location of residential units within blocks.

Attention should be given to the fabric of shades and shadows, to the mass and scale of adjacent units, and to the relationship of open spaces. Recessed porches providing shadow, one story elements such as garage eyebrows, extended garages, and porches should be provided to give scale and variety to the streetscape and the neighborhood block.

Residential Architectural Standards

The Summit Heights Planned Community emphasizes the use of design components selected from a variety of sources and styles to encourage architectural creativity and diversity within an overall unifying theme for a community. Architectural character will be enhanced through the use of several different product types in Summit Heights. This will help create a community that appears as if it has been developed over a period of time, rather than simultaneously.

The following section provides architectural guidelines for design elements that are common to the various Summit Heights' architectural types and styles. Exhibits 40 through 42 illustrate the Summit Heights residential design elements.

- **Design Criteria**

To be incorporated is the current Plotting and Design Criteria as adopted by the Planning Commission.

- **Building Massing and Scale**

Specific Plan

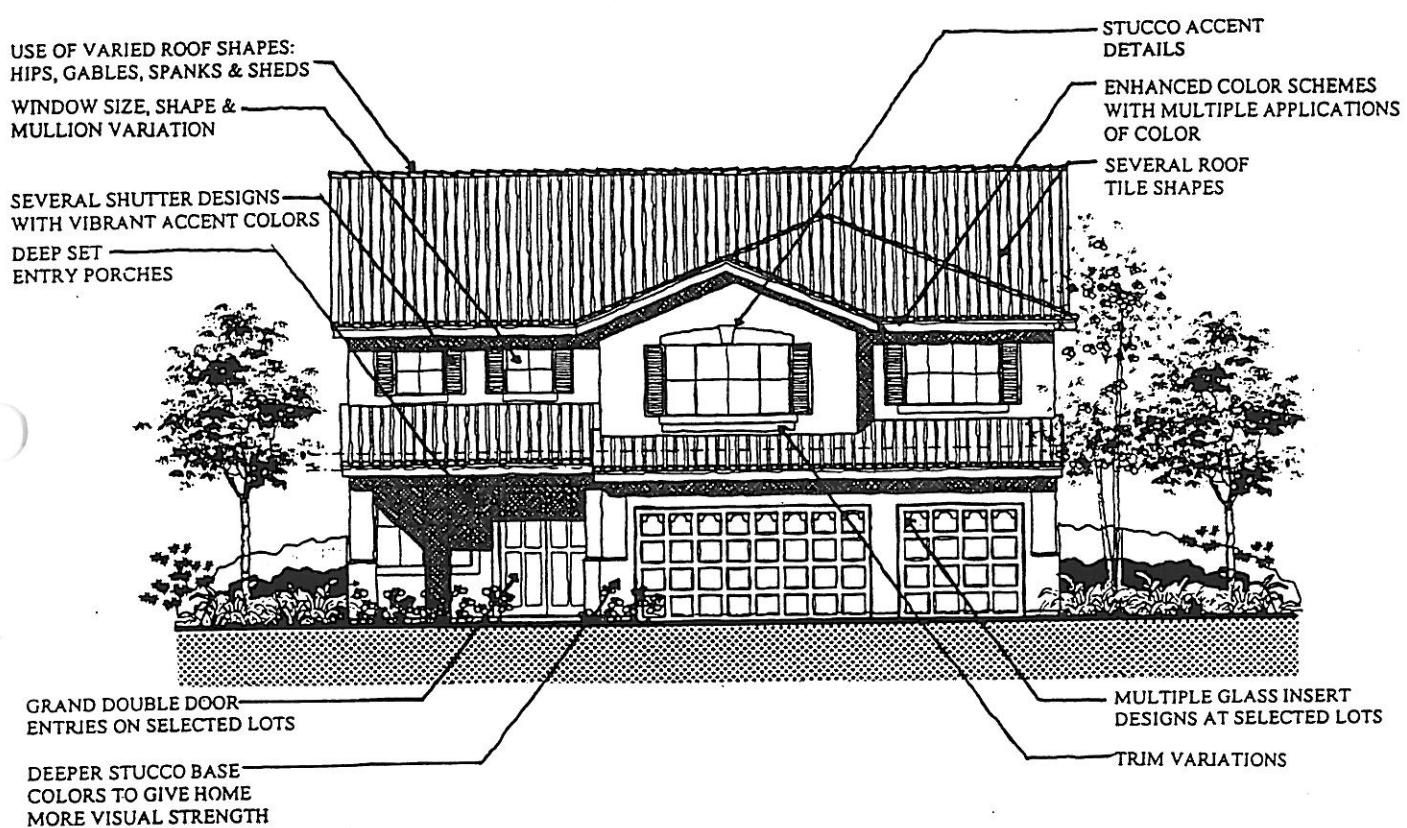


Exhibit 40
Residential Architectural Design Elements

Specific Plan

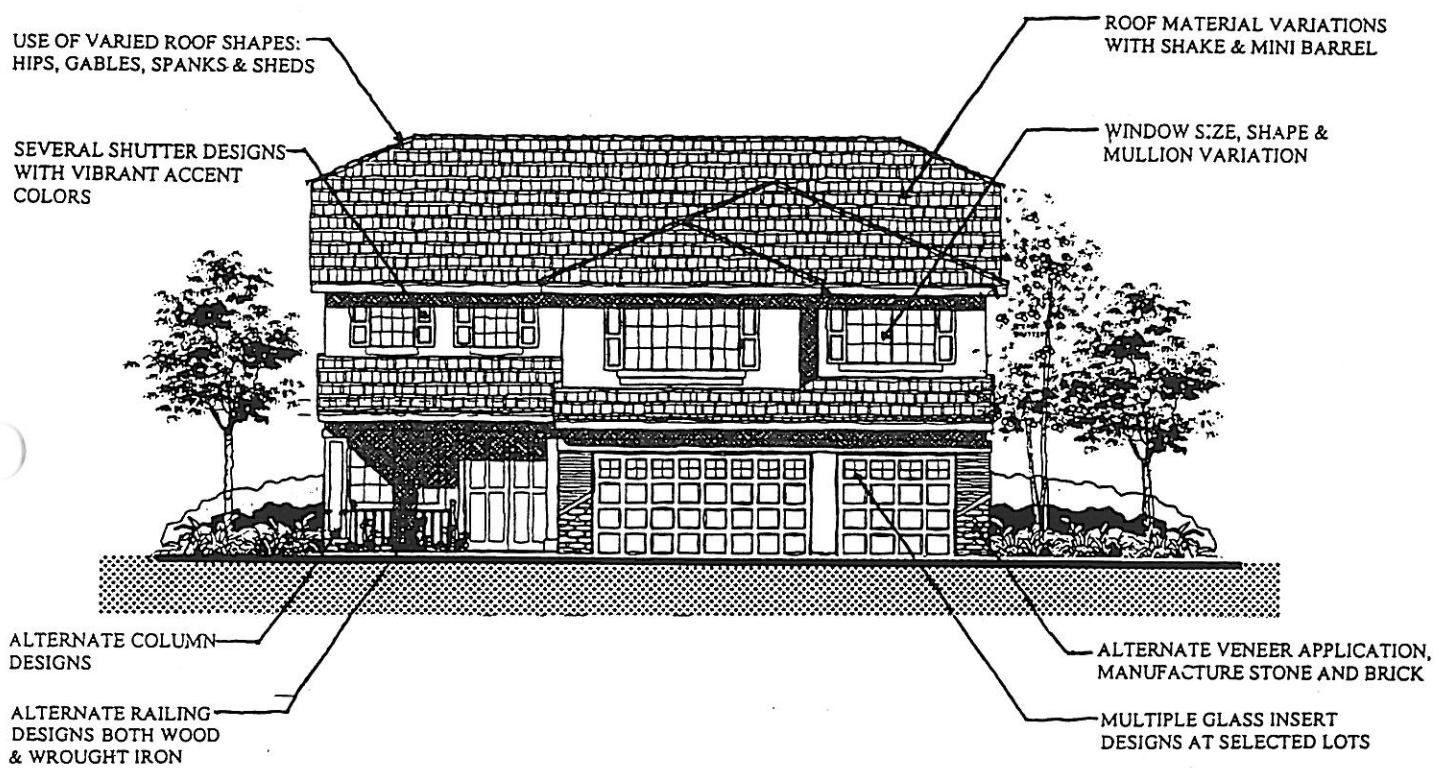
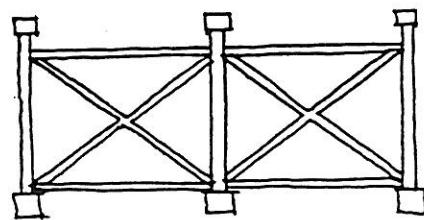
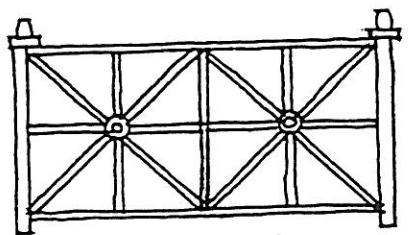
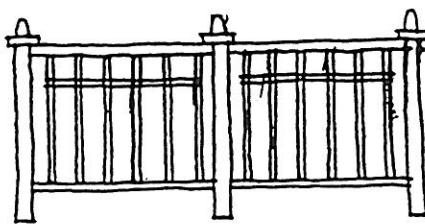
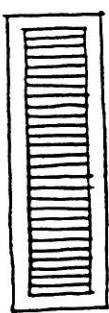


Exhibit 41
Residential Architectural Design Elements



RAILING EXAMPLES
(But Not Limited To)



SHUTTER EXAMPLES
(But Not Limited To)

Exhibit 42

Residential Architectural Design Detail Elements

Building massing can play an important role in creating interest and diversity in the street scene and in developing a human scale for individual neighborhoods. Wherever possible, the following areas of concern should be addressed:

The general character of the residential area should reflect a neighborhood scale so that the massing of the buildings does not overwhelm the street scene. This is achieved by addressing the massing of the individual houses, but more importantly, the assemblage of individual houses into a street scene composition should be addressed.

- **Roof Forms**

Articulated roofscapes should be designed through the use of a variety of textures (flat and curved tile) and roof forms including hips, gables, and clipped gables. Varied roof forms will be required in the design of the individual buildings as well as within the assemblage of buildings into a street scene composition.

Primary (front) Elevations

For all single-family subdivisions a minimum of three elevations per floor plan type shall be required. Four elevations per floor plan shall be required for projects having fewer than three floor plan types. For purposes of calculating elevations, a reverse floor plan shall be considered as a separate elevation as would a variation in garage and unit colors.

Building elevations shall be articulated to create interesting roof lines, strong patterns of shade and shadow, and relief in wall planes.

Roofs

Roof design has a particular influence on a community street scene. Care should be taken to provide roof articulation with a variety of shapes and materials throughout the Summit Heights Community:

- a. All roofs shall be concrete tile.
- b. Variation in roof forms, colors, and materials shall be utilized to create a sense of individuality and diversity. These shall be compatible with the character of the entire planned community to create a sense of unity and order.
- c. Roof textures (i.e. flat tile, low profile, and barrel tile) and colors shall be varied, yet compatible within the individual neighborhoods.
