

## West Gate Specific Plan Amendments Added

|                           |                      |                                |
|---------------------------|----------------------|--------------------------------|
| Specific Plan Regulations | Ordinance 1204       | December 17 <sup>th</sup> 1996 |
| Amendment #1              | Ordinance 1270       | December 15 <sup>th</sup> 1998 |
| Amendment #2              | Ordinance 1432       | October 10 <sup>th</sup> 2003  |
| Amendment #3              | Ordinance 1433       | October 7 <sup>th</sup> 2003   |
| Amendment #4              | Resolution #2003-146 | October 2 <sup>nd</sup> 2003   |



ORDINANCE NO. 1204

12/17/96

**AN ORDINANCE OF THE CITY OF FONTANA, CALIFORNIA  
ADOPTING THE WESTGATE SPECIFIC PLAN**

**WHEREAS**, Unitex Management Corporation ("Applicant") has submitted a request for approval of the Westgate Specific Plan, as on file in the City Clerk's Office; and

**WHEREAS**, the City Council is authorized to adopt specific plans controlling the development of land within the City pursuant to Government Code Sections 65450 and 65453; and

**WHEREAS**, the Planning Commission of the City of Fontana, at a meeting duly noticed and conducted on September 23, 1996, has considered the Westgate Specific Plan and recommended that the City Council approve and adopt the Westgate Specific Plan as described in Resolution No. PC 96-14; and

**WHEREAS**, On October 15, 1996 the City Council held a noticed public hearing concerning the Westgate Specific Plan; and

**WHEREAS**, the City Council has reviewed and certified the Environmental Impact Report for the Westgate Specific Plan, SCH 95052002, and adopted Findings and a Statement of Overriding Considerations relative thereto; and

**WHEREAS**, the City Council has approved General Plan Amendment No. 96-02 submitted by the Applicant, pertaining to certain amendments to the General Plan necessary to ensure the Westgate Specific Plan's conformance with the City's General Plan.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN  
AS FOLLOWS:**

**Section 1.** The City Council hereby finds and determines that the Westgate Specific Plan is in substantial compliance with the objectives contained in the Fontana Municipal Code Section 30-62, to wit:

- (a) The Specific Plan will promote and protect the public health, safety, and welfare.
- (b) The Specific Plan will implement the goals and objectives of the general plan.
- (c) The Specific Plan will enhance the quality of development.
- (d) The Specific Plan will obtain the quality of life resulting from comprehensive and orderly planning.

ORDINANCE NO. 1270

12/15/98

XX/

**AN ORDINANCE OF THE CITY OF FONTANA  
APPROVING WESTGATE SPECIFIC PLAN  
AMENDMENT #1**

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS  
FOLLOWS:

**Section 1.** Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

**Section 2.** Westgate Specific Plan Amendment #1 is consistent with the goals and policies of the General Plan.

**Section 3.** Westgate Specific Plan Amendment #1 is hereby approved as set forth in the Attachment which is incorporated herein by reference.

**Section 4.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

**APPROVED AND ADOPTED** this 15th day of December, 1998.

**READ AND APPROVED AS TO LEGAL FORM:**

  
\_\_\_\_\_  
City Attorney

I, Beatrice Watson, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced at a regular meeting of said City Council on the 1st day of December, 1998, and was finally passed and adopted not less than five (5) days thereafter on the 15th day of December, 1998, by the following vote:

|                 |  |
|-----------------|--|
| <b>AYES:</b>    | Mayor Eshleman, Council Members Mancha, Nuaimi and Roberts |
| <b>NOES:</b>    | None   |
| <b>ABSENT:</b>  | None   |
| <b>ABSTAIN:</b> | Council Member Gonzales                                    |

~~10/7/03~~ 10/7/03  
ORDINANCE NO. 1432

AN ORDINANCE OF THE CITY OF FONTANA APPROVING SPECIFIC PLAN AMENDMENT #03-006 (WESTGATE SPECIFIC PLAN AMENDMENT # 2), TO INCREASE THE ACREAGE OF THE SPECIFIC PLAN BY APPROXIMATELY 4 ACRES; REDUCE PLANNING UNIT AREA (PUA) 1 FROM APPROXIMATELY 106.5 ACRES TO APPROXIMATELY 70.9 ACRES; CREATE PUA 35 (31.5 ACRES) FROM A PORTION OF PUA 1 AND DESIGNATE THE LAND USE AS COMMERCIAL; CREATE PUA 36 (7.9 ACRES) FROM A PORTION OF PUA 1 AND ESTABLISH A COMMERCIAL OVERLAY ON THE RESIDENTIAL LAND USE DESIGNATION; AND, REVISE THE WESTGATE SPECIFIC PLAN AS IT RELATES TO THE MODIFICATION OF THE PUA'S AND THE PROPOSED PROJECT.

THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, DOES HEREBY ORDAIN AS FOLLOWS:

**Section 1.** Specific Plan Amendment #03-006 is consistent with the goals and policies of the General Plan.

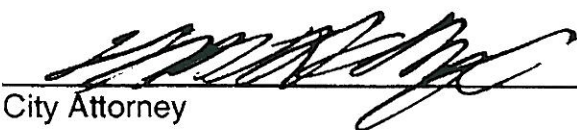
**Section 2.** Specific Plan Amendment #03-006 is hereby approved and the Westgate Specific Plan is hereby amended to read per Exhibit "A" attached hereto.

**Section 3.** Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

**Section 4.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Sun, a local newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

APPROVED AND ADOPTED this 7<sup>th</sup> day of October, 2003.

READ AND APPROVED AS TO LEGAL FORM:

  
City Attorney



# **Westgate Specific Plan**

Summit and Baseline Avenue  
Fontana, California

## **Amendment #2**

by

**Nadel**

Architects, Inc.

September 24, 2003

# WESTGATE SPECIFIC PLAN

## CITY OF FONTANA CITY COUNCIL

Mayor, Mark N. Nuaimi  
John B. Roberts  
Josie Gonzales  
Janice Rutherford  
Acquanetta Harrison

## PLANNING COMMISSION

Kenneth Galasso  
Matt Slowik  
Carole Lee  
Reginald Norman  
Rafael Aquilar

## CITY MANAGER

Kenneth Hunt

## COMMUNITY DEVELOPMENT DIRECTOR

Debbie L. Brazill, Community Development Director

## CITY CONTACTS

Don Williams, AICP, Planning Manager  
Craig L. Bruorton, AICP, Principal Planner  
Ricardo Sandoval, City Engineer  
Charles Fahie, AICP, Associate Planner

# **WESTGATE SPECIFIC PLAN**

## **LEAD AGENCY:**

### **CITY OF FONTANA**

Debbie Brazill  
Community Development Director

Don Williams, AICP  
Planning Manager

8353 Sierra Avenue  
Fontana, CA 92335  
(909-350-6727)

## **APPLICANT:**

### **UNITEX MANAGEMENT CORPORATION**

Jeff Pierson, Vice President  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-9880)

## **LAND PLANNER / LANDSCAPE ARCHITECTURE:**

### **HALL AND FOREMAN, INC.**

Jess Harris, Director of Community Planning  
9130 Anaheim Place  
Rancho Cucamonga, CA 91730  
(909-484-9090)

## **CIVIL ENGINEER:**

### **ALLARD ENGINEERING**

Ray Allard, Principal  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-5011)

## **PLANNING ARCHITECTURE:**

### **SPECIFIC PLAN AMENDMENT II**

Nadel Architect, Inc.  
3080 Bristol Street, Ste. 500  
Costa Mesa, CA 92626  
(714-540-5000)

**3. DENSITY:**

Standards for population density and building density may be included. This may include lot size, permissible types of construction, provisions for water supply, sewage disposal, storm water drainage and the disposal of solid waste.

**4. DESIGN:**

The City, through the specific plan process, may provide design criteria for the study area to enhance local image, promote high aesthetic standards and promote the location and development of public focal points.

In order to obtain approval, future development plans, tentative parcel maps or tract maps submitted within the Westgate Specific Plan area must be consistent with the Specific Plan.

**C. APPLICATION**

The Westgate Specific Plan applies only to that property known as the Westgate Specific Plan area, as delineated on the ownership and land use maps in the body of the text and described in the legal description.

**D. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)  
COMPLIANCE**

An Environmental Impact Report (EIR) ~~will be~~ was prepared by the City of Fontana for Westgate in accordance with CEQA and City requirements. The EIR ~~assesses~~ assessed the environmental impacts of the proposed development in all areas of the specific plan, including: land use, circulation, infrastructure, and land use policies. This EIR fulfills the environmental impact assessments for all future development projects within the Westgate Specific Planning area (i.e., development plans, subdivision maps, conditional use permits) as long as those proposals are consistent with this Plan. A comprehensive fiscal impact analysis will also be prepared for the project.

## II. PROJECT SETTING

### A. PROJECT LOCATION

Westgate is comprised of approximately 954 959.19 acres located in the northwest portion of the City of Fontana and adjacent to the Interstate 15 / Devore Freeway and Future Route 30 Freeway. It is situated north of Baseline Avenue, south and west of Lytle Creek Road with the major portion west of San Sevaine Road. Highland Avenue, (~~future Route 30~~) I-210, bisects the site in an east / west direction. See Exhibits 1 & 2.

### B. PROJECT DESCRIPTION

In accordance with the City's General Plan goals and objectives, Westgate has been designed as a master-planned community integrating business park, commercial retail, office and residential opportunities. The community includes an elementary school and public parks around which residential neighborhoods are organized. The Westgate Plan will provide the City with a strong economic and employment base by virtue of the approximately ~~257~~ 296.01 acres of business / commercial uses located primarily at the juncture of the I-15 / ~~I-210~~ Future Route 30 Freeways. Following is a summary of the various land use components:

**TABLE A - LAND USE SUMMARY**

| DESCRIPTION                        | ACRES         | DWELLING<br>UNITS |
|------------------------------------|---------------|-------------------|
| Business Park .....                | 117.60        |                   |
| Commercial Retail .....            | 9.40          |                   |
|                                    | <u>41.03</u>  |                   |
| Commercial Overlay (CO)* .....     | <u>7.88</u>   | <u>38*</u>        |
| Mixed Use .....                    | 129.50        |                   |
| Low Density Residential .....      | 421.10        | 2031              |
|                                    | <u>386.68</u> | <u>1865</u>       |
| Medium High Residential .....      | 79.00         | 474               |
| Open Space/Parks .....             | 15.00         |                   |
| Open Space/Utility Corridors ..... | 91.00         |                   |
|                                    | <u>91.60</u>  |                   |
| School Site .....                  | 10.00         |                   |
| Other (Roads, R.O.W.) .....        | <u>81.50</u>  |                   |
|                                    | <u>80.90</u>  |                   |
| TOTAL .....                        | <u>954.10</u> | <u>2505</u>       |
|                                    | <u>959.19</u> | <u>2377**</u>     |

\* Or SFD designation. Dwelling Units apply only if land use is SFD.

\*\* Total Dwelling Units is 2339 if Commercial Overlay (CO) land is developed as commercial.



### C. PROPERTY OWNERSHIP

The Westgate planning area has several landowners. See Exhibit 3. The major landowner is Intex Property Inland Empire, L.P. Unitex Management Corporation is the applicant of this Specific Plan and represents Intex Property Inland Empire, L.P.

### D. EXISTING SITE CONDITIONS

The Westgate site was previously utilized for agricultural purposes and contains no significant topographical features. The site gently slopes at an approximately two percent gradient in a southwesterly direction. One office building exists within the site located along Cherry Avenue at the juncture of the current exit ramp for Highland Avenue from the Devore Freeway. The San Sevaine earthen channel traverses the site in a north / south direction, while a series of Southern California Edison (SCE) Company utility towers diagonally traverses the site in a southwesterly direction. Metropolitan Water District has a main trunk line within a right of way that runs adjacent and parallel on the north side of the SCE corridor. Southern California Gas Company (SCG) also has a trunk line on the south side and parallel to the SCE corridor. Southern Pacific's right of way exists contiguous to the southwest boundary of the site. See Exhibit 4.

### E. EXISTING AND PROPOSED ADJACENT SPECIFIC PLANS

Several existing and proposed projects are located near the Westgate site. The West End Specific Plan, (Village of Heritage), located directly to the south of Westgate, is a 1,400 acre project with approximately 3,500 dwelling units, 400 acres of business park and 120 acres of office and retail uses. The ~~proposed~~ Summit Heights Specific Plan and Morningside Specific Plan are projects located directly east *and south* of Westgate, and collectively include about 1,100 dwelling units and approximately 70 acres of commercial / business uses and retail uses. Previously approved nearby Specific Plans include California Landings and Rancho Fontana. The approved California Landings Specific Plan, located to the east between ~~Future Route 30~~ *Interstate 210* and Walnut Avenue, includes 791 single-family dwellings and approximately 15.0 acres of commercial use. Rancho Fontana, also to the east, includes 2,295 residential units and 35 acres of mixed use and commercial development. The Sierra Lakes Specific Plan, located approximately two miles to the east, contains 700 acres, with ~~2,239~~ 2,100 dwelling units and approximately 64 acres of commercial uses. These Specific Plans and others proposed in the local vicinity are identified in Exhibit 5.

### F. CONSISTENCY WITH THE CITY OF FONTANA GENERAL PLAN POLICY

#### 1. SUMMARY

The City's General Plan outlines a series of goals, policies and objectives that need to be incorporated into any master plan. The Westgate Specific Plan compliments, reinforces and promotes these goals, policies and objectives, a summary of which is

Institutional, public and quasi-public uses

Medium High density residential uses (See below for MH description).

**Compliance:** Due to the abundance of business uses located nearby the CMU areas (approximately ~~250~~-255 acres), the proximity to the 14.8 acre California Landings Specific Plan commercial site within 1/2 mile of Westgate, the lack of a major intersection within the CMU areas and the compatibility with the surrounding residential uses, ~~the~~ 40.5 acres of CMU areas have been designated single family residential. **The remaining 39.51 acres of CMU are designated commercial due to its prominent location at the intersection Summit Avenue, Beech Avenue, and the I-15 Freeway.**

- Residential development at Medium-High Density Residential (R-MH) land use densities may be allowed in proposed Specific Plans for which a preferred land use alternative has been approved by the City Council as of November 24, 1992, if the following criteria are met:

The CMU area in which a residential project is being considered must be included as part of a planned community in conjunction with a R-PC master plan.

The residential component of CMU areas must meet all of the General Plan and Zoning guidelines and requirements applicable to the density of the residential development being considered.

**Compliance:** Westgate is providing residential uses in the CMU category in conformance with General Plan Policy. Approximately ~~40.5~~ 79 acres are proposed for detached single family uses at a maximum of 6.0 dwelling units per acre and 4.5 acres at a maximum of 4.85 dwellings per acre. Both sites are far below the 12.0 dwelling unit per acre maximum permitted in the CMU zone. (Apartments are prohibited).

**c. RESIDENTIAL PLANNED COMMUNITY (R-PC)**

The intent of the Residential Planned Community (R-PC) is to provide for the managed growth of master planned communities. The development criteria as contained in the City's General Plan for the R-PC area may be summarized as described below.

***Master Plan Requirement***

All development proposals must be approved as a master planned project subject to the criteria established for specific plans or a community plan. A specific plan shall be required for an area of 160+ contiguous acres under one or more ownerships, or if residential lots of less than 7,200 square feet in size are proposed, or an area otherwise subject to the need for unified planning and development. Property owned by public utilities, districts, or

***Additional Requirements***

In conjunction with, and in addition to, State of California Specific Plan requirements, all R-PC Specific Plans must contain the following:

A land use plan providing a mix of compatible uses incorporating high quality design concepts and a consistent community design theme.

A circulation plan establishing appropriate access to and from the project area, as well as adequate on-site circulation within the project area.

A landscape plan providing a consistent planting theme establishing a community identity for the project area.

Special edge treatments along major arterials and as buffers between residential and non-residential uses.

A plan for the installation of infrastructure describing the scope and sizing of capital improvements, the level of public services such as police, fire, and schools to be provided, a phasing plan and the funding / financing mechanism proposed for construction and maintenance consistent with the infrastructure plan for the area.

A phasing plan for the development.

An assessment of the fiscal and economic impacts of the development.

Compliance: The Westgate Specific Plan is prepared in conformance with all the above requirements.

**d. PUBLIC UTILITY CORRIDOR (P/UC)**

The Public Utility Corridor designation identifies locations in the planning areas, which contain rights-of-way for utilities such as Southern California Edison transmission lines and easements held by other quasi-public agencies.

Compliance: Westgate has reserved these areas, which includes approximately 91 acres, for utility and general open space uses.

**G. FEATURES AND AMENITIES**

The following features and amenities proposed in this Specific Plan are summarized below:

**1. EMPLOYMENT / FISCAL BENEFITS**

With approximately ~~257~~ 296.01 acres of employment uses, Westgate is well

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positioned to become a major economic and employment hub for the region and the City of Fontana in particular. The Specific Plan has established quality design standards that will maximize market interest, accelerate absorption and create an upscale image for the City.

**2. ARCHITECTURE / SITE DEVELOPMENT STANDARDS**

Quality architecture and site development standards have been established for all land use types, including retail, Business Park, office and residential uses. For each use, architectural principles and goals are identified and specific criteria are established for building materials, roof design, storage areas, grading, lighting, signage, parking and landscaping.

**3. COMMUNITY WIDE ELEMENTS**

Community wide design elements provided in the Specific Plan enhance the overall community character. Major entry statements with monumentation and enhanced landscape areas; along with enlarged parkways and landscape setbacks, provide upgraded amenities.

**4. BIKEWAYS**

An extensive bikeway network is provided throughout the Westgate community. Of the approximately seven miles of bikeway provided, approximately three miles have been located in "off-street" parkways with an 8-foot wide pavement width to enhance bicycle use and overall community safety.

**5. PARK IMPROVEMENTS**

A variety of standard park site enhancements are provided that include picnic areas, walkways, activity fields and sand lots with swings. Westgate is also providing substantial additional park amenities, such as lighted soccer fields, ball fields, basketball courts, among other facilities that will further enhance the goal of providing an upscale image for the Westgate community and City as a whole.

**6. "EXTRAORDINARY" AMENITIES**

In addition to providing its fair share of public infrastructure improvements, Westgate may in the future also provide contributions above and beyond requirements for improvements serving city-wide needs, including but not limited to, sewage treatment facilities, water rights, water distribution facilities, and / or other public services. These public facility contributions, if approved by the City Council, will satisfy the requirement for "extraordinary amenities" defined in the City General Plan permitting 6,200 square feet minimum lot sizes for R-PC areas. However, until such time as an extraordinary amenity is ultimately approved within a development agreement or specific plan amendment by the City Council, the minimum lot size in R-PC areas is 7,200 square feet.

### III. SPECIFIC PLAN FRAMEWORK AND COMPONENTS

#### A. INTRODUCTION

The goal of the Westgate Specific Plan is to implement the City of Fontana's goals and policies which are summarized in the Mission Statement identified in Section I-A of this text. This section, composed of Land Use, Circulation, Public Facilities and Community Wide / Specific Land Use Design Standards, provides the framework and guidelines, to assure the Specific Plan implements the Mission and is "balanced and financially viable", incorporates "a mix of environmentally sound residential, commercial, public, and industrial uses", and places an "emphasis on building an upscale community for families and individuals".

#### B. SUMMARY

Westgate has been designed to take advantage of its unique freeway setting from both a regional and local context. With nearly all the approximately ~~257~~ 296.01 acres of business / commercial uses near the convergence of the I-15 / I-210 ~~Route 30~~ freeways, Westgate is positioned to become one of the major regional centers in the Inland Empire, and in doing so, provide a major contribution to the City of Fontana's economic and employment base.

The residential areas of Westgate will benefit substantially due to their close proximity to services and employment. An extensive pedestrian and bikeway system integrates the entire community and provides an alternative to automobile travel. An equestrian trail links to the San Gabriel mountains. Approximately 32 acres of improved park uses are provided within the community, 7 acres of which are proposed within a utility corridor. Lighted ballfields, along with passive areas for informal use, picnic and children's play areas, are planned.

The circulation design provides an efficient system of access throughout the site and provides a separation between many residential and business uses. Generous parkways along the major streets, entry monumentation and perimeter theme walls in Westgate provide an enhanced and inviting street scene. Architectural guidelines for the variety of land uses are provided to create unity within diversity. Together, these above elements will create a quality "upscale" environment that promotes Westgate's economic potential and incorporates all the needs of its future residents and visitors: jobs, services, a variety of housing and recreation.

The Land Use Section that follows generally describes the land uses that occur within the Specific Plan and includes a statistical listing that summarizes the total acres for each land use along with the total number of dwelling units, where applicable. Site specific development standards for each land use i.e., setbacks, building height limitations, are located in Section IV, Development Regulations and should be reviewed for land use requirements. The Street Circulation Section identifies all major streets and right of way standards within the project (a comprehensive traffic study can be reviewed in the Environmental Impact Report). Bicycle circulation is also discussed in this section. Public services (water, sewer, storm drain, police and



fire services) are described in the Public Facilities section. The final section, Community Wide and Specific Land Use Design Guidelines, establishes comprehensive design criteria for the various land uses in regard to 1) community wide issues i.e., community entry monuments at major intersections, streetscape themes, theme walls, and landscape guidelines seen as part of the "public landscape" and 2) specific land use design standards i.e., detailed site planning and design standards for business parks, retail, mixed use, residential and open space / park uses.

#### 1. LAND USE

Land uses of Westgate are summarized below and include business park, commercial retail, mixed use, residential, school and open space. The Land Use Plan, Exhibit 6, identifies the locations of these land uses within the Westgate Specific Plan. Table A on page II-1 presents a summary of the various land use acreages, including total planned dwelling units. A detailed statistical listing by planning area can be found in Table B on page III-3.

The Land Use Plan is divided into planning unit areas. A planning unit area (P.U.A.) is the boundary of defined land use. Each planning unit contains a land use designation and total acres. The planning areas have generally been defined by logical planning boundaries, i.e. elements such as major roads, utility corridors, etc.

##### a. BUSINESS PARK (BP):

Approximately 117 acres of Business Park uses have been included in the plan. These uses are generally located along the freeway and Cherry Avenue, a major highway that has direct access to the freeway. It is anticipated that for the foreseeable future business park uses will be primarily distribution oriented. Over time, as the population in the surrounding area grows and the freeway is completed, a transition to light manufacturing is expected to occur.

##### b. COMMERCIAL RETAIL (C):

Approximately 9 ~~48.91~~ acres of Commercial Retail uses in ~~two~~ four locations have been designated in the land use plan. These sites are located along major roads, providing ease of visibility and access for all local residents. Traditional retail users such as a supermarket, pharmacy, restaurant, bookstore, and / or florist are envisioned for these sites. Additional retail uses are also permitted and encouraged within the Mixed Use areas.

**WESTGATE  
TABLE B**

**STATISTICAL LISTING – BY PLANNING AREA**

| <u>PUA #</u> | <u>Land Use</u> | <u>Acres</u>  | <u>Density</u> | <u>Dwelling<br/>Units</u> |
|--------------|-----------------|---------------|----------------|---------------------------|
| 1            | SFD             | 106.50        | <u>72.08</u>   | 4.85                      |
| 2            | OS/P            | 10.00         | -              | -                         |
| 3            | P/UC            | 5.60          | -              | -                         |
| 4            | BP              | 3.00          | -              | -                         |
| 5            | BP              | 114.60        | -              | -                         |
| 6            | MU              | 31.70         | -              | -                         |
| 7            | MU              | 4.40          | -              | -                         |
| 8            | SFD             | 9.60          | 4.75           | 46                        |
| 9            | SFD             | 25.50         | 4.75           | 121                       |
| 10           | P/UC            | 16.80         | -              | -                         |
| 11           | P/UC            | 12.80         | -              | -                         |
| 12           | MH              | 19.00         | 6.00           | 114                       |
| 13           | P/UC            | 7.50          | -              | -                         |
| 14           | MU              | 2.40          | -              | -                         |
| 15           | P/UC            | 4.40          | -              | -                         |
| 16           | MH              | 17.00         | 6.00           | 102                       |
| 17           | SFD             | 113.00        | 4.85           | 548                       |
| 18           | OS/P            | 5.00          | -              | -                         |
| 19           | MU              | 6.50          | -              | -                         |
| 20           | MU              | 15.50         | -              | -                         |
| 21           | P/UC            | 20.70         | -              | -                         |
| 22           | MH              | 43.00         | 6.00           | 258                       |
| 23           | MU              | 34.80         | -              | -                         |
| 24           | SFD             | 24.40         | 4.85           | 118                       |
| 25           | P/UC            | 23.80         | -              | -                         |
| 26           | SFD             | 6.00          | 4.8            | 29                        |
| 27           | ES              | 10.00         | -              | -                         |
| 28           | SFD             | 76.30         | 4.76           | 363                       |
| 29           | C               | 8.00          | -              | -                         |
| 30           | C               | 1.40          | -              | -                         |
| 31           | SFD             | 4.00          | 4.8            | 19                        |
| 32           | SFD             | 55.80         | 4.85           | 271                       |
| 33           | MU              | 14.00         | -              | -                         |
| 34           | MU              | 20.20         | -              | -                         |
| <u>35</u>    | <u>C</u>        | <u>31.63</u>  |                |                           |
| <u>36</u>    | <u>CO</u>       | <u>7.88</u>   | <u>4.85 *</u>  | <u>38 *</u>               |
| -            | Roads/R.O.W.    | <u>80.90</u>  |                |                           |
|              |                 | <u>959.19</u> |                | <u>2505</u>               |
|              |                 |               |                | <u>2377 **</u>            |

\* Density and dwelling units apply only if land use is for single-family dwelling purposes.

\*\* The total dwelling units of 2377 shall be 2339 if PUA #36 is developed as commercial.

c. **COMMERCIAL OVERLAY ZONE (CO):**

Planning Unit Area 36, totaling 7.88 acres, is designated as a SFD with a commercial overlay (CO) to promote commercial development and land use flexibility. This overlay designation will allow commercial projects to develop subject to the land use limits and development standards listed under the Commercial designation in the Specific Plan. Uses permitted are either Commercial Retail ("C") or Low Density Single Family Residential ("SFD"). Determination of the use shall be at the sole discretion of the Property Owner, provided the development standards set forth in this Specific Plan for the respective land use are followed.

d. **MIXED USE (MU):**

Approximately 130 acres of this land use type are located generally along the intersection of the existing I-15 and ~~Route 30~~ **Interstate 210** freeway. The intent of the Mixed Use zone is to allow a variety of compatible uses and facilities supportive of the general community. These uses include retail, Business Park, and professional offices. Currently, approximately 75 acres are envisioned for office park within P.U.A.s #23, 33, and 34, with the balance geared toward regional and community retail / business uses. (See Exhibit 6). Any development application submitted for this land use will be required to be consistent with the varied uses permitted in the City's General Plan and as specifically defined in this Specific Plan.

e. **RESIDENTIAL:**

Residential land use categories located within the Specific Plan are described below. These land use categories provide for a variety of housing within the community that will offer diversity in house style and size.

***Low Density (SFD):***

The Low Density residential land use encompasses approximately 412 386.68 acres, providing for the development of single-family detached homes with minimum 7,200 square foot lots; 6,200 square foot with an extraordinary amenity, if approved in the future subject to a Specific Plan Amendment or Development Agreement.

***Medium High (MH):***

This Medium High residential land use encompasses approximately 79 acres. A total of 474 dwelling units could be achieved in these areas dependent upon specific circumstances relative to all development standards. This designation permits single-family detached dwellings units up to 6.0 units per acre. No apartments or attached homes are permitted.



**f. OPEN SPACE USES:**

Approximately 116 acres of the site is devoted to open space uses, which are described in greater detail within the Community Design Guidelines later in this section. Open Space has been divided into three sub-categories as follows:

***Open Space / Park (OS / P):***

Five planning units comprising 32.0 acres have been designated for park use. (7 of these acres are located within a utility corridor- See Exhibit 27.) Active and passive uses are currently planned for park areas. The total parks program provided meets the City of Fontana standard of three acres of park per 1,000 populations for neighborhood parks. These parks are centrally located to surrounding residential neighborhoods. Community park needs of two acres per 1,000 population are planned to be met by providing community level improvements within the Westgate parks equivalent to City park fees. This will fulfill the City of Fontana standard of five acres of park per 1,000 populations. \*

The total park land / improvements provided by Westgate fulfills the City of Fontana and State of California Quimby Act Park requirements as defined below:

|  |              |                          |
|--|--------------|--------------------------|
| Total maximum dwellings  | 2505         | <u>2339 **</u>           |
| Person(s) per dwelling<br>(per City policy)                      | 3.48         |                          |
| Total Population   | 8717         | <u>8140</u>              |
| Neighborhood park<br>required at 3 acres<br>per 1,000 population | 26           | <u>24.42</u>             |
| Community park<br>required at 2 acres<br>per 1,000 population    | <u>17.43</u> | <u>16.28</u>             |
|  | <u>43.43</u> | <u>40.70</u> acres total |

Note: In the event fewer housing units are developed, the park requirements will be adjusted proportionately.

\* Exact park improvements will be based on City program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

\*\* If the commercial overlay (CO) area of 7.88 acres develops as SFD, the total is 2377, in which case total population projected neighborhood park required, and community park required are 8,272 people, 24.82 acres, and 16.54 acres, respectively.

Circulation Plan includes specific rights-of-way standards for major, primary and secondary highways, collector and local streets. A detailed Traffic Circulation Analysis is included as part of the Environmental Impact Report.

The following summarizes the various circulation elements within the Specific Plan. (Refer to Exhibits 7 and 7A for the Circulation Plan and corresponding street sections):

**a. CHERRY AVENUE: Modified Major Highway, Major Highway, and Primary Highway - Sections A, B and C:**

Cherry Avenue is an existing two-lane street and is the major north / south corridor within Westgate. Cherry Avenue includes three different right of way standards: modified major highway, major highway, and primary highway, depending upon its location within the Specific Plan.

Between ~~Route-30~~ I-210 and Highland Avenue, Cherry Avenue is designated as a Modified Major Highway with a 160-foot wide right of way and 26-foot wide median. The cross-section provides up to eight lanes of traffic and is modified to accommodate traffic generated from the interchange at ~~Route-30~~ I-210. Between Highland Avenue and Baseline and between Carter Avenue and ~~Route-30~~ I-210, Cherry Avenue is shown as a major highway with a 132-foot wide right- of-way and a 20-foot median. North of Carter, Cherry Avenue converts to a primary highway within a 104-foot wide right of way.

**b. BASELINE AVENUE: Major Highway - Section B:**

Baseline Avenue forms the southern most project boundary and is currently improved on the south half, adjacent to the Village of Heritage. Baseline is fully improved from the I-15 interchange easterly to North Heritage Circle. Currently a 120-foot right of way exists with a 38 foot curb to curb section east of North Heritage Circle as identified in the West End Specific Plan. Since the approval of the West End Specific Plan, the City of Fontana has increased the right of way standard on Baseline to a 132-foot right-of-way. Consequently, the north half of Baseline adjacent to Westgate will be larger. The mid-block curb-to-curb dimension will increase from 38 feet to 44 feet; the median will expand slightly and the parkway will be changed from 13 feet to 12 feet.

**c. HIGHLAND AVENUE: Primary Highway (East of Cherry Avenue) - Section C:**

Highland Avenue is an existing two-lane state highway and is identified as a

major east / west primary highway by the City of Fontana. It is planned to be relocated and will provide a frontage-type street along the ~~future Route 30~~ I-210 freeway. Highland Avenue is designated as a 4-lane divided street with a 104-foot wide right of way and 14-foot center median east of Cherry Avenue.

**d. CARTER AVENUE: Primary Highway - Section C:**

Beginning at the juncture with Cherry Avenue, Carter Avenue is designated as a primary highway with a 104-foot wide right-of-way and 12-foot parkways.

**d1. BEECH AVENUE: Primary Highway - Section C:**

Beginning at the juncture with Cherry Avenue, Beech Avenue is designated as a primary highway.

**e. SUMMIT AVENUE: Secondary Highway - Section D:**

Beginning at the juncture with ~~Cherry~~ Beech Avenue, Summit Avenue is designated as a secondary highway with a 92-foot wide right-of-way and 12-foot parkways.

**f. WALNUT AVENUE: Divided Collector / Modified - Section E:**

Walnut Avenue is planned as a collector street within an 86 foot wide right-of-way and will include expanded 18 foot wide parkways and a 10 foot median.

**g. SAN SEVAINE ROAD: Secondary Highway / Collector Street - Sections D and F:**

San Sevaime Road forms the eastern boundary for the southerly portion of the Specific Plan area. It is planned as a collector level street, within a 68 foot wide right-of-way, except between Carter and Highland Avenues, where it will be increased to a secondary level street within a 92 foot wide right-of-way and between Summit Avenue and Carter Avenue, where it is reduced to a 68 foot wide right-of-way.

**h. LYTLE CREEK ROAD: Secondary Highway - Section D:**

Lytle Creek Road forms the eastern boundary of the northern portion of the site and is planned as a secondary level street within a 92 foot wide right-of-way.

**i. NORTH HERITAGE DRIVE: Residential Collector - Section F:**

Providing access to the major residential areas from an arterial or a primary / secondary highway, this collector road will include a two-lane undivided cross-section within a right-of-way of 68 feet.

**j. HIGHLAND AVENUE (West of Cherry Avenue): Secondary Highway - Section D:**

Highland Avenue, west of Cherry Avenue is designated as a secondary highway. This street will include a four-lane undivided cross-section within a right-of-way of 92 feet.

**k. STREET SECTION H - Local Road:**

Local roads will provide access from one of the above-mentioned streets to individual lots within residential tracts. These roads will include a two-lane undivided cross-section within a 54-foot right-of-way.

**l. STREET SECTION I - Short Local Street / Cull-de-Sac Street:**

These streets will provide the access to the individual homes with a two-lane undivided cross-section. A right-of-way of 50 feet is provided. To be classified as a short local street the maximum length shall be 600 feet.

**3. BICYCLE CIRCULATION**

Exhibit 8 identifies the extensive bicycle system within the Westgate Plan. A class I bicycle path (8' wide - off-street) is located along the entire length of Walnut Avenue and within a major portion of Cherry Avenue. This off-street pathway minimizes conflicts between vehicles and bicycles and provides a safe method of transportation for accessing the school, park and commercial sites from most residential areas of the community. In addition to the class I bikeways, class II bikeways occur on nearly all the remaining streets within Westgate including Highland, Carter, and San Sevaïne. These include striped lanes within the roadway with restricted vehicular parking and appropriate signage. The class II bikeway will also cross under ~~Route 30~~ I-210 at San Sevaïne Road. This comprehensive network will encourage the use of bicycle transportation as an alternative to vehicular travel. All bike lanes will include street lighting standards in accordance with city requirements. In addition to the above bike lanes along streets, a pedestrian / bike path is provided within the utility corridor. See Exhibit 30A.

**4. PUBLIC FACILITIES**

The following describes the various utilities within the Specific Plan area including: drainage, sewer, water, electric, telephone, gas and cable television. Proposed drainage, sewer, and water master plans have been conceptually designed to provide an adequate level of service for the maximum level of the

### *Gas Service*

The Specific Plan area is served by Southern California Gas Company (SCG). Currently there is an existing eight-inch gas line in Cherry Avenue and an eight-inch gas line in Baseline Avenue. These two lines will provide service for the Specific Plan area. Service of gas to the project will be in accordance with the Southern California Gas Company policies and PUC regulations.

### *Telephone Service*

The Specific Plan area is served by Pacific Bell. There is an existing conduit structure and manhole located at the southwest corner of the intersection of Baseline Avenue and Cherry Avenue. This structure will provide for a service connection for the project.

The developer will construct an on-site underground conduit system that will meet regulations set by Pacific Bell and the PUC regulations.