- d. Roof pitches and forms may vary (4:12 to 6:12) to encourage individual architectural expression. Steeper pitched roofs may be used as accent roofs to complement the street scene.
- e. Roof additions shall be of the same building materials as main structures.

Garages

- a. Portions of the living area of a house, such as a porch, a room, or bay window may encroach in front of the garage setback in order to lessen the impact of the garage door.
- b. Where garages occur adjacent to one another along interior lot lines, a variation in setbacks shall be provided, where possible, to break up the massing of garages along the streetscape.

Second Stories

- a. Two story units shall incorporate architectural elements above the garage such as special window treatments and projected elements, where necessary, to provide appropriate architectural character and variety to the second story.
- b. Second story windows and balconies shall be placed carefully in order to protect the privacy of adjacent properties.

Floor Plans

All two-story units shall provide a powder room or full bathroom on the downstairs floor.

Miscellaneous Design Elements

There are a number of minor design elements that subtly influence the way a community's design is perceived. Care should be taken to ensure the various design elements enhance the house, without dominating the elevation or streetscape.

Flashing and Sheet Metal

All flashing and sheet metal shall be painted to match the adjacent building material.

Balconies, Trellises, Patio Covers, Sun Shades, Structures, and Gazebos

All appurtenant structures shall be integrated with the main structure and designed to be consistent with the residential architectural character.

Vents

All vent stacks and pipes shall be colored to match the adjacent roof or wall material. Vent stacks shall be grouped to the side or rear of the roofs and shall avoid extending above the roof ridgeline.

Colors

Color schemes shall be appropriate to the architectural concept. Accent colors shall be used. Color blocking is an acceptable alternative to shape and mass articulation where appropriate. Final color schemes shall be approved during the design review process.

Side Yard Gates

Side yard gates shall be of perforated metal screen construction.

5.3.3 LANDSCAPE

Landscaping of planted areas shall be used to frame, soften and enhance the quality of the environment, to identify neighborhood variation, and to buffer units from noise or undesirable views. Trees and shrubs as well as turf and groundcovers shall be used in all planting areas where appropriate.

Landscaping shall be provided by the parcel builder in all required front yards, and on corner lots including street parkway areas, as required by the landscape development section of the City of Fontana Development Code.

Lighting

Entrances to buildings shall be well lighted and void of any large shrubbery or obstruction to aid in public safety.

All exterior lighting shall be adequately controlled and shielded to prevent glare and undesirable illumination to adjacent properties or streets.

The use of energy-conserving fixtures or lighting systems shall be given primary consideration.

Utilities

Temporary overhead power and telephone facilities are permitted only during construction.

Transformer, utility pads, CATV, and telephone boxes on major roadways shall be screened with walls, fences, vegetation, or a combination of these. On local streets, all utilities shall be underground.

All exterior on-site utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, underground CATV, and communications wires and equipment shall be installed and maintained underground. Items that must be placed above ground for function and safety reasons shall be screened from view of public streets.

5.4 COMMERCIAL

5.4.1 SITE PLANNING

Grading and Drainage

Graded slopes shall meet Uniform Building Code and the City of Fontana engineer's standards.

All graded slopes in excess of 3:1 shall be stabilized and planted with groundcover and trees or shrubs. All slopes of 3:1 or greater shall require an erosion control management plan.

Site grading design shall complement and reinforce the architectural and landscape design character by helping to screen parking, loading and service areas, by helping to reduce the perception of height and mass of large buildings, by providing reasonable transitions between on-site uses, by providing elevation transitions contributing to the efficiency of on-site and off-site movement systems, and by providing a reasonable transition between lots.

Vehicular Circulation

The access and circulation of a development shall be designed to provide a safe and efficient system, both on and off the site. Points of access shall be designed in conformance with the City of Fontana access regulations, and shall not conflict with other planned or existing access points.

Access drives for commercial areas shall be located as far as possible from street intersections, and shall be coordinated with median openings. Where median openings are not available, entries shall be designed for efficient "right-turn only" ingress and egress.

Access drives shall be coordinated with adjacent lots so as to minimize the number of curb cuts required and to not impede on the efficient flow of peak period traffic. Consideration shall be given to adequate separation of adjacent access drives or the development of common access drives.

Adequate truck maneuvering area will be provided for the truck size anticipated for the subject commercial development. In no case should trucks have to use public rights-of-way to maneuver into a loading space, including the necessity to have to back-in from a public right-of-way.

Trucks using loading areas shall not encroach upon designated drive aisles or parking spaces.

Adequate emergency access routes for the egress/ingress of emergency vehicles will be required for all commercial projects.

Relationship of Parking Areas and Loading Zones to Buildings

Multi-user parking areas shared between buildings and uses shall be encouraged to the maximum extent possible.

Aisles shall be positioned, whenever possible, perpendicular to building entries for easy pedestrian access. Pedestrian corridors shall also incorporate landscaping material.

Driveway access to rear parking areas, when necessary, and clear signage identifying rear parking availability shall be provided.

Parking areas should not be the dominant element in the overall design of a project and shall be designed to minimize visual disruption.

Pedestrian Circulation

On-site pedestrian circulation systems shall be provided to meet the movement needs of on-site users. Such systems shall provide safe, all-weather surfaces and aesthetically pleasing means of on-site foot travel. Pedestrian walkways shall be an integrated part of the overall architecture and site design concept.

Pedestrian and bicycle access will be provided to connect surrounding land uses and commercial uses.

All new commercial development shall be accessible to persons with disabilities as required in the City of Fontana Development Code.

All commercial development shall provide pedestrian access from the adjacent streets.

Open Space

Open spaces shall be designed as an integral part of the overall site plan design. Open spaces shall enhance the building design, enhance public views and spaces, provide buffers and transitions, and provide screening.

Open spaces are encouraged within all new commercial developments and shall be designed at a scale proportionate to each individual project.

Open spaces shall promote "people gathering" and provide seating areas. Visually, these spaces shall be attractive and functional and shall be typically characterized in the form of plazas, courtyards, and outdoor and sidewalk eating areas.

Open spaces shall provide a strong landscape design and provide aesthetic public views.

Open spaces shall be integrated into the vehicular and pedestrian circulation systems as a focus and destination.

Open spaces will be shaped and strongly defined by adjacent buildings with visually interesting facades.

Building Orientation

All buildings shall be sited and oriented to reduce noise, light and glare, visual, and other conflicts. Refuse collection and loading areas shall be located in areas where noise from such operations will not adversely impact adjacent residential uses.

Office buildings should be sited for windows and entries to take advantage of scenic views, where possible.

The orientation of a building and its parts shall take into account nature and the elements: sun, wind and rain. The design and placement of windows and doors shall be considered with exposure to natural elements in mind.

Buildings shall be positioned to minimize the impact of shadows on adjacent properties. Building architecture shall be designed, wherever possible, to provide shade in the summer and sunlight in the winter.

Building setbacks from the street should vary to provide character to the area.

All HVAC ducts should be oriented away from adjoining residential property and screened from view.

5.4.2 ARCHITECTURE

Introduction

The architectural style for the Summit Heights commercial and retail buildings will incorporate the architectural characteristics required to produce aesthetically and functionally successful commercial development. These characteristics shall include:

- Well defined outdoor spaces integrated with the architecture, i.e. patios, plazas, and courtyards.

- Building forms proportionate to commercial scale development.
- Low maintenance and durable building materials.

The Summit Heights commercial architectural style will depend almost exclusively on a stucco, plaster or painted masonry. Such materials are more durable and require less maintenance.

Building Form and Mass

Relatively large building forms are characteristic of retail commercial buildings. In order to reduce the perceived height and bulk of retail commercial buildings to a more human scale, the overall building mass shall unify various smaller architectural elements. This is achieved through the integration of alternating building levels and differing forms.

Roof Forms

Gable, hip, and shed roofs are all common designs. The gable roof is used with an extended overhang at the eave with exposed rafter tails. Hipped roofs are common on tower elements and in combination with gables. Shed roofs are typically associated with verandas. Roof mounted equipment shall be screened from view. HVAC ducting cannot be exposed on the roof.

Commercial application of these roof forms includes flat roofs with parapet walls. The flat roof provides variety when incorporated with other roof forms. The parapet screens the flat surface of the flat roof form.

Elevation Treatment

Building facades shall include recesses and projections which create strong patterns of shade and shadow lines. These elements also provide protection from inclement weather. In office buildings, balconies and galleries are common on upper levels, and add additional interest to the building elevation. Decorative exterior stairs may enhance office building facades, and reinforce the relationship of the balcony and the courtyard below.

Iron or wood grillwork shall be used for security purposes or as accent features. Shutters, bay windows and awnings will occasionally be used as accents.

Arcades, Verandas, and Colonnades

Ground level covered walkways are traditional elements, which are very suitable to the contemporary commercial building. In addition to providing articulation to the building facade, they provide a transition to the building interior and direct pedestrian circulation along the perimeter of the building.

Focal Elements

Towers and courtyards are frequently used focal elements. Though focal elements are aesthetic features, they also serve a practical purpose. Focal elements assist the pedestrian by providing both orientation and organization within a complex of commercial buildings. The following will be incorporated into building design wherever possible as appropriate to the architectural style of a building.

Towers. Towers provide vertical circulation as stair or elevator shafts. Towers also provide a gateway or point of arrival, and serve as a symbolic center and gathering point for commercial buildings. Towers will be used only when appropriate with the architectural style of the commercial development.

Courtyards. As a focal element, courtyards serve as entries or transitions in the pedestrian circulation system of commercial development. Courtyards provide open space relief and separation from the building mass. Furthermore, they offer a gathering place for the assembly of people in commercial and public buildings.

Walls and Fences. Walls and fences form an integral part of the overall architectural theme. They are often an extension of the architectural and landscape architectural elements such as pergolas, and courtyards. Walls are traditionally simple in form, sometimes broken by pilasters, columns, and wood or iron gates. Wall materials are typically split faced block or stucco, whenever visible from public streets, with occasional details.