### *Cable Television Service*

Comcast Cable Company will service the Specific Plan area. There is an existing trunk line running along the west side of Cherry Avenue. Service for cable television to the Specific Plan area will be provided for from this existing line. Service for cable television will be in accordance with Comcast Cable policies and PUC regulations.

## **e. GRADING**

The existing topography on the project site and surrounding areas slopes generally to the southwest. The slope is mild (1% to 3%), therefore no significant grading will occur as development progresses. All grading will be done under the jurisdiction of the latest edition of the U.B.C., and the City of Fontana Building and Safety and Engineering divisions. The conceptual Grading is shown on Exhibit 11A.

In most areas, the proposed grades will be within 1 to 5 feet of existing ground. This may increase in the business park, where larger pads are typically needed. There may also be more grading needed in the vicinity of the ~~Route 30~~ I-210, I-15 interchange, as the adjacent sites blend with the Freeway grading.

Remedial grading will be required in the area of the existing flood control

of trees will be located behind the formal tree rows within residential areas to provide a backdrop and buffer. See Exhibit 17.

- **Section B - HIGHLAND AVENUE, West of Cherry Avenue;  
SUMMIT AVENUE, West of San Sevaine Road:**

An important circulation corridor predominantly through the business areas of the development, this street will reflect a corporate appearance utilizing stately upright trees within parkways as its major landscape element. These will be reinforced with a backdrop of evenly spaced evergreen accent trees located in the landscape setback area. See Exhibit 17A.

- **Section B1 - NORTH HERITAGE DRIVE:**

This residential collector level street will include informal groupings of evergreen background trees and flowering foreground accent trees, consistent with other residential streetscapes within the community. See Exhibit 17A.

- **Section C1 - CARTER AVENUE, West of San Sevaine Road:**

This primary highway includes stately evergreen trees evenly spaced to reflect the corporate character of the adjacent business uses. Flowering accent trees, also evenly spaced, will be located in the median and setback areas to further enhance the streetscape. See Exhibit 18.

- **Section C2 - CARTER AVENUE, East of San Sevaine Road;  
HIGHLAND AVENUE, East of Cherry Avenue**

As these streets traverse through major residential areas, informal evergreen tree massing has been used as a backdrop with accents of flowering deciduous trees in the foreground. See Exhibit 18.

- **Section D1 - LYTLE CREEK ROAD, AND SUMMIT AVENUE,  
East of San Sevaine Road, and AND SEVAINE ROAD, South of  
Route 30 I-210:**

The streetscape will feature informal groupings of evergreen trees complemented by flowering deciduous foreground trees to reinforce the residential community theme. See Exhibit 1.



- **Section D2 - SAN SEVAINE ROAD, North of ~~Route 30~~ I-210:**

Located primarily adjacent to business uses, the streetscape along this road will feature evenly spaced rows of evergreen trees supported by a backdrop of flowering accent trees. See Exhibit 19.

- **Section E - BASELINE AVENUE:**

The southern boundary of the site is bordered by Baseline, most of which has been developed under the West End Specific Plan. This major street will be lined with rows of evenly spaced evergreen trees in the parkways, consistent with the existing formal tree theme along Baseline Avenue. See Exhibit 20.

- **Section F - WALNUT AVENUE:**

This collector street enhanced with a median provides primary access to many of the residential areas. Consistent with the "woodland" theme, an informal backdrop of evergreen trees has been selected. They will be complemented with informal masses of deciduous flowering trees in the foreground to provide seasonal color accent. See Exhibit 20.

***Community Walls***

Community walls that can be viewed from public areas form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls as illustrated in Exhibits 21 and 22. The locations of each will vary depending upon final detail and grading considerations. In general, solid walls will be located along the project perimeter between residential and non-residential uses, along the utility corridor and along major arterial and collector streets. In order to discourage and minimize graffiti, all walls facing public areas are required to be planted with vines.

- ***Community Theme Walls*** will be located along arterial roads and primary / secondary highways as identified in Exhibit 21. These community walls shall be 6 foot high unless otherwise required in the environmental impact report acoustical study. See also Exhibit 22.
- ***Slumpstone Walls*** will be located along the perimeter of residential,

- Provide adequate pedestrian zone between parking and store fronts.

#### **Retail Building Materials**

- Contrasting exterior building materials can be used to create interest and avoid monotony.
- Accent building face areas or accent bands of contrasting materials, patterns, textures or color can be used to create interest, focus and / or unity.
- The following building materials (but not limited to) are permitted:

Glass  
Brick  
Plaster  
Tile

Poured-in-place, or precast concrete with painted or natural finish, sandblasted or textured, and uniform in color.  
Concrete block: textured, split face, or sandblasted  
Glass block

- The following building materials (but not limited to) are not permitted:

Wood shake shingles  
Asphalt shingles  
Textured plaster  
Corrugated metal panels

#### **Ancillary Equipment**

- Roof mounted equipment should be hidden behind building parapets or screened integral to the building's design, so as not to be visible from surrounding streets, driveways or adjacent buildings on a horizontal sight line.
- Roof mounted ventilators are not to exceed a maximum of 2-1/2 feet above the point to which attached or as required by building or health code. They shall be screened as per requirements for other roof mounted equipment.



**6. OTHER CODES**

All construction shall comply with applicable provisions of the Uniform Building Code and various other mechanical, electrical, and plumbing codes in effect at the time of construction.

**7. SIGN REGULATIONS**

The following standards establishes major community signage themes within the Westgate Specific Plan. Except as specified herein, sign regulations shall be in accordance with Chapter 3 of the Fontana Municipal Code and the standards set forth under the controlling zone district in which the signs are located.

**a. MAJOR INTERSECTION BUSINESS ENTRY**

One is located at the intersection at Summit Avenue and Sevaire Avenue and a second at Highland and Cherry Avenue. See Exhibits 13 and 14.

- The maximum height and width of the monument shall be five (5) feet.
- The sign area consisting of lettering and / or a logo shall not exceed twenty (20) square feet.

**b. MAJOR INTERSECTION RESIDENTIAL ENTRY**

One is located at the intersection of Cherry and Walnut Avenue, a second along North Heritage Drive, north of Baseline Avenue. See Exhibits 15 & 16.

- The maximum height and width of the monument shall be six (6) feet.
- The sign area consisting of lettering and / or a logo shall not exceed twenty (20) square feet.

**c. MINOR INTERSECTION ENTRY**

Located at the northwest corner of Baseline Avenue and Cherry Avenue. See Exhibit 16A.

- The maximum height of the signage wall shall be five (5) feet.
- The sign area consisting of lettering and/or logo shall not exceed thirty (30) square feet.

**d. COMMERCIAL**

For any Northern Regional Retail Center (as defined below), approved by the City Community Development Director, Planning Commission, or City Council, a sign program may be implemented in lieu of the City sign ordinance. The purpose of any sign program shall be to encourage flexibility and latitude in order to achieve variety and appealing design, while fostering the consistent application of materials, colors, and styles within individual development projects.

**8. INTERPRETATION**

These regulations shall be held to be minimum requirements in their application and interpretation. No provision herein is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. If there is dispute regarding the interpretation of any of these regulations, the City of Fontana Community Development Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he / she may appeal to the City Council for a final determination.

**9. ADJUSTMENTS TO PLANNING AREAS**

Changes to the size and boundary configurations of planning areas that may occur during preliminary and final site engineering are permitted up to a maximum of 10% of the site area without an amendment to the Specific Plan. Adjustments to arterial road alignments or utility plans may be made provided the above conditions are met and the intent of the Specific Plan is not changed. (The 10% maximum does not apply to areas of identical land uses that are divided by a roadway. These may be changed to accommodate a roadway alignment adjustment, providing the sum total of the affected like kind planning areas does not vary by more than 10%). Phasing changes are permitted to respond to market conditions, providing said changes provide adequate access and infrastructure to the area served.

**10. PLANNING AREA PERMITTED DENSITY**

The dwelling unit density permitted in any residential planning area, as designated in the Westgate Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall project maximum of 2457 dwelling units is not exceeded and b) minimum lot size standards within the respective land use category, i.e., 6,200 square feet within the SFD category and a 5,000 square feet minimum with the MH, are not exceeded. A tracking report will be provided to the Community Development Director that demonstrates all dwelling unit shifts on a project-wide basis.

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Should the public school or park sites be relocated, the resulting planning area may be developed as SFD low density (single family detached) housing in accordance with the Specific Plan regulations.

**11. LARGE-LOT SUBDIVISION**

Large-lot subdivision maps, for the purpose of conveyance or financing, may be approved when such maps include a declaration that lots created are not building sites. This includes the subdivision of residential, commercial, office and business park areas. Posting of bonds, installation of infrastructure improvements, or dedication of open space shall not be made a condition of approval of a large-lot subdivision for conveyance or financing purposes. A tentative tract map may be submitted for any portion of a single planning area or combination of planning areas.

**12. BUILDING CONSTRUCTION**

All building construction within the Specific Plan shall comply with applicable building codes.

**13. INTERIM USES**

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

**14. CITY COUNCIL DECLARATION / SEVERABILITY**

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

**15. PERMITTED TEMPORARY USES**

In order to facilitate the development of the project, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Director of Community Development or his/her designee:

- a. Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- b. Temporary construction facilities and parking compounds for contractors equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- c. Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are permitted. Signs shall not exceed a height or width of eight (8) feet. Other allowed signage shall be subject to City code requirements.

- d. Model homes, temporary real estate offices and subdivision signs, temporary on-site construction offices, continued use of an existing building during construction of a new building or site preparation. Any model home may be used on a temporary basis as a real estate office subject to the following conditions:
  - The model home real estate office must be located on a lot established and depicted within an approved recorded tract map encompassing the property in question. Location of model homes shall be subject to approval by the Community Development Director.
  - The model home real estate office must meet all applicable provisions of this Plan and all applicable provisions of the City of Fontana Zoning and Development Code.
- e. Christmas tree and Halloween pumpkin sales.
- f. *In any Northern Regional Retail Center (as defined below), outside sales areas designated on the Outside Sales Area Exhibit (October 6, 2003) approved by the City Council may be used for outdoor sales and/or promotional activities subject to and in accordance with the terms and conditions set forth on such approved Outside Sales Area Exhibit. Any changes to such terms, conditions, and/or designated sales areas shall be subject to the approval of the City Community Development Director.*

**B. BUSINESS PARK DEVELOPMENT REGULATIONS (BP)** (See also Table D, page IV-28)

**1. DESCRIPTION AND PURPOSE**

The purpose of these provisions is to regulate the planning, design, and development of Business Park uses within Westgate. The Business Park provisions assure that development within this category will be integrated into a quality environment through consistency of landscape, architectural, building setback, screening and signage requirements. The regulations also are designed to assure compatibility with adjacent land uses and the overall character of the Westgate community.

**2. PERMITTED USES**

The Business Park District permits industrial, general business, service business, office, commercial and other uses described below:

**a. Industrial uses including, but not limited to, the following:**

- Light and medium manufacturing plants and facilities.
- Assembly plants and facilities.
- Industries engaged in distribution, storage and warehousing.
- Construction and industries such as general contractors and specialty contractors.

- b. **General business uses including, but not limited to, the following:**
    - Research laboratories and facilities.
    - Product development facilities.
    - Testing laboratories and facilities.
    - Corporate headquarters.
  - c. **Service businesses including, but not limited to, the following:**
    - Repair, maintenance or servicing of appliance, component parts, etc..
    - Tooling and small machine shops.
    - Testing shops.
    - Photo finishing and photographic processing facilities.
    - Blueprinting, reproduction and copying services, photoengraving, printing, publishing and bookbinding.
    - Dry cleaning and laundry plants.
    - Any other similar use which is found by the Community Development Director compatible with the purpose and objectives of this section according to the provisions of this chapter.
  - d. **Wholesale Businesses**
  - e. **Retail and service commercial including, but not limited to, the following:**
    - Financial institutions
    - Restaurants, sandwich shops including drive-thru service.
    - Wholesale and / or retail lumber yards, plumbing supplies and general home improvement centers.
    - Wholesale and / or retail nurseries and garden shops.
    - Warehouse and sales outlets for furniture, carpets, appliances, etc..
    - Any uses which are found in Commercial Retail Uses (C) that are compatible with the purpose and objectives of the Specific Plan.
  - f. **Municipal Uses** including water facilities.
  - g. **Other similar uses** which the Community Development Director finds compatible with the permitted uses described herein, consistent with the purpose and intent of the district and not of a type to affect adversely the use of adjoining properties.
3. **USES PERMITTED SUBJECT TO A CONDITIONAL USE PERMIT**
- a. Automobile repair garages, fender and body repair and paint shops, operated in conjunction with automobile rental and sales agencies.
  - b. Service Stations

- c. Rental and sales agencies for automobiles, recreational vehicles, truck , trailers, boats and motorcycles and service in connection therewith.
  - d. Rental and sales agencies for garden and home equipment.
  - e. Rental and sale agencies for agricultural, industrial and construction equipment.
  - f. Cellular poles
  - g. Sports facilities, including a stadium.
4. **SITE DEVELOPMENT STANDARDS (See also Table D)**
- a. **BUILDING SITE AREA**  
No minimum.
  - b. **LOT COVERAGE**  
No maximum; subject to required building setbacks, parking and landscape requirements.
  - c. **BUILDING HEIGHT LIMIT**  
The maximum building height is fifty (50) feet. Taller buildings, greater than fifty (50) feet but not in excess of 100 feet, are subject to a conditional use permit.
  - d. **FLOOR AREA RATIO (F.A.R.)**  
The maximum floor area ratio shall be 1.0. F.A.R.s of greater than 1.0 May 21, 2003 require a General Plan Amendment.
  - e. **BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**  
Twenty (20) feet minimum, except along Cherry Avenue and Baseline Avenue, which shall be thirty-five (35) feet.
  - f. **BUILDING SETBACKS FROM ADJACENT USES**  
*Adjacent to a Business Park (BP) Parcel / Railroad right-of-way*  
  
Along property lines that separate business park uses or a railroad right-of-way, there shall be no minimum setback required.  
  
*Adjacent to a Commercial (C) Parcel*



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Along property lines that separate commercial park uses there shall be a minimum of ten (10) feet.

***Adjacent to an Office Parcel***

Along property lines that separate office park parcels there shall be a minimum of ten (10) feet.

***Adjacent to a Residential Parcel***

Abutting a residential parcel, there shall be minimum setback of thirty (30) feet.

**g. PARKING**

***Manufacturing:*** One (1) space per 500 square feet of gross floor area for the first 40,000 square feet of manufacturing area, plus one (1) space per 750 square feet of gross floor area for any additional manufacturing area greater than 40,000 square feet, plus one (1) space per 250 square feet of gross floor area of office (actual office area or 5% of the total gross floor area, whichever is greater).

***Warehouses*** shall have a minimum of one (1) space per 1,000 square feet of gross floor area for the first 40,000 square feet of storage area plus one (1) space per 4,000 square feet of gross floor area for any additional storage area greater than 40,000 square feet plus one (1) space per 250 square feet of gross floor area of office (actual office area or 5% of the total gross floor area, whichever is greater).

***Retail:*** See "Commercial Retail Parking" standard.

***Parking Stalls***

- Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional space shall be required for 1/2 or more fractional parking space and any fractional space less than 1/2 of a parking space shall not be counted.
- Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of way shall be fifteen (15) feet, with twenty-five (25) feet on Cherry Avenue and Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining minimum landscape

requirements.

***Parking Landscape Requirements:***

- The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. A minimum of fifteen (15) percent of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree).
- Planter islands shall be located a maximum of every ten (10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, this two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements, and it shall be in addition to the minimum landscape planter / setback width.

***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one (1) additional floor or story may be allowed subject to approval of the Planning Commission under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities, including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practical, from surrounding uses and from public view.
- The building shall not exceed 100 feet.

***Shared Parking:***



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Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Planning Commission and must meet the following conditions:

- Sufficient evidence shall be presented to the Planning Commission demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located within a reasonable distance from the structure or use served.

**h. LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-1.

**i. LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the City of Fontana Zoning and Development Code.

**j. TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height nor more than eight (8) feet. No such area shall be located within any public street frontage area.

**k. SCREENING**

*Abutting residential areas.* A masonry block wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.

***Storage and refuse collection areas.*** All outdoor storage and refuse collection areas shall be screened with a minimum six (6) foot masonry wall (see 4j above) so the stored materials are not visible from streets or adjacent properties.

***Loading areas.*** Where truck loading areas face a public street, a six (6) foot tall earthen berm (3:1 slope maximum), wall, or combination thereof shall be required.

***Notwithstanding the requirements listed above,*** where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

#### ***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design.

- I. **LANDSCAPING - Private parcels** - (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be determined by setback and parking landscape requirements. Any area not covered by a building's parking or designated storage area shall be landscaped.

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan or fifteen (15) feet, whichever is greater, with twenty-five (25) feet minimum along Cherry Avenue and Baseline Avenue.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of twenty (20) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted

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which will meet this requirement.

**Side and rear setback areas.** All unpaved, non-work areas not utilized for parking or storage shall be landscaped.

**Separation.** Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

**Watering.** Permanent automatic watering facilities shall be provided for all landscaped areas.

**m. ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.

**C. COMMERCIAL RETAIL DEVELOPMENT REGULATIONS**  
(C) (See also Table D, page IV-28)

1. **DESCRIPTION AND PURPOSE** The planning areas designated Commercial Retail are established to provide for the development of commercial uses, which provide for the general shopping needs of the Westgate Specific Plan area residents and visitors, with a variety of retail and personal services. It is the intent of these regulations to provide a comprehensive set of standards to respond to community needs for Commercial Retail uses.

2. **PERMITTED USES**

a. **PRINCIPAL PERMITTED USES**

The following uses are permitted subject to the Regulations and Guidelines set forth herein:

- Ambulance services
- Amusement establishments
- Animal hospital
- Antique shops
- Apparel shops
- Appliance store
- Art, dance and music studios
- Art supply shops and studios
- Auditoriums and conference rooms
- Automobile supply store
- Bakery shops
- Banks and financial institutions including drive-through
- Barber and beauty shops
- Bicycle / Motorcycle store
- Blueprint and duplicating services

- Book stores (non-adult) and binders
- Catering services
- Ceramic sales with kiln area not exceeding 16 cubic feet
- Cleaning and dyeing shops
- Clothing stores
- Community facilities & services
- Confectionery or candy stores
- Costume design studios
- Day care
- Delicatessens
- Department stores
- Dressmaker
- Drug stores
- Dry goods stores
- Electrical supply store
- Electronic data processing, tabulating and record keeping services
- Employment agencies
- Florist shops
- Food and beverage services including such uses as restaurants, cafes, markets, and delicatessens, together with the sale of alcoholic beverages as incidental part of a permitted use.
- Gift shops
- Glass / Mirror shop
- Hardware stores
- Health clubs
- Hobby shops
- Home furnishings
- Ice cream shops
- Ice sales, not including ice plants
- Interior decorating shops
- Jewelry stores
- Laundries and laundromats
- Leather goods stores
- Library, reading room
- Locksmith shops
- Meat markets, not including slaughtering
- Medical appliance and supply sales
- Medical clinic, including dental, chiropractic or similar specialties including laboratories
- Municipal uses, including water facilities
- News stores
- Notions or Novelty stores
- Nursery / Plant stores
- Offices, including but not limited to, business, professional, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate, insurance, title, escrow, etc..
- Paint and wallpaper stores, not including paint contractors

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- Pet shops and pet supply shops
  - Pharmacies
  - Photography shops and studios and photo engraving
  - Post Office
  - Product markets
  - Public safety facilities, police / fire
  - Refreshment stands
  - Schools, business and professional, including art, barber, beauty, dance, drama, music and swimming.
  - Shoe stores and repair shops
  - Shoeshine stand
  - Sporting goods stores, showroom for exhibition of products, for wholesale or retail distribution.
  - Sports and recreational facilities
  - Stationery stores
  - Swimming pool sales
  - Tailor shops
  - Telephone exchange
  - Temporary uses as permitted by Specific Plan
  - Tobacco shops
  - Tourist information centers
  - Toy shops
  - Travel agents
  - Variety store
  - Other similar uses which are found by the Community Development Director to be consistent with the above listed uses and which are consistent with the intent of this land use classification.

**3. USES PERMITTED SUBJECT TO A CONDITIONAL USE PERMIT**

- a. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of these Development Regulations:

- Automobile repair garages not including body and fender shops or spray painting
- Bars and cocktail lounges
- Billiard and pool facilities
- Bowling alleys
- Building materials sales yard
- Car Wash
- Cellular Poles
- Ceramic sales if kiln area exceeds sixteen (16) cubic feet
- Church, Synagogue
- Convalescent care facilities, rest homes, and active senior facilities
- Dance hall / saloons
- Drive-thru restaurants
- Hotels
- Liquor Stores
- Mobilehome sales, trailer sales and rental of house trailers

- Private schools, private clubs, fraternal organizations or lodges
- Rental and sales agencies for automobiles, recreational vehicles, trucks, boats, and service in connection therewith.
- Service station dispensing gasoline
- Skating Rinks
- Sport facilities, including a stadium
- Stations, bus, railroad and taxi
- Theaters
- Underground bulk fuel storage in conjunction with a principal permitted use.
- Use including outdoor activity, display or storage, greater than 200 square feet (provided, however, in Northern Regional Retail Centers (as defined below), no conditional use permit shall be required if such use otherwise permitted in this Specific Plan or by the City Community Development Director, the Planning Commission, or the City Council).

4. **SITE DEVELOPMENT STANDARDS (See also Table D)**

a. **BUILDING SITE AREA**

No minimum.

b. **LOT COVERAGE**

No maximum; subject to required building setbacks, parking and landscape requirements.

c. **BUILDING HEIGHT LIMIT**

The maximum building height is fifty (50) feet. Taller buildings, greater than fifty (50) feet but not in excess of 100 feet, are subject to a conditional use permit.

d. **MAXIMUM FLOOR AREA RATIO (F.A.R.)**

The maximum F.A.R. shall be 1.0. F.A.R.s greater than 1.0 may require a General Plan Amendment.

e. **BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**

Twenty (20) feet minimum, except along Cherry Avenue and Baseline Avenue, which shall be thirty-five (35) feet.

f. **BUILDING SETBACKS FROM ADJACENT USES**

*Adjacent to a Business Park (BP) Parcel / Railroad right-of-way*

Along property lines that separate business park uses or a railroad right-of-way there shall be a ten (10) feet minimum setback required.



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***Adjacent to a Commercial (C) Parcel***

Along property lines that separate commercial park uses there shall be no minimum setback required.

***Adjacent to an Office Parcel***

Along property lines that separate office park parcels, there shall be a ten (10) feet minimum setback required.

***Adjacent to a Residential Parcel***

Abutting a residential parcel there shall be a minimum setback of twenty-five (25) feet.

**g.     LOADING AREAS**

**Minimum loading area for buildings located in any Northern Regional Retail Centers (as defined below), may differ from the minimum sizes otherwise required by the City development code or any other City ordinances, so long as such loading areas meet the following minimum size requirements for the following types of buildings, respectively:**

- **For multi tenant buildings up to 15,000 s.f., either a 12'x19' or 14'x22' loading area.**
- **For single tenant buildings less than 10,000 s.f., a 12'x19' loading area.**
- **For single tenant buildings between 10,000 s.f. and 20,000 s.f., a 12'x45' loading area.**
- **For single tenant buildings over 20,001 up to 25,000 s.f., a 15'x50' loading area.**
- **For single tenant buildings over 25,001 up to 40,000 s.f., a 15'x70' loading area.**
- **For single tenant buildings over 40,001 up to 100,000 s.f., a 25'x70' loading area.**
- **For single tenant buildings over 100,001 s.f., a 35'x70' loading area.**

**h.     PARKING**

Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces **and except as provided below.** The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be fifteen (15) feet, with twenty-five (25) feet on Cherry Avenue,

Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining overall minimum landscape percentage requirements.

**Retail:** Except as provided below, one (1) space per 175 square feet of gross floor area for the first 5,000 square feet, plus one (1) space per 200 square feet of gross floor area for the next 5,000 square feet, plus one (1) space per 225 square feet of gross floor area for any additional building area greater than 10,000 square feet. Notwithstanding the parking requirements and standards set forth in either of the two foregoing paragraphs, with respect to any retail building area in any retail center that (1) is located north of Summit Avenue and/or Beech Avenue and (2) in the aggregate contains at least 300,000 square feet of gross floor area, ("Northern Regional Retail Center"), the parking requirements shall be as follows; (a) with respect to any retail use that does not comprise a restaurant use or eating establishment (whether sit-down, fast food, drive thru, or walk-in), four (4) parking spaces per 1,000 square feet of gross floor area; (b) with respect to any restaurant use or eating establishment (whether sit-down, fast food, drive thru, or walk-in), ten (10) parking spaces per 1,000 square feet of gross floor area; and (c) with respect to parking stall size, no more than twenty (20) percent of the aggregate amount of parking spaces in any such Northern Regional Retail Center may be 8 feet X 17 feet in size, provided, however, the total amount of standard sized (9'x19') parking stalls be at least ninety-five percent (95%) of all required parking stalls. The foregoing parking requirements and standards, as well as all other development requirements and standards, applicable to any Northern Regional Retail Center shall also apply to all subsequently developed phases of any Northern Regional Retail Center.

**Parking Landscape Requirements:**

- The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. Except as provided below, a A minimum of fifteen (15) percent of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Except as provided below, parking Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree). Notwithstanding the foregoing parking landscaping requirements and standards, with respect to any Northern Regional Retail Center, the parking landscape requirements shall be amended as follows; (1) a minimum of twelve (12) (as opposed to fifteen (15)) percent of that

portion of the site devoted to parking shall be landscape; and (2) one parking lot tree shall be placed for every ten (10) stalls of parking, on average, (as opposed to in every instance,) provided the City Community Development Director, Planning Commission or the City Council, as applicable approves the location and spacing of such parking lot trees.

- Except as provided below, planter islands shall be located a maximum of every ten (10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, *this* two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements. *Notwithstanding the foregoing or any other City parking landscaping requirements and standards, with respect to any Northern Regional Retail Center, the parking landscaping requirements for any such center shall be amended as follows: (1) planter islands shall be required only at the end of each row of parking, regardless of how many parking spaces are in each row; (2) at least eighty-five (85) percent of all planter islands shall be five (5) feet in width, whereas no more than fifteen (15) percent of all planter islands may be comprised of a curb with a tree and well/box that contains, a minimum, a fifteen (15) gallon tree.*

#### ***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one additional floor or story may be allowed subject to approval of the Community Development Director under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practicable, from surrounding uses and from public view.
- Building shall not exceed 100 feet.

#### ***Shared Parking:***

Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the

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same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Community Development Director and must meet the following conditions.

- Sufficient evidence shall be presented to the Community Development Director demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located within a reasonable distance for the structure or use served.

i. **LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-1.

j. **LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the Fontana Zoning and Development Code.

k. **TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height nor more than eight (8) feet; provided, however, that any home improvement store may have outdoor storage areas for any materials (except trash) adjacent to its building. No such area shall be located within any public street frontage area, but may be adjacent to Interstate 15 in the case of any Northern Regional Retail Center.

l. **SCREENING**

Abutting residential areas. Except as provided below in the case of any Northern Regional Retail Center, a masonry wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation. Notwithstanding the foregoing, in any case where any Northern Regional Retail Center abuts any area zoned for residential use (but upon which no residential dwelling units have been built), the developer of

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**the Northern Regional Retail Center shall not be required to install any masonry or other wall along the boundaries of the Northern Regional Retail Center.**

*Notwithstanding the requirements listed above*, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

***Outdoor activity.*** All outdoor activity shall be screened from view from adjacent public streets and any residential areas.

***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened. Screening shall be provided as an integral aspect of the building design.

- m. **LANDSCAPING - Private parcels** - (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be fifteen (15) percent, **except in the case of any Northern Regional Retail Center such percentage shall be twelve (12) percent.** Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover, or turf which may also include sidewalks, shall be installed and maintained subject to the following standards:

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan, twenty-five (25) feet minimum along Cherry Avenue, and Baseline Avenue and in addition to the public right-of-way.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of ten (10) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement. **Notwithstanding the foregoing boundary landscaping requirements and standards, with respect to any Northern Regional Retail Center, the developer of such center, (including any subsequent phases thereat) shall not be required to provide any such boundary landscaping on such center's eastern boundary, provided that the area east of such eastern**



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*boundary is zoned to include a Commercial Overlay (CO) zone that allows retail use in addition to, or in lieu, of residential use.*

*Side and rear setback areas.* All unpaved, non-work areas not utilized for parking, or storage, shall be landscaped.

*Separation.* Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

*Watering.* Permanent automatic watering facilities shall be provided for all landscaped areas.

n. **ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.

D. **MIXED USE DEVELOPMENT REGULATIONS (MU)**  
(See also Table D, page IV-28)

1. **DESCRIPTION AND PURPOSE** The purpose of these provisions is to regulate the planning, design, and development of Mixed Use areas. Mixed Use designation permits a combination of compatible uses and facilities supportive of the general community. It is the intent of this section to allow the location of businesses engaged primarily in business, professional, and administrative offices, industrial uses, service industry, and commercial activities. The Mixed Use district regulations are designed to assure compatibility with adjacent land uses and the overall character of the Westgate community.

2. **PERMITTED USES**

a. **BUSINESS PARK (BP) USES**

All business park and industrial uses and their respective development regulations listed in Section B - Business Park Development Regulations, except in Planning Unit Areas 20, 23, 33 and 34.

b. **COMMERCIAL RETAIL (C) USES**

All commercial retail uses and their respective development regulations listed in Section C - Commercial Retail Development Regulations.



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c. **OFFICE / PROFESSIONAL (OFC) USES**

Uses for the practice of a profession, administration of a business, or offering of a service of the following types:

- Accountants, advertising agencies, appraisers, attorneys, business management consultants, economists and public relations consultants.
- Administration or executive offices of any type of business.
- Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers, Not including retail sales right on the premises.
- Employment agencies, travel agencies, and airline ticket agencies.
- Financial institutions, including banks, savings and loan associations, finance companies and credit unions. Drive thru's are permitted.
- Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.
- Medical complex including medical, dental and health-related services of all types for humans, including laboratories and housing for the aged or infirm.
- Municipal uses, including water facilities.
- Oculists, opticians, optometrists, and prescription pharmacies located in a building containing the offices of four or more medical practitioners and devoting more than fifty (50) percent of the total pharmacy floor space to prescription compounding.
- Other similar uses which are found by the Community Development Director to be consistent with the intent of this land use classifications.

3. **SITE DEVELOPMENT STANDARDS - OFFICE USES**

a. **BUILDING SITE AREA**

Minimum of one-quarter (1/4) acre. Master planned multi-tenant developments may have smaller lot areas provided they share reciprocal facilities such as parking and access and provided it can be shown those lots can comply with all the standards of this section.

**b. LOT COVERAGE**

No maximum, subject to required building setbacks, parking and landscape requirements.

**c. BUILDING HEIGHT LIMIT**

The maximum building height is fifty (50) feet. Taller buildings greater than fifty (50) feet, but not in excess of 100 feet, are subject to a conditional use permit.

**d. MAXIMUM FLOOR AREA RATIO (F.A.R.)**

The maximum F.A.R. shall be 1.0. F.A.R.s in excess of 1.0 may require a General Plan Amendment.

**e. BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**

Twenty feet (20) minimum except for buildings greater than thirty (30) feet in height which shall require the setback to be a distance equal to the height of the structure. If the building is stepped back, the setback does not have to equal the height of the structure. On Cherry Avenue and Baseline Avenue, the minimum setback shall be thirty-five (35) feet.

**f. BUILDING SETBACKS FROM ADJACENT USES**

***Adjacent to a Business Park (BP) Parcel / Railroad Right-of-way***

Along property lines that separate business park uses or a railroad right-of-way there shall be no minimum setback.

***Adjacent to a Commercial (C) Parcel***

Along property lines that separate commercial uses there shall be a minimum of ten (10) feet. Setback areas shall be landscaped.

***Adjacent to an Office Parcel***

Along property lines that separate office parcels there shall be a minimum of five (5) feet except if project shares reciprocal facilities such as parking and access. In this case no setback is required. Setback areas shall be landscaped.

***Adjacent to a Residential Parcel***

Abutting a residential parcel there shall be a minimum setback of thirty (30) feet.

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**g. PARKING**

Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop subject to approval of the City engineer. Handicap spaces shall be subject to State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be fifteen (15) feet and twenty-five (25) feet on Cherry Avenue and Baseline Avenue.

*Office Uses* shall have one (1) parking space per 250 square feet of gross floor area.

***Parking Stalls***

- Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional space shall be required for 1/2 or more fractional parking space and any fractional space less than 1/2 of a parking space shall not be counted.
- Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be ten (10) feet, with twenty-five (25) feet on Cherry Avenue and Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining minimum landscape requirements.

***Parking Landscape Requirements:***

- The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. A minimum of fifteen (15) percent of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree).
- Planter islands shall be located a maximum of every ten

(10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, this two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements, and it shall be in addition to the minimum landscape planter / setback width.

***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one additional floor or story may be allowed, subject to approval of the Community Development Director under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practicable, from surrounding used and from public view.
- Building height shall not exceed 100 feet.

***Shared Parking:***

Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Community Development Director and must meet the following conditions:

- Sufficient evidence shall be presented to the Planning Commission demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located

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within a reasonable distance for the structure or use served.

**h. LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-2.

**i. LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the Fontana Zoning and Development Code.

**j. TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height or more than eight (8) feet in height. No such area shall be located within any public street frontage area.

**k. SCREENING**

*Abutting residential areas.* A masonry wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.

*Notwithstanding the requirements listed above,* where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened. Screening shall be provided as an integral aspect of the building design.

**l. LANDSCAPING - Private parcels -** (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be determined by setback and parking landscape requirements. Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover, or turf which

may also include sidewalks, shall be installed and maintained subject to the following standards.

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan, fifteen (15) feet minimum, with twenty-five (25) feet minimum on Cherry Avenue and Baseline Avenue.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of fifteen (15) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement.

***Side and rear setback areas.*** All unpaved, non-work areas not utilized for parking or storage shall be landscaped.

***Separation.*** Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

***Watering.*** Permanent automatic watering facilities shall be provided for all landscaped areas.

**m. ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.



Insert Table D

- d. **Cluster Development:** A development design technique that concentrates buildings in specific areas on the site to allow the remaining land to be used for recreation, common open space and preservation of environmentally sensitive features.
- e. **Commercial Overlay Zone (CO):** Area contained within, a parcel (or parcels) designated for SFD use which may, at the choice of the landowner in the landowner's sole discretion be developed as either retail or residential use.
- f. **Commercial Use:** An activity, normally retail sales, carried out for monetary gain.
- g. **Commission or Planning Commission:** The City of Fontana Planning Commission.
- h. **Community Development Director:** City of Fontana Director of Community Development.
- i. **Community Facility:** A noncommercial use established primarily for the benefit and enjoyment of the community in which it is located.
- j. **Conditional Use:** An approval required for a conditional use to be permitted in a district or zone.
- k. **Conditional Use Permit:** A use that requires special consideration because of its unusual characteristics, so that it may be properly located with respect to the effects on surrounding properties.
- l. **Condominium Development:** A building, or group of buildings in which units are owned individually, and the structure, common areas and facilities are owned by all the owners on a proportional basis, as generally described in the Subdivision Map Act.