Shade Structure. Shade structures may take the form of freestanding structures or extensions of the primary building. Shade structures provide an opportunity to further portray the traditional architectural details.

5.4.3 LANDSCAPE

Lighting

- Entrances to building shall be well lighted and void of any large shrubbery or obstructions to aid in public safety.
- All exterior lighting shall be adequately controlled and shielded to prevent glare and undesirable illumination to adjacent properties or streets.
- On-site lights shall provide a safe, functional and aesthetic design. Enough lighting shall be provided to ensure a safe environment while at the same time not cause areas of intense light or glare.

- Light fixtures and poles shall be designed and placed in a manner consistent and compatible with the overall site and building design.
- Lighting design shall comply with the City of Fontana Police Department security requirements.
- Lighting for pedestrian walkways shall be low profile and have a human scale.
- Freestanding parking lot light poles shall not exceed the height of a single story commercial structure.

Utilities

- Temporary overhead power and telephone facilities are permitted only during construction.
- Transformers, utility pads and telephone boxes shall be screened with decorative walls, earthen berms, vegetation, or a combination of these.
- Transformer enclosures shall be designed of durable materials with finishes and colors used which are compatible and harmonious with the overall architectural character of the commercial center.
- All exterior on-site utilities including, but not limited to drainage systems, sewers, gas lines, water lines, and electrical, telephone, and communications wires and equipment shall be installed and maintained underground. Items which must be placed above ground for function and safety reasons shall be screened from view of public streets.

SECTION 6 DEVELOPMENT REGULATIONS

The Development Regulations contained herein have been established to provide criteria for the development of individual planning areas within Summit Heights, and are the means by which the successful implementation of the planning concepts and provisions of the Specific Plan are ensured.

In an effort to provide a document, which serves as the comprehensive regulatory document for Summit Heights, the Development Regulations have been tailored to the specific conditions of the project. As a result, there may be some variation between these regulations and existing City of Fontana development standards. Therefore, these Specific Plan Development Regulations supersede otherwise applicable City ordinances and codes, unless specifically stated herein to the contrary.

6.0 Development Regulations

6.1 RESIDENTIAL DEVELOPMENT REGULATIONS

Purpose *The purpose of the Residential Development Regulations is to establish the minimum criteria for the development of detached residences on individual lots within the neighborhoods of Summit Heights.*

	SFD 6,200 SF Lots (For Planning Areas 3-8 & 11. Permitted with Approved Amenity)	SFD 7,200 SF Lots (For Planning Areas 3-8 & 11)
Maximum Density	7.0 DU / NET AC	6.05 DU / NET AC
Minimum Lot Area	6,200 SF	7,200 SF
Minimum Lot Width at Front Setback Line	50 feet	54 feet
Minimum Lot Width at Corner Lots	55 feet	55 feet
Minimum Lot Width at Front Property Line (1)	50 feet	54 feet
Minimum Lot Depth (2)	100 feet	100 feet
Maximum Lot Coverage	45%	45% (3)
Building Height Limitations	35 feet (2-1/2 stories)	35 feet (2-1/2 stories)
Minimum Front Yard Setback (4)	20 feet (5)	20 feet (25 foot average per code)
Minimum Rear Yard Setback (4,6,7)	15 feet	20 feet
Minimum Side Yard Setback (4)	5 feet	5 feet (10 feet if doors open into setback from habitable area)
Minimum Garage Setback (8)	18 feet	18 feet
Minimum Corner Side Yard Setback	10 feet	10 feet
Minimum Distance Between Buildings (9)	10 feet	10 feet
Minimum Livable Space (10)	1550 square feet	1550 square feet
Minimum Garage Clear Inside Dimensions		
2 Car	20 feet x 20 feet	20 feet x 20 feet
3 Car	27 feet x 20 feet	27 feet x 20 feet
Minimum Wall Height	6 feet	6 feet
Minimum Parking Spaces	2 garage spaces per unit	2 garage spaces per unit (per code)

FOOTNOTES:

1. Minimum lot frontage on a curve, knuckle or cul-de-sac may be reduced to 30 feet at the property line.
2. Minimum lot depth may be reduced by twenty feet (20') for lots fronting on a curve, knuckle, or cul-de-sac.
3. At plan review, the Planning Commission may approve a maximum site coverage of up to 50% for single story units.
4. All setbacks are measured from habitable area, not from an architectural projection. An architectural projection is defined as an element that articulates the building elevation, such as pot shelves, eaves, enhanced window sills, shutter details, window trim, and entry gates, but does not include spas, pools, patio covers, porches, trellises, or other accessory structures. A 5 foot encroachment is permitted for porches in the front setback. Unenclosed patios, pools, spas, and trellises are permitted within the rear yard setback area. Room additions, enclosed patios, and all other projections may encroach 2 feet into any setback area.
5. At plan review, the Planning Commission may approve a decrease of five feet (5') in the minimum front yard setback for single story units up to a maximum of 20% of the total units.
6. At plan review, the Planning Commission may approve a decrease of five feet (5') in the minimum rear yard setback in order to promote diversity of streetscape, product type, and architectural treatment.
7. Patio covers, trellises or gazebos may extend into this minimum setback, but such structures shall be set back at least 10 feet from the property line to the support column.
8. Units shall have a roll-up garage door.
9. Buildings are defined as habitable structures and do not include porches, trellises, decks, patio covers, retaining walls, or storage sheds.
10. Planning Area 11 shall provide 90 % of the houses at 2,480 square feet.

1. SERVICE STATION TENANT.

E. SIGN SPECIFICATIONS

1. Signs shall be limited to store name, Federal or State registered name or logo. Established trade marks or registered trade mark signage shall be permitted providing the signs conform to the criteria described herein.
2. In the event the Tenant does not have an established exterior sign identity, the landlord recommends the Tenant establish an acceptable letter style.
3. All letters shall be aluminum channel letters with face colors and type styles subject to landlord's approval.
4. Logo cabinet plaques used in conjunction with individual letters will be considered a part of the sign area, and are subject to landlord's approval.
5. The Tenant shall pay for all signs, their installation, (including final connection) and maintenance. Tenant sign contractor must file, and obtain any licenses, permits, and variances as required for sign installation by the City of Fontana. A copy of the sign permit to be supplied to Landlord for their file.
6. Each Tenant or their sign contractor shall be responsible for the repair of any damage to the building, caused by the installation of said Tenant's sign. Only state licensed and insured sign contractors shall perform sign manufacturing and installations. The sign contractor to supply Landlord with a copy of their State License and Workman's Compensation Insurance.
7. Each Tenant shall be responsible for the performance if it's sign contractor.
8. Tenant shall be responsible for removal of said sign within thirty (30) days after vacating the site. Removal of restoration of the wall surface back to the original condition, and must undergo final inspection by Landlord.
9. Each Tenant shall be responsible for keeping all their signage or graphics on its premises in good working order. Landlord shall inform Tenant, in writing, of non-acceptable conditions, lighting out or sign in poor visual condition. Repairs shall be made by Tenant within thirty (30) days for receipt of such written notice.

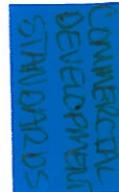
1. SERVICE STATION TENANT.

D. FABRICATION AND INSTALLATION OF ILLUMINATED CHANNEL LETTERS.

1. The fabrication and installation all signs shall be subject to the following restrictions: All channel letters are to be fabricated from .050 to .125 aluminum. Letters must be fabricated of welded aluminum with aluminum backs. No pop-riveted or stapled letters shall be allowed. Five (5) inch deep letter returns shall be primed and painted with an automotive enamel, a minimum of two (2) coats, semi-gloss dark bronze, unless color is approved by Landlord. Interior of letter to be primed and painted a reflective white, to assist with even lighting.
2. Channelume, Channel Classic, and Channel letter edge type letter will not be permitted.
3. Letter faces shall be a minimum of 1/8" thick, translucent Plexiglas. Colors are subject to Landlord approval.
4. Retainer trim-cap shall be 3/4" bronze trim-cap edge, unless otherwise approved by Landlord. Retaining screws shall be 07x3/8" Phillip type sheet metal screws. All trim-cap retaining screws must be painted to match trim-cap color. Colors are subject to Landlord approval.
5. All channel letters to be illuminated with neon tubing with a 30 ma. transformer. Neon tube size and color to be determined by channel letter face color. P.K. or Hage housings or other UL approved connectors may be used for all neon tube system. All channel letters shall be UL labeled.
6. All channel letters shall be secured by concealed fasteners, stainless steel, or nickel cadmium plated.
7. No exposed incandescent or fluorescent lamps will be permitted. All exposed neon must be approved by Landlord and City Building Department.
8. All penetrations of the building structure required for sign installation shall be sealed to a watertight condition.
9. No sign company labels will be permitted on the exposed surfaces of signs, except what is required by City of Fontana. UL sticker shall be placed in an inconspicuous location on letters.
10. All channel letters must have a 3/16" diameter drain hole at bottom of each channel letter or plaque, if illuminated.
11. All signs shall be fabricated and installed with UL approval in compliance with all applicable building and electrical codes.
12. All signs shall conceal all necessary wiring, transformers, ballasts, starters and other necessary equipment within their individual letters or behind wall

6.2 COMMERCIAL DEVELOPMENT REGULATIONS

Purpose: The purpose of the Commercial Development Regulations is to establish the minimum criteria for the development of the commercial parcels within Summit Heights. They are intended to assure the compatible and mutually beneficial interaction of the commercial uses with residential consumers, industrial suppliers, and the transportation system that ties all of the uses together.



	COMMERCIAL OVERLAY	COMMUNITY COMMERCIAL
Permitted Uses	Per City of Fontana Zoning and Development Code Table 30-202.A. (C-3)	Per City of Fontana Zoning and Development Code Table 30-202.A. (C-3)
Lot Dimensions Per Section 30-207 of the City of Fontana Zoning and Development Code		
Maximum Height	35 feet	50 feet
Maximum Lot Coverage*	50%	50%
Yard Areas - Building Setbacks (Measured from PL)		
Street Yard		
▪ Abutting Primary Highways	20 feet	20 feet
▪ Abutting Secondary Highways, Collector or Local Streets	15 feet	15 feet'
Rear Yard		
▪ Abutting Residential or C-OP Zones	30 feet	20 feet
▪ Abutting Secondary Highways, Collector or Local Streets	0 feet	0 feet
Interior Side Yard		
▪ Abutting Residential or C-OP Zones	10 feet	10 feet
▪ Abutting All Other Zones	0 feet	0 feet
Yard Areas - Parking Setbacks (Measured from PL)		
Street Yard		
▪ Abutting Primary Highways	25 feet	25 feet
▪ Abutting Secondary Highways, Collector or Local Streets	15 feet	15 feet
Rear Yard		
▪ Abutting Residential or C-OP Zones	10 feet	10 feet
▪ Abutting All Other Yard Areas	0 feet	0 feet
Interior Side Yard		
▪ Abutting Residential or C-OP Zones	5 feet	5 feet
▪ Abutting All Other Yard Areas	0 feet	0 feet

Signage	Per City Code	Per City Code
Projections		
▪ Signs	Per City Sign Ordinance	Per City Sign Ordinance
▪ Architectural Features such as: (Awnings, Eaves, Canopies, Roof Projections, Etc.)	10 feet (Provided that feature is at least 8' above grade and no closer than 5' from PL)	10 feet (Provided that feature is at least 8' above grade and no closer than 5' from PL)
▪ Bay Windows, Chimneys, Balconies and Similar Features	3 feet above highest point (Provided the feature is located no closer than 5' from the PL)	3 feet above highest point (Provided the feature is located no closer than 5' from the PL)
▪ Theater Marquees	10 feet or no closer than 2 feet to the face of an existing curb, whichever is less	10 feet or no closer than 2' to the face of an existing curb, whichever is less
Maximum Wall Heights**		
▪ Within Required Street Frontage Setback	3'-0"	3'-0"
▪ Abutting Residential Front Yard	3'-6"	3'-6"
▪ Abutting Residential Side or Rear Yard	8'-0"	8'-0"
▪ All Other Areas	12'-0"	12'-0"
Accessory Structures	Accessory buildings may be located any where on a lot except within the required front yard areas. Accessory buildings shall conform to the same setback requirements applicable to the primary structures.	
Landscaping	<ul style="list-style-type: none"> ▪ Landscaping shall be provided per Article X of the City of Fontana Zoning and Development Code with the following exceptions: ▪ Parking area landscape protection: All landscaping shall be protected by curbed planter areas. Up to 2 feet of vehicle overhang shall be permitted into landscaped areas where such overhang will not disrupt plant materials. ▪ Parking area trees shall be required at a ratio of one tree per 4 parking stalls and can be clustered. ▪ A minimum of 15% of the total site area shall be landscaped. ▪ Turf shall be permitted to abut buildings on street frontages. 	

Screening

- Open Storage
Open storage shall be prohibited. Certain merchandise may be displayed outdoors for sale or rent as indicated in Table 30-212.A of the City of Fontana Development Code.
- Parking Lots
All parking lots shall be screened as provided for in Article XI of the City of Fontana Development Code except that landscape materials may be used for screening materials in parking areas.
- Adjacent to Residential Districts
All commercial uses adjoining or abutting a residential district shall be screened by a solid masonry wall not less than 6' but no higher than 8' in height. However, in the front yard area abutting the residential lot, the wall may be lower as determined through the design review process.
- Trash Enclosures, Utility Areas, Loading Areas, Etc.
Such features shall be screened by walls, earthen berms, landscaping, buildings, or any combination of these.
- Rooftop Mechanical Equipment
Rooftop mechanical equipment, except solar collectors and rain gutters, shall be screened on all sides by screening not less than the height of the equipment being screened. Such screening devices shall be well integrated into the design of the building through such items as parapet walls continuous with the walls of the structure, false roofs, or equipment rooms. All rooftop screening devices shall be of a material requiring a low degree of maintenance, and shall be secured from unauthorized entry to the satisfaction of the City of Fontana building official.

Parking

Off-street parking and loading facilities shall be provided as required by Article XI of the City of Fontana Zoning and Development Code.