#### 4. DEFINITIONS (D)

- a. **Density:** The total number of dwelling units per acre determined by dividing the total dwelling units by the total acres.
- b. **Detention Basin:** A storage facility for the temporary storage of storm water run-off.
- c. **Dwelling, Duplex:** A total of two (2) single family dwellings attached to one another by a common wall.
- d. **Dwelling, Fourplex:** A total of four (4) single family dwellings attached to one another by common walls.
- e. **Dwelling, Single Family Attached:** A single family dwelling attached to

Section VI  
LEGAL DESCRIPTION

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FEET IN WIDTH; THENCE CONTINUING NORTH 0 DEG. 43' 33" WEST ALONG SAID EASTERLY LINE 216.53 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SOUTHERN CALIFORNIA EDISON COMPANYS RIGHT OF WAY, 150 FEET IN WIDTH, AS DESCRIBED IN DOCUMENT RECORDED OCTOBER 28, 1937, IN BOOK 1233, PAGE 426, OFFICIAL RECORDS, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN BERNARDINO; THENCE SOUTH 41 DEG. 45' 50" WEST ALONG SAID SOUTHEASTERLY LINE 291.41 FEET TO A POINT IN SAID NORTHERLY LINE OF SUMMIT AVENUE; THENCE NORTH 89 DEG. 53' 56" EAST ALONG SAID NORTHERLY LINE 197.57 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THE NORTH 40 FEET AS GRANTED TO THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA BY DEED RECORDED AUGUST 14, 1969, IN BOOK 7285, PAGE 835, OFFICIAL RECORDS OF SAID COUNTY.

ALSO EXCEPTING THEREFROM ANY PORTION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 LYING NORTHWESTERLY OF THE MOST SOUTHEASTERLY LINE OF STATE HIGHWAY PROPERTY, AS DESCRIBED IN THE DEED AS CONVEYED TO THE STATE OF CALIFORNIA, RECORDED JULY 14, 1975, IN BOOK 8719, PAGE 19, OFFICIAL RECORDS OF SAID COUNTY.

THAT PROPERTY LOCATED IN THE CITY OF FONTANA, SAN BERNARDINO COUNTY, STATE OF CALIFORNIA, DESCRIBED AS THAT PORTION OF THE WEST ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO MERIDIAN IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, LYING SOUTHEASTERLY OF THE SOUTHEASTERLY LINE OF THE LAND DESCRIBED AS PARCEL 4415, AS CONTAINED IN THE FINAL ORDER OF CONDEMNATION RECORDED JULY 20, 1976, IN BOOK 8972, PAGE 1135 OF OFFICIAL RECORDS OF SAID COUNTY, EXCEPTING THEREFROM THE SOUTH 50 FEET, AND ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED AUGUST 9, 1995 AS INSTRUMENT NO. 95-272627 IN THE OFFICIAL RECORDS OF SAID COUNTY.

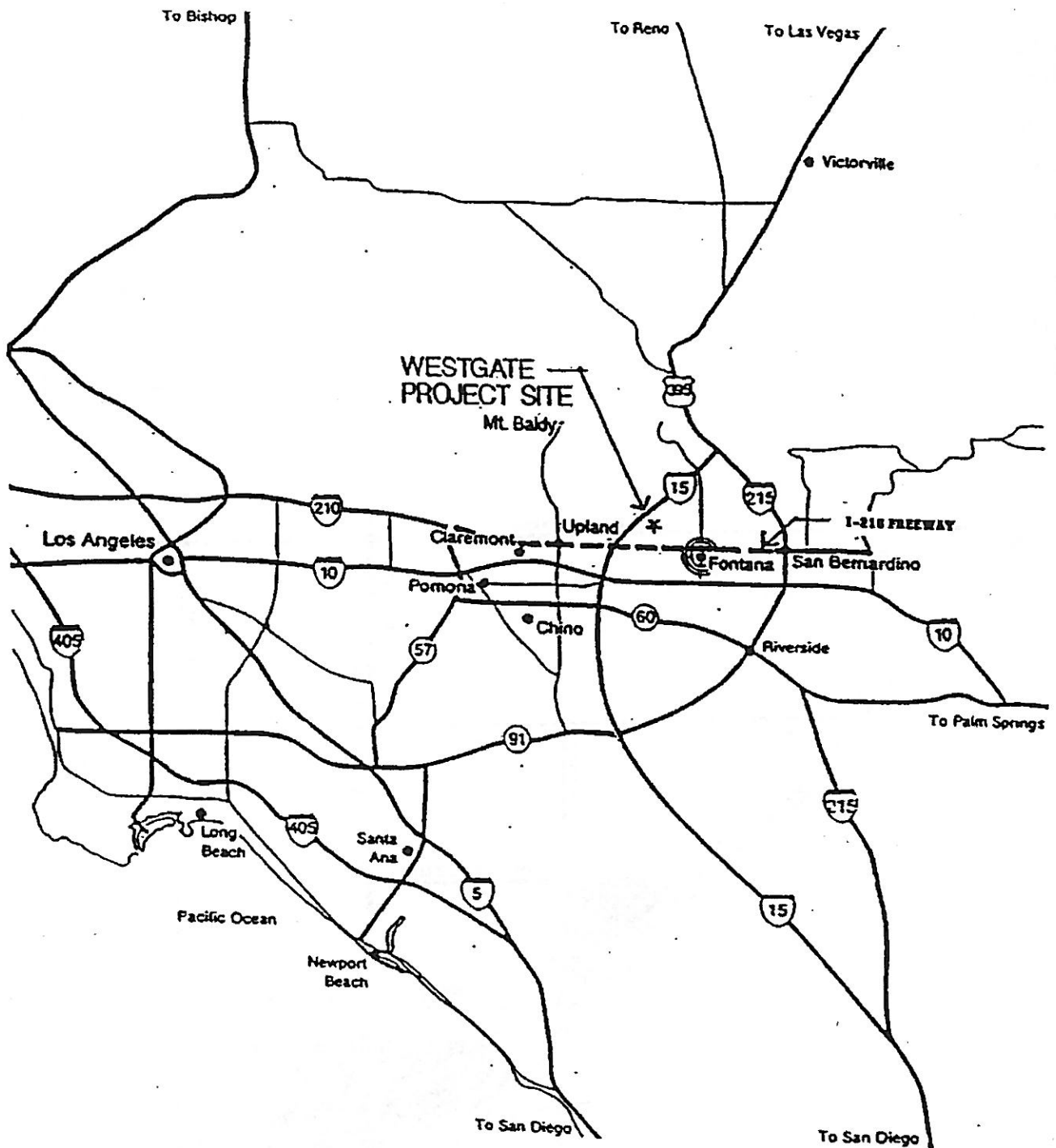
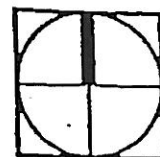


EXHIBIT 1  
REGIONAL  
CONTEXT MAP

**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**



NOT TO SCALE



**LANDPLAN  
DESIGN  
GROUP**  
Planning/Landmarks Architects

**WESTGATE**  
**SPECIFIC PLAN**  
Prepared for: **UNITEX**

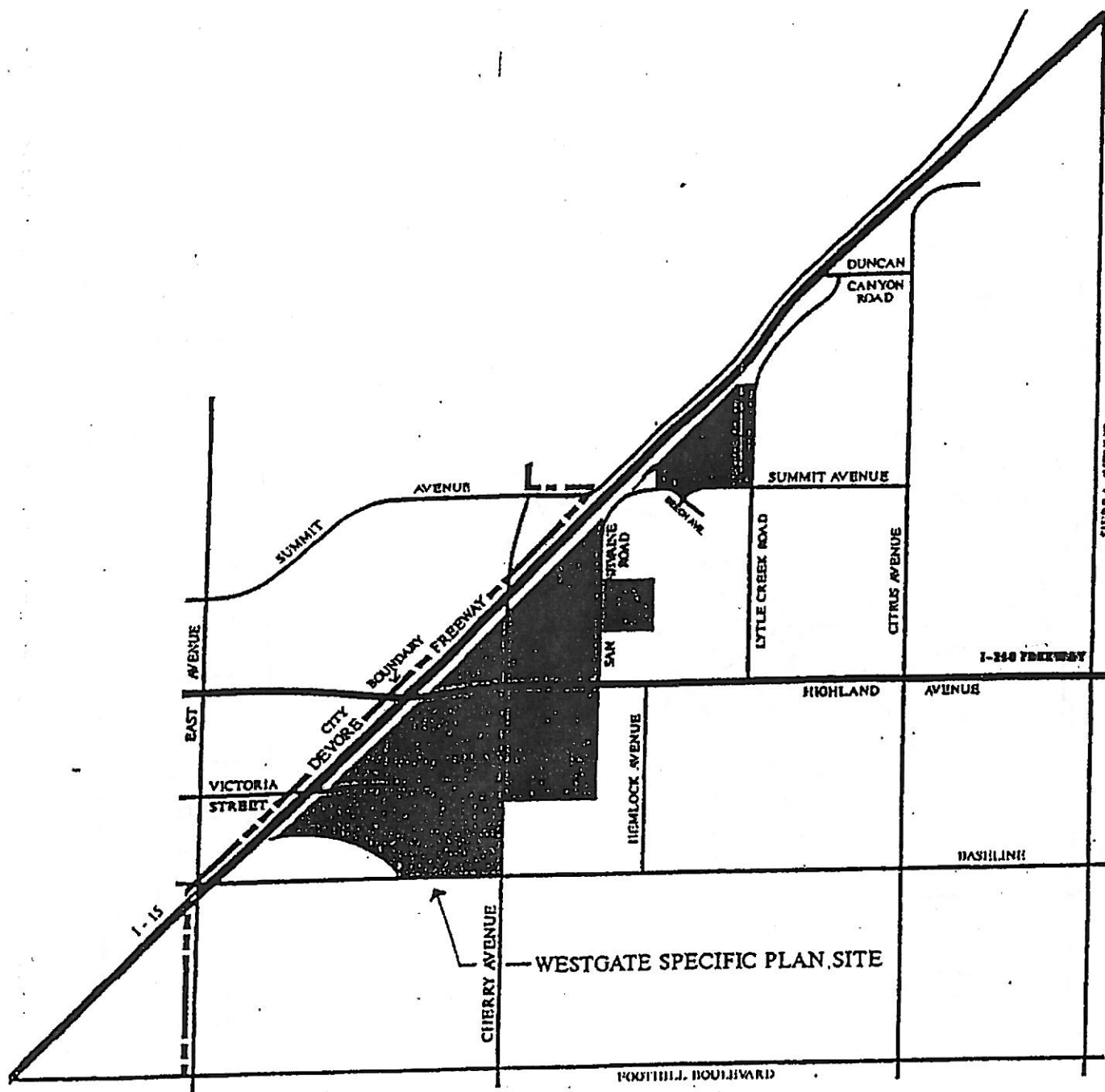
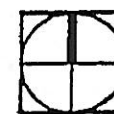
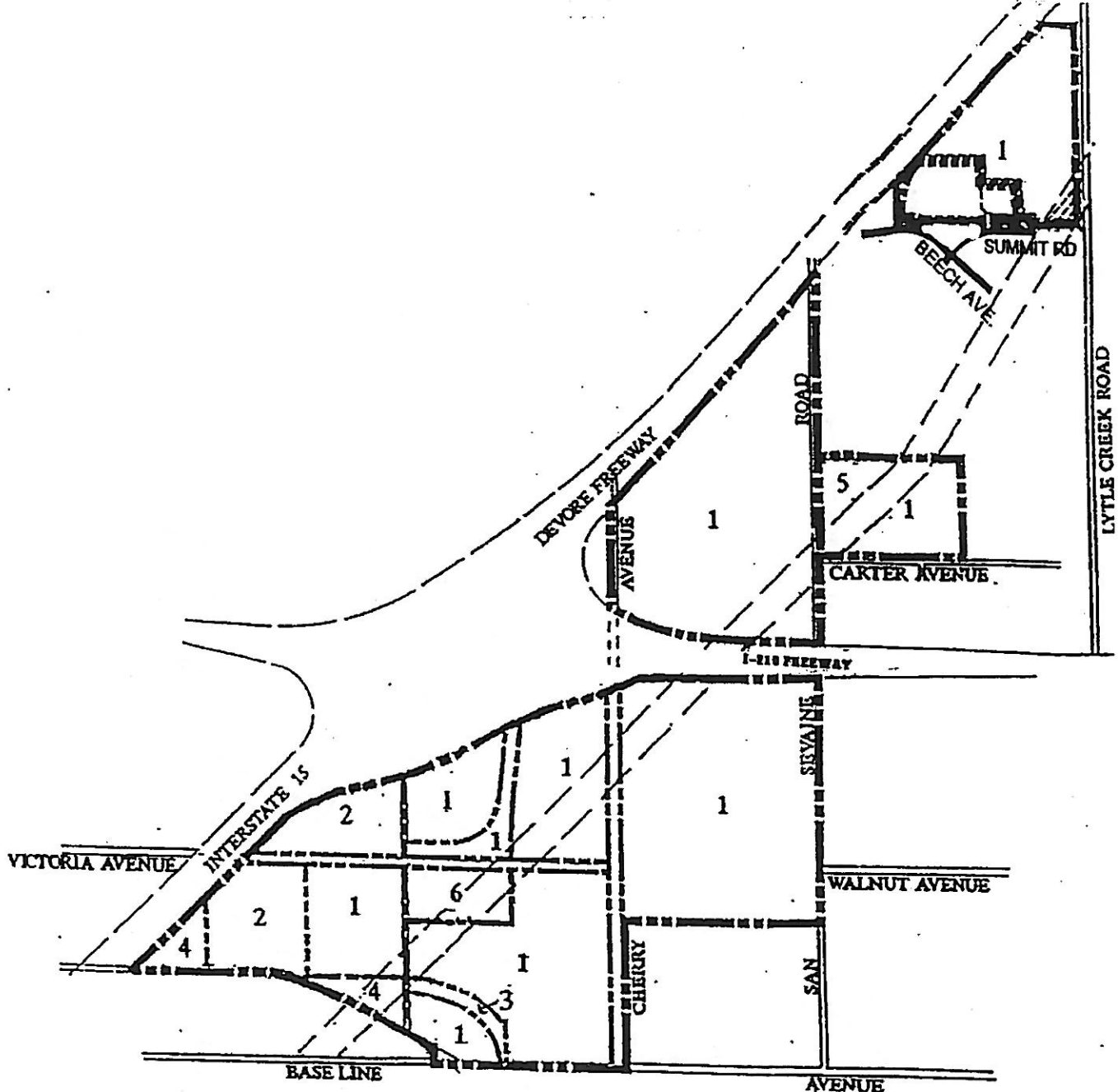


EXHIBIT 2  
VICINITY MAP



**LAND-PLAN  
DESIGN  
GROUP**  
Planning • Architecture • Engineering

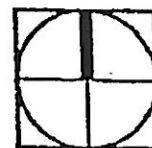


# LEGEND

- |   |                     |
|---|---------------------|
| 1. INTEx PROPERTY INLAND EMPIRE L.P.    | 5. INTEx / KORELICH |
| 2. SAN BERNARDINO COUNTY FLOOD CONTROL  | 6. LANCIA           |
| 3. STATE OF CALIFORNIA                  |                     |
| 4. FONTANA HERITAGE WEST END ASSOCIATES |                     |

## EXHIBIT 3 PROPERTY OWNERSHIP

**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**



NOT TO SCALE



**LANDPLAN  
DESIGN  
GROUP**  
Planning/Landscaping/Architecture



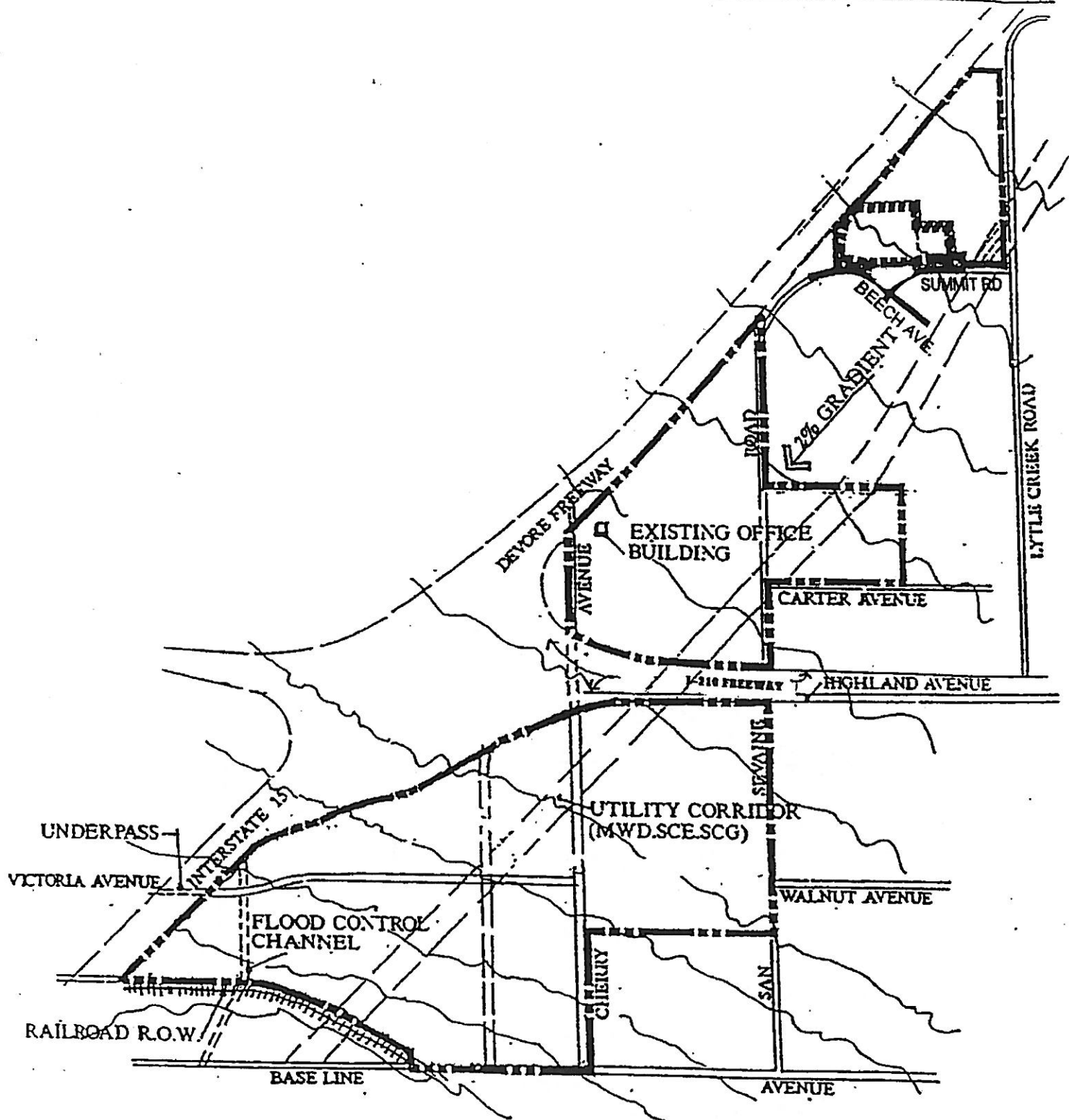
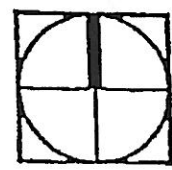


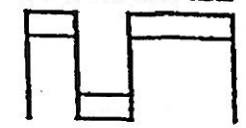
EXHIBIT 4  
EXISTING CONDITION

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



NOT TO SCALE



LAND-PLA  
DESIGN  
GROU

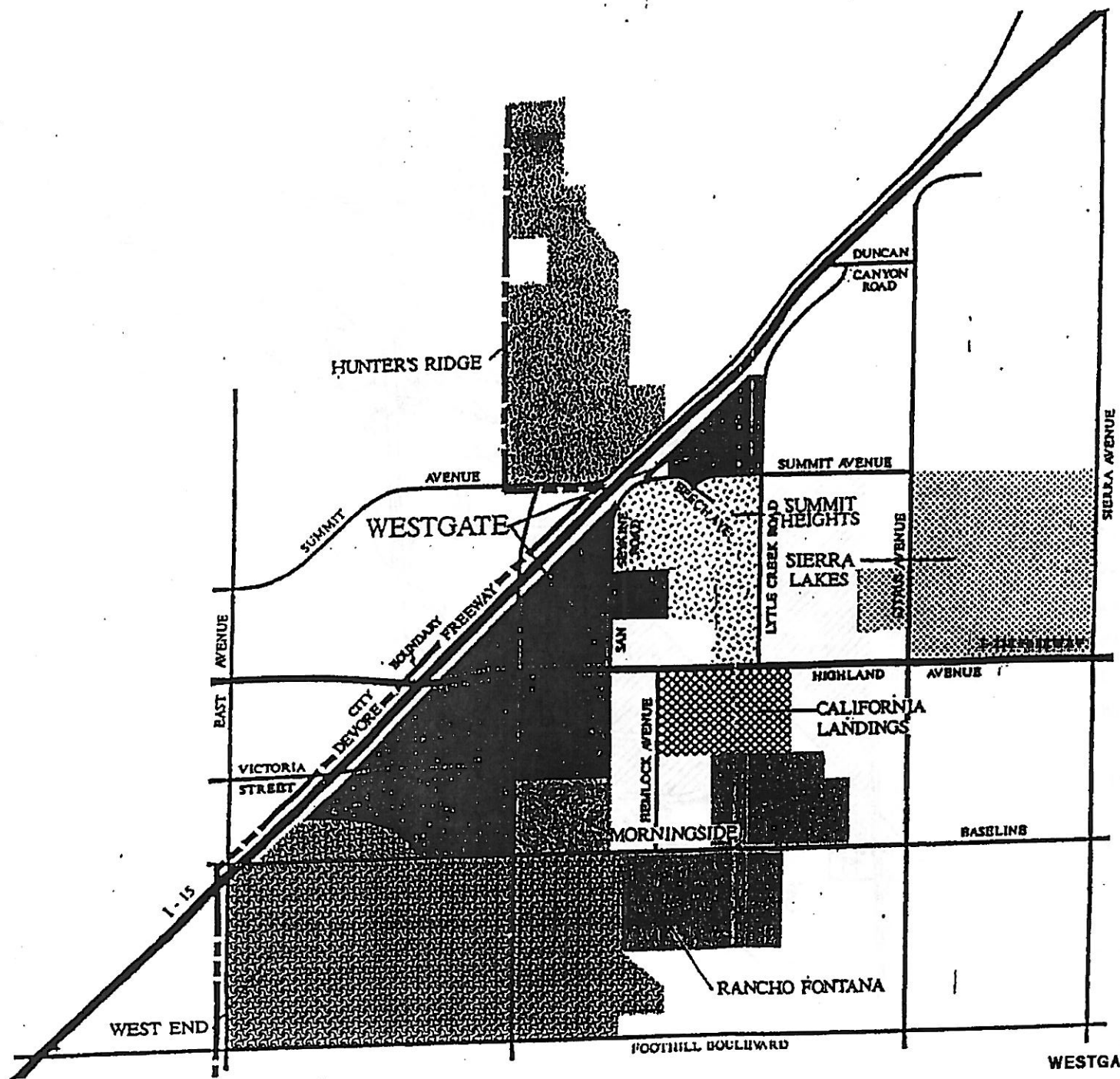


EXHIBIT 5  
SPECIFIC PLANS  
IN LOCAL AREA



# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

## LEGEND

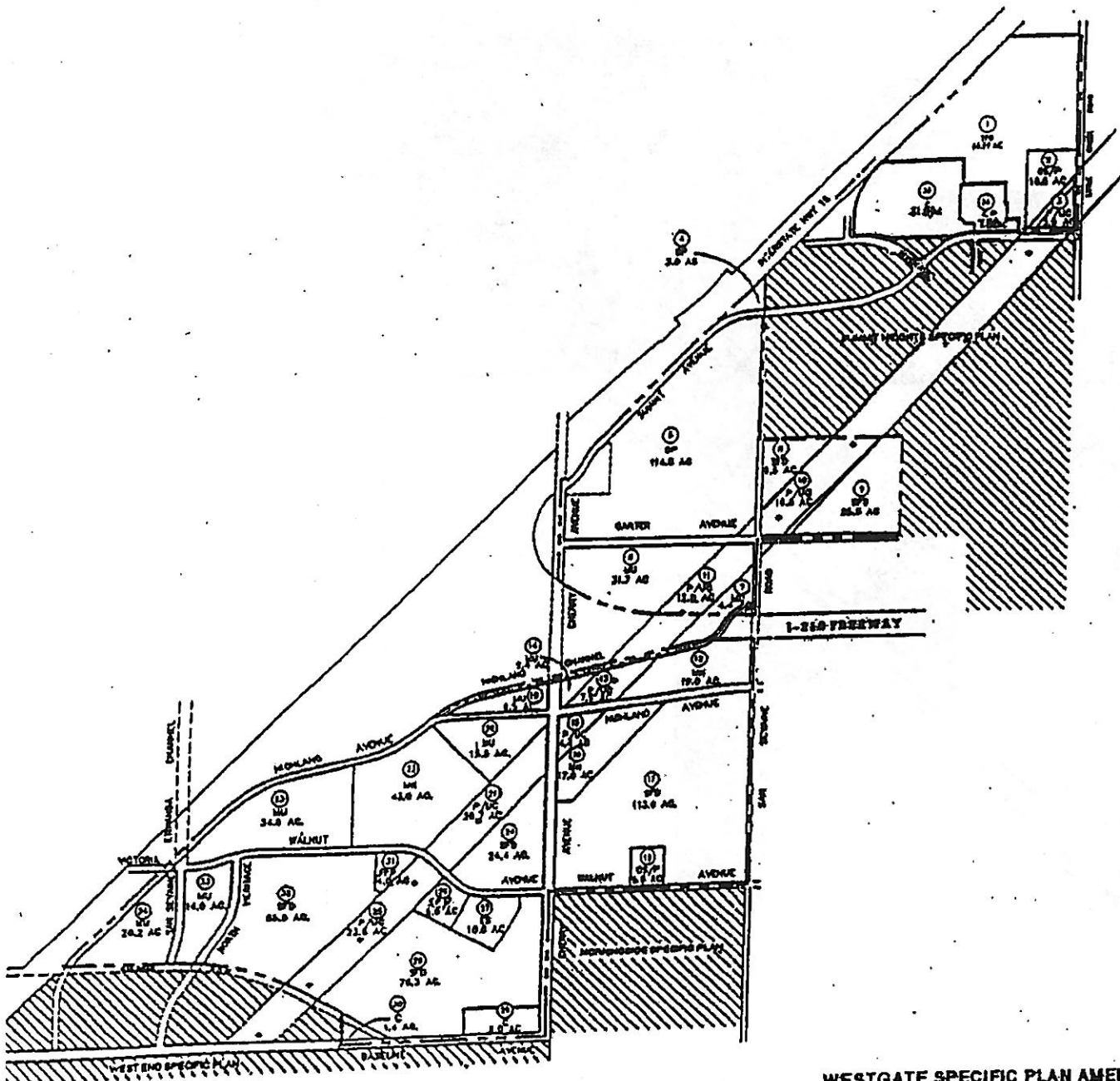
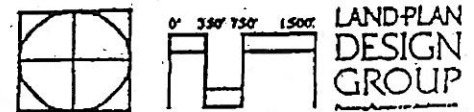
|        |                          |
|--------|--------------------------|
| BP     | BUSINESS PARK            |
| C      | COMMERCIAL               |
| MU     | MIXED USE                |
| SFD    | LOW DENSITY RESIDENTIAL  |
| MH     | MEDIUM HIGH RESIDENTIAL  |
| P / UC | PUBLIC / UTILITY CORRIDO |
| OS / P | OPEN SPACE / PARK        |
| ES     | ELEMENTARY SCHOOL        |
| CO     | OVERLAY ZONE             |

## KEY

|      |                      |
|------|----------------------|
| (28) | PLANNING UNIT NUMBER |
| SFD  | LAND USE DESIGNATION |
| 44.1 | ACREAGE              |

EXHIBIT 6

## LAND USE PLAN



WESTGATE SPECIFIC PLAN AMENDMENT #2

# WEST SPECIFIC

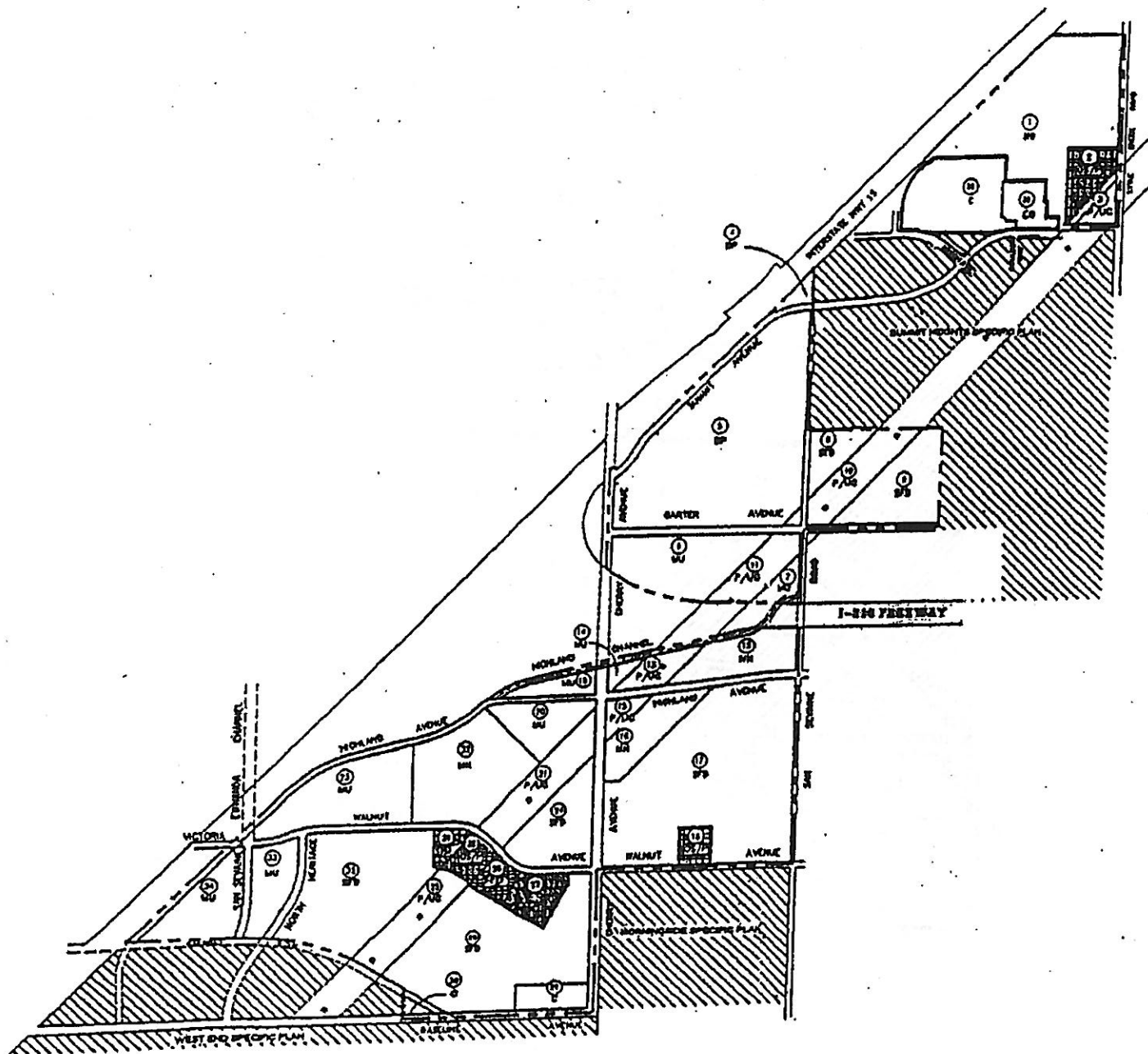
Prepared for:

## LEGEND

-  PARK SITE
-  SCHOOL SITE

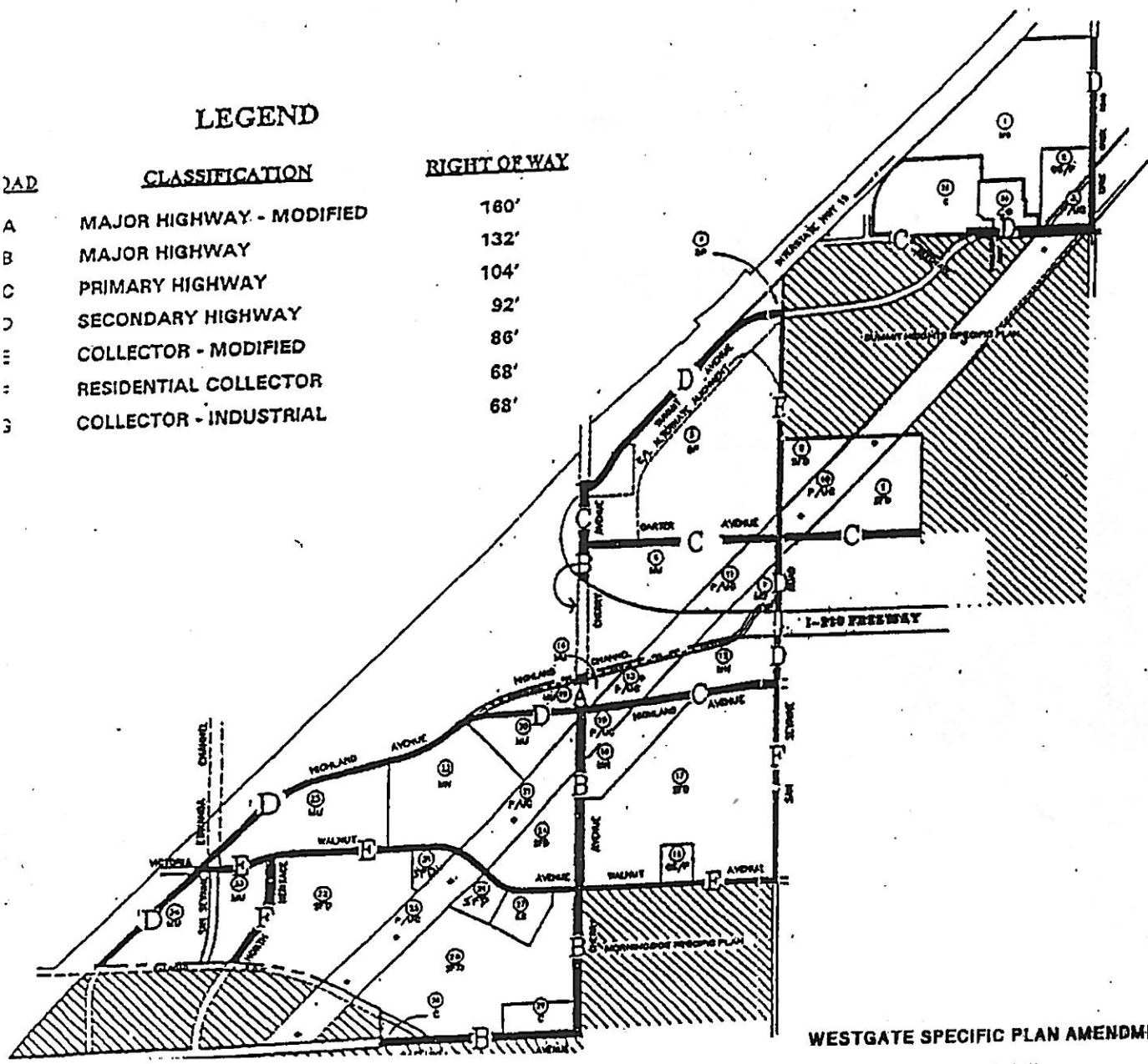
EXHIBIT 6A

PUBLIC FACILITIES PLAN

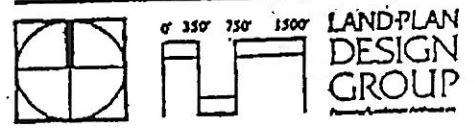


**LEGEND**

| <u>2AD</u> | <u>CLASSIFICATION</u>    | <u>RIGHT OF WAY</u> |
|------------|--------------------------|---------------------|
| A          | MAJOR HIGHWAY - MODIFIED | 160'                |
| B          | MAJOR HIGHWAY            | 132'                |
| C          | PRIMARY HIGHWAY          | 104'                |
| D          | SECONDARY HIGHWAY        | 92'                 |
| E          | COLLECTOR - MODIFIED     | 86'                 |
| F          | RESIDENTIAL COLLECTOR    | 68'                 |
| G          | COLLECTOR - INDUSTRIAL   | 68'                 |

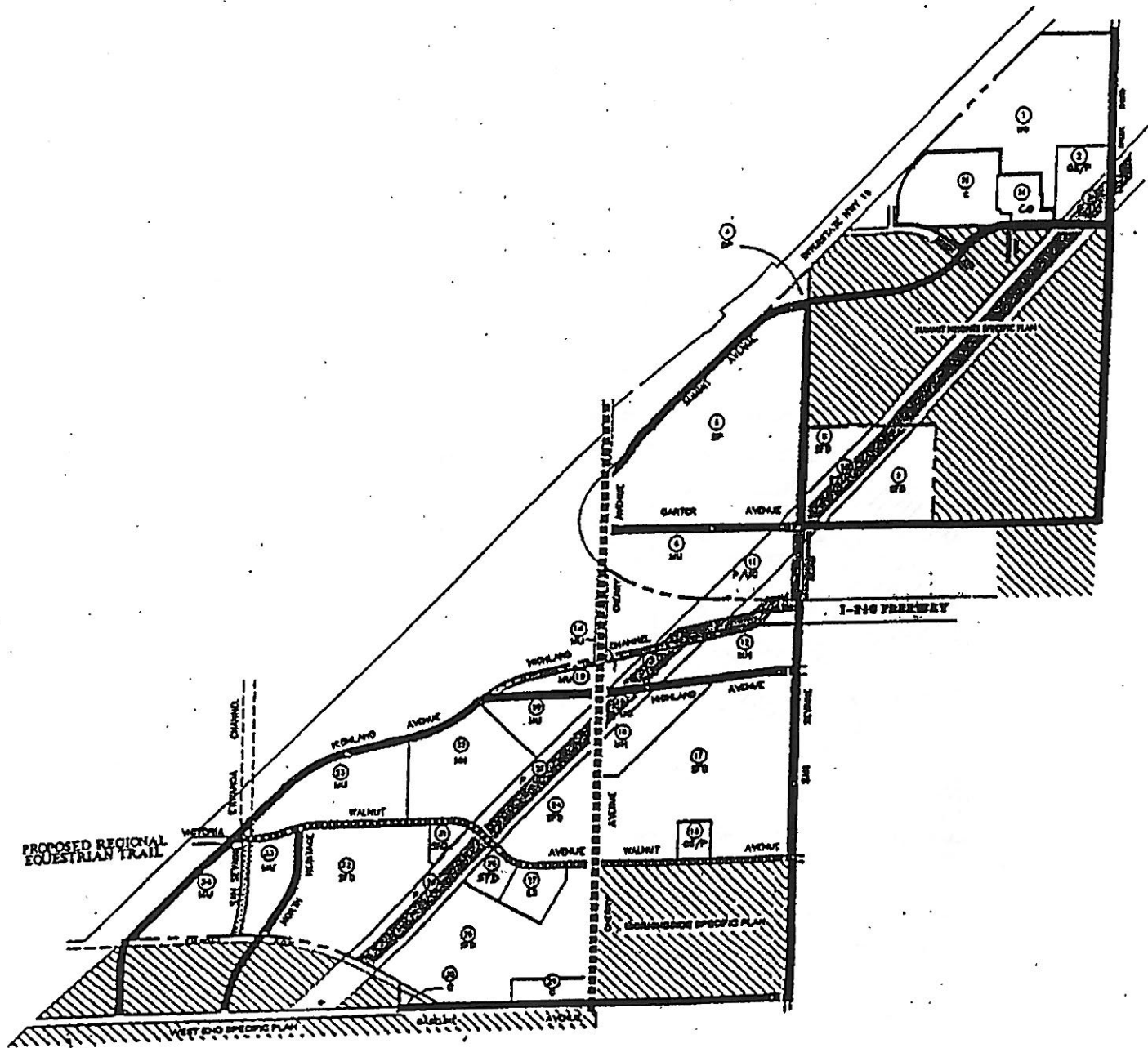


**EXHIBIT 7**  
**CIRCULATION PLAN**



**LEGEND**

- CLASS I  
STREET SEPARATED  
BICYCLE PATH
- CLASS II  
STRIPED, ON-STREET  
BICYCLE LANE
- REGIONAL BIKE  
TRAIL
- REGIONAL EQUESTRIAN  
TRAIL



**EXHIBIT 8**  
**BICYCLE/EQUESTRIAN**  
**CIRCULATION PLAN**



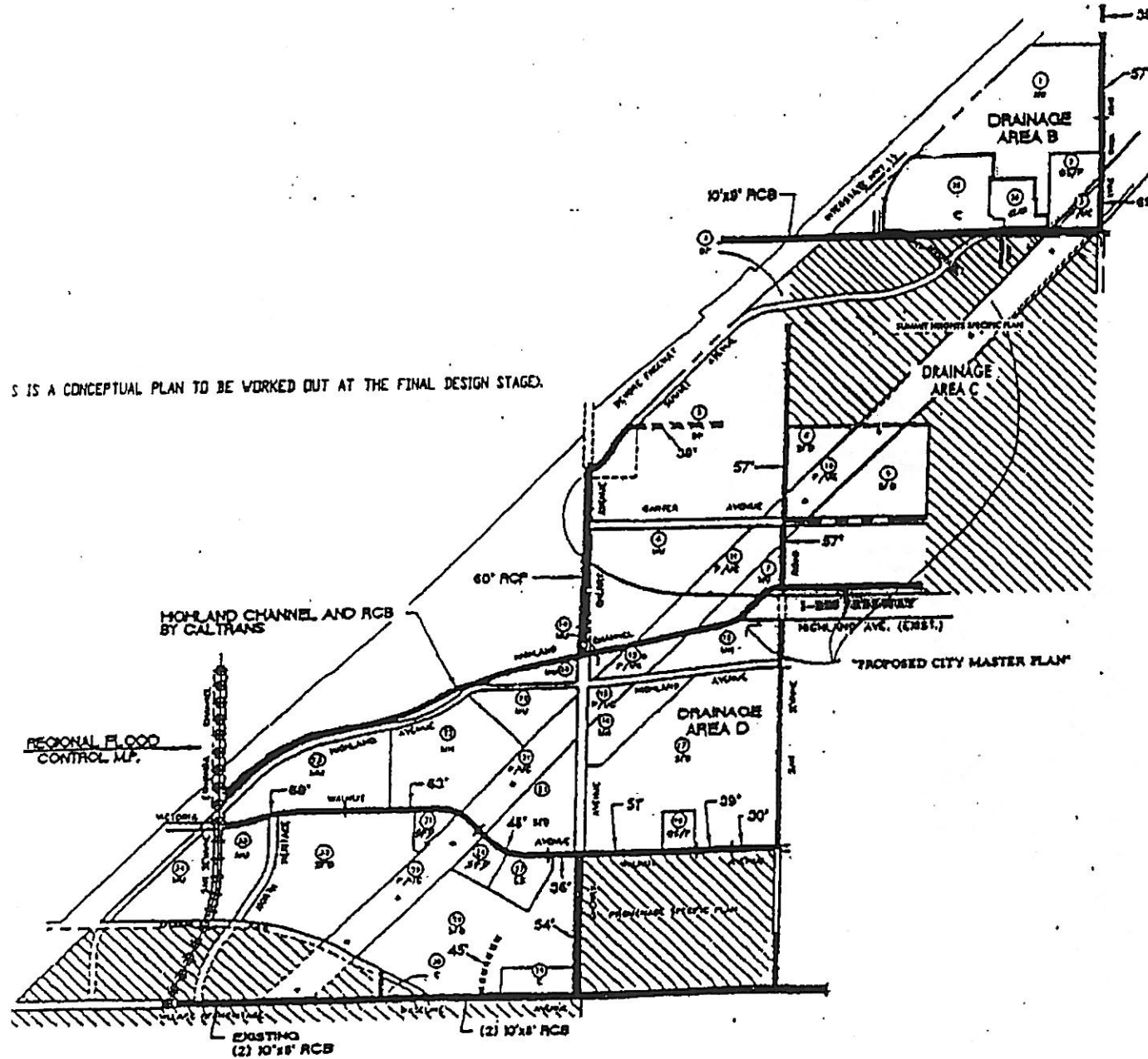


# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

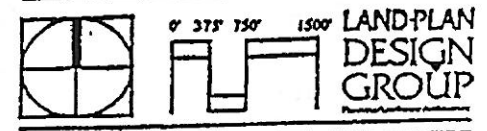
## LEGEND

- EXISTING CITY MASTER PLAN
- \*\*\*\*\* EXISTING SAN SEVAIN CHANNEL - REGIONAL FLOOD CONTROL
- ..... LOCAL DRAINS (Developer)



THIS IS A CONCEPTUAL PLAN TO BE WORKED OUT AT THE FINAL DESIGN STAGE.

## EXHIBIT 9 DRAINAGE PLAN



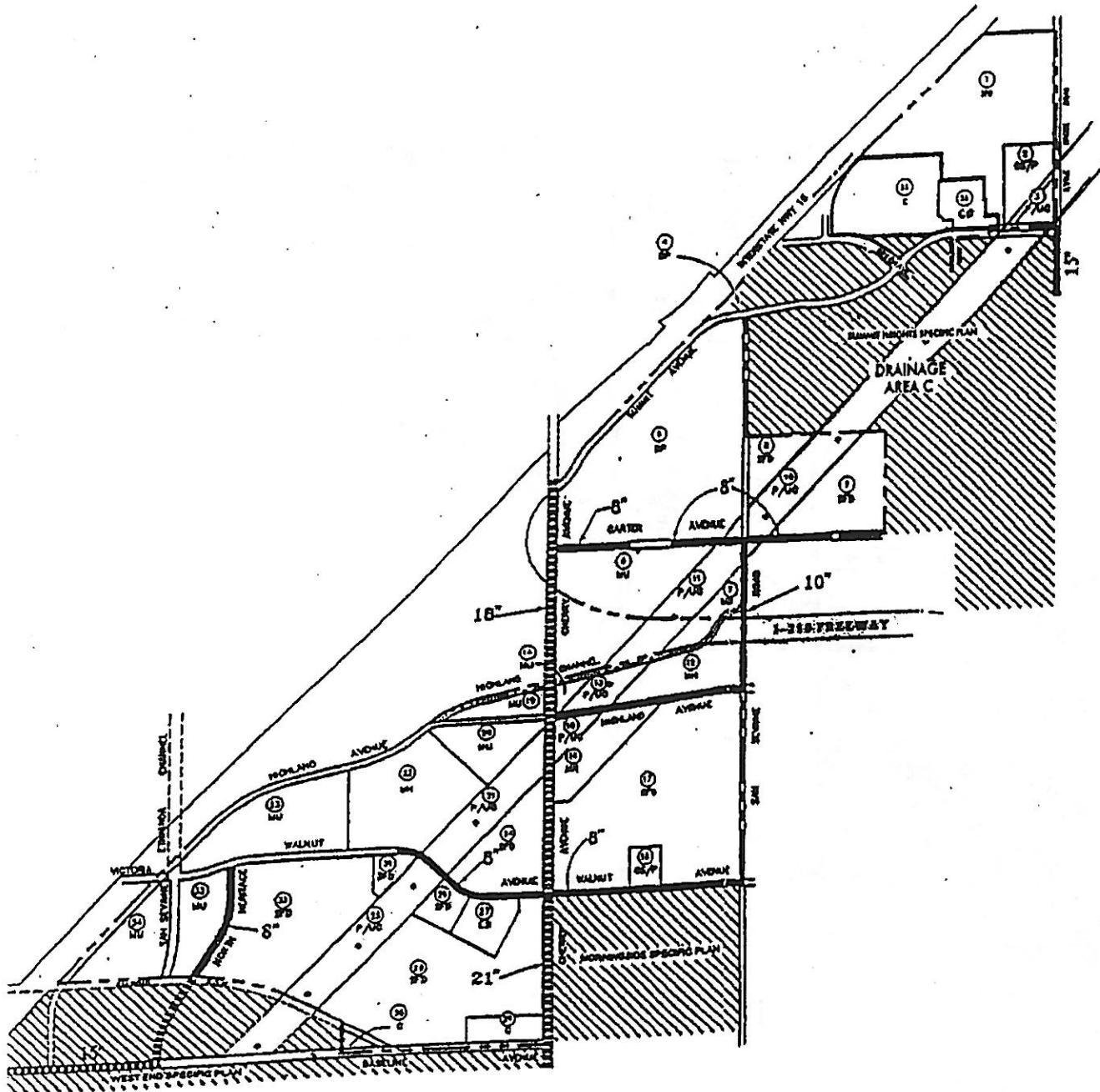
SOURCE: ALLARD ENGINEERING  
WESTGATE SPECIFIC PLAN AMENDMENT #2

# WESTGATE SPECIFIC PLAN

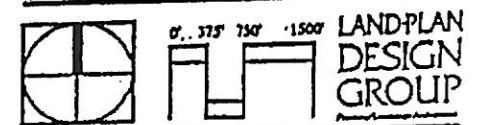
Prepared for: UNITEX

## LEGEND

— PROPOSED SEWERLINE  
 - - - - - EXISTING SEWERLINE



## EXHIBIT 10 SEWER PLAN



SOURCE: ALLARD ENGINEERING





WESTGATE SPECIFIC PLAN AMENDMENT #2

# WESTGATE SPECIFIC PLAN

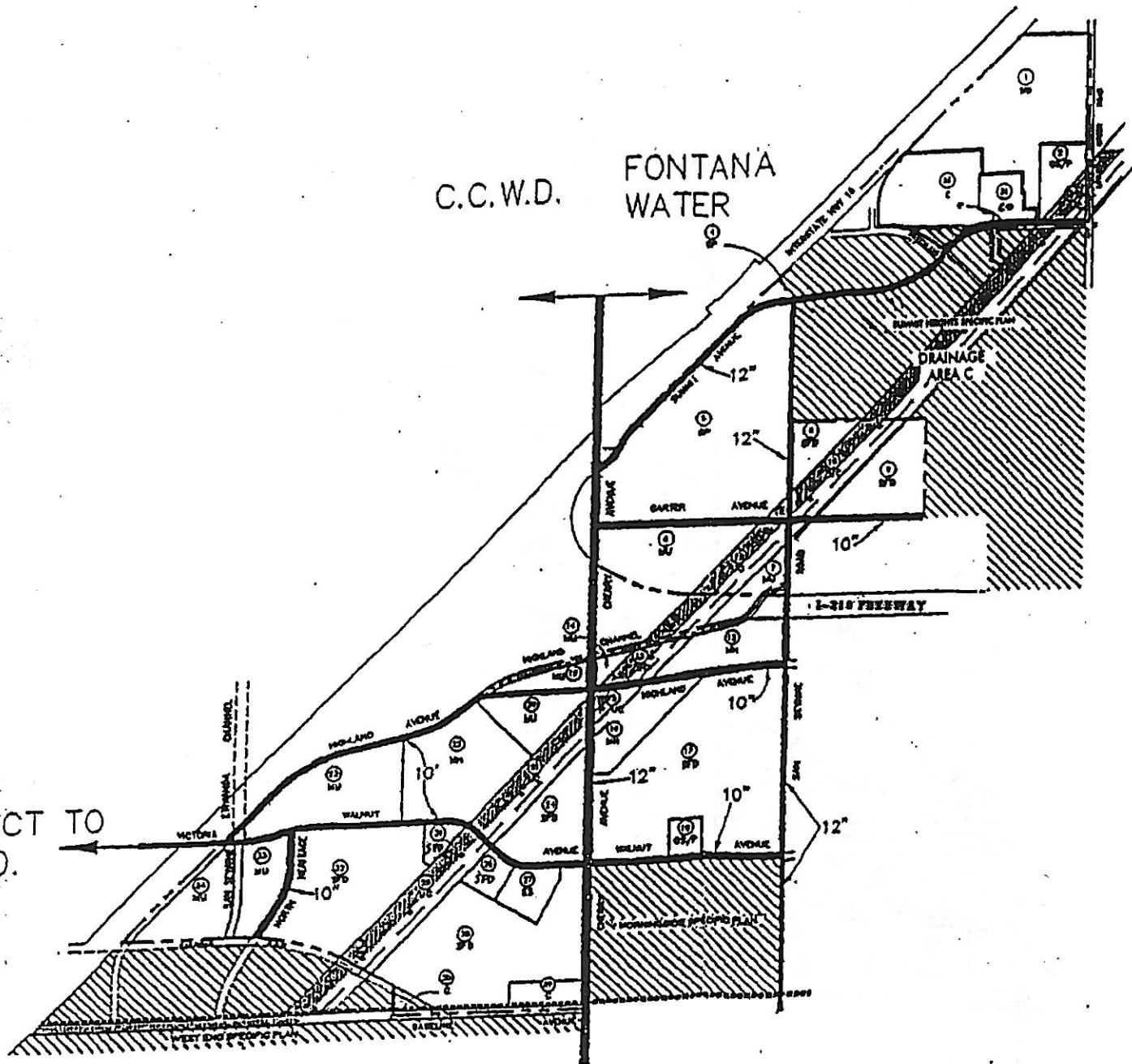
Prepared for: UNITEX

C.C.W.D. FONTANA WATER

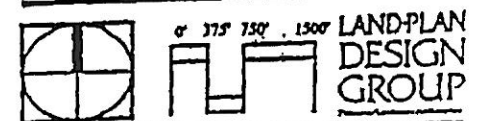
## LEGEND

-  PROPOSED WATERLINE
-  EXISTING WATERLINE
-  EXISTING MWD LINE
-  EXISTING SGV LINE

CT TO



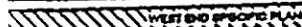
## EXHIBIT 11 WATER PLAN



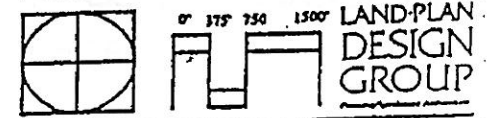
WESTGATE SPECIFIC PLAN AMENDMENT #2

SYMBOL  
Prepared for:

UNITEX



## GRADING PLAN




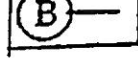


**WESTGATE SPECIFIC PLAN AMENDMENT #2**

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

## LEGEND

-  MAJOR BUSINESS ENTRY  
SEE EXHIBIT 13 & 14
-  MAJOR RESIDENTIAL ENTRY  
SEE EXHIBIT 15 & 16
-  INTERSECTION ENHANCEMENT  
SEE EXHIBIT 16A
-  LANDSCAPE SECTIONS  
SEE EXHIBITS 17-20

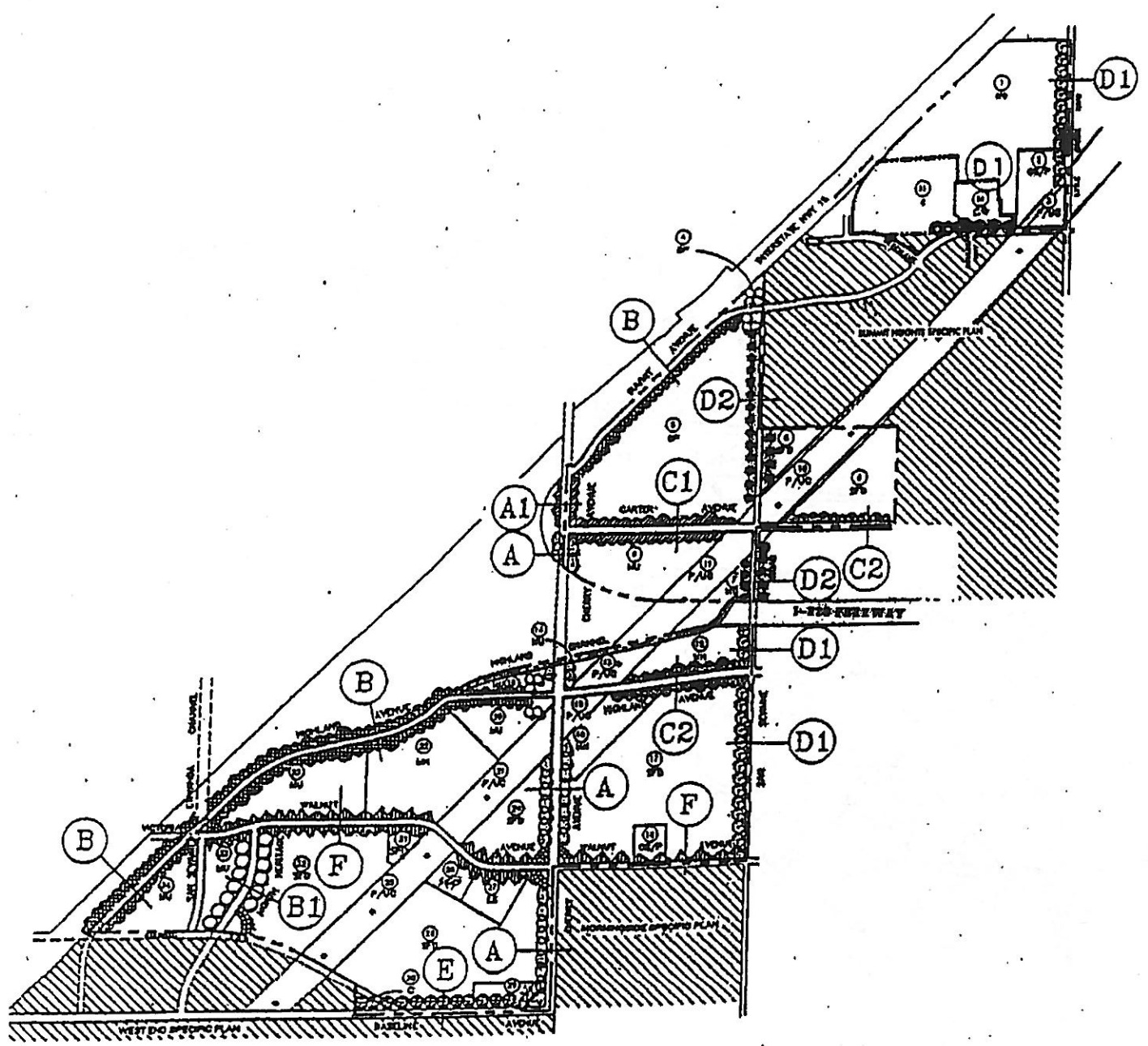
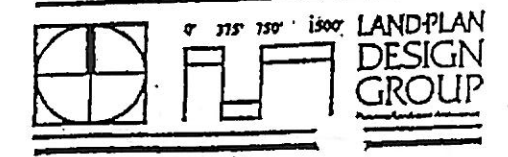


EXHIBIT 12  
LANDSCAPE PLAN



# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEN**

## LEGEND

-  COMMUNITY THEME WALL
-  SLUMPSTONE WALL

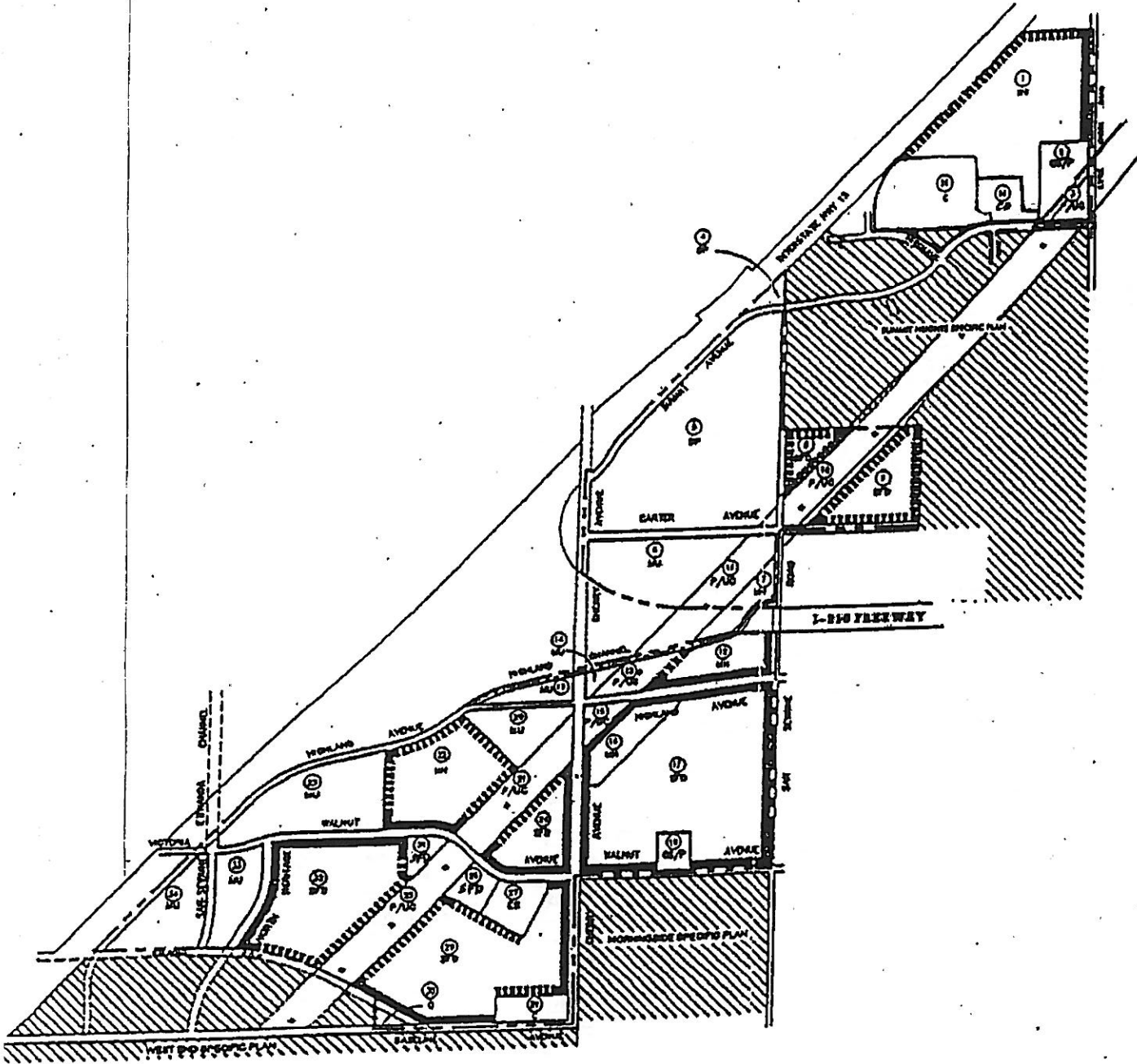
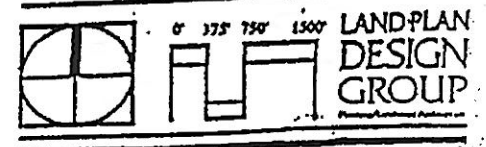


EXHIBIT 21  
COMMUNITY WALL  
PLAN



WESTGATE SPECIFIC PLAN AMENDMENT #2



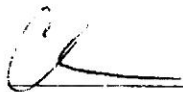
**PROOF OF PUBLICATION  
(2015.5 C.C.P.)**

State of California  
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement there of on the following dates, To-wit, October 2, 2003,

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 2nd day of October



Signature

This space is for the  
County Clerk's stamp

**SUMMARY OF PROPOSED  
ORDINANCE.  
City of Fontana No 1432  
P.O. # 03-0B003**

**SUMMARY OF PROPOSED ORDINANCE NO. 1432**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, October 7, 2003 in the City Hall Council Chambers, 8353 Sierra Avenue, Fontana, California, 92335, adopted Ordinance No. 1432, an Ordinance of the City of

Fontana approving Specific Plan Amendment #03-006 (Westgate Specific Plan Amendment #2), to increase the acreage of the Specific Plan by approximately 4 acres; reduce Planning Unit Area (PUA) 1 from approximately 106.5 acres to approximately 70.9 acres; create PUA 35 (31.5 acres) from a portion of PUA 1 and designate the land use as Commercial; create PUA 36 (7.9 acres) from a portion of PUA 1 and establish a commercial overlay on the Residential Land Use Designation; and, revise the Westgate Specific Plan as it relates to the modification of the PUAs and the proposed project, and that the reading of the title constitutes the first reading thereof.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra

Avenue, Fontana, California 92335.

CITY COUNCIL OF THE CITY OF FONTANA  
Mark N. Nuaimi, Mayor  
Beatrice Watson  
City Clerk  
ya  
P.O. #03-0B003 Publish 10-2-03

the clipping  
of notice  
**CURELY**  
this space

**FONTANA HERALD NEWS**

16981 Foothill Boulevard, Suite N  
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

**PROOF OF PUBLICATION  
(2015.5 C.C.P.)**

This space is for the  
County Clerk's stamp

State of California  
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates: To-wit: October 9, 2003.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 9th day of October

Signature

**SUMMARY OF ADOPTED ORDINANCE No. 1432  
CITY OF FONTANA**

**SUMMARY OF ADOPTED  
ORDINANCE NO 1432.**

NOTICE IS HEREBY GIVEN that the City Council of the City of Fontana, at a Regular Meeting scheduled on Tuesday, October 7, 2003 in the City Hall Council Chambers, 8353 Sierra Avenue, adopted Ordinance No. 1432, an Ordinance of the City of Fontana approving Specific Plan Amendment #03-006 (Westgate Specific Plan Amendment #2), to increase the acreage of the Specific Plan by approximately 4 acres; reduce Planning Unit Area (PUA) 1 from approximately 106.5 acres to approximately 70.9 acres; create PUA 35 (31.5 acres) from a portion of PUA 1 and designate the land use as Commercial; ~~create PUA 36 (7.9 acres)~~ from a portion of PUA 1 and establish a commercial overlay on the Residential Land Use Designation; and, revise the Westgate Specific Plan as it relates to the modification of the PUA's and the proposed project.

A certified copy of the full text of the ordinance is available in the office of the City Clerk of the City of Fontana, 8353 Sierra Avenue, Fontana, California 92335.

**AYES:** Mayor Nuaimi, Council Members Gonzales, Roberts, Rutherford, Warren

**NOES:** None

**ABSENT:** None

**CITY COUNCIL OF THE  
CITY OF FONTANA  
Mark N. Nuaimi, Mayor**

**Beatrice Watson  
City Clerk**

**tim  
P.O. #0300083  
PUBLISH October 9, 2003**

**FONTANA HERALD NEWS**

16981 Foothill Boulevard, Suite N  
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358

#3  
ORDINANCE NO. 1433 10/7/03

**AN ORDINANCE OF THE CITY OF FONTANA APPROVING ZONE CHANGE #03-007 TO CHANGE APPROXIMATELY 4 ACRES OF PROPERTY DESIGNATED AS R-1-10000 TO WESTGATE SPECIFIC PLAN (#17) ON THE ZONING MAP.**

**THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, DOES HEREBY ORDAIN AS FOLLOWS:**

**Section 1.** Zone Change #03-007 is consistent with the goals and policies of the General Plan.

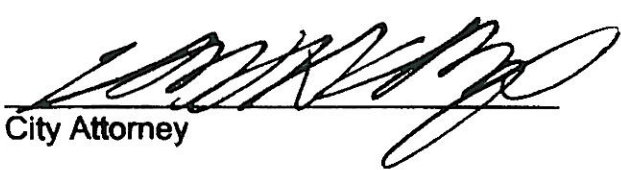
**Section 2.** Zone Change #03-007 is hereby adopted as described in Exhibit "A" attached hereto and incorporated herein by reference.

**Section 3.** Any provision of this Ordinance which is declared by a court of competent jurisdiction to be void, invalid or unlawful may be stricken from this Ordinance and the remainder of this Ordinance enforced in accordance with its terms. The Council declares that it would have adopted this Ordinance, such severance notwithstanding.

**Section 4.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Sun, a local newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

**APPROVED AND ADOPTED** this 7<sup>th</sup> day of October, 2003.

**READ AND APPROVED AS TO LEGAL FORM:**

  
City Attorney

#4  
10/2/03  
**RESOLUTION NO. 2003-146**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, APPROVING GENERAL PLAN AMENDMENT #03-006, AN AMENDMENT OF THE LAND USE POLICY MAP TO: (A) ADD APPROXIMATELY 4 ACRES TO THE WESTGATE SPECIFIC PLAN; AND, (B) CHANGE APPROXIMATELY 39.5 ACRES OF EXISTING R-PC (RESIDENTIAL PLANNED COMMUNITY) LAND USE TO CMU (COMMUNITY MIXED USE).**

**WHEREAS**, all of the notices required by State statute and the City Municipal Code have been given as required; and

**WHEREAS**, pursuant to the California Environmental Quality Act (CEQA), a Final Environmental Impact Report has been prepared and circulated for the project and has been submitted for certification; and

**WHEREAS**, on October 2, 2003, the City Council conducted the required public hearing and considered all public testimony, documents, plans, maps, drawings, reports, and information presented at the public hearing.

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Fontana, California, finds that the proposed changes in General Plan Amendment # 03-006 are consistent with the goals and policies of the General Plan and:

**Section 1.** Certifies the Regency Centers' Falcon Ridge Town Center Final Environmental Impact Report, including the Statement of Overriding Consideration, and directs staff to prepare and file a Notice of Determination for General Plan Amendment # 03-006; and

**Section 2.** Approves General Plan Amendment # 03-006, an amendment of the City of Fontana Land Use Policy Map to add approximately 4 acres to the Westgate Specific Plan and to change approximately 39.51 acres from "R-PC" (Residential Planned Community) to "CMU" (Community Mixed Use) as shown on Exhibit "A", attached hereto and by this reference incorporated.

**APPROVED AND ADOPTED** this 2<sup>nd</sup> day of October, 2003.

**READ AND APPROVED AS TO LEGAL FORM:**

  
City Attorney



## CHICAGO TITLE

560 EAST HOSPITALITY LANE, SAN BERNARDINO, CA 92408 (909) 884-0448

Date: 8/2/96

Enclosed you will find the radius requested by you on Assessor's Parcel No. 0226-121-04.

This radius has been prepared as a courtesy using the most current assessor's tax rolls and equalized plat maps available to us, as per the county requirements.

While the information herein provided is believed to be correct, this company assumes no liability for any loss occurring by the reason of reliance thereof.