*Automobile fuel/service stations shall be a maximum allowable lot coverage of 50%

**All outside storage must comply with other provisions of the City of Fontana Zoning and Development Code. Walls, fences, hedges at a street corner are required to meet the city's street intersection sight distance standards.

6.3 LANDSCAPE DEVELOPMENT REGULATIONS

6.3.1 General Provisions

- All landscape plans, streetscape plans and graphic designs with regard to community identity, neighborhood identity or entry monumentation shall conform to the regulations and Plans as set forth herein and shall be subject to review and approval by the City of Fontana or their authorized representative.
- The Landscape/Streetscape improvements for the Summit Heights Planned Community shall establish a landscape architectural theme reminiscent of the regional landscape character of the surrounding area.

6.3.2 Landscape Standards

- All plantings within the Summit Heights Planned Community shall be selected from the palette of plants indicated in Table A, "Summit Heights Plant Palette".
- Landscaping within the Summit Heights Planned Community shall be provided in accordance with the Master Plan of Streetscapes and Entries.
- Boundary landscaping will be required adjacent to residential areas abutting storage, loading, parking, and commercial areas. Landscaping shall generally be placed along the entire property line.
- Freestanding perimeter walls shall be provided within and at the perimeter of the Summit Heights Planned Community as specified in the Community Wall Plan. Such walls will be constructed concurrently with the construction of improvements required to be developed within each of the Development Areas of the Plan.
- All perimeter wall materials throughout the planned community will be of uniform manufacture with colors specified for the overall community design theme.
- The Developer will coordinate efforts with the City and the utility companies which maintain ownership and/or easements within the utility corridor bisecting the property, in order to implement the landscape and recreational improvements proposed by the Plan.
- The Developer will provide site inspection of all construction and installation of open space areas in accordance with City of Fontana requirements.
- Non-toxic vegetation shall be utilized adjacent to all public open space areas.

Table A
LANDSCAPE PALETTE

Trees

<i>Albizia julibrissin</i>	Silk Tree	<i>Olea europaea</i>	Olive
<i>Alnus rhombifolia</i>	White Alder	<i>Pinus canariensis</i>	Canary Island Pine
<i>Arbutus unedo</i>	Strawberry Tree	<i>Pinus eldarica</i>	Mondell Pine
<i>Brachychiton acerifolium</i>	Flame Tree	<i>Pistacia chinensis</i>	Chinese Pistache
<i>Brachychiton populneus</i>	Bottle Tree	<i>Pittosporum phyllyraceoides</i>	Willow Pittosporum
<i>Cedrus deodara</i>	Deodar Cedar	<i>Platanus acerifolia</i>	London Plane Tree
<i>Cercis occidentalis</i>	Western Redbud	<i>Platanus racemosa</i>	Western Sycamore
<i>Cinnamomum camphora</i>	Camphor Tree	<i>Podocarpus gracilior</i>	Fern Pine
<i>Cupaniopsis anacardioides</i>	Carrotwood	<i>Prunus c. blireiana</i>	Purple Leaf Plum
<i>Fraxinus o. "Raywood"</i>	Raywood Ash	<i>Quercus agrifolia</i>	Coast Live Oak
<i>Fraxinus velutina</i>	Arizona Ash	<i>Quercus virginiana</i>	Live Oak
<i>Geijera parvifolia</i>	Australian Willow	<i>Rhus lancea</i>	African Sumac
<i>Koelreuteria paniculata</i>	Goldrain Tree	<i>Schinus molle</i>	California Pepper
<i>Lagerstroemia indica</i>	Crape Myrtle	<i>Tristania conferta</i>	Brisbane Box
<i>Liquidambar styraciflua</i>	American Gum	<i>Washingtonia filifera</i>	Calif. Fan Palm
<i>Magnolia grandiflora</i>	So. Magnolia		

Shrubs (Tall)

<i>Dodonaea v. purpurea</i>	Prpl. Hopseed Bush	<i>Philodendron selloum</i>	Philodendron
<i>Escallonia rubra</i>	Escallonia	<i>Photinia fraseri</i>	Fraser's Photinia
<i>Feijoa sellowiana</i>	Pineapple Guava	<i>Pittosporum tobira</i>	Mock Orange
<i>Grevillea noelii</i>	Grevillea	<i>Podocarpus macrophyllus</i>	Yew Pine
<i>Juniperus torulosa</i>	Hollywood Juniper	<i>Pyracantha species</i>	Pyracantha
<i>Magnolia soulangiana</i>	Saucer Magnolia	<i>Strelitzia nicolai</i>	Giant Bird of Paradise
<i>Mahonia aquifolium</i>	Oregon Grape	<i>Viburnum tinus</i>	Laurustinus

Shrubs (Medium)

<i>Abelia grandiflora</i>	Glossy Abelia	<i>Lonicera subspicata</i>	Honeysuckle
<i>Arbutus unedo compacta</i>	Dwf. Strawberry Tree	<i>Mahonia aquifolium</i>	Oregon Grape
<i>Berberis thunbergii</i> 'Crimson Pygmy'.....	Barberry	<i>Nandina domestica</i>	Heavenly Bamboo
<i>Buxus m. japonica</i>	Japanese Boxwood	<i>Pittosporum tobira 'variegata'</i>	Variegated Tobira
<i>Elaeagnus pungens 'Silverberry'</i>	Silverberry	<i>Punica granatum 'Nana'</i>	Dwf. Pomegranate
<i>Escallonia 'compacta'</i>	Compact Escallonia	<i>Rhaphiolepis indica</i>	India Hawthorne
<i>Euonymus japonica</i>	Evergreen Euonymus	<i>Strelitzia reginae</i>	Bird of Paradise
		<i>Xylosma congestum 'compacta'</i>	Compact Xylosma

Shrubs (low)

<i>Arctostaphylos</i> species.....	Manzanita	<i>Lantana camara</i>	Lantana
<i>Asparagus densiflorus 'Sprengerii'</i>	Asparagus Fern	<i>Mahonia repens</i>	Creeping Mahonia
<i>Buxus m. japonica</i>	Japanese Boxwood	<i>Nandina domestica 'Nana'</i>	Dwf. Heavenly Bamboo
<i>Carissa m. 'Tuttle'</i>	Dwf. Natal Plum	<i>Pittosporum t. 'Wheeleri'</i>	Dwf. Tobira
<i>Ceanothus</i> species.....	Wild Lilac	<i>Rhaphiolepis l. 'Ballerina'</i>	India Hawthorne
<i>Cistus purpureus</i>	Rockrose	<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Dieteria vegeta</i>	Fortnight Lily		

Vines

<i>Antigonon leptopus</i>	Queen's Wreath	<i>Hedera helix</i>	English Ivy
<i>Bougainvillea 'San Diego Red'</i>	Bougainvillea	<i>Macfadyena unguis-cati</i>	Cat's Claw Vine
<i>Calliandra haematocephala</i>	Pink Powder Puff	<i>Parthenocissus tricuspidata</i>	Boston Ivy
<i>Clytostoma caliegostigoides</i>	Violet Trumpet Vine	<i>Passiflora alatacaerulea</i>	Passion Vine
<i>Ficus pumila</i>	Creeping Fig	<i>Rosa banksia</i>	Climbing Rose

Groundcover

<i>Baccharis p. "Twin Peaks"</i>	Twin Peaks Coyote Bush
<i>Gazania rigens</i>	Gazania
<i>Hedera helix</i>	English Iv
<i>Hypericum calycinum</i>	Aaron's Beard
<i>Lantana montevidensis</i>	Lantana
<i>Oenothera berlandieri</i>	Evening Primrose

Rosmarinus officinalis

"Prostrata".....	Dwf. Rosemary
<i>Teucrium chamaedrys</i>	Germaner
<i>Trachelospermum jasminoides</i>	Star Jasmine
<i>Verbena peruviana</i>	Peruvian Verbena
<i>Vinca minor</i>	Dwf. Periwinkle

6.3.3 Streetscape Standards

- The streetscapes within the Summit Heights Planned Community shall be implemented by the Developer in accordance with the Master Plan of Streetscapes and Entries.
- The Developer will install all primary and secondary entry improvements concurrently with the construction of the roadway on which they front. Neighborhood entries will be constructed by the Developer as each neighborhood entry road is built.
- The Developer will provide site inspection of all construction and installation of streetscapes in accordance with City of Fontana requirements.
- Streetscape plantings should be in conformance with the Streetscape Plant Palette specified in Table A.

7.0 Plan Implementation

SECTION 7 PLAN IMPLEMENTATION

The Summit Heights Specific Plan will be adopted by the City of Fontana City Council by Ordinance, in accordance with the City of Fontana Zoning and Development Code. Following adoption by the City, the Summit Heights Specific Plan will serve as the land use and zoning for the Summit Heights Specific Plan area. The Specific Plan addresses general provisions, permitted uses, development standards, and community design guidelines consistent with the requirements of the City of Fontana Zoning and Development Code.

7.1 IMPLEMENTATION

Development within the Summit Heights Planned Community shall be implemented through the approval by the City of parcel maps, tentative maps, design reviews, and site plans. The implementation process described below provides for the mechanisms for review and approval of development projects within Summit Heights consistent with the Specific Plan objectives.

a. Applicability

All development proposals within Summit Heights shall be subject to the implementation procedures established herein. Whenever the provisions and development standards contained herein conflict with those contained in the City of Fontana Zoning and Development Code, the provisions of the Summit Heights Specific Plan shall take precedence.

b. Interpretation

Unless otherwise provided, any ambiguity concerning the content or application of the Summit Heights Specific Plan shall be resolved by the City of Fontana Community Development Director in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

c. Development Review Process

Subdivision Maps

Tentative Parcel Maps and Tentative Tract Maps will be reviewed and approved pursuant to applicable provisions of the State of California Subdivision Map Act (Government Code Section 66410 through 66499) and consistent with the applicable provisions of Land Use, Infrastructure and Development Regulations contained within the Summit Heights Specific Plan.

Design Review

Design Review approval is required for all development proposals within the Summit Heights Specific Plan area. Design Review shall be conducted by the City of Fontana Planning Commission at a duly noticed public hearing and plans shall be reviewed for consistency with the Summit Heights Specific Plan. Submittal of a Design Review application shall be of a form and content consistent with the City of Fontana requirements. If the application is found to be consistent with the Specific Plan and this chapter, the Planning Commission shall approve the application. The decision of the Planning Commission shall be final, subject to appeal to the City Council according to the appeal procedures described below. As an alternative to review and approval by the Planning Commission of site plans, the applicants may elect to utilize dynamic plotting criteria on some or all of their planning areas.

d. Appeal

Appeals from any determination of the Community Development Director shall be made to the Planning Commission. The applicant(s) shall have the right to appeal the decision of the Planning Commission on a site plan and/or tentative map by filing an application on forms provided by the City of Fontana within ten (10) calendar days after notice of approval by the Planning Commission. Appeals shall be processed consistent with the provisions of the City of Fontana Municipal Code.

7.2 SPECIFIC PLAN MODIFICATIONS AND AMENDMENTS

a. Minor Modifications

The following constitute minor modifications to the Specific Plan not requiring a Specific Plan Amendment and are subject to review and approval by the Community Development Director. The Community Development Director shall have the discretion to refer any such request for modification to the Planning Commission.

- Final sizing and precise location of public facilities such as water, sewer, storm drains pursuant to recommendations of the City Engineer.
- Change in utility and/or public service provider.
- Arterial or collector road alignment when the change results in a centerline shift of less than 200 feet.

- Collector street alignments within individual planning area tracts.
- Type and design of public parkland improvements proposed within the utility corridor if different from the conceptual layout approved with the Summit Heights Specific Plan when such changes are a result of utility company requirements and/or restrictions.
- Revision to the total number of units within one or more planning areas provided the total number of units for the entire Specific Plan area does not exceed that established in the Specific Plan.
- Adjustment of planning area boundaries provided the total acreage of the affected planning area does not increase or decrease by more than 15% of the total stated in the approved Specific Plan.
- Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are consistent with the conceptual design set forth in the design guidelines contained within the Specific Plan.
- Minor modifications to the conceptual park layout contained within the Specific Plan.
- Minor changes to the design guidelines, which are intended to be conceptual in nature only, and are intended to be flexible in implementation.
- Other modifications of a similar nature to those listed above, which are deemed minor by the Community Development Director, which are in keeping with the purpose and intent of the approved Summit Heights Specific Plan and which are in conformance with the General Plan.

b. Specific Plan Amendments

Amendments to the Summit Heights Specific Plan may be requested by the applicant(s) at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the provisions of the City of Fontana Zoning and Development Code. In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) are responsible for preparing the necessary CEQA documentation.

8.0 General Plan Consistency

SECTION 8 GENERAL PLAN CONSISTENCY

The following describes the policies of the City of Fontana General Plan and the conformance of the Specific Plan with those policies.

A. LAND USE

A.1 Land Use Designations and Policy Map

Policy

The land use policy map designates the Summit Heights Specific Plan area as Regional Mixed Use (RMU), Residential Planned Community (R-PC), and Community Mixed Use (CMU).

Specific Plan Consistency

The Summit Heights Specific Plan is consistent with the General Plan, with the following exceptions, which are addressed in the Specific Plan as a General Plan Amendment to the Land Use Policy Map.

1. A General Plan Amendment is requested to change 4.5 acres of land adjacent to the southerly boundary of the Specific Plan area and the northerly boundary of the CalTrans right of way designated from CMU to R-PC. The City's General Plan boundaries for this area were established prior to the CalTrans right of way acquisitions for proposed S.R. 210 and the Highland Channel. Subsequent to these acquisitions, the property remaining in private ownership as CMU was rendered inappropriate for commercial use due its size, configuration, and the lack of access.
2. A General Plan Amendment is requested to change approximately 8-10 acres of RMU area to R-PC and conversely to change an equivalent amount of acreage from R-PC to RMU. The City's General Plan designated a portion of the Specific Plan adjacent to and southerly of the alignment of Summit Avenue as RMU and other portions of this area as R-PC based upon a conceptual boundary. Pursuant the approved CalTrans plans for the proposed I-15/Summit Avenue interchange, the alignment of Summit Avenue was changed by the City resulting in a division of the RMU and R-PC land use areas. This General Plan Amendment is requested as a "clean up" measure establishing new boundaries for each land use thereby creating logical and contiguous development land use areas for each land use category.