By: *Shirley Horton*  
Customer Service



ernardino C San  
25 E 3rd St  
an Bernardino CA 92415-1000

Intex Properties  
4130 Santa Fe Ave  
Long Beach CA 90810-1439

State Of Cal  
PO Box 231  
San Bernardi

226-112-07  
ernardino C San  
25 E 3rd St  
an Bernardino CA 92415-1000

0226-112-08  
Highland Cherry  
15538 Gale Ave  
Hacienda Heights CA 91745-1513

0226-121-05  
Intex Proper  
4130 Santa F  
Long Beach C

226-121-12  
ntex Properties  
130 Santa Fe Ave  
ong Beach CA 90810-1439

0226-121-18  
Intex Properties  
4130 Santa Fe Ave  
Long Beach CA 90810-1439

\*\*\* 8 Printed \*\*\*



0226-112-02  
Bernardino C San  
825 E 3rd St  
San Bernardino CA 92415-1000

0226-112-07  
Bernardino C San  
825 E 3rd St  
San Bernardino CA 92415-1000

0226-121-12  
Intex Properties  
4130 Santa Fe Ave  
Long Beach CA 90810-1439

0226-112-03  
Intex Properties  
4130 Santa Fe Ave  
Long Beach CA 90810-1439

0226-112-08  
Highland Cherry  
15538 Gale Ave  
Hacienda Heights CA 91745-1513

0226-121-18  
Intex Properties  
4130 Santa Fe Ave  
Long Beach CA 90810-1439

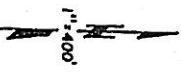
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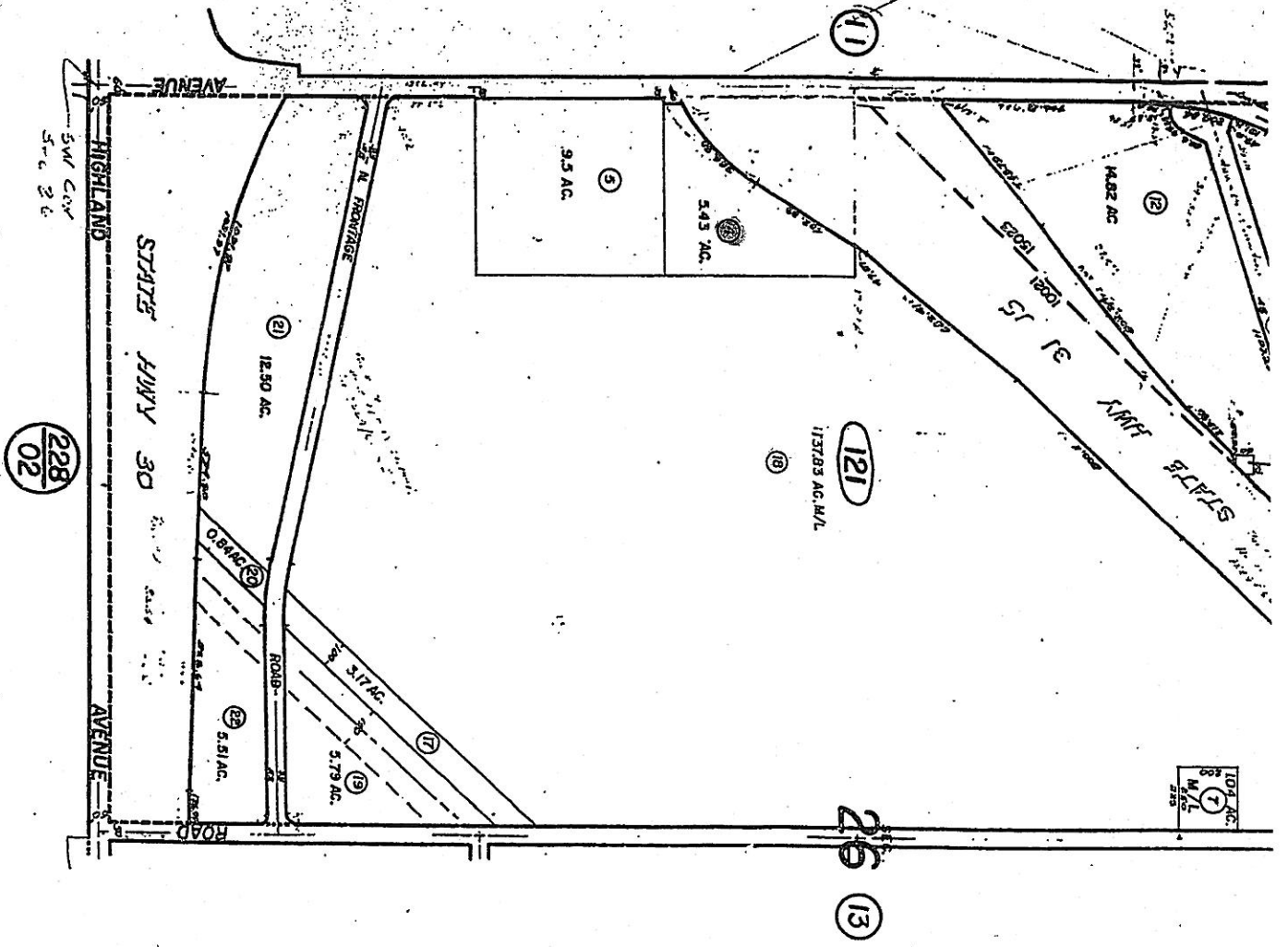
\*\*\* 8 Printed \*\*\*

W 1/2 Sec. 26, T.1N., R.6W., S.B.B. & M.

Fontana City  
 Rancho Cucamonga Ctl.  
 Tax Rate Area  
 10021, 15023



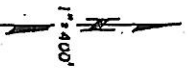
226-12



REVISED  
 10 14 81 GH  
 11 21 80 GH

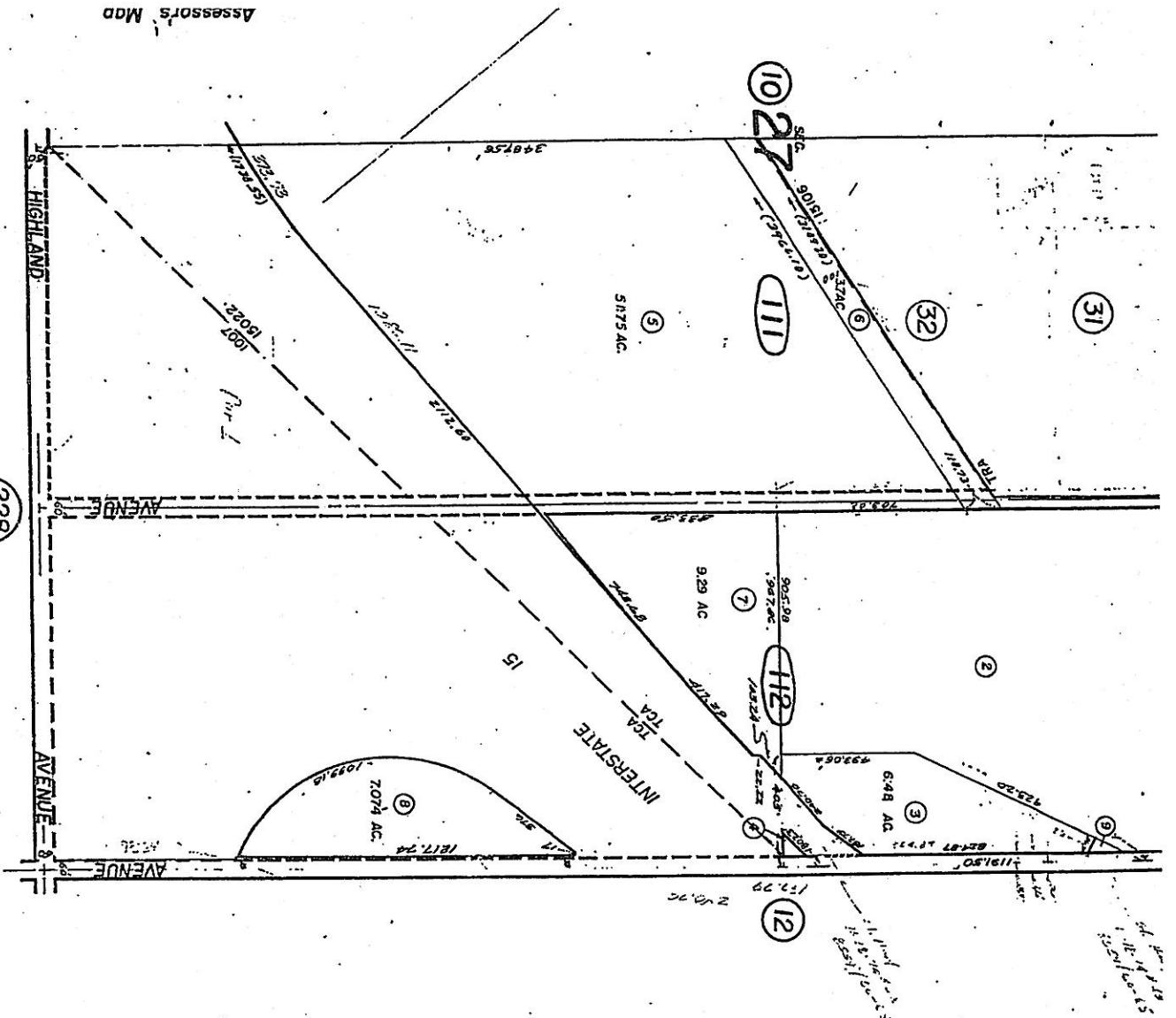
E. 1/2 Sec. 27, T.1N, R.6W, S.B.B. & M.

Fontana City  
 Rancho Cucamonga City  
 Tax Rate Area  
 10007, 15022, 15106



226-11

228  
01



Assessor's Map

REVISED  
 12 8 89 KB  
 7 17 90 KB  
 9 24 90 KB  
 9 12 92 KB

# PLANNING DIVISION

## ENVIRONMENTAL INFORMATION FORM (To be completed by private project applicant to assist staff in completing initial study)

### FOR DEPARTMENTAL USE ONLY

ENV No. N/A Submittal Date: 5/13/94  
Related File(s): \_\_\_\_\_ Received By: L. B. B.  
Receipt No. \_\_\_\_\_ Fees: 100.00

### APPLICANT INFORMATION

1. Property Owner: Intex Properties Inland Emp Phone: (310) 549-5400  
Mailing Address: 4130 Santa Fe Ave. Long Beach CA, 90810
2. Applicant: Victoria Community Church Phone: (909) 899-3560  
Mailing Address: P.O. Box 1546, Rancho Cucamonga, CA 91730
3. Related Permits / Public approvals required for this project, including those required by city, regional, state and federal agencies:  
Conditional Use Permit
4. Existing Zoning District: M-1 General Plan Designation: Commercial
5. Purpose use of site (Project for which this form is filed): Church

### PROJECT DESCRIPTION

Answer each statement ( attach additional sheets as necessary )

6. Site size 5.53 acres
7. Square footage 4100 sq. ft. (24034 total building)
8. Number of floors of construction 1
9. Amount of off-street parking provided 75
10. Proposed scheduling \_\_\_\_\_
11. Associated projects \_\_\_\_\_
12. Anticipated incremental development \_\_\_\_\_
13. If residential, include the number of units, schedule of unit sizes, range of sales prices or rents and types of household size expected \_\_\_\_\_
14. If commercial, indicate one type, whether neighborhood, city or regionally oriented, square footage of sales area and loading facilities \_\_\_\_\_
15. If industrial, indicate type, estimated employment per shift and loading facilities.  
\_\_\_\_\_

16. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities and community benefits to be derived from the project.

Church function, two employees, 150 occupancy, no loading.

Moral and spiritual benefits for the area of the city with no church

17. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required Conditional Use Permit required by

Are the following items applicable to the project or its effects? Discuss all items checked yes ( on additional sheets as necessary ).

YES NO

- ☒ 19. Change in existing features of any bays, tidelands, beaches, lakes hills or substantial alteration of ground contours.
- ☒ 20. Change in scenic views or vistas from existing residential areas or public lands or roads.
- ☒ 21. Change in pattern scale or character of general area of project.
- ☒ 22. Significant amounts of solid waste or litter.
- ☒ 23. Change in dust, ash, smoke, fumes or odors in vicinity.
- ☒ 24. Change in ocean, bay, lake, stream or ground water quality or quantity, or alteration of existing drainage patterns.
- ☒ 25. Substantial change in existing noise or vibration levels in the vicinity.
- ☒ 26. Site on filled land or slope of 10 per cent or more.
- ☒ 27. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.
- ☒ 28. Substantial change in demand of municipal services (police, fire, water, sewage, etc.).
- ☒ 29. Substantial increase in fossil fuel consumption (electricity, oil natural gas, etc.).
- ☒ 30. Relationship to a larger project or series of projects.
- ☒ 31. Has a prior environmental impact report been prepared for a program, plan, policy or ordinance consistent with this project?
- ☒ 32. If you answered yes to question 31, may this project cause significant effects on the environment that were not examined in the prior E.I.R.?

#### ENVIRONMENTAL SETTING

33. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. (Snapshots or instant photos acceptable.)
34. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, set-back, rear yard, etc.). Attach photographs of the vicinity. (Snapshots or instant photos re acceptable.)

CERTIFICATION: I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Date: 08/01/96

Signature: J. L. Webb

For: Victoria Community Church

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site  
zoninc

**PLANNING DIVISION**

**APPLICATION FOR COMBINED  
CONDITIONAL USE PERMIT AND/OR DESIGN REVIEW**

**FOR DEPARTMENTAL USE ONLY**

C.U.P.# 96-0021 D.R.# \_\_\_\_\_ Submittal Date: 5/13/96  
Related File(s): NA Received By: L. Baker  
Receipt # \_\_\_\_\_ Fees: C.U.P. \$80.00 D.R. \_\_\_\_\_

**APPLICANT INFORMATION**

1. Property Owner: Intex Properties I.E. Phone: (310) 549-5400  
Mailing Address: 4130 Santa Fe Ave. Long Beach CA, 90810
2. Applicant: Victoria Community Church Phone: (909) 899-3560  
Mailing Address: P.O. Box 1546, Rancho Cucamonga, CA 91730
3. General Description of Project: Church functions and operations
4. Name of Business: Victoria Community Church
5. Business Address of Project: 6101 Cherry Avenue, Fontana, CA 92336
6. Assessor's Parcel Number(s): 0226 121 04 0000
7. Existing General Plan Designation: RMU Zoning: M-1

**PROPERTY OWNER(S) AFFIDAVIT**

I/We, JEFFREY L. PIERSON FOR UNITEK MANAGEMENT / INTEX PROPERTIES I.E.  
(Please Print Name in Full)

being duly sworn, depose and say that I am/We are the owner(s) of the entire property involved in this application and I/We hereby give permission for the filing of this application.

Signature(s) [Signature] Printed Name(s) JEFFREY L. PIERSON

(Please attach Notary Acknowledgement)

The Property Owners Affidavit MAY NOT be signed by an agent or attorney but MUST be signed by owner or owners of a corporation authorized to sign official documents for the corporation, before a Notary Public in the space provided above.

**APPLICANT'S AFFIDAVIT**

I/We have familiarized myself/ourselves with the requirements of the City Planning Division with respect to preparing and filing this application and that the foregoing statements and answers herein contained are in all respects true and correct to the best of my/our knowledge and belief. I/We understand that this application represents a preliminary submittal and will not be recognized as "Officially Filed" until a "Notice of Official Filing" is issued by the Planning Division.

Applicant's Signature: Todd G. Mathison Date: 05/14/96  
Type/Print Name: Todd G. Mathison for Victoria Community Church



**CALIFORNIA A -PURPOSE ACKNOWLEDGEMENT**

STATE OF CALIFORNIA )

COUNTY OF LOS ANGELES )

On AUG 13, 1996 before me, ROBERT T. HOWE, Notary Public  
DATE NAME, TITLE OF OFFICER - E.G., "JANE DOE, NOTARY PUBLIC"

personally appeared, JEFFREY L. PIERSON  
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/  
capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf  
person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Robert T. Howe  
NOTARY PUBLIC SIGNATURE (SEAL)



**OPTIONAL INFORMATION**

TITLE OR TYPE OF DOCUMENT \_\_\_\_\_

DATE OF DOCUMENT \_\_\_\_\_

SIGNER(S) OTHER THAN NAMED ABOVE \_\_\_\_\_

NUMBER OF PAGES \_\_\_\_\_

CITY OF FONTANA

PLANNING CASE

\* \* \* I N V O I C E \* \* \*

08/13/96

Planning Case: CUP96-0021

Site Address: 6101 CHERRY AVE

Description:  
CUP APPLICATION FOR CHURCH OPERATIONS

Permit Type: CONDITIONAL USE PERMIT

Location: 6101 CHERRY AVENUE

Owner:

INTEX PROPERTIES

Phone: (310) 549-5400

Applicant:

VICTORIA COMMUNITY CHURCH

Phone:

FEE SUMMARY

-----  
MICROFILM-PLANNING  
CEQA EXEMPT  
CONDITIONAL USE PERMIT

52500-4495 (2251)  
52500-4425 (2214)  
52500-4833 (2213)

FEE DUE

-----  
30.00  
100.00  
750.00

TOTAL DUE:

880.00

**PAID**  
THANK YOU  
AUG 13 1996  
FONTANA CITY HALL  
Fontana, CA

**FONTANA PLANNING DIVISION  
ROUTING DISTRIBUTION FORM**

**CITY OF  
CALIFORNIA  
FONTANA**

DATE: 8/22/96

TO: CITY DISTRIBUTION

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> BUILDING & SAFETY  | <input type="checkbox"/> LANDSCAPE DEVELOPMENT        |
| <input type="checkbox"/> COMMUNITY SERVICES            | <input type="checkbox"/> PLANNING/TRANSPORTATION      |
| <input checked="" type="checkbox"/> ENG./LAND DEVELOP. | <input checked="" type="checkbox"/> POLICE DEPARTMENT |
| <input type="checkbox"/> ENG./TRAFFIC OPERAT.          | <input type="checkbox"/> PUBLIC WORKS/ENVIRONMENTAL   |
| <input type="checkbox"/> HOUSING                       | <input type="checkbox"/> REDEVELOPMENT AGENCY         |

**OTHER**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> CAL TRANS. (DIST. 8)          | <input type="checkbox"/> FONTANA UNIFIED SCHOOL DISTRICT | <input type="checkbox"/> SO. CAL EDISON      |
| <input type="checkbox"/> CHINO MUNI WATER DIST         | <input type="checkbox"/> OTHER SCHOOL DIST. _____        | <input type="checkbox"/> SO. CAL GAS         |
| <input checked="" type="checkbox"/> COUNTY FIRE AGENCY | <input type="checkbox"/> G.T.E. OR PACIFIC BELL          | <input type="checkbox"/> U.S. POSTAL SERVICE |
|  |  | <input type="checkbox"/> OTHER: _____        |

FROM: **PLANNING DIVISION**

THE ATTACHED MATERIAL IS FURNISHED FOR YOUR REVIEW AND COMMENTS.

PROJECT: CUP # 96-21 LOCATION: 6101 Cherry  
APPLICANT: Victoria Com. Church Fontana  
ADDRESS: P.O. Box 1546 CASE PLANNER: Cindy Osley  
Rancho Cucamonga PHONE NO: 350-6711

\*\*\*\*\*  
THIS MATTER IS TENTATIVELY SCHEDULED FOR:

month day year  
DESIGN ADVISORY BOARD MEETING: 8-29-96  
PLANNING COMMISSION MEETING: 9-9-96

PLEASE PROVIDE YOUR COMMENTS/CONDITIONS TO THIS OFFICE BY: 8-28-96

COMMENTS OR CONDITIONS RECEIVED AFTER THE ABOVE DATE MAY NOT BE A PART OF THE CASE CONSIDERATION OR RECORD.

PROJECT DESCRIPTION: Establishment of a Church operation  
and functions. Services will be on Sundays only  
at 9 and 11 A.M.

- ☒ NO COMMENT OR CONDITIONS. Edgar A. Casarola 8/29/96  
Signature Date  
☐ CONDITIONS/COMMENTS ATTACHED: (Attach dated and signed copy and return)

Signature

Date

CITY OF FONTANA • 8353 SIERRA AVE. • FONTANA, CALIFORNIA 92335

**FONTANA PLANNING DIVISION**  
**ROUTING DISTRIBUTION FORM**

**CITY OF**  
CALIFORNIA  
**FONTANA**

DATE: 8/22/96

TO: CITY DISTRIBUTION

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> BUILDING & SAFETY  | <input type="checkbox"/> LANDSCAPE DEVELOPMENT        |
| <input type="checkbox"/> COMMUNITY SERVICES            | <input type="checkbox"/> PLANNING/TRANSPORTATION      |
| <input checked="" type="checkbox"/> ENG./LAND DEVELOP. | <input checked="" type="checkbox"/> POLICE DEPARTMENT |
| <input type="checkbox"/> ENG./TRAFFIC OPERAT.          | <input type="checkbox"/> PUBLIC WORKS/ENVIRONMENTAL   |
| <input type="checkbox"/> HOUSING                       | <input type="checkbox"/> REDEVELOPMENT AGENCY         |

**OTHER**

- |  |  |  |
|--|--|--|
| <input type="checkbox"/> CAL TRANS. (DIST. 8)          | <input type="checkbox"/> FONTANA UNIFIED SCHOOL DISTRICT | <input type="checkbox"/> SO. CAL EDISON      |
| <input type="checkbox"/> CHINO MUNI WATER DIST         | <input type="checkbox"/> OTHER SCHOOL DIST.              | <input type="checkbox"/> SO. CAL GAS         |
| <input checked="" type="checkbox"/> COUNTY FIRE AGENCY | <input type="checkbox"/> G.T.E. OR PACIFIC BELL          | <input type="checkbox"/> U.S. POSTAL SERVICE |
|  |  | <input type="checkbox"/> OTHER: _____        |

FROM: PLANNING DIVISION

THE ATTACHED MATERIAL IS FURNISHED FOR YOUR REVIEW AND COMMENTS.

PROJECT: CUP # 96-21  
APPLICANT: Victoria Com. Church  
ADDRESS: P.O. Box 1546  
Rancho Cucamonga

LOCATION: 6101 Cherry  
Fontana  
CASE PLANNER: Cindy Dusley  
PHONE NO: 350-6711

\*\*\*\*\*  
THIS MATTER IS TENTATIVELY SCHEDULED FOR:

month day year  
DESIGN ADVISORY BOARD MEETING: 8-29-96  
PLANNING COMMISSION MEETING: 9-9-96

PLEASE PROVIDE YOUR COMMENTS/CONDITIONS TO THIS OFFICE BY: 8-28-96

COMMENTS OR CONDITIONS RECEIVED AFTER THE ABOVE DATE MAY NOT BE A PART OF THE CASE CONSIDERATION OR RECORD.

PROJECT DESCRIPTION: Establishment of a Church operation  
and functions. Services will be on Sundays only  
at 9 and 11 A.M.

☐ NO COMMENT OR CONDITIONS.

Signature \_\_\_\_\_

Date \_\_\_\_\_

☒ CONDITIONS/COMMENTS ATTACHED: (Attach dated and signed copy and return)

Signature [Signature]

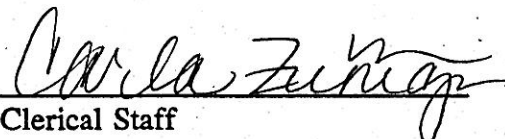
Date 8-28-96

CITY OF FONTANA • 8353 SIERRA AVE. • FONTANA, CALIFORNIA 92335

Date: 08-27-94

This is to certify that on this date 08-27-94, Legal Notice of Hearing was submitted to the Herald News for publication on (project) EC 910-03.

Notices of Hearing was mailed out to the residents regarding this project on 08-27-94.

  
Clerical Staff  
Planning Division

PLEASE NOTE: To be placed in Project File.

**DEVELOPMENT ADVISORY BOARD COMMENTS**  
**\* \* \* BUILDING & SAFETY \* \* \***

Planning Case File No(s): CUP #96-12

Case Planner: CINDY OUSLEY

Applicant: VICTORIA COMMUNITY CHURCH

Location: 6101 CHERRY AVE

Project: ESTABLISHMENT OF A CHURCH OPERATION AND FUNCTIONS. (SERVICES  
WILL BE ON SUNDAYS AT 9:00 am & 11:00 am ONLY.)

A P N ( s ) :

Reviewed By: ANDY SHIPPER

Date: AUGUST 28, 1996

Following Standard Building & Safety Conditions of Approval  
Are Applicable to This Project:

B1(A,B,C,D,E,F,G)

Specific Conditions:

NONE

Specific Comments:

The plan provided is not complete enough to provide specific comments about the proposed use of the existing building. Depending upon the actual floor area of the proposed uses, modifications to the existing building may be required. The modifications may be severe (seismic retrofitting, automatic fire sprinklers, converting existing structure to 1-HR fire-resistive construction, etc.) or minor.

(NOTE: Applicable Standard Conditions of Approval Are Attached)



[FORM REVISED 08-28-96]

**STANDARD DESIGN REVIEW CONDITIONS OF APPROVAL**

**\*\*\* BUILDING & SAFETY \*\*\***

B1) Shall comply with the latest adopted edition of the following codes:

- A. Uniform Building Code and its appendices and standards.
- B. Uniform Plumbing Code and its appendices and standards.
- C. Uniform Mechanical Code and its appendices and standards.
- D. Uniform Building Security Code.
- E. National Electrical Code.
- F. Title 24, California Code of Regulations.
- G. Uniform Fire Code and its appendices and standards.

**FONTANA HERALD NEWS  
HERALD NEWS PUBLISHING, INC.**

16920 SPRING STREET  
FONTANA, CALIFORNIA 92335  
(909)822-2231 FAX (909)355-9358

**INVOICE**

AFF12245

TO:

City of Fontana  
8353 Sierra Ave  
Fontana, CA 92335

SALESPERSON

DATE OF INVOICE

08/28/1996

SHIP TO

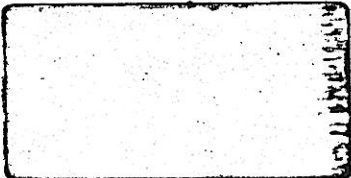
City of Fontana  
8353 Sierra Ave  
Fontana, CA 92335

| ACCOUNT NO. | DATE SHIPPED  | SHIPPED VIA | COL. P.P. | F.O.B. POINT | TERMS | YOUR ORDER NUMBER |        |
|-------------|---|-------------|-----------|--------------|-------|-------------------|--------|
| 1200/3200   | 08/28/96  |             |           |              |       |                   |        |
| QUANTITY    | DESCRIPTION   |             |           |              |       | UNIT PRICE        | AMOUNT |
|             | Notice of Hearing P096-25437<br>Conditional Use Permit 92-21<br>Pub Aug 29, 1996 92-21<br><br>SEP 30 '96 AM8:43<br><br>VENDOR # _____<br>P.O. / O.R. # <u>97-50006</u><br>PARTIAL _____ COMPLETE _____<br>AMT. \$ <u>101.85</u><br>ACCT. # <u>52500-7303</u><br>APPROVAL: <u>Charles J. [Signature] 9/30/96</u><br>REVIEW _____ |             |           |              |       |                   | 101.85 |
|             |   |             |           |              |       | TOTAL             | 101.85 |

☐ ORIGINAL  
☒ COPY/DUPLICATE  
 SEP 10 1996  
 ACCOUNTS PAYABLE  
 B. STRONG

*Thank You*

PLEASE REMIT PAYMENT UPON RECEIPT OF INVOICE



This space is for the  
County Clerk's stamp

## PROOF OF PUBLICATION (2015.5 C.C.P.)

State of California  
County of San Bernardino

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen years, and not a party to or interested in the above entitled matter. I am the principal clerk of the printer of the Fontana Herald News, a newspaper of general circulation, printed and published every Thursday in the City of Fontana, County of San Bernardino, and which newspaper has been adjudged a newspaper of general circulation by the Superior Court of the State of California, in and for the County of San Bernardino, under the date of March 15, 1955, Case Number 73171, and that the notice, of which the annexed is a printed copy (set in type not small than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, To-wit: August 29, 1996.

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Fontana, California, this 29th day of August, 1996.

  
Signature

### City of Fontana Notice of Hearing Conditional Use Permit 92-21

CITY OF FONTANA  
FONTANA, CALIFORNIA

#### NOTICE OF HEARING

NOTICE IS HEREBY GIVEN BY THE CITY PLANNING COMMISSION OF THE CITY OF FONTANA THAT A PUBLIC HEARING WILL BE HELD TO CONSIDER CONDITIONAL USE PERMIT # 96-21 AND ENVIRONMENTAL DETERMINATION AND ZONE CHANGE NO. 96-03.

IF YOU CHALLENGE N COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY AT OR PRIOR TO THE PUBLIC HEARING.

**Nature of Program:** Conditional Use Permit (CUP) for the establishment of a church operation and functions. The zone change would rezone a piece of property from Planned Industrial (M-1) to General Commercial (C-3) which is consistent with the General Plan.

#### Environmental

**Determination:** The Environmental Officer has reviewed the project and made the following environmental determination and recommendation: This project has been determined not to have a significant effect on the environment.

and is exempt under Section 3.07 and Section 3.13, Class 1, of the "Local Guidelines for Implementing the California Environmental Quality Act (1994)".

**Location of Property:** 6101 Cherry Avenue, Fontana.

**Date of Hearing:** September 9, 1996

**Place of Hearing:** City Hall Council Chamber 8353 Sierra Avenue Fontana, CA, 92335.

**Time of Hearing:** 6:00 P.M.

ANY INTERESTED PARTY MAY APPEAR AND PRESENT ANY INFORMATION WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION IN THE PLANNING DIVISION AT CITY HALL. IF YOU HAVE ANY QUESTIONS CONCERNING THIS PROJECT, PLEASE CONTACT THE PROJECT PLANNER CINDY OUSLEY AT (909) 350-6711.

PLANNING COMMISSION/  
CITY OF FONTANA,  
CALIFORNIA  
Publish: Aug. 29, 1996

**FONTANA HERALD NEWS**

16920 Spring Street  
P.O. Box 549

Fontana, California 92334

Phone (909) 822-2231

Fax (909) 355-9358



AGENDA

REGULAR MEETING  
FONTANA CITY PLANNING COMMISSION

September 9, 1996

CITY COUNCIL CHAMBERS  
FONTANA CITY HALL, 8353 SIERRA AVENUE

---

A. ORGANIZATION

1. CALL TO ORDER: 6:00 P.M. 6:07
  2. PLEDGE OF ALLEGIANCE:
  3. INVOCATION:
  4. ROLL CALL: Chairperson Cothran, Commissioners  
Bachand, Guzman, Peoples and Rankin
  5. APPROVAL OF MINUTES: August 12, 1996 (re-submitted) *Approved*  
August 19, 1996 *approved*
  6. NOTICE OF ADJOURNMENT POLICY: In accordance with the  
Rules and Regulations of the Planning Commission, the  
meeting is scheduled to adjourn at 10:00 p.m.
- Any item that is not heard at the given meeting will be  
automatically continued to the next regular or special  
meeting as appropriate.

B. PUBLIC FORUM

This opportunity is provided for persons in the audience to make  
a brief statement on issues or concerns not covered by the  
agenda.

Anyone wishing to speak to the Planning Commission on items that  
are not listed on the agenda must fill out a card, which can be  
found at the end of either podium, and hand it to the Secretary.  
You will be called to speak under "PUBLIC FORUM".

Under the provisions of the California Government Code, the  
Planning Commission is prohibited by law from discussing or  
taking immediate action on oral requests. Commission Rules and  
Regulations limit individual's comments to no more than five (5)  
minutes in length.

C. **CONSENT CALENDAR: None**

NOTICE TO PUBLIC: All matters listed under CONSENT CALENDAR are considered by staff to be non-controversial and will be enacted by one motion in the form listed below. There will be no separate discussion on these items prior to the time the Planning Commission votes on them unless a member of the Planning Commission, staff or public requests that a specific item be discussed or removed from the Consent Calendar for separate action.

D. **AGENDA INFORMATION:**

1. Upcoming Cases Scheduled for City Council: An update of future City Council Agenda items for their September 17th, and October 1st, 1996 meetings for Planning Commission's information.  
Project Planner: Charles LaClaire

E. **PUBLIC HEARINGS:**

- 1) Conditional Use Permit #96-16/Variance #96-02 (Continued from 8-26-96): Filed by Finchey Fontana, Inc. (Former applicant was Young Electric Sign Company) to request 1) expanding an existing auto dealership to include used car sales and future vehicle storage upon the site, and to develop the southwest corner of Sierra Avenue and Holly Drive with office and vehicle display; and 2) requesting reduction in required street front yard setback along Sierra Avenue, street side yard setback along Holly Drive, and rear yard structural setback along the west property line and landscape coverage. Located at 9540 Sierra Avenue; multiple parcels on the west side of Sierra Avenue between Holly Drive and San Bernardino Avenue. Staff recommends that the Planning Commission move to find that this project is exempt from further CEQA review under Section 3.13, Class 3 of the Local CEQA Guidelines, grant Variance #96-02 to reduce the required street setback for parking along Sierra Avenue to 15 feet and along Holly Drive to 10 feet, and approve Conditional Use Permit #96-16, and direct staff to file the Notice of Exemption.

Project Planner: Charles K. LaClaire *Landscape Setbacks*

*8' Sierra - 6' Holly near - 10' setback*

*CVP - add CofA - no overhanging of vehicles into front 1/5 setbacks.*

*1/5 Coverage - 10%*



2. Conditional Use Permit #96-21 and Zone Change #96-03: Filed by Victoria Community Church to request Conditional Use Permit (CUP) for the establishment of a church operation and functions and a zone change for the rezoning of a piece of property from Planned Industrial (M-1) to General Commercial (C-3) which is consistent with the General Plan. Located at 6101 Cherry Avenue. Staff recommends that the Planning Commission move to approve Resolution No. 96-\_\_\_, recommending that the City Council find that the project is exempt from further CEQA review under Section 3.07 and approve Zone Change No. 96-03, also staff recommends the Planning Commission move to find that the project is exempt from further CEQA review under Section 3.13, Class 1, approve the Conditional Use Permit #96-21, subject to the attached Findings and Conditions of Approval, and direct staff to file a Notice of Exemption.  
Project Planner: Cindy Ousley
3. General Plan Amendment #96-03, Circulation Master Plan (Continued from 8-26-96): Filed by Lockwood Engineering & Surveying Company to request a revision to the Circulation Element. Located on Sierra Avenue between Interstate 15 and Lytle Creek Road. Staff recommends that the Planning Commission approve PC Resolution No. 96-\_\_\_, forwarding a recommendation to the City Council to adopt a Negative Declaration of Environmental Impact and the State of California Department of Fish and Game de Minimis Impact Finding and approve General Plan Amendment No. 96-03.  
Project Planner: Dean L. Libbee
4. Design Review #96-14: Filed by Fiesta Development Sellers/Partners, L.P. to request approval of architectural elevations of 130 single-family residences within approved Tract Nos. 13893 and 14682. Staff recommends that the Planning Commission determine that the project is categorically exempt from further environmental review as per Section 5.10 of the local CEQA Guidelines, approve Design Review #96-14 subject to the attached Exhibit "N-1" Findings and Conditions of Approval, and direct staff to file a Notice of Exemption.  
Project Planner: Mike Norton

F. OTHER COMMISSION BUSINESS:

1. City Wide Architectural/Development Theme (Continued from 8-12-96): Staff recommends that the Planning Commission initiate a discussion of an Architectural/Development Theme for the City.  
Project Planner: Charles K. LaClaire

G. STAFF REPORT/APPEALS: None

H. PLANNING MANAGER REPORT:

1. Fiscal Impacts of Warehousing on the City of Fontana: Staff recommends that the Planning Commission accept and file this report, or give staff further direction on additional issues to be addressed.  
Project Planner: Charles K. LaClaire
2. Lucky Store Conditions of Approval: Staff requests clarification as to whether the Commission accepted the applicant's comment as a request to change the noted hours of operation.  
Project Planner: Charles K. LaClaire
3. Commission Interpret Permitted Uses - Southridge Village: staff recommends that the Planning Commission accept Christmas Tree Farms as a permitted use within open space areas.  
Project Planner: Charles K. LaClaire

I. COMMISSION REMARKS:

J. ADJOURNMENT:

NOTICE OF HEARING

CITY OF FONTANA  
Fontana, California

NOTICE IS HEREBY GIVEN BY THE PLANNING COMMISSION OF THE CITY OF FONTANA THAT A PUBLIC HEARING WILL BE HELD TO CONSIDER CONDITIONAL USE PERMIT #96-21 AND ENVIRONMENTAL DETERMINATION AND ZONE CHANGE NO. 96-03.

IF YOU CHALLENGE IN COURT ANY ACTION TAKEN CONCERNING A PUBLIC HEARING ITEM, YOU MAY BE LIMITED TO RAISING ONLY THOSE ISSUES YOU OR SOMEONE ELSE RAISED AT THE PUBLIC HEARING DESCRIBED IN THIS NOTICE, OR IN WRITTEN CORRESPONDENCE DELIVERED TO THE CITY AT, OR PRIOR TO, THE PUBLIC HEARING.

**Nature of Program:**

A Conditional Use Permit (CUP) for the establishment of a church operation and functions. The zone change would rezone a piece of property from Planned Industrial (M-1) to General Commercial (C-3) which is consistent with the General Plan.

**Environmental Determination:**

The Environmental Officer has reviewed the project and made the following environmental determination and recommendation: This project has been determined not to have a significant effect on the environment and is exempt under Section 3.07 and Section 3.13, Class 1, of the Local Guidelines for Implementing the California Environmental Quality Act (1994).

**Location of Property:**

6101 Cherry Avenue, Fontana

**Date of Hearing:**

September 9, 1996

**Place of Hearing:**

City Hall Council Chamber  
8353 Sierra Avenue  
Fontana, CA 92335

**Time of Hearing:**

6:00 P.M.

ANY INTERESTED PARTY MAY APPEAR AND PRESENT ANY INFORMATION WHICH MAY BE OF ASSISTANCE TO THE PLANNING COMMISSION. A COPY OF THE APPLICATION AND ENVIRONMENTAL DOCUMENTATION IS AVAILABLE FOR INSPECTION IN THE PLANNING DIVISION, CITY HALL. IF YOU HAVE ANY QUESTIONS CONCERNING THIS PROJECT PLEASE CONTACT THE PROJECT PLANNER, CINDY OUSLEY, AT (909) 350-6711.

PLANNING COMMISSION  
City of Fontana, California

Publish: August 29, 1996  
P. O. #96-25437 *CML*



# Report to the Planning Commission

**APPLICATION:** Conditional Use Permit #96-21 and Zone Change No. 96-03      **PLACEMENT:** Public Hearing

**DATE:** September 9, 1996

**APPLICANT:** Victoria Community Church  
P. O. Box 1546  
Rancho Cucamonga, CA 91730

**LOCATION:** 6101 Cherry Avenue

**REQUEST:** Conditional Use Permit (CUP) for the establishment of a church operation and functions and a zone change for the rezoning of a piece of property from Planned Industrial (M-1) to General Commercial (C-3) which is consistent with the General Plan.

**PROJECT PLANNER:** Cindy Ousley, Acting Assistant Planner

## **I. BACKGROUND INFORMATION:**

### **A. Existing Land Use and Designation:**

| <u>Property</u> | <u>General Plan</u> | <u>Zoning/Specific Plan</u> | <u>Existing Land Use</u> |
|-----------------|---------------------|-----------------------------|--------------------------|
| Site:           | RMU                 | M-1                         | Office                   |
| North:          | N/A                 | N/A                         | Interstate 15            |
| South:          | RMU                 | M-1                         | Vacant                   |
| East:           | RMU                 | M-1                         | Vacant                   |
| West:           | N/A                 | N/A                         | Interstate 15            |

### **B. Environmental Review Finding:**

- ☒ Exempt Under Local CEQA Guideline Section 3.07 and Section 3.13, Class 1
- ☐ Mitigated Negative Declaration
- ☐ Negative Declaration
- ☐ Environmental Impact Report Required

- C. Previous Approvals/Special Circumstances: On December 5, 1995, the City Council adopted Ordinance No. 1172 rezoning the property to M-1.

II. PROJECT DESCRIPTION:

- A. Net Site Area: 5.53 acres
- B. Parcel/Lot Analysis:
- One (1) parcel: 5.53 acres
- C. Building/Unit Analysis:
- Existing Office Complex: 24,034 square feet  
Portion of Building to be used:  
    Church: 4,100 square feet  
    Assembly Area: 2,172 square feet  
    Office Space: 1,928 square feet
- D. Building Height: 20 ft. Approximately
- E. Parking Analysis:
- Parking-Required: 80 spaces  
Parking-Proposed: 80 spaces (shared parking)
- F. Setback Analysis:
- Front Building Setback-Required: 20 feet  
Front Building Setback-Existing: 410 feet  
Front Parking Setback-Required: 20 feet  
Front Parking Setback-Existing: 330 feet  
Rear Setback-Required: 0 feet  
Rear Setback-Existing: 6 feet  
Interior Side Setback-Required: 0 feet  
Interior Side Setback-Existing: 10 feet
- G. Landscaping:
- Landscaped Area Existing: 94,575 square feet (39% of lot)  
Landscaped Area Proposed: 94,575 square feet

### **III. ANALYSIS:**

#### **A. APPLICANT'S REQUEST:**

The applicant is requesting approval of this Conditional Use Permit (CUP) for the purpose of establishing a church operation and functions. Also being requested is a zone change for this piece of property from Planned Industrial (M-1) to General Commercial (C-3).

#### **B. STAFF ANALYSIS:**

**Conditional Use Permit:** Victoria Community Church currently occupies a smaller unit of the existing office building. If this CUP is approved the church will be moving to a larger unit within the same building. The Church's hours for assembly will be Saturday evenings and Sunday mornings. The normal hours of operation for the offices within the complex are Monday through Friday resulting in no overlapping of uses within the complex. The property will remain in its present condition with no physical changes.

The existing 80 parking stalls for the office complex complies with the City's parking requirement. Section 30-318 of the Code gives the Planning Commission the authority to grant the joint use of parking facilities for two or more uses. The joint use is based upon: (1) the hours of parking demand for the uses do not overlap; and (2) the parking facility provides a total number of spaces sufficient to meeting the peak parking demand of any combination of simultaneous uses. If in the future the applicant chooses to expand the days of service at this site an additional 72 parking stalls will be required ( $30 \text{ sq. ft. divided by } 2,172 \text{ sq. ft.} = 72$ ) to meet the new peak demand. This amount of additional parking stalls is calculated per sq. ft. because the applicant is not proposing fixed seating for the assembly area. The applicant is estimating 152 occupants attending each service. Staff is including a condition requiring the applicant to restrict services to the Saturday and Sunday hours requested.

**Zone Change:** The property is designated Regional Mixed Use (RMU) on the General Plan Land Use Policy Map. The RMU General Plan designation allows commercial and industrial land uses. Both the C-3 and M-1 zoning districts are consistent with the RMU General Plan designation. As part of Zone Change No. 95-05, the property was zoned M-1 as an interim zoning district until the Westgate Specific Plan was adopted by the City.

The Development Code does not allow churches on properties designated M-1. Additionally, other types of commercial uses are either not allowed within the M-1 zoning district or have more restrictive development requirements. Examples would be a barber shop/beauty parlor which is not permitted in the M-1 zoning district or medical offices which are only allowed in the M-1 zoning district with a conditional use permit.



**IV. RECOMMENDATION:**

The C-3 zoning district would appear to be more consistent with the existing office building than would an M-1 designation. Since the C-3 zoning is also consistent with the RMU General Plan designation, staff supports the proposed zone change.

Staff recommends the Planning Commission move to "approve Resolution No. 96-\_\_\_, recommending that the City Council "find that the project is exempt from further CEQA review under Section 3.07" and approve Zone Change No. 96-03.

Also, staff recommends the Planning Commission move to "find that the project is exempt from further CEQA review under Section 3.13, Class 1, approve the Conditional Use Permit #96-21, subject to the attached Findings and Conditions of Approval, and direct staff to file a Notice of Exemption."

Project Planner:

Cindy Ousley  
Cindy Ousley  
Acting Assistant Planner

Reviewed by:

Charles K. LaClaire  
Charles K. LaClaire  
Deputy Planning Manager

**Attachments:**

1. Proposed PC Resolution No. 96-\_\_\_
2. Proposed Ordinance No. \_\_\_
3. Vicinity Map
4. Plot Plan
5. Findings for Conditional Use Permit
6. Conditions of Approval
7. Notice of Exemption

**PC RESOLUTION NO. 96-**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA FORWARDING A RECOMMENDATION TO THE CITY COUNCIL TO DIRECT STAFF TO FILE A NOTICE OF EXEMPTION AND APPROVE ZONE CHANGE NO. 96-03.**

**WHEREAS, the Planning Commission has conducted all required public hearings and considered all public testimony, documents, plans, maps, drawings, reports, and information presented at the public hearings; and**

**WHEREAS, Zone Change No. 96-03 incorporates all needed information heretofore referenced for adoption as completed documents; and**

**NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Fontana, California, finds the proposed changes in Zone Change No. 96-03 are consistent with the goals and policies of the General Plan and recommends the following to the City Council:**

**Section 1. Direct staff to file a Notice of Exemption, pursuant to Section 3.07 of the Local Guidelines for Implementing the California Environmental Quality Act (1994); and**

**Section 2. Approval of Zone Change No. 96-03, attached as a City Council ordinance and incorporated by reference herein.**

**APPROVED AND ADOPTED this 9th day of September, 1996.**

\_\_\_\_\_  
**Chairman, Philip Cothran**

**ATTEST:**

**I, Pierre Rankin, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 9th day of September, 1996, by the following vote, to-wit:**

**AYES:**

**NOES:**

**ABSENT:**

\_\_\_\_\_  
**Secretary, Pierre Rankin**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY  
OF FONTANA, APPROVING ZONE CHANGE NO. 96-03  
AND AMENDING THE CITY OF FONTANA LAND USE AND  
ZONING MAP.**

**THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS FOLLOWS:**

**Section 1.** After publication of notices as required by law, the Planning Commission and City Council of the City of Fontana conducted public hearings on Zone Change No. 96-03 and received testimony and information from any and all parties; and

**Section 2.** Zone Change No. 96-03 is categorically exempt pursuant to Section 3.07 of the Local Guidelines for Implementing the California Environmental Quality Act (1994); and

**Section 3.** Revise the City of Fontana Land Use and Zoning Map for assessor parcel number 0226-121-04 (6149 Cherry Avenue) from Planned Industrial (M-1) to General Commercial (C-3); and

**Section 4.** The City of Fontana Land Use and Zoning Map is hereby amended and attached as Exhibit "A" and incorporated by reference herein; and

**Section 5.** Zone Change No. 96-03 is consistent with the goals and policies of the General Plan; and

**Section 6.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from the passage thereof, shall be published by the City Clerk at least once in the Herald News, a local newspaper of general circulation, published and circulated in the City of Fontana, and henceforth and thereafter the same shall be in full force and effect.

**APPROVED AND ADOPTED** this 1st day of October, 1996

**APPROVED AS TO LEGAL FORM:**

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City Attorney

I, Kathy Montoya, City Clerk of the City of Fontana, California, and Ex-Officio Clerk of the City Council do hereby certify that the foregoing Ordinance is the actual Ordinance adopted by the City Council and was introduced at a regular meeting of said City Council on the 1st day of October, 1996, and was finally passed and adopted not less than five (5) days thereafter on the 1st day of October, 1996, by the following to-wit:

Ordinance No. \_\_\_\_\_

**AYES:**

**NOES:**

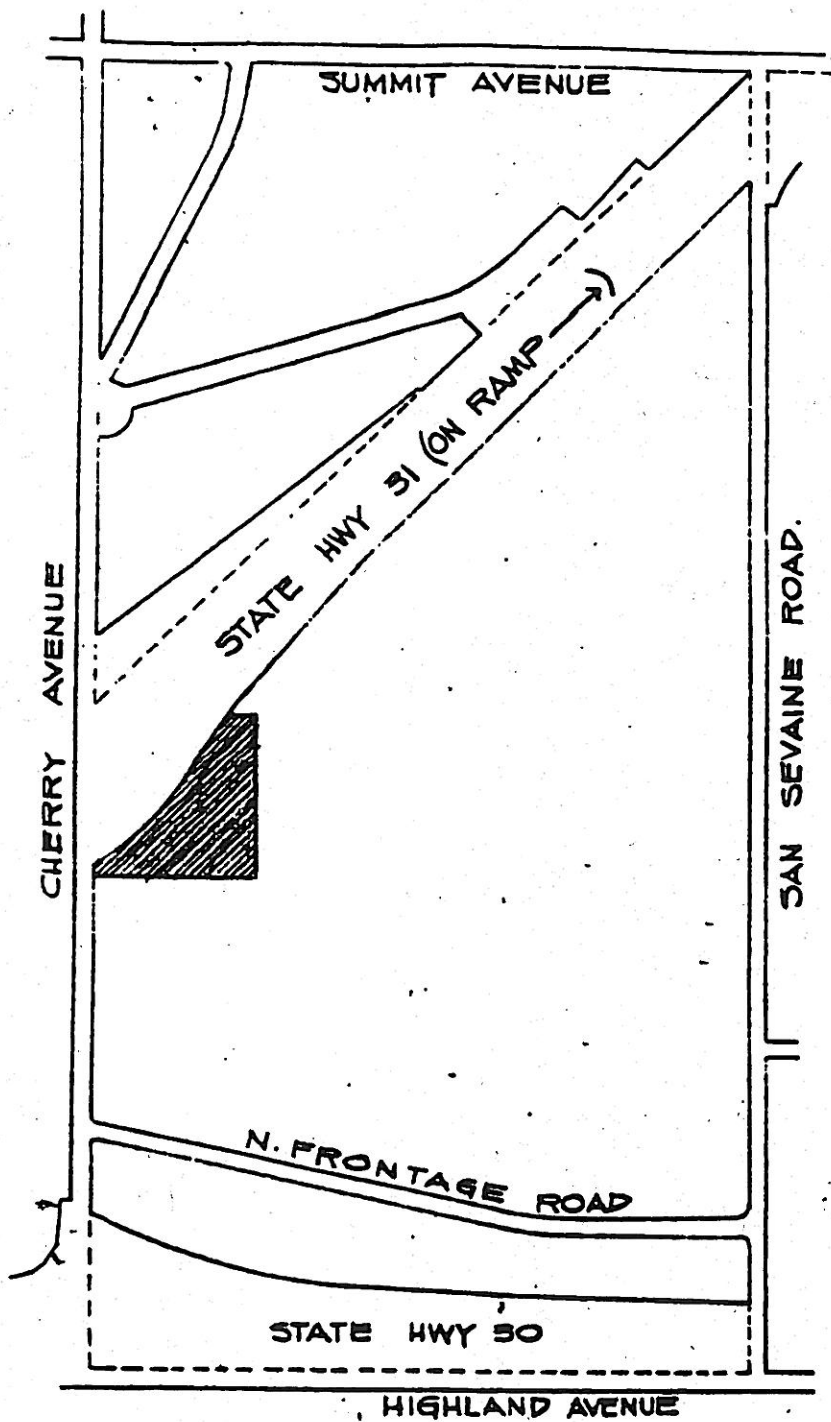
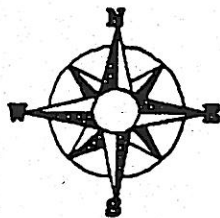
**ABSENT:**

\_\_\_\_\_  
**City Clerk of the City of Fontana**

\_\_\_\_\_  
**Mayor of the City of Fontana**

**ATTEST:**

\_\_\_\_\_  
**City Clerk**

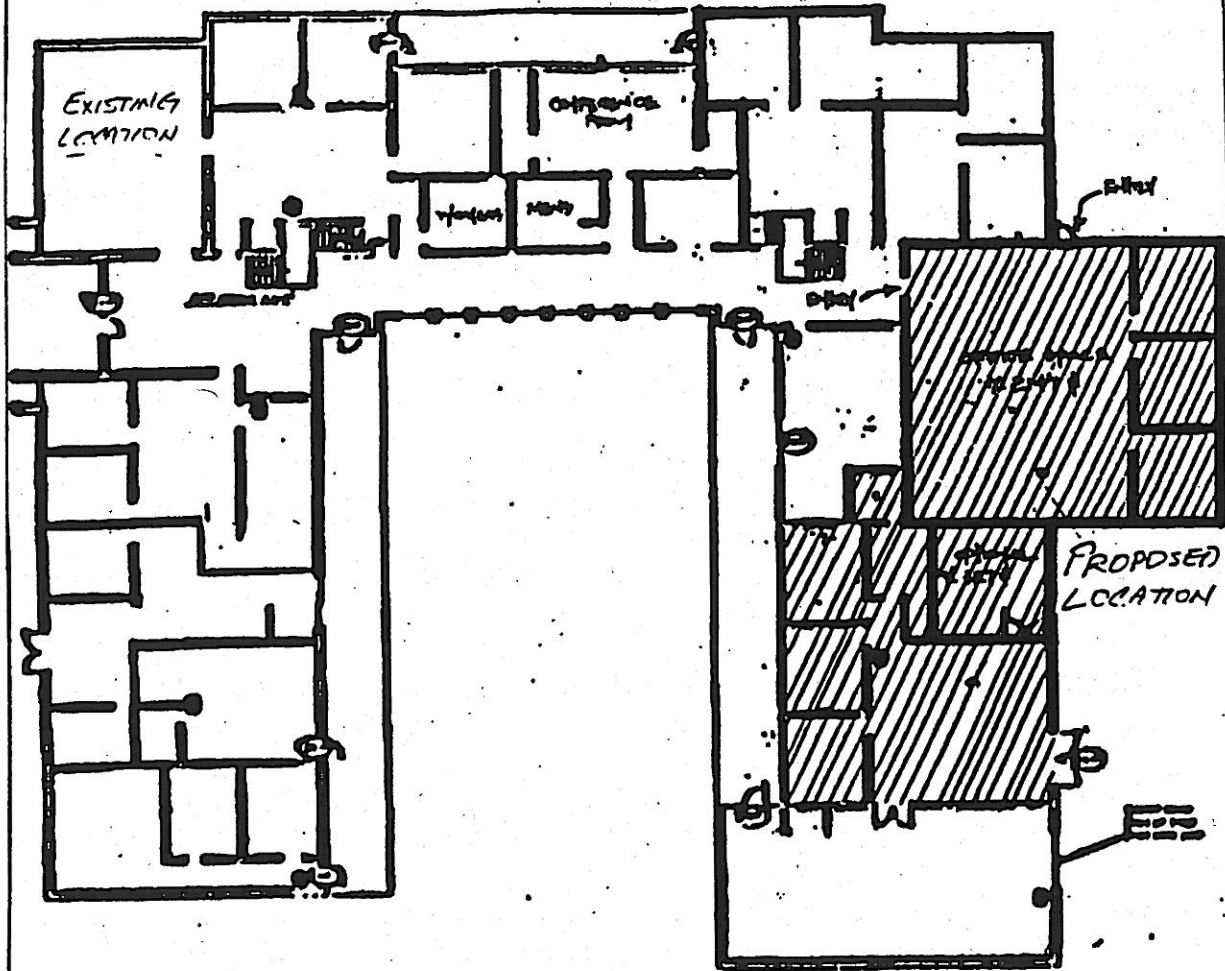


## VICINITY MAP

DATE: September 9, 1996

CASE: CUP #96-21

CITY OF FONTANA PLANNING DIVISION



PLOT PLAN

DATE: September 9, 1996

CASE: CUP #96-21



## FINDINGS FOR CONDITIONAL USE PERMIT

CASE: Conditional Use Permit #96-21

DATE: September 9, 1996

1. That the proposed use is consistent with the General Plan and the applicable land use zone.

If Zone Change No. 96-03, from Planned Industrial (M-1) to General Commercial (C-3), is approved by the Planning Commission and the City Council the proposed use will be consistent with the General Plan, Land Use Element.

2. That the site for the intended use is adequate in size, shape, topography, accessibility, and other physical characteristics to accommodate the use and all the required provisions of this chapter including yards, setbacks, walls or fences, landscaping and other applicable regulations.

The site is adequate to accommodate the proposed establishment of a church operation.

3. That adequate streets and highways exist to carry the type and quantity of traffic anticipated by the proposed land use [and] that adequate access to utilities and other services exist.

Cherry Avenue is of sufficient size to accommodate the traffic which may be generated from this project.

4. That the proposed use at the specific location will be compatible with surrounding properties and that there will be no adverse effect to surrounding properties of their permitted uses.

The church operation being proposed will be compatible with the surrounding land uses provided Zone Change No. 96-03 is approved by the Commission and City Council.

5. That the proposed use will be organized, designed, constructed, operated and maintained so as to be compatible with the character of the area as intended by the General Plan.

This church operation will be compatible with the character of the area. The use is listed as being permitted in the General Commercial zone.

That any adverse effects upon the surrounding properties are justified by the benefits conferred upon neighborhoods or the community as a whole, and that potential adverse effect to the health, safety and general welfare shall be required to minimize such effects. The following shall be considered when reviewing the effects upon surrounding properties:

- a. Special setbacks and buffers;
- b. Fences and/or walls;

*delete  
involved  
not enforceable  
City Attorney  
recommends*

- c. Lighting or the restriction thereof;
- d. Paving of parking areas;
- e. Regulations of time for certain activities;
- f. Regulation of points of vehicular ingress/egress;
- g. Regulation of noise, vibration, odors, etc.;
- h. Regulation of signs;
- i. Street dedications and improvements;
- j. Streets and/or alleys when practical; and/or
- k. Any other conditions that will assure development of the City in an orderly and efficient manner and in conformity with the intent and purposes set forth in this chapter;
- l. Time limitation for review;
- m. Sunset clause.

The proposed use will not adversely effect the surrounding land uses.

## CONDITIONS OF APPROVAL

**CASE:** CUP #96-21

**DATE:** September 9, 1996

**PROJECT LOCATION:** 6101 Cherry Avenue  
Fontana, CA

### GENERAL CONDITIONS:

1. The rights and privileges granted by Conditional Use Permit #96-21 shall not become effective, nor shall the Applicant commence the use for which this Conditional Use Permit is granted until both of the following have occurred:
  - a. All of the improvements, construction, alterations, and other work set forth in Conditional Use Permit #96-21 have been completed and have been accepted by the City, as evidence by the City's issuance of a Certificate of Completion or other document evidencing the City's final inspection and acceptance of the work; and
  - b. All other Conditions of Approval imposed by this Conditional Use Permit have been fulfilled.

Failure to abide by the foregoing provisions shall be grounds for Code Enforcement actions or modification of this Conditional Use Permit and Design Review in accordance with the provisions of the City's Municipal Code. Applicant acknowledges and agrees that the commencement of the use permitted under this Conditional Use Permit prior to the time that this Conditional Use Permit becomes effective as described above shall constitute a violation of the Fontana Municipal Code and shall subject the Applicant to possible civil and/or criminal liability.

The undersigned applicant has read, acknowledges the content of and agrees to the following Conditions of Approval for Conditional Use Permit #96-21.

---

Signature and Title

---

Date

2. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Community Development Director or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the issuance of a Certificate of Occupancy until corrections are approved in writing by all appropriate staff.

**PRELIMINARY EXEMPTION ASSESSMENT**

(Certificate of Determination  
When Attached to Notice of Exemption)

1. Name or description of project: Conditional Use Permit #96-21 for the establishment of a church operation and functions in existing buildings.
2. Location: 6101 Cherry Avenue, Fontana, CA 92335
3. Entity or person undertaking project:

\_\_\_\_\_ A. \_\_\_\_\_

XX B. Other (Private)

- (1) Name: Victoria Community Center
- (2) Address: 6101 Cherry Avenue, Fontana, CA 92335

4. Staff Determination:

The City's staff, having undertaken and completed a preliminary review of this project in accordance with the City's Local Guidelines for Implementing the California Environmental Quality Act (CEQA) has concluded that this project does not require further environmental assessment because:

- a. \_\_\_\_\_ The proposed action does not constitute a project under CEQA.
- b. \_\_\_\_\_ The project is a Ministerial Project.
- c. \_\_\_\_\_ The project is an Emergency Project.
- d. \_\_\_\_\_ The project constitutes a feasibility or planning study.
- e. X The project is categorically exempt.  
Applicable Exemption: Class: 1: (Existing Facilities)
- f. \_\_\_\_\_ The project is statutorily exempt.  
Applicable Exemption:
- g. \_\_\_\_\_ The project is otherwise exempt on the following basis:
- h. \_\_\_\_\_ The project involves another public agency which constitutes the Lead Agency. Name of Lead Agency:

Date: September 9, 1996

\_\_\_\_\_  
Charles K. LaClaire  
Deputy Planning Manager

3. The following Conditions of Approval shall be incorporated into all applicable final grading and construction plans and a copy of these conditions shall be placed on the first sheet of the final grading and building plans prior to issuance of any building permits.

**PLANNING DIVISION** (See Also "GENERAL CONDITIONS"):

4. The applicant shall restrict church operation and assembly to Saturday and Sunday only.
5. This Conditional Use Permit shall be contingent upon the Planning Commission's and City Council's approval of Zone Change No. 96-03.
6. Approval of the Conditional Use Permit shall be valid for a period of three (3) years, unless, upon application, the conditional use permit is extended by order of the Planning Commission upon finding that the use has been operated in compliance with all conditions of approval and codes, and is not a nuisance to neighboring properties. Such extension application shall be submitted prior to two (2) years and nine (9) months from the date of Planning Commission approval, and receive public hearing prior to the expiration of the three (3) year approval period.

**BUILDING & SAFETY DIVISION** (See Also "GENERAL CONDITIONS"):

7. The project shall comply with the latest adopted edition of the following codes:
  - A. Uniform Building Code and its appendices and standards.
  - B. Uniform Plumbing Code and its appendices and standards.
  - C. Uniform Mechanical Code and its appendices and standards.
  - D. Uniform Building Security Code.
  - E. National Electrical Code.
  - F. Title 24, California Code of Regulations.
  - G. Uniform Fire Code and its appendices and standards.

**END OF CONDITIONS**

### NOTICE OF EXEMPTION

**TO:** Clerk of the Board of Supervisors  
385 No. Arrowhead, 2nd Floor  
San Bernardino, CA 92415-0130  
Attn: Cindy Gilbert

**FROM:** City of Fontana  
Planning Division  
8353 Sierra Avenue  
Fontana, CA 92335  
Attn: Cindy Ousley

1. Project Title: Zone Change No. 96-03
2. Project Location-Specific: 6101 Cherry Avenue (0226-121-04)
3. (a) Project Location-City: City of Fontana  
(b) Project Location-County: County of San Bernardino
4. Description of nature, purpose, and beneficiaries of project:  
Zone Change from Planned Industrial(M-1) to General Commercial (C-3) for an existing office building.
5. Name of Public Agency approving project: City of Fontana
6. Name of Person or Agency carrying out project: City of Fontana
7. Exempt Status: (Check One)
  - (a) ☐ Ministerial Project
  - (b) ☐ Not a project
  - (c) ☐ Emergency Project
  - (d) ☐ Categorical Exemption/State type & class no.:
  - (e) ☐ Declared Emergency
  - (f) ☐ Statutory Exemption. State Code section number:
  - (g) ☒ Other. Explanation: Section 3.07-Local CEQA Guidelines (no possibility of significant effect). State guidelines 15252(b)(2)
8. Reason why the project was exempt: Zoning is consistent with the Regional Mixed Use General Plan designation and the City of Fontana Zoning Consistency Program.
9. Contact Person: Cindy Ousley  
Telephone: (909) 350-6711
10. Attach Preliminary Exemption Assessment (Form "A") before filing.

Date Received:

for Filing: \_\_\_\_\_

(Clerk Stamp Here)

\_\_\_\_\_  
Charles K. LaClaire  
Deputy Planning Manager



## CONDITIONS OF APPROVAL

CASE: CUP #96-21

DATE: September 9, 1996

PROJECT LOCATION: 6101 Cherry Avenue  
Fontana, CA

### GENERAL CONDITIONS:

1. The rights and privileges granted by Conditional Use Permit #96-21 shall not become effective, nor shall the Applicant commence the use for which this Conditional Use Permit is granted until both of the following have occurred:
  - a. All of the improvements, construction, alterations, and other work set forth in Conditional Use Permit #96-21 have been completed and have been accepted by the City, as evidence by the City's issuance of a Certificate of Completion or other document evidencing the City's final inspection and acceptance of the work; and
  - b. All other Conditions of Approval imposed by this Conditional Use Permit have been fulfilled.

Failure to abide by the foregoing provisions shall be grounds for Code Enforcement actions or modification of this Conditional Use Permit and Design Review in accordance with the provisions of the City's Municipal Code. Applicant acknowledges and agrees that the commencement of the use permitted under this Conditional Use Permit prior to the time that this Conditional Use Permit becomes effective as described above shall constitute a violation of the Fontana Municipal Code and shall subject the Applicant to possible civil and/or criminal liability.

The undersigned applicant has read, acknowledges the content of and agrees to the following Conditions of Approval for Conditional Use Permit #96-21.

*L. Smith, Senior Pastor*  
Signature and Title

*Sept. 26, 1996*  
Date

2. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Community Development Director or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the issuance of a Certificate of Occupancy until corrections are approved in writing by all appropriate staff.

**PC RESOLUTION NO. 96-10**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA FORWARDING A RECOMMENDATION TO THE CITY COUNCIL TO DIRECT STAFF TO FILE A NOTICE OF EXEMPTION AND APPROVE ZONE CHANGE NO. 96-03.**

**WHEREAS**, the Planning Commission has conducted all required public hearings and considered all public testimony, documents, plans, maps, drawings, reports, and information presented at the public hearings; and

**WHEREAS**, Zone Change No. 96-03 incorporates all needed information heretofore referenced for adoption as completed documents; and

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Fontana, California, finds the proposed changes in Zone Change No. 96-03 are consistent with the goals and policies of the General Plan and recommends the following to the City Council:

**Section 1.** Direct staff to file a Notice of Exemption, pursuant to Section 3.07 of the Local Guidelines for Implementing the California Environmental Quality Act (1994); and

**Section 2.** Approval of Zone Change No. 96-03, attached as a City Council ordinance and incorporated by reference herein.

**APPROVED AND ADOPTED** this 9th day of September, 1996.

\_\_\_\_\_  
Chairman, Phillip Cothran

**ATTEST:**

I, Pierre Rankin, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 9th day of September, 1996, by the following vote, to-wit:

**AYES:** Chairperson Cothran, Commissioners Bachand, Guzman, Peoples and Rankin  
**NOES:** None  
**ABSENT:** None

\_\_\_\_\_  
Secretary, Pierre Rankin

3. The following Conditions of Approval shall be incorporated into all applicable final grading and construction plans and a copy of these conditions shall be placed on the first sheet of the final grading and building plans prior to issuance of any building permits.

**PLANNING DIVISION** (See Also "GENERAL CONDITIONS"):

4. The applicant shall restrict church operation and assembly to Saturday and Sunday only.
5. This Conditional Use Permit shall be contingent upon the Planning Commission's and City Council's approval of Zone Change No. 96-03.
6. Approval of the Conditional Use Permit shall be valid for a period of three (3) years, unless, upon application, the conditional use permit is extended by order of the Planning Commission upon finding that the use has been operated in compliance with all conditions of approval and codes, and is not a nuisance to neighboring properties. Such extension application shall be submitted prior to two (2) years and nine (9) months from the date of Planning Commission approval, and receive public hearing prior to the expiration of the three (3) year approval period. **DELETED BY PLANNING COMMISSION ON SEPTEMBER 9, 1996.**

**BUILDING & SAFETY DIVISION** (See Also "GENERAL CONDITIONS"):

7. The project shall comply with the latest adopted edition of the following codes:
  - A. Uniform Building Code and its appendices and standards.
  - B. Uniform Plumbing Code and its appendices and standards.
  - C. Uniform Mechanical Code and its appendices and standards.
  - D. Uniform Building Security Code.
  - E. National Electrical Code.
  - F. Title 24, California Code of Regulations.
  - G. Uniform Fire Code and its appendices and standards.

**END OF CONDITIONS**

DAVID R. ESHLEMAN  
MAYOR

CARL B. COLEMAN, JR.  
MAYOR PRO TEM

NANCY HOOPER  
COUNCIL MEMBER

JOHN B. ROBERTS  
COUNCIL MEMBER

BEATRICE WATSON  
COUNCIL MEMBER



# City of Fontana

CALIFORNIA

KATHY MONTOKA  
CITY CLERK

DR. CHARLES A. KOEHLER  
CITY TREASURER

GREGORY C. DEVEREAUX  
CITY MANAGER

September 13, 1996

Victoria Community Church  
P.O. Box 1546  
Rancho Cucamonga, CA 91730

RE: Conditional Use Permit #96-21 and Zone Change #96-03

Gentlemen:

The above referenced projects were approved at the City of Fontana Planning Commission meeting held on September 9, 1996 to request a Conditional Use Permit for the establishment of a church operation and functions, and a zone change for the re-zoning of a piece of property from Planned Industrial (M-1) to General Commercial (C-3) which is consistent with the General Plan.

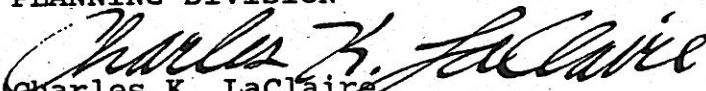
The action of the Planning Commission on the Conditional Use Permit shall not be final for a period of ten (10) days following the approval hearing to allow the filing of appeals with the City Clerk of the City of Fontana. The Zone Change is a recommendation to the City Council for their action.

Enclosed is a copy of the Conditions of Approval for Conditional Use Permit #96-21 which must be signed and returned acknowledging your acceptance of these conditions.

If you have any questions regarding this action, please contact Cindy Ousley, Acting Assistant Planner, the Staff Planner who worked on your proposal at (909) 350-6711.

Sincerely yours,

COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION

  
Charles K. LaClaire  
Deputy Planning Manager

CKL/dma  
Enclosure

cc: Building & Safety  
Business License  
Engineering/Edgar Casasola  
File

MAILING ADDRESS: P.O. BOX 518  
8353 SIERRA AVENUE • FONTANA, CALIFORNIA 92334-0518 • (909) 350-7600



PRINTED ON RECYCLED PAPER

## CONDITIONS OF APPROVAL

CASE: CUP #96-21

DATE: September 9, 1996

PROJECT LOCATION: 6101 Cherry Avenue  
Fontana, CA

### GENERAL CONDITIONS:

1. The rights and privileges granted by Conditional Use Permit #96-21 shall not become effective, nor shall the Applicant commence the use for which this Conditional Use Permit is granted until both of the following have occurred:
  - a. All of the improvements, construction, alterations, and other work set forth in Conditional Use Permit #96-21 have been completed and have been accepted by the City, as evidenced by the City's issuance of a Certificate of Completion or other document evidencing the City's final inspection and acceptance of the work; and
  - b. All other Conditions of Approval imposed by this Conditional Use Permit have been fulfilled.

Failure to abide by the foregoing provisions shall be grounds for Code Enforcement actions or modification of this Conditional Use Permit and Design Review in accordance with the provisions of the City's Municipal Code. Applicant acknowledges and agrees that the commencement of the use permitted under this Conditional Use Permit prior to the time that this Conditional Use Permit becomes effective as described above shall constitute a violation of the Fontana Municipal Code and shall subject the Applicant to possible civil and/or criminal liability.

The undersigned applicant has read, acknowledges the content of and agrees to the following Conditions of Approval for Conditional Use Permit #96-21.

\_\_\_\_\_  
Signature and Title

\_\_\_\_\_  
Date

2. Prior to the construction of any modifications, all structural and aesthetic changes to the project design must be requested and approved in writing by the Community Development Director or his/her designee. Major structural and aesthetic changes exceeding the codified parameters of administrative policy shall be presented to the Planning Commission for approval. Changes made without approval as stated herein, will prevent the issuance of a Certificate of Occupancy until corrections are approved in writing by all appropriate staff.



3. The following Conditions of Approval shall be incorporated into all applicable final grading and construction plans and a copy of these conditions shall be placed on the first sheet of the final grading and building plans prior to issuance of any building permits.