Approval of the Summit Heights Specific Plan and associated General Plan Amendments is consistent with the following General Plan Goals and Policies.

Goal 3.1 A balance of residential, commercial, industrial, open space and recreational land uses which will provide diverse economic, social and cultural opportunities.

Policy

Policy 3.1.1 Encourage the development of a pattern of land uses to establish an economic base which provides sufficient jobs for those who choose to both live and work in Fontana.

Policy 3.1.3 Encourage the development of office/commercial/industrial activity centers linked by arterial highway corridors.

Policy 3.2.1 Locate different land uses and provide adequate buffering of land uses to minimize potential adverse conflicts between land uses.

Specific Plan Consistency

The proposed land use plan and General Plan amendments will meet the goals and objectives of the General Plan as follows:

The Summit Heights Specific Plan proposes a mix of land uses within land use planning areas which are logically defined by major arterials and which respond to the market opportunities afforded by the adjacent I-15 and proposed S.R. 210 freeways. Commercial land uses are located within a contiguous planning area adjacent to I-15 providing opportunities for office and retail commercial development to both serve the professional and commercial needs of the community as well as providing jobs for residents. The proposed separation of commercial and residential land uses by the major arterial, Summit Avenue, provides adequate buffering to minimize potential adverse conflicts between uses.

The Summit Heights Specific Plan proposes a mix of residential, recreational, and commercial land uses designed with the goal of achieving a planned community offering a pleasant residential living environment conveniently located proximate to commercial services, which take advantage of the ease of freeway access.

A.2 Land Use Development Criteria

Policy

The City's General Plan establishes a minimum lot size of 10,000 square feet for all residential lots within the City except in the case of a Specific Plan area where the minimum permitted lot size is 7,200 square feet. The General Plan furthermore provides that with the provision of an "extraordinary amenity" within a Specific Plan, the minimum permitted lot size is 6,200 square feet. The General Plan defines "extraordinary amenity" as:

“Extraordinary facilities or amenities for which a developer would contribute land and capital costs, but which would be operated by a public agency.”

Specific Plan Consistency

The Summit Heights Specific Plan conforms to the General Plan Residential Planned Community criteria by proposing a minimum single-family lot size of 6,200 square feet in exchange for the provision of an “extraordinary amenity”. The Summit Heights Specific Plan proposes that the applicants participate in the development of a City approved amenity in exchange for the development of lot sizes with a minimum area of 6,200 square feet. In the event the City and the applicants do not agree on the specific terms and conditions for the development of the “extraordinary amenity”, the applicants propose the development of single family residential lots with a minimum area of 7,200 square feet which is the minimum lot size established in the General Plan for Specific Plan areas.

B. CIRCULATION

Goals and Policy

The City’s General Plan Circulation Element provides for a hierarchy of roadways and a classification system of various thoroughfares within the City. The General Plan also describes the minimum design criteria for all public roadways within the City.

Specific Plan Consistency

The circulation plan of the proposed Summit Heights Specific Plan conforms to the City’s approved General Plan Circulation Element Roadway Classifications. The proposed Specific Plan also meets the right of way dedication requirements for each proposed roadway within the Specific Plan area.

C. COMMUNITY DESIGN

Policy

The General Plan goals and policies regarding Community Design are as follows:

- 6.1 Reduce/prevent conflicts between land uses in existing and future developments.
- 6.2 Improve the image and appearance, and promote the functional efficiency of the City.

Specific Plan Consistency

The Summit Heights Specific Plan proposes a comprehensive set of community design guidelines to address streetscapes, entries, edge treatments, and community image through the coordinated and cohesive use of plant materials and hardscape such as walkways, walls and signage. The community design concept for Summit Heights provides landscape and hardscape treatment at the entry into the Specific Plan area to distinguish Summit Heights from adjacent planned communities. Each land use area and planning area are distinguished with a hierarchy of streetscapes and entry statements. The architectural guidelines included in the Summit Heights Design Guidelines provide a unified approach to the community's architecture through the combined application of site plan criteria, and recommended treatment of building massing, articulation, roofs, building materials and colors. The Community Guidelines, when implemented, will provide a strong community identity for residents of Summit Heights providing a sense of place comprised of distinctive neighborhoods within a cohesive community.

The community design concept is complementary to the community design of the Westgate Specific Plan area where boundaries are adjacent.

D. INFRASTRUCTURE

Policy

The City's General Plan states as a goal, the timely, logical, and cost-effective development of infrastructure facilities.

Specific Plan Consistency

The Summit Heights Specific Plan provides for the installation of all necessary infrastructure to serve the project as development is phased. The regional stormwater facility will be provided through the construction by CalTrans of the proposed Highland Channel adjacent to S.R. 210. In the event that the proposed Highland Channel is not completed prior to the initial phases of development of Summit Heights, the applicants will provide that interim detention basins, or other interim drainage methods acceptable to the City of Fontana, be constructed within the Specific Plan boundaries.

E. PUBLIC SERVICES AND FACILITIES

Policy

The City's General Plan states as a goal to ensure the timely, logical and cost effective development of public service facilities.

Specific Plan Consistency

The Summit Heights Specific Plan will obtain public utility services adequate to serve the proposed development from the respective public service providers. As a condition of development, the applicant(s) will pay necessary municipal impact fees to offset the cost of providing police, fire and library services for the proposed development. Also as a condition of development, the applicant(s) will be required to pay school fees pursuant to Government Code Section 65995 or execute a school mitigation agreement with the appropriate school districts, pursuant to the requirements of State law, to provide for adequate school facilities for the proposed Summit Heights development.

F. OPEN SPACE/RECREATION

Policy

The City's General Plan goals and policies relative to provision of open space and recreation facilities in new residential developments are as follows:

11.2.1 The City will continue to require the development of open space and recreation areas within new residential developments.

11.2.2 A system of neighborhood parks within convenient walking distance of all urban areas shall be established.

11.2.6 Park standards for the City of Fontana are 2 acres per thousand persons for community parks and 3 acres per thousand persons for neighborhood parks.

Additionally, the City's General Plan establishes a minimum acreage of 5 to 15 acres for neighborhood parks and encourages the use of public utility corridors for hike/bike/equestrian trails, park, and playfield.

Specific Plan Consistency

The Summit Heights Specific Plan proposes the dedication of improved park acreage and improvements to the public utility corridor, which transects the Specific Plan area adequate to meet the requirement of 5 acres of parkland per 1000 persons within the Specific Plan area. The proposed neighborhood parks include two park sites, one 10 acres in size and a second 3.6 acres in size. Proposed improvements to the public utility corridor, which include improvements to approximately 7.7 acres for a playfield and a pedestrian/bicycle pathway, are subject to approval by the respective utility companies. The park concept proposed in the Summit Heights Specific Plan has been approved by the City's Park and Recreation Commission.