**PLANNING DIVISION** (See Also "GENERAL CONDITIONS"):

4. The applicant shall restrict church operation and assembly to Saturday and Sunday only.
5. This Conditional Use Permit shall be contingent upon the Planning Commission's and City Council's approval of Zone Change No. 96-03.
6. Approval of the Conditional Use Permit shall be valid for a period of three (3) years, unless, upon application, the conditional use permit is extended by order of the Planning Commission upon finding that the use has been operated in compliance with all conditions of approval and codes, and is not a nuisance to neighboring properties. Such extension application shall be submitted prior to two (2) years and nine (9) months from the date of Planning Commission approval, and receive public hearing prior to the expiration of the three (3) year approval period. **DELETED BY PLANNING COMMISSION ON SEPTEMBER 9, 1996.**

**BUILDING & SAFETY DIVISION** (See Also "GENERAL CONDITIONS"):

7. The project shall comply with the latest adopted edition of the following codes:
  - A. Uniform Building Code and its appendices and standards.
  - B. Uniform Plumbing Code and its appendices and standards.
  - C. Uniform Mechanical Code and its appendices and standards.
  - D. Uniform Building Security Code.
  - E. National Electrical Code.
  - F. Title 24, California Code of Regulations.
  - G. Uniform Fire Code and its appendices and standards.

**END OF CONDITIONS**



**PC RESOLUTION NO. 96-10**

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF FONTANA FORWARDING A RECOMMENDATION TO THE CITY COUNCIL TO DIRECT STAFF TO FILE A NOTICE OF EXEMPTION AND APPROVE ZONE CHANGE NO. 96-03.**

**WHEREAS**, the Planning Commission has conducted all required public hearings and considered all public testimony, documents, plans, maps, drawings, reports, and information presented at the public hearings; and

**WHEREAS**, Zone Change No. 96-03 incorporates all needed information heretofore referenced for adoption as completed documents; and

**NOW, THEREFORE, BE IT RESOLVED** that the Planning Commission of the City of Fontana, California, finds the proposed changes in Zone Change No. 96-03 are consistent with the goals and policies of the General Plan and recommends the following to the City Council:

**Section 1.** Direct staff to file a Notice of Exemption, pursuant to Section 3.07 of the Local Guidelines for Implementing the California Environmental Quality Act (1994); and

**Section 2.** Approval of Zone Change No. 96-03, attached as a City Council ordinance and incorporated by reference herein.

**APPROVED AND ADOPTED** this 9th day of September, 1996.

---

Chairman, Phillip Cothran

**ATTEST:**

I, Pierre Rankin, Secretary of the Planning Commission of the City of Fontana, California, do hereby certify that the foregoing resolution was duly and regularly adopted by the Planning Commission at a regular meeting thereof, held on the 9th day of September, 1996, by the following vote, to-wit:

**AYES:** Chairperson Cothran, Commissioners Bachand, Guzman, Peoples and Rankin

**NOES:** None

**ABSENT:** None

---

Secretary, Pierre Rankin

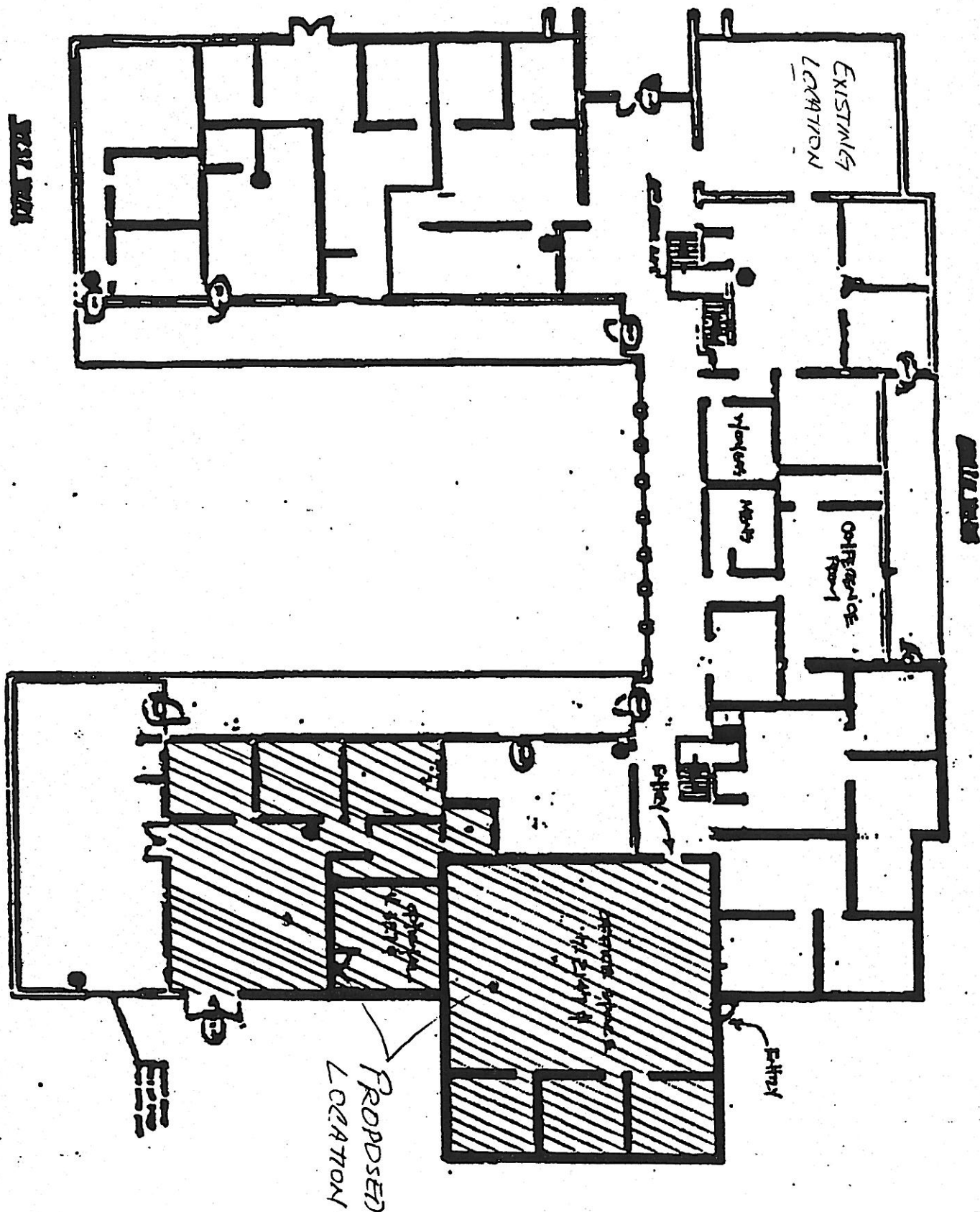
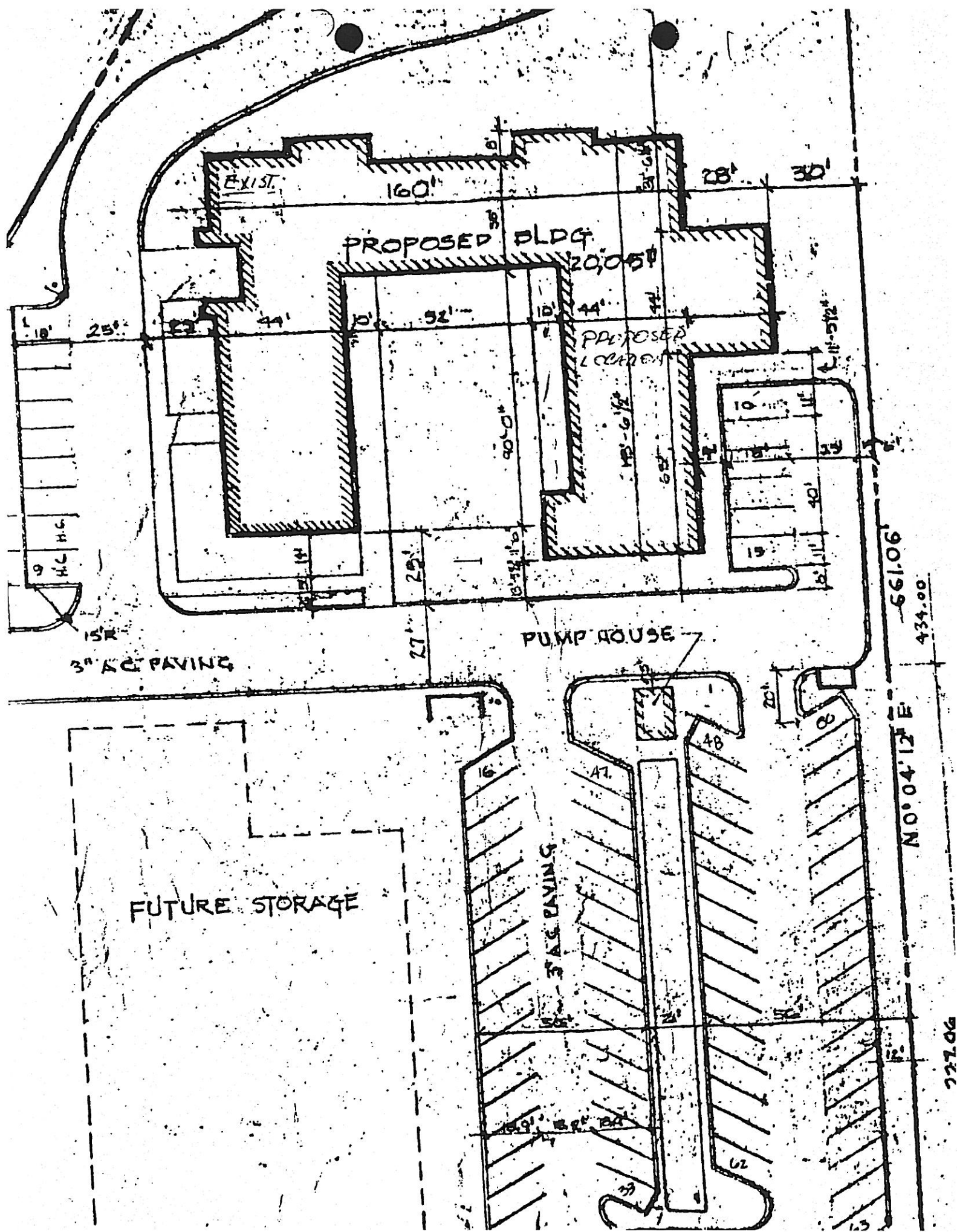


EXHIBIT A



661.06'

434.00

N 0° 04' 12" E

727.06

## Shannon Casey

---

**From:** Dina Lomeli  
**Sent:** Thursday, November 13, 2008 12:02 PM  
**To:** Shannon Casey; Jon Dille  
**Cc:** Craig Bruorton  
**Subject:** RE: Signage for Victoria Community Church

This is the first time I've hear about it.

---

**From:** Shannon Casey  
**Sent:** Thursday, November 13, 2008 11:52 AM  
**To:** Jon Dille; Dina Lomeli  
**Cc:** Craig Bruorton  
**Subject:** FW: Signage for Victoria Community Church

First things first:

Do either of you know anything about the situation, as described by the Mayor and Don, below?

Craig and I have been asked to follow up on this matter.

Thanks!

Shannon J. Casey, AICP  
Senior Planner  
City of Fontana

---

**From:** Don Williams  
**Sent:** Wednesday, November 12, 2008 5:56 PM  
**To:** 'marknuaimi@aol.com'  
**Cc:** Craig Bruorton; Shannon Casey; Debbie Brazill  
**Subject:** RE: Signage for Victoria Community Church

Mark,

I'm passing this along to Craig and Shannon to work on in my absence (I'm away until 12/01 on vacation.). BTW, Pastor Sorrenson has also called the City Clerk's office and left a similar message regarding this matter as well.

Don

---

**From:** marknuaimi@aol.com [mailto:marknuaimi@aol.com]  
**Sent:** Wednesday, November 12, 2008 9:55 AM  
**To:** Don Williams  
**Subject:** Re: Signage for Victoria Community Church

Yes I did ... late in the evening. Calling you now...

11/13/2008



-----Original Message-----

From: Don Williams <dwilliam@fontana.org>  
 To: marknuaimi@aol.com  
 Sent: Wed, 12 Nov 2008 8:19 am  
 Subject: RE: Signage for Victoria Community Church

Let me research it. BTW, did you gt my phone message?

*DON WILLIAMS, AICP  
 DIRECTOR OF COMMUNITY DEVELOPMENT  
 CITY OF FONTANA  
 8353 SIERRA AVENUE, FONTANA, CA 92335  
 DWILLIAMS@FONTANA.ORG  
 909.350.6723*

**From:** marknuaimi@aol.com [mailto:marknuaimi@aol.com]  
**Sent:** Tuesday, November 11, 2008 7:07 PM  
**To:** Don Williams  
**Subject:** Fwd: Signage for Victoria Community Church

Thoughts?? Suggestions??

Mark

-----Original Message-----

From: Erick Sorensen <pastor.sorensen@gmail.com>  
 To: mnuaimi@fontana.org  
 Sent: Tue, 11 Nov 2008 6:57 pm  
 Subject: Signage for Victoria Community Church

Dear Mr. Mayor,

My name is Erick Sorensen and I am the Pastor of Victoria Community Church located here in Fontana. We are located at 6101 Cherry Ave. just south of Hunters Ridge. We have been at this location for nearly 12 years now. It has been a good location, but we have had to endure some challenges along the way: road closures, freeway construction, etc. By God's grace, we are still here and currently there are about 200 people that call Victoria their Church home.

Here is our challenge: The building we are in looks nothing like a traditional church building. So we have tried to get approval from the City Planning Department to put a sign out in front of the building, to no avail. Not a big sign, but something that says to the community, "Hi, we're a Church here to serve you." The building's owners have no problem with it, but we need the city's approval. Here's my question: How do we go about making this happen?

Your prompt response is much appreciated.

God Bless,

Pastor Erick Sorensen

Victoria Community Church

Handwritten notes in blue ink:

- 6149 ← Cherry
- 022612104 ← Cherry
- 6101 ← Cherry
- 0226 102 19
- 019417324

11/13/2008

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# **WESTGATE SPECIFIC PLAN**

## **LEAD AGENCY:**

### **CITY OF FONTANA**

Planning Division  
Debbie Brazill, Planning Manager  
Craig L. Bruorton, AICP, Senior Planner  
8353 Sierra Avenue  
Fontana, CA 92335  
(909-350-6727)

## **APPLICANT:**

### **UNITEX MANAGEMENT CORPORATION**

Jeff Pierson, Vice President  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-9880)

## **CIVIL ENGINEER:**

### **ALLARD ENGINEERING**

Ray Allard, Principal  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-5011)

## II. PROJECT SETTING

### A. PROJECT LOCATION

Westgate is comprised of approximately 954 acres located in the northwest portion of the City of Fontana and adjacent to the Interstate 15 / Devore Freeway and Future Route 30 Freeway. It is situated north of Baseline Avenue, south and west of Lytle Creek Road with the major portion west of San Sevaine Road. Highland Avenue, (future Route 30), bisects the site in an east / west direction. See Exhibits 1 and 2.

### B. PROJECT DESCRIPTION

In accordance with the City's General Plan goals and objectives, Westgate has been designed as a master-planned community integrating business park, commercial retail, office and residential opportunities. The community includes an elementary school and public parks around which residential neighborhoods are organized. The Westgate Plan will provide the City with a strong economic and employment base by virtue of the approximately 257 acres of business / commercial uses located primarily at the juncture of the I-15 / Future Route 30 Freeways. Following is a summary of the various land use components:

**TABLE A - LAND USE SUMMARY**

| DESCRIPTION                        | ACRES                | DWELLING<br>UNITS  |
|------------------------------------|----------------------|--------------------|
| Business Park .....                | 117.60               |                    |
| Commercial Retail .....            | 9.40                 |                    |
| Mixed Use .....                    | 129.50               |                    |
| Low Density Residential .....      | 421.10               | 2031               |
| Medium High Residential .....      | 79.00                | 474                |
| Open Space/Parks .....             | 15.00                |                    |
| Open Space/Utility Corridors ..... | 91.00                |                    |
| School Site .....                  | 10.00                |                    |
| Other (Roads, R.O.W.) .....        | <u>81.50</u>         |                    |
| <b>TOTAL .....</b>                 | <b><u>954.10</u></b> | <b><u>2505</u></b> |

WESTGATE  
TABLE B

STATISTICAL LISTING - BY PLANNING AREA

| <u>PUA #</u> | <u>Land Use</u> | <u>Acres</u> | <u>Density</u> | <u>Dwelling<br/>Units</u> |
|--------------|-----------------|--------------|----------------|---------------------------|
| 1            | SFD             | 106.50       | 4.85           | 516                       |
| 2            | OS/P            | 10.00        | -              | -                         |
| 3            | P/UC            | 5.60         | -              | -                         |
| 4            | BP              | 3.00         | -              | -                         |
| 5            | BP              | 114.60       | -              | -                         |
| 6            | MU              | 31.70        | -              | -                         |
| 7            | MU              | 4.40         | -              | -                         |
| 8            | SFD             | 9.60         | 4.75           | 46                        |
| 9            | SFD             | 25.50        | 4.75           | 121                       |
| 10           | P/UC            | 16.80        | -              | -                         |
| 11           | P/UC            | 12.80        | -              | -                         |
| 12           | MH              | 19.00        | 6.00           | 114                       |
| 13           | P/UC            | 7.50         | -              | -                         |
| 14           | MU              | 2.40         | -              | -                         |
| 15           | P/UC            | 4.40         | -              | -                         |
| 16           | MH              | 17.00        | 6.00           | 102                       |
| 17           | SFD             | 113.00       | 4.85           | 548                       |
| 18           | OS/P            | 5.00         | -              | -                         |
| 19           | MU              | 6.50         | -              | -                         |
| 20           | MU              | 15.50        | -              | -                         |
| 21           | P/UC            | 20.70        | -              | -                         |
| 22           | MH              | 43.00        | 6.00           | 258                       |
| 23           | MU              | 34.80        | -              | -                         |
| 24           | SFD             | 24.40        | 4.85           | 118                       |
| 25           | P/UC            | 23.80        | -              | -                         |
| 26           | SFD             | 6.00         | 4.8            | 29                        |
| 27           | ES              | 10.00        | -              | -                         |
| 28           | SFD             | 76.30        | 4.76           | 363                       |
| 29           | C               | 8.00         | -              | -                         |
| 30           | C               | 1.40         | -              | -                         |
| 31           | SFD             | 4.00         | 4.8            | 19                        |
| 32           | SFD             | 55.80        | 4.85           | 271                       |
| 33           | MU              | 14.00        | -              | -                         |
| 34           | MU              | 20.20        | -              | -                         |
| -            | Roads R.O.W.    | <u>80.90</u> |                |                           |
| TOTAL        |                 | 954.10       |                | 2505                      |

c. **MIXED USE (MU):**

Approximately 130 acres of this land use type are located generally along the intersection of the existing I-15 and Route 30 freeway. The intent of the Mixed Use zone is to allow a variety of compatible uses and facilities supportive of the general community. These uses include retail, business park, and professional offices. Currently, approximately 75 acres are envisioned for office park within P.U.A.s #23, 33, and 34, with the balance geared toward regional and community retail / business uses. (See Exhibit 6). Any development application submitted for this land use will be required to be consistent with the varied uses permitted in the City's General Plan and as specifically defined in this Specific Plan.

d. **RESIDENTIAL:**

Residential land use categories located within the Specific Plan are described below. These land use categories provide for a variety of housing within the community that will offer a diversity in house style and size.

*Low Density (SFD):*

The Low Density residential land use encompasses approximately 421 acres, providing for the development of single-family detached homes with minimum 7,200 square foot lots; 6,200 square foot with an extraordinary amenity, if approved in the future subject to a Specific Plan Amendment or Development Agreement.

*Medium High (MH):*

This Medium High residential land use encompasses approximately 79 acres. A total of 474 dwelling units could be achieved in these areas dependent upon specific circumstances relative to all development standards. This designation permits single-family detached dwellings units up to 6.0 units per acre. No apartments or attached homes are permitted.

e. **OPEN SPACE USES:**

Approximately 116 acres of the site is devoted to open space uses which are described in greater detail within the Community Design Guidelines later in this section. Open Space has been divided into three sub-categories as follows:

*Open Space / Park (OS / P):*

Two planning units comprising 15.0 acres have been designated for park use. Active and passive uses are currently planned for park areas. The total parks program or in-lieu fees provided shall meet the City of Fontana standard of three acres of park per 1,000 population for neighborhood parks. These parks are centrally located to surrounding residential neighborhoods. Community park needs of two acres per 1,000 population are planned to be met by providing community level improvements within the Westgate parks equivalent to City park fees. Fees or park dedication and improvement will fulfill the City of Fontana standard of five acres of park per 1,000 population.\*

The total park land / improvements / fees provided by Westgate will fulfill the City of Fontana and State of California Quimby Act Park requirements as defined below:

|  |                   |
|--|-------------------|
| Total maximum dwellings  | 2505              |
| Person(s) per dwelling<br>(per City policy)                      | 3.48              |
| Total Population   | 8717              |
| Neighborhood park<br>required at 3 acres<br>per 1,000 population | 26                |
| Community park<br>required at 2 acres<br>per 1,000 population    | <u>17.43</u>      |
|  | 43.43 acres total |

Note: In the event fewer housing units are developed, the park requirements will be adjusted proportionately.

\* Exact park improvements will be based on City program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

### Standards

- Wall mounted security lighting to be used only at rear and interior side of buildings.
- Security lighting may utilize high pressure sodium fixtures.
- Shielded fixtures with well defined cut-off limits should be used to confine illumination to on-site areas only.
- Architectural lighting should be integrated into building design where feasible.
- Accent lighting, where used, should originate from concealed or inconspicuous source location. Accent lighting may utilize high pressure sodium or mercury vapor.
- Colored lights should not be used.
- Building illumination and architectural lighting should be indirect in character (no light source visible). Indirect wall light "wall washing" overhead down light, or interior illumination which spills outside is encouraged. Architectural lighting should articulate the particular building design as well as provide the required functional lighting for safety of pedestrian movement.

### *General Site Development Standards - Residential*

- *Landscape Architecture*

#### Walls

All residential home areas shall have block walls per the following:

- Along arterial roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along collector roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along open space / parks, utility corridor and railroad right of way, a slumpstone wall shall occur where adjacent to



residential areas. See Exhibit 21 & 22.

- If required by the Development Code (Chapter 30), a block wall shall be provided along rear and side property lines of interior residential lots.

- ***Grading***

All graded slopes may not exceed 2:1 ratios. Slopes five feet or greater in vertical height shall be landscaped and automatically irrigated.

Grade transitions and drainage swales should be smooth and have a natural appearance.

***Open Space Design Guidelines***

One goal of the Westgate plan has been to incorporate the 106 acres of open space into an integral part of the community. This has been accomplished by first defining the appropriate boundaries and uses for different open space elements and then insuring physical and / or visual access to them from various parts of the development. For example, all parks are located along two lane roadways where residents and visitors will pass by them on a daily basis. Pedestrian walks and bikeways are also provided to all park sites to facilitate access. A second goal of the open space system has been to provide opportunities for specific recreational activities within park sites.

The open space exhibits which follow fulfill the goals outlined above. These plans are conceptual and are not intended as final plans. Exact details of design will be subject to review at the time of plan submittal.

The Westgate open space system has been divided into:

Open Space / Park (OS / P)

Public / Utility Corridor (P / UC)

Pedestrian Walks

*Open Space / Park (OS / P):*

Two park sites have been planned for Westgate as described below:

- An 10.0 acre park site located in planning unit #2 serves the major residential area west of Lytle Creek Road. Four (4) activity fields, soccer, two (2) basketball courts and free play areas are provided along with a sand lot with swings, walkway and covered picnic stations. Parking and a restroom building are also included. The site overlaps 1.4 acres of Metropolitan Water District right-of-way and is located adjacent to the Southern California Edison utility corridor, which provides the opportunity for additional active and passive open space uses. See Exhibit 28.
- A 5.0 acre site is located in planning unit #18. It will provide amenities including one (1) activity field / soccer / free play area, along with a covered picnic shelter, restroom, lighted parking lot, sand lot with swings, walkway and picnic stations. See Exhibit 29.

*Park Guidelines*

- The landscape intent of the parks is to be informal and natural in appearance with interesting tree massings with random spacings of both evergreen and deciduous trees.
- All park areas should be predominantly turf with undulating grades to achieve the desired natural design concept.
- Park facilities should be arranged logically and orderly to obtain the best use of park space for both active and passive uses.
- All landscaped areas within each park site shall be irrigated by a fully automatic irrigation system.

*Park Furnishings*

The park furnishings for the Westgate community shall conform to the standards as shown in the following exhibits:

Benches - see Exhibit 30

Drinking fountain - see Exhibit 30

Trash receptacles - see Exhibit 30

*Public / Utility Corridor (P / UC):*

A utility corridor right of way of approximately 91 acres will be accessible from various parts of the community for open space uses within areas identified as P / UC. Within this right of way, adjacent to residential, bike trail route is planned. See Exhibit 30A. Approximately 7 acres is also proposed to be landscaped in order to visually and physically integrate Planning Unit Areas 26 and 31. Refer to Exhibit 30A.

*Pedestrian Walks*

Sidewalks are provided along all public streets within Westgate and will enable convenient and safe pedestrian access to all parts of the community. Over 7 miles of bikeways are also provided as discussed in Section III and illustrated on Exhibit 8.

is dispute regarding the interpretation of any of these regulations, the City of Fontana Community Development Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he / she may appeal to the City Council for a final determination.

#### **9. ADJUSTMENTS TO PLANNING AREAS**

Changes to the size and boundary configurations of planning areas that may occur during preliminary and final site engineering are permitted up to a maximum of 10% of the site area without an amendment to the Specific Plan. Adjustments to arterial road alignments or utility plans may be made provided the above conditions are met and the intent of the Specific Plan is not changed. (The 10% maximum does not apply to areas of identical land uses that are divided by a roadway. These may be changed to accommodate a roadway alignment adjustment, providing the sum total of the affected like kind planning areas does not vary by more than 10%). Phasing changes are permitted to respond to market conditions, providing said changes provide adequate access and infrastructure to the area served.

#### **10. PLANNING AREA PERMITTED DENSITY**

The dwelling unit density permitted in any residential planning area, as designated in the Westgate Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall project maximum of 2505 dwelling units is not exceeded and b) minimum lot size standards within the respective land use category, i.e., 6,200 square feet within the SFD category and a 5,000 square feet minimum with the MH, are not exceeded. A tracking report will be provided to the Community Development Director that demonstrates all dwelling unit shifts on a project-wide basis.

Should the public school or park sites be relocated, the resulting planning area may be developed as SFD low density (single family detached) housing in accordance with the Specific Plan regulations.

#### **11. LARGE-LOT SUBDIVISION**

Large-lot subdivision maps, for the purpose of conveyance or financing, may be approved when such maps include a declaration that lots created are not building sites. This includes the subdivision of residential, commercial, office and business park areas. Posting of bonds, installation of infrastructure improvements, or dedication of open space shall not be made a condition of approval of a large-lot subdivision for conveyance or financing purposes. A tentative tract map may be submitted for any portion of a single planning area or combination of planning areas.

#### **12. BUILDING CONSTRUCTION**

All building construction within the Specific Plan shall comply with applicable

building codes.

### 13. INTERIM USES

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

### 14. CITY COUNCIL DECLARATION / SEVERABILITY

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

### 15. PERMITTED TEMPORARY USES

In order to facilitate the development of the project, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Director of Community Development or his / her designee:

- a. Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- b. Temporary construction facilities and parking compounds for contractors equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- c. Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are permitted. Signs shall not exceed a height or width of eight (8) feet. Other allowed signage shall be subject to City code requirements.
- d. Model homes, temporary real estate offices and subdivision signs, temporary on-site construction offices, continued use of an existing building during construction of a new building or site preparation. Any model home may be used on a temporary basis as a real estate office subject to the following conditions:
  - The model home real estate office must be located on a lot established and depicted within an approved recorded tract map encompassing the property in question. Location of model homes shall be subject to approval by the Community Development Director.
  - The model home real estate office must meet all applicable provisions of this Plan and all applicable provisions of the City of Fontana Zoning and Development Code.
- e. Christmas tree and Halloween pumpkin sales.

## V. PLAN IMPLEMENTATION

### A. INFRASTRUCTURE IMPLEMENTATION SUMMARY

1. The Plan proposes to utilize the major utility trunk lines for water supply, sewer service and storm drainage to serve the Westgate Planned Community in accordance with the City's various Master Plans.
2. The Plan provides for the construction of all necessary on-site utility lines to serve the residents of the planned community.
3. The Plan is based upon adequate regional storm drainage capacity in the San Sevaine / Etiwanda Flood Control Channel. The Plan allows for locations for interim detention basins should such interim facilities be needed due to a lack of drainage infrastructure in the short term. Specific locations of detention basins are a function of site specific development phasing and will be provided as development progresses.

### B. PHASING

The Westgate Specific Plan will be developed in phases according to various factors, including market demand, interchange construction, regional infrastructure capacity, and the logical progression of development. Given these variables and multitude of uses and scale of the Westgate Plan, it is not possible to project specifically when each planning area will be developed. The phasing program identified below is intended to provide a general intent. Overlap may occur and is to be expected among phases. All development will be required to provide adequate vehicular access and infrastructure. The detailed alignment and sizing of major infrastructure systems will be addressed in detail during final engineering stages. The following summarizes the various components included as part of the phasing program.

#### 1. OFF-SITE (REGIONAL) INFRASTRUCTURE

All regional infrastructure exists within the boundaries or adjacent to the Westgate site. Plans for up-sizing the regional infrastructure (i.e. drainage, sewer treatment capacity, water storage, freeway interchange etc.) are in place and will be provided by the respective districts throughout the life of this project. Westgate will be responsible for monitoring the progress of the regional infrastructure, and will develop alternatives that enable development if regional capacity does not occur in a timely fashion. It is likely, for example, that the ultimate San Sevaine channel flood control improvements necessary for building construction to begin, will not be provided in a timely manner and alternative provisions will be necessary. These solutions, if necessary, will be designed during the site mapping process.

#### 2. ON-SITE INFRASTRUCTURE

Five phases have been identified in Exhibit 32. These areas may develop independently of each other or simultaneously. Within each phasing area sub-phases are anticipated.



Phasing will generally progress in a northerly direction which is consistent with the logical extension of infrastructure. On-site utility and circulation improvements will be constructed as required for each phase or sub-phase in accordance with city requirements.

### 3. PUBLIC FACILITIES

The elementary school will be developed in accordance with the Etiwanda School District pupil demand and funding schedules.

The two park sites in Westgate will be constructed during the phases of residential development which they serve. Table E identifies each of the two park planning areas, their size and the residential planning areas they will be constructed with. Exact park improvements will be based on city parks program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

**PARK PHASING  
TABLE E**

| Park Planning Unit Area<br># | Park Size  | To be Completed With<br>the Following Planning<br>Areas |
|------------------------------|------------|---|
| 2                            | 10.0 acres | 1   |
| 18                           | 5.0 acres  | 12 / 16 / 17  |

## C. METHODS AND PROCEDURES

Once the Westgate Specific Plan is adopted, it will serve as the Zoning and General Plan implementation document for the property in conjunction with Chapter 30 of the Fontana Municipal Code. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

### 1. SPECIFIC PLAN ADOPTION

Government Code Section 65453(a) states that:

"A Specific Plan shall be prepared, adopted and amended in the same manner

Section VI  
GENERAL PLAN POLICY CONSISTENCY

---

water at Kaiser Steel site.

Consistency: Clean-up of Kaiser Steel site is beyond scope of this Specific Plan.

10.1.6 Policy: Encourage preservaton of agricultural uses.

Consistency: Agriculture is not designated on the city land use map.

10.1.7 Policy: Reduce soil erosion. Requires erosion control plan for new development.

Consistency: An erosion control plan will be submitted and approved as per City policies prior to grading and construction. Project will come into compliance with the Clean Water Act.

10.1.8 Policy: Encourage development of community gardens in multi-family and planned unit developments.

Consistency: There are no multi-family units in the Westgate Specific Plan.

10.1.9 Policy: Minimize grading impacts.

Consistency: The site is flat, therefore grading impacts will be minimal.

10.1.10 Policy: Require feasibility study for curbside recycling program.

Consistency: This is outside the scope of this Specific Plan.

10.1.11 Policy: Support expansion of Fontana Landfill.

Consistency: This is outside the scope of this Specific Plan.

10.2.1 Policy: Minimize biotic impact.

Consistency: The Westgate EIR addresses biotic impacts and mitigation, if appropriate.

10.2.2 Policy: Establish wildlife corridors in City.

Consistency: Westgate is not located in an area appropriate for establishment of wildlife corridors.

10.2.3 Policy: Encourage tree planting.

Consistency: Tree plantings will be provided within landscape parkways and parks, as described in the Specific Plan, to enhance the

Section VI  
GENERAL PLAN POLICY CONSISTENCY

---

environment.

10.3.1 Policy: Encourage use of alternative energy resources, i.e., solar energy.

Consistency: The use of Alternate uses of energy sources will be encouraged as described in the Specific Plan and EIR.

10.3.2 Policy: Encourage design techniques which conserve energy.

Consistency: Westgate will encourage an energy-efficient community through energy conservation measures and design concepts.

10.4.1 Policy: Preservation of archaeological resources.

Consistency: An archaeological investigation is performed as part of the project EIR and city policies will be followed if resources are found.

10.4.2 Policy: Adoptive reuse of historical buildings.

Consistency: No known historical structures exist on the site.

10.5.1 Policy: Aggregate resources.

Consistency: No aggregate resource areas are proposed for mining on this site.

10.5.2 Policy: Reclamation of mined lands.

Consistency: There are no mined lands on-site, therefore reclamation does not apply.

10.5.3 Policy: Mineral production mitigation.

Consistency: No mineral production is proposed.

10.5.4 Policy: Aggregate resource extraction hazards.

Consistency: Aggregate resource extraction is not proposed on-site, therefore eliminating residual hazards to public health and safety.

**I. OPEN SPACE ELEMENT**

11.1.1 Policy: Balance natural and recreational open space.

Consistency: Westgate proposes improved recreational open space

Section VI  
GENERAL PLAN POLICY CONSISTENCY

---

- (neighborhood park, parkways and bike trails) to contribute to the City's inventory of open space.
- 11.1.2 Policy: Preserve significant natural habitat areas.  
Consistency: No significant environmental area of the Jurupa Hills or San Gabriel Mountains exist on-site.
- 11.2.1 Policy: Require open space and recreation areas with new residential development.  
Consistency: Recreation area (park) is proposed within the new residential development within the Specific Plan.
- 11.2.2 Policy: Establish new neighborhood parks.  
Consistency: Two new parks are proposed within the Specific Plan. These parks are within walking distance of residential areas on site.
- 11.2.3 Policy: Develop parks in conjunction with schools.  
Consistency: A 10 acre elementary school site is proposed adjacent to a park site.
- 11.2.4 Policy: Ensure park design meets user needs.  
Consistency: The parks provided by Westgate will be designed to meet the needs of surrounding residents by providing adequate facilities and access as defined in General Plan park standards.
- 11.2.5 Policy: Define additional cultural facilities.  
Consistency: No additional cultural facilities are proposed within the Specific Plan area at this time.
- 11.2.6 Policy: Park standards.  
Consistency: Westgate will provide 15 acres of park with significant neighborhood and community level improvements in accordance with City Standards.
- 11.2.7 Policy: Prepare Parks Master Plan.  
Consistency: City to prepare master plan, not within the scope of this Specific Plan.
- 11.3.1 Policy: Preserve hilly areas.
-

**WESTGATE  
SPECIFIC PLAN**

**CITY OF FONTANA  
CITY COUNCIL**

**Mayor, David Eshleman  
Bill Freeman  
Manuel Mancha  
Mark Nuaimi  
John Roberts**

**PLANNING COMMISSION**

**Jeanette Bachand  
Josie Gonzales  
Juan Guzman  
Janice Rutherford  
Bob Saathoff**

**CITY MANAGER**

**Frank A. Schuma**

**COMMUNITY DEVELOPMENT DIRECTOR**

**Raymond Bragg**

**CITY CONTACTS**

**Debbie Brazill, Planning Manager  
Craig L. Bruorton, AICP, Senior Planner  
Bob Weddle, City Engineer**

**RESOLUTION NO. 98-109**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, APPROVING GENERAL PLAN AMENDMENT #98-04 AND GENERAL PLAN AMENDMENT #98-06**

**WHEREAS**, the Planning Commission at its September 28, 1998, meeting received public testimony and considered General Plan Amendment #98-04 and forwarded a recommendation to the City Council; and

**WHEREAS**, the Planning Commission at its October 26, 1998, meeting received public testimony and considered General Plan Amendment #98-06; and

**WHEREAS**, the City Council of the City of Fontana adopted the General Plan on May 15, 1990.

**WHEREAS**, notice of the City Council public hearing concerning General Plan Amendment #98-04 and General Plan Amendment #98-06 was given pursuant to the Government Code by publication in the The Sun, a newspaper of general circulation within the City; and

**WHEREAS**, the City Council has received public testimony on General Plan Amendment #98-04 and on the environmental analysis and determines that the project will not have a significant effect on the environment and a Mitigating Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act; and

**WHEREAS**, the City Council has received public testimony on General Plan Amendment #98-06 and on the environmental analysis and determines that the project will not have a significant effect on the environment and a Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act; and

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Fontana, orders as follows:

**Section 1.** Find that General Plan Amendment #98-04 will not have a significant effect on the environment, adopt the Mitigating Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.



Resolution No. 98-109

**Section 2.** Find that General Plan Amendment #98-06 will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

**Section 3.** Amend the General Plan, Land Use Element, Specific Plan Designations, by adding the following:

**Summit Heights Specific Plan (#19):**

The Summit Heights Specific Plan is comprised of a mixture of single family residential homes, recreational, and commercial land uses on 291 acres. The Specific Plan is located in the northwest portion of the City of Fontana and bounded by Summit Avenue to the north, Lytle Creek Road to the east, Highland Avenue and the proposed Route 30 to the south, and Interstate 15 and the proposed extension of San Sevaine Avenue to the west.

**Section 4.** The General Plan Land Use Map shall be amended per Exhibit A & B.

**APPROVED AND ADOPTED** this 17<sup>th</sup> day of November, 1998.

**READ AND APPROVED AS TO LEGAL FORM:**

/s/ Clark Alsop  
City Attorney

I, Patricia M. Murray, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing resolution is the actual resolution duly and regularly adopted by the City Council at the regular meeting on the 17<sup>th</sup> day of November, 1998, by the following vote to wit;

**AYES:** Mayor Eshleman, Council Members Mancha, Nuaimi and Roberts

**NOES:** None

**ABSENT:** Council Member Freeman

/s/ Patricia M. Murray  
City Clerk of the City of Fontana

Resolution No. 98-109

**ATTEST:**

/s/ Patricia M. Murray  
City Clerk

Summit Heights disk/RES-GPA#98-04&06(11-17-98)

ORDINANCE NO. 1270

AN ORDINANCE OF THE CITY OF FONTANA  
APPROVING WESTGATE SPECIFIC PLAN  
AMENDMENT #1

THE CITY COUNCIL OF THE CITY OF FONTANA DOES ORDAIN AS  
FOLLOWS:

**Section 1.** Find that the project will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

**Section 2.** Westgate Specific Plan Amendment #1 is consistent with the goals and policies of the General Plan.

**Section 3.** Westgate Specific Plan Amendment #1 is hereby approved as set forth in the Attachment which is incorporated herein by reference.

**Section 4.** This Ordinance shall take effect thirty (30) days after the date of the adoption and prior to the expiration of fifteen (15) days from passage thereof, shall be published by the City Clerk at least once in a newspaper of general circulation, published and circulated in the City of Fontana, and thenceforth and thereafter the same shall be in full force and effect.

**APPROVED AND ADOPTED** this 15th day of December, 1998.

**READ AND APPROVED AS TO LEGAL FORM:**

/s/ Clark Alsop  
City Attorney

I, Beatrice Watson, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing Ordinance is the actual Ordinance introduced at a regular meeting of said City Council on the 1st day of December, 1998, and was finally passed and adopted not less than five (5) days thereafter on the 15th day of December, 1998, by the following vote:

|                 |  |
|-----------------|--|
| <b>AYES:</b>    | Mayor Eshleman, Council Members Mancha, Nuaimi and Roberts |
| <b>NOES:</b>    | None   |
| <b>ABSENT:</b>  | None   |
| <b>ABSTAIN:</b> | Council Member Gonzales                                    |

Ordinance No. 1270

/s/ Beatrice Watson  
City Clerk of the City of Fontana

/s/ David R. Eshleman  
Mayor of the City of Fontana

**ATTEST:**

/s/ Beatrice Watson  
City Clerk of the City of Fontana

FAS/RB/clb

Westgate disk/O-WG#1-CC(11-17-98)

# **WESTGATE SPECIFIC PLAN**

## **CITY OF FONTANA CITY COUNCIL**

**Mayor, David Eshleman  
Bill Freeman  
Manuel Mancha  
Mark Nuaimi  
John Roberts**

## **PLANNING COMMISSION**

**Jeanette Bachand  
Josie Gonzales  
Juan Guzman  
Janice Rutherford  
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## **CITY MANAGER**

**Frank A. Schuma**

## **COMMUNITY DEVELOPMENT DIRECTOR**

**Raymond Bragg**

## **CITY CONTACTS**

**Debbie Brazill, Planning Manager  
Craig L. Bruorton, AICP, Senior Planner  
Bob Weddle, City Engineer**

# **WESTGATE SPECIFIC PLAN**

## **LEAD AGENCY:**

### **CITY OF FONTANA**

Planning Division  
Debbie Brazill, Planning Manager  
Craig L. Bruorton, AICP, Senior Planner  
8353 Sierra Avenue  
Fontana, CA 92335  
(909-350-6727)

## **APPLICANT:**

### **UNITEX MANAGEMENT CORPORATION**

Jeff Pierson, Vice President  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-9880)

## **CIVIL ENGINEER:**

### **ALLARD ENGINEERING**

Ray Allard, Principal  
6101 Cherry Avenue  
Fontana, CA 92336  
(909-899-5011)



## II. PROJECT SETTING

### A. PROJECT LOCATION

Westgate is comprised of approximately 954 acres located in the northwest portion of the City of Fontana and adjacent to the Interstate 15 / Devore Freeway and Future Route 30 Freeway. It is situated north of Baseline Avenue, south and west of Lytle Creek Road with the major portion west of San Sevaine Road. Highland Avenue, (future Route 30), bisects the site in an east / west direction. See Exhibits 1 and 2.

### B. PROJECT DESCRIPTION

In accordance with the City's General Plan goals and objectives, Westgate has been designed as a master-planned community integrating business park, commercial retail, office and residential opportunities. The community includes an elementary school and public parks around which residential neighborhoods are organized. The Westgate Plan will provide the City with a strong economic and employment base by virtue of the approximately 257 acres of business / commercial uses located primarily at the juncture of the I-15 / Future Route 30 Freeways. Following is a summary of the various land use components:

**TABLE A - LAND USE SUMMARY**

| DESCRIPTION                        | ACRES                | DWELLING<br>UNITS  |
|------------------------------------|----------------------|--------------------|
| Business Park .....                | 117.60               |                    |
| Commercial Retail .....            | 9.40                 |                    |
| Mixed Use .....                    | 129.50               |                    |
| Low Density Residential .....      | 421.10               | 2031               |
| Medium High Residential .....      | 79.00                | 474                |
| Open Space/Parks .....             | 15.00                |                    |
| Open Space/Utility Corridors ..... | 91.00                |                    |
| School Site .....                  | 10.00                |                    |
| Other (Roads, R.O.W.) .....        | <u>81.50</u>         |                    |
| <b>TOTAL .....</b>                 | <b><u>954.10</u></b> | <b><u>2505</u></b> |

WESTGATE  
TABLE B

STATISTICAL LISTING - BY PLANNING AREA

| <u>PUA #</u> | <u>Land Use</u> | <u>Acres</u> | <u>Density</u> | <u>Dwelling<br/>Units</u> |
|--------------|-----------------|--------------|----------------|---------------------------|
| 1            | SFD             | 106.50       | 4.85           | 516                       |
| 2            | OS/P            | 10.00        | -              | -                         |
| 3            | P/UC            | 5.60         | -              | -                         |
| 4            | BP              | 3.00         | -              | -                         |
| 5            | BP              | 114.60       | -              | -                         |
| 6            | MU              | 31.70        | -              | -                         |
| 7            | MU              | 4.40         | -              | -                         |
| 8            | SFD             | 9.60         | 4.75           | 46                        |
| 9            | SFD             | 25.50        | 4.75           | 121                       |
| 10           | P/UC            | 16.80        | -              | -                         |
| 11           | P/UC            | 12.80        | -              | -                         |
| 12           | MH              | 19.00        | 6.00           | 114                       |
| 13           | P/UC            | 7.50         | -              | -                         |
| 14           | MU              | 2.40         | -              | -                         |
| 15           | P/UC            | 4.40         | -              | -                         |
| 16           | MH              | 17.00        | 6.00           | 102                       |
| 17           | SFD             | 113.00       | 4.85           | 548                       |
| 18           | OS/P            | 5.00         | -              | -                         |
| 19           | MU              | 6.50         | -              | -                         |
| 20           | MU              | 15.50        | -              | -                         |
| 21           | P/UC            | 20.70        | -              | -                         |
| 22           | MH              | 43.00        | 6.00           | 258                       |
| 23           | MU              | 34.80        | -              | -                         |
| 24           | SFD             | 24.40        | 4.85           | 118                       |
| 25           | P/UC            | 23.80        | -              | -                         |
| 26           | SFD             | 6.00         | 4.8            | 29                        |
| 27           | ES              | 10.00        | -              | -                         |
| 28           | SFD             | 76.30        | 4.76           | 363                       |
| 29           | C               | 8.00         | -              | -                         |
| 30           | C               | 1.40         | -              | -                         |
| 31           | SFD             | 4.00         | 4.8            | 19                        |
| 32           | SFD             | 55.80        | 4.85           | 271                       |
| 33           | MU              | 14.00        | -              | -                         |
| 34           | MU              | 20.20        | -              | -                         |
| -            | Roads/R.O.W.    | 80.90        |                |                           |
| TOTAL        |                 | 954.10       |                | 2505                      |

**c. MIXED USE (MU):**

Approximately 130 acres of this land use type are located generally along the intersection of the existing I-15 and Route 30 freeway. The intent of the Mixed Use zone is to allow a variety of compatible uses and facilities supportive of the general community. These uses include retail, business park, and professional offices. Currently, approximately 75 acres are envisioned for office park within P.U.A.s #23, 33, and 34, with the balance geared toward regional and community retail / business uses. (See Exhibit 6). Any development application submitted for this land use will be required to be consistent with the varied uses permitted in the City's General Plan and as specifically defined in this Specific Plan.

**d. RESIDENTIAL:**

Residential land use categories located within the Specific Plan are described below. These land use categories provide for a variety of housing within the community that will offer a diversity in house style and size.

***Low Density (SFD):***

The Low Density residential land use encompasses approximately 421 acres, providing for the development of single-family detached homes with minimum 7,200 square foot lots; 6,200 square foot with an extraordinary amenity, if approved in the future subject to a Specific Plan Amendment or Development Agreement.

***Medium High (MH):***

This Medium High residential land use encompasses approximately 79 acres. A total of 474 dwelling units could be achieved in these areas dependent upon specific circumstances relative to all development standards. This designation permits single-family detached dwellings units up to 6.0 units per acre. No apartments or attached homes are permitted.

**e. OPEN SPACE USES:**

Approximately 116 acres of the site is devoted to open space uses which are described in greater detail within the Community Design Guidelines later in this section. Open Space has been divided into three sub-categories as follows:

*Open Space / Park (OS / P):*

Two planning units comprising 15.0 acres have been designated for park use. Active and passive uses are currently planned for park areas. The total parks program or in-lieu fees provided shall meet the City of Fontana standard of three acres of park per 1,000 population for neighborhood parks. These parks are centrally located to surrounding residential neighborhoods. Community park needs of two acres per 1,000 population are planned to be met by providing community level improvements within the Westgate parks equivalent to City park fees. Fees or park dedication and improvement will fulfill the City of Fontana standard of five acres of park per 1,000 population.\*

The total park land / improvements / fees provided by Westgate will fulfill the City of Fontana and State of California Quimby Act Park requirements as defined below:

|  |                   |
|--|-------------------|
| Total maximum dwellings  | 2505              |
| Person(s) per dwelling<br>(per City policy)                      | 3.48              |
| Total Population   | 8717              |
| Neighborhood park<br>required at 3 acres<br>per 1,000 population | 26                |
| Community park<br>required at 2 acres<br>per 1,000 population    | <u>17.43</u>      |
|  | 43.43 acres total |

Note: In the event fewer housing units are developed, the park requirements will be adjusted proportionately.

\* Exact park improvements will be based on City program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

### Standards

- Wall mounted security lighting to be used only at rear and interior side of buildings.
- Security lighting may utilize high pressure sodium fixtures.
- Shielded fixtures with well defined cut-off limits should be used to confine illumination to on-site areas only.
- Architectural lighting should be integrated into building design where feasible.
- Accent lighting, where used, should originate from concealed or inconspicuous source location. Accent lighting may utilize high pressure sodium or mercury vapor.
- Colored lights should not be used.
- Building illumination and architectural lighting should be indirect in character (no light source visible). Indirect wall light "wall washing" overhead down light, or interior illumination which spills outside is encouraged. Architectural lighting should articulate the particular building design as well as provide the required functional lighting for safety of pedestrian movement.

### *General Site Development Standards - Residential*

- *Landscape Architecture*

#### Walls

All residential home areas shall have block walls per the following:

- Along arterial roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along collector roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along open space / parks, utility corridor and railroad right of way, a slumpstone wall shall occur where adjacent to

residential areas. See Exhibit 21 & 22.

- If required by the Development Code (Chapter 30), a block wall shall be provided along rear and side property lines of interior residential lots.

- ***Grading***

All graded slopes may not exceed 2:1 ratios. Slopes five feet or greater in vertical height shall be landscaped and automatically irrigated.

Grade transitions and drainage swales should be smooth and have a natural appearance.

***Open Space Design Guidelines***

One goal of the Westgate plan has been to incorporate the 106 acres of open space into an integral part of the community. This has been accomplished by first defining the appropriate boundaries and uses for different open space elements and then insuring physical and / or visual access to them from various parts of the development. For example, all parks are located along two lane roadways where residents and visitors will pass by them on a daily basis. Pedestrian walks and bikeways are also provided to all park sites to facilitate access. A second goal of the open space system has been to provide opportunities for specific recreational activities within park sites.

The open space exhibits which follow fulfill the goals outlined above. These plans are conceptual and are not intended as final plans. Exact details of design will be subject to review at the time of plan submittal.

The Westgate open space system has been divided into:

Open Space / Park (OS / P)

Public / Utility Corridor (P / UC)

Pedestrian Walks



*Open Space / Park (OS / P):*

Two park sites have been planned for Westgate as described below:

- An 10.0 acre park site located in planning unit #2 serves the major residential area west of Lytle Creek Road. Four (4) activity fields, soccer, two (2) basketball courts and free play areas are provided along with a sand lot with swings, walkway and covered picnic stations. Parking and a restroom building are also included. The site overlaps 1.4 acres of Metropolitan Water District right-of-way and is located adjacent to the Southern California Edison utility corridor, which provides the opportunity for additional active and passive open space uses. See Exhibit 28.
- A 5.0 acre site is located in planning unit #18. It will provide amenities including one (1) activity field / soccer / free play area, along with a covered picnic shelter, restroom, lighted parking lot, sand lot with swings, walkway and picnic stations. See Exhibit 29.

*Park Guidelines*

- The landscape intent of the parks is to be informal and natural in appearance with interesting tree massings with random spacings of both evergreen and deciduous trees.
- All park areas should be predominantly turf with undulating grades to achieve the desired natural design concept.
- Park facilities should be arranged logically and orderly to obtain the best use of park space for both active and passive uses.
- All landscaped areas within each park site shall be irrigated by a fully automatic irrigation system.

*Park Furnishings*

The park furnishings for the Westgate community shall conform to the standards as shown in the following exhibits:

Benches - see Exhibit 30

Drinking fountain - see Exhibit 30

Trash receptacles - see Exhibit 30

***Public / Utility Corridor (P / UC):***

A utility corridor right of way of approximately 91 acres will be accessible from various parts of the community for open space uses within areas identified as P / UC. Within this right of way, adjacent to residential, bike trail route is planned. See Exhibit 30A. Approximately 7 acres is also proposed to be landscaped in order to visually and physically integrate Planning Unit Areas 26 and 31. Refer to Exhibit 30A.

***Pedestrian Walks***

Sidewalks are provided along all public streets within Westgate and will enable convenient and safe pedestrian access to all parts of the community. Over 7 miles of bikeways are also provided as discussed in Section III and illustrated on Exhibit 8.

## V. PLAN IMPLEMENTATION

### A. INFRASTRUCTURE IMPLEMENTATION SUMMARY

1. The Plan proposes to utilize the major utility trunk lines for water supply, sewer service and storm drainage to serve the Westgate Planned Community in accordance with the City's various Master Plans.
2. The Plan provides for the construction of all necessary on-site utility lines to serve the residents of the planned community.
3. The Plan is based upon adequate regional storm drainage capacity in the San Sevaine / Etiwanda Flood Control Channel. The Plan allows for locations for interim detention basins should such interim facilities be needed due to a lack of drainage infrastructure in the short term. Specific locations of detention basins are a function of site specific development phasing and will be provided as development progresses.

### B. PHASING

The Westgate Specific Plan will be developed in phases according to various factors, including market demand, interchange construction, regional infrastructure capacity, and the logical progression of development. Given these variables and multitude of uses and scale of the Westgate Plan, it is not possible to project specifically when each planning area will be developed. The phasing program identified below is intended to provide a general intent. Overlap may occur and is to be expected among phases. All development will be required to provide adequate vehicular access and infrastructure. The detailed alignment and sizing of major infrastructure systems will be addressed in detail during final engineering stages. The following summarizes the various components included as part of the phasing program.

#### 1. OFF-SITE (REGIONAL) INFRASTRUCTURE

All regional infrastructure exists within the boundaries or adjacent to the Westgate site. Plans for up-sizing the regional infrastructure (i.e. drainage, sewer treatment capacity, water storage, freeway interchange etc.) are in place and will be provided by the respective districts throughout the life of this project. Westgate will be responsible for monitoring the progress of the regional infrastructure, and will develop alternatives that enable development if regional capacity does not occur in a timely fashion. It is likely, for example, that the ultimate San Sevaine channel flood control improvements necessary for building construction to begin, will not be provided in a timely manner and alternative provisions will be necessary. These solutions, if necessary, will be designed during the site mapping process.

#### 2. ON-SITE INFRASTRUCTURE

Five phases have been identified in Exhibit 32. These areas may develop independently of each other or simultaneously. Within each phasing area sub-phases are anticipated.

Phasing will generally progress in a northerly direction which is consistent with the logical extension of infrastructure. On-site utility and circulation improvements will be constructed as required for each phase or sub-phase in accordance with city requirements.

### 3. PUBLIC FACILITIES

The elementary school will be developed in accordance with the Etiwanda School District pupil demand and funding schedules.

The two park sites in Westgate will be constructed during the phases of residential development which they serve. Table E identifies each of the two park planning areas, their size and the residential planning areas they will be constructed with. Exact park improvements will be based on city parks program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

**PARK PHASING  
TABLE E**

| Park Planning Unit Area<br># | Park Size  | To be Completed With<br>the Following Planning<br>Areas |
|------------------------------|------------|---|
| 2                            | 10.0 acres | 1   |
| 18                           | 5.0 acres  | 12 / 16 / 17  |

## C. METHODS AND PROCEDURES

Once the Westgate Specific Plan is adopted, it will serve as the Zoning and General Plan implementation document for the property in conjunction with Chapter 30 of the Fontana Municipal Code. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

### 1. SPECIFIC PLAN ADOPTION

Government Code Section 65453(a) states that:

“A Specific Plan shall be prepared, adopted and amended in the same manner

is dispute regarding the interpretation of any of these regulations, the City of Fontana Community Development Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he / she may appeal to the City Council for a final determination.

#### **9. ADJUSTMENTS TO PLANNING AREAS**

Changes to the size and boundary configurations of planning areas that may occur during preliminary and final site engineering are permitted up to a maximum of 10% of the site area without an amendment to the Specific Plan. Adjustments to arterial road alignments or utility plans may be made provided the above conditions are met and the intent of the Specific Plan is not changed. (The 10% maximum does not apply to areas of identical land uses that are divided by a roadway. These may be changed to accommodate a roadway alignment adjustment, providing the sum total of the affected like kind planning areas does not vary by more than 10%). Phasing changes are permitted to respond to market conditions, providing said changes provide adequate access and infrastructure to the area served.

#### **10. PLANNING AREA PERMITTED DENSITY**

The dwelling unit density permitted in any residential planning area, as designated in the Westgate Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall project maximum of 2505 dwelling units is not exceeded and b) minimum lot size standards within the respective land use category, i.e., 6,200 square feet within the SFD category and a 5,000 square feet minimum with the MH, are not exceeded. A tracking report will be provided to the Community Development Director that demonstrates all dwelling unit shifts on a project-wide basis.

Should the public school or park sites be relocated, the resulting planning area may be developed as SFD low density (single family detached) housing in accordance with the Specific Plan regulations.

#### **11. LARGE-LOT SUBDIVISION**

Large-lot subdivision maps, for the purpose of conveyance or financing, may be approved when such maps include a declaration that lots created are not building sites. This includes the subdivision of residential, commercial, office and business park areas. Posting of bonds, installation of infrastructure improvements, or dedication of open space shall not be made a condition of approval of a large-lot subdivision for conveyance or financing purposes. A tentative tract map may be submitted for any portion of a single planning area or combination of planning areas.

#### **12. BUILDING CONSTRUCTION**

All building construction within the Specific Plan shall comply with applicable

building codes.

### 13. INTERIM USES

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

### 14. CITY COUNCIL DECLARATION / SEVERABILITY

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

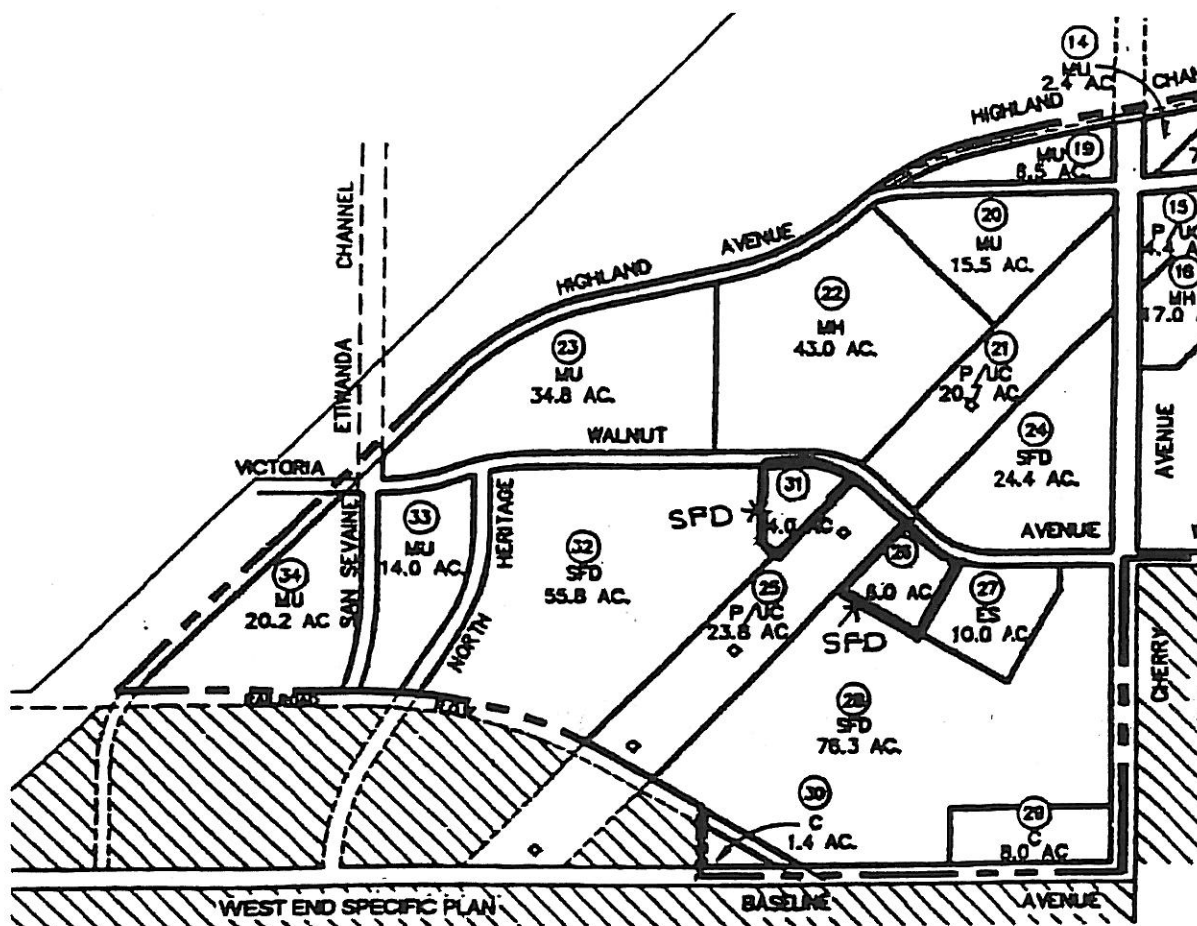
### 15. PERMITTED TEMPORARY USES

In order to facilitate the development of the project, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Director of Community Development or his / her designee:

- a. Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- b. Temporary construction facilities and parking compounds for contractors equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- c. Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are permitted. Signs shall not exceed a height or width of eight (8) feet. Other allowed signage shall be subject to City code requirements.
- d. Model homes, temporary real estate offices and subdivision signs, temporary on-site construction offices, continued use of an existing building during construction of a new building or site preparation. Any model home may be used on a temporary basis as a real estate office subject to the following conditions:
  - The model home real estate office must be located on a lot established and depicted within an approved recorded tract map encompassing the property in question. Location of model homes shall be subject to approval by the Community Development Director.
  - The model home real estate office must meet all applicable provisions of this Plan and all applicable provisions of the City of Fontana Zoning and Development Code.
- e. Christmas tree and Halloween pumpkin sales.



# CITY OF FONTANA PLANNING DIVISION



NORTH

## EXHIBIT B

DATE: December 1, 1998

CASE: General Plan  
Amendment #98-06  
(Westgate Specific Plan  
Amendment #1)

# WESTGATE SPECIFIC PLAN

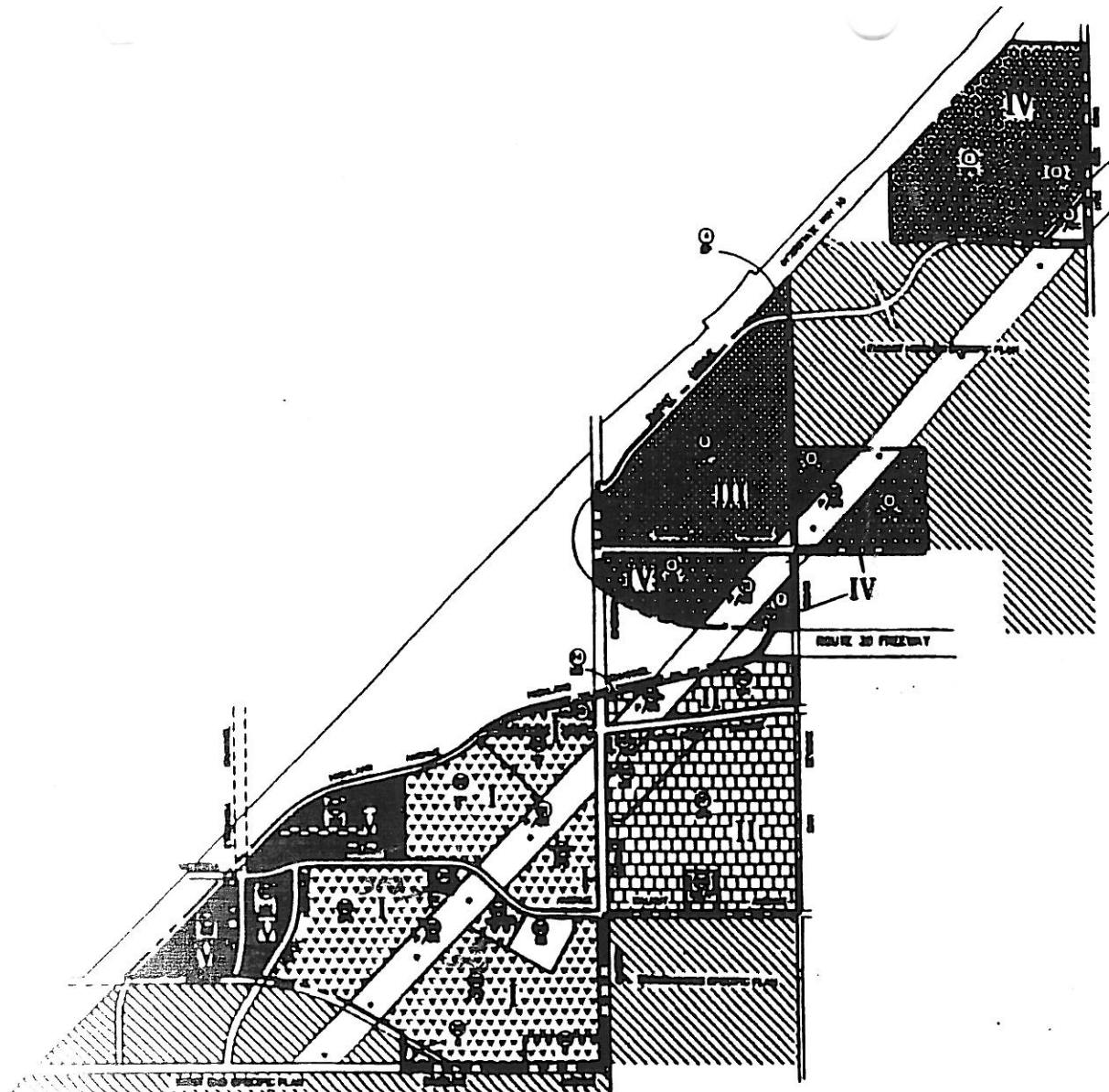
Prepared for: UNITEX

## LEGEND

 PHASE NUMBER

## KEY

 PLANNING UNIT NUMBER



Planning Areas #26 & #31 were changed  
from OS/P to SFD

## EXHIBIT 32 PHASING PLAN

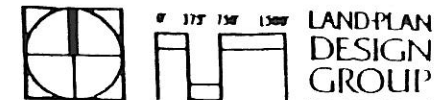
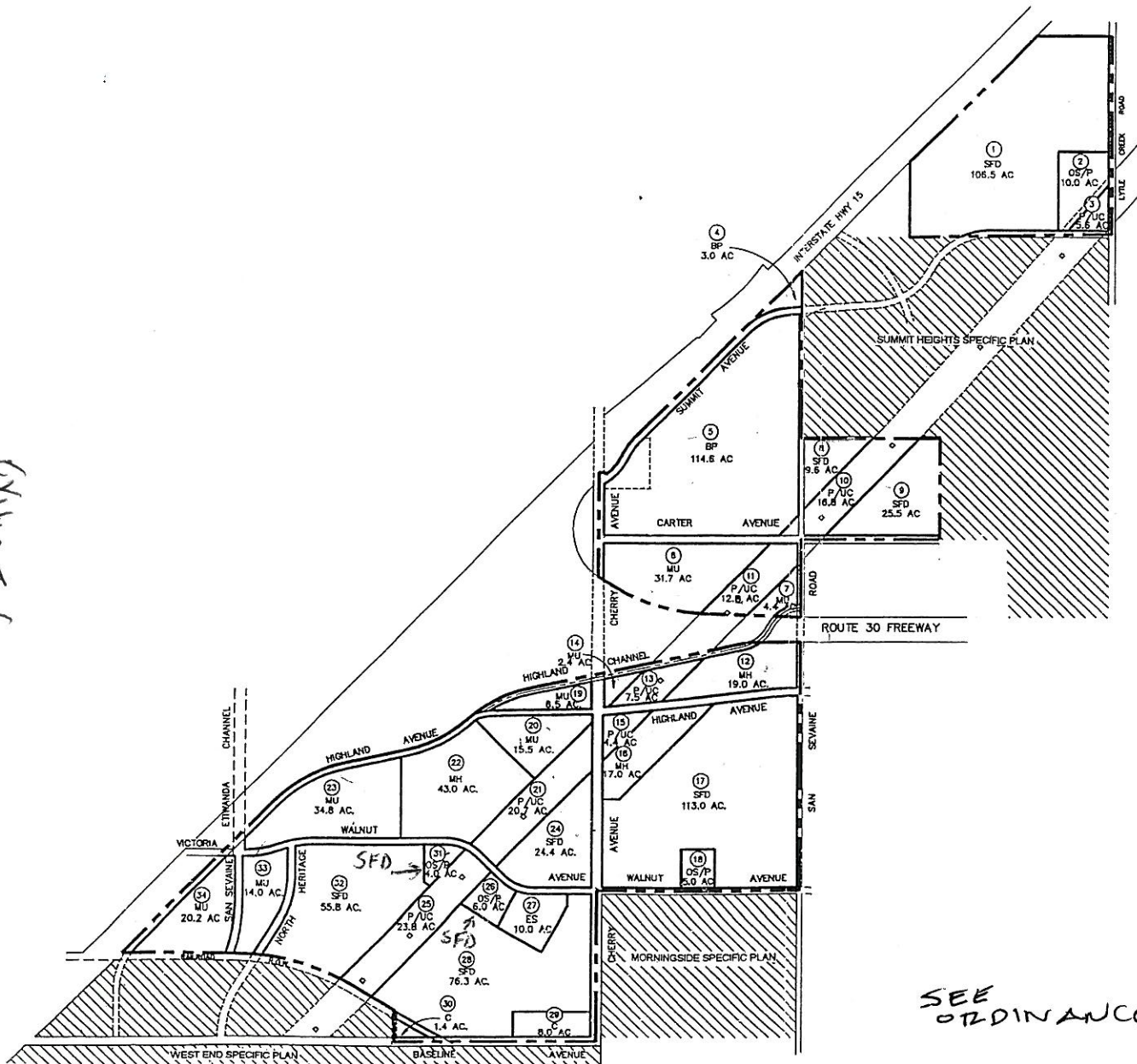


EXHIBIT 6



SEE ORDINANCE 1270

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

## LEGEND

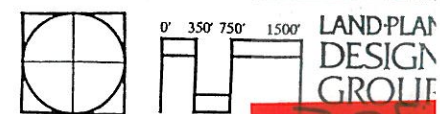
|        |                           |
|--------|---------------------------|
| BP     | BUSINESS PARK             |
| C      | COMMERCIAL                |
| MU     | MIXED USE                 |
| SFD    | LOW DENSITY RESIDENTIAL   |
| MH     | MEDIUM HIGH RESIDENTIAL   |
| P / UC | PUBLIC / UTILITY CORRIDOR |
| OS / P | OPEN SPACE / PARK         |
| ES     | ELEMENTARY SCHOOL         |

## KEY

|      |                      |
|------|----------------------|
| (28) | PLANNING UNIT NUMBER |
| SFD  | LAND USE DESIGNATION |
| 44.1 | ACREAGE              |

EXHIBIT 6

## LAND USE PLAN



LAND  
USE  
MAP

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

## LEGEND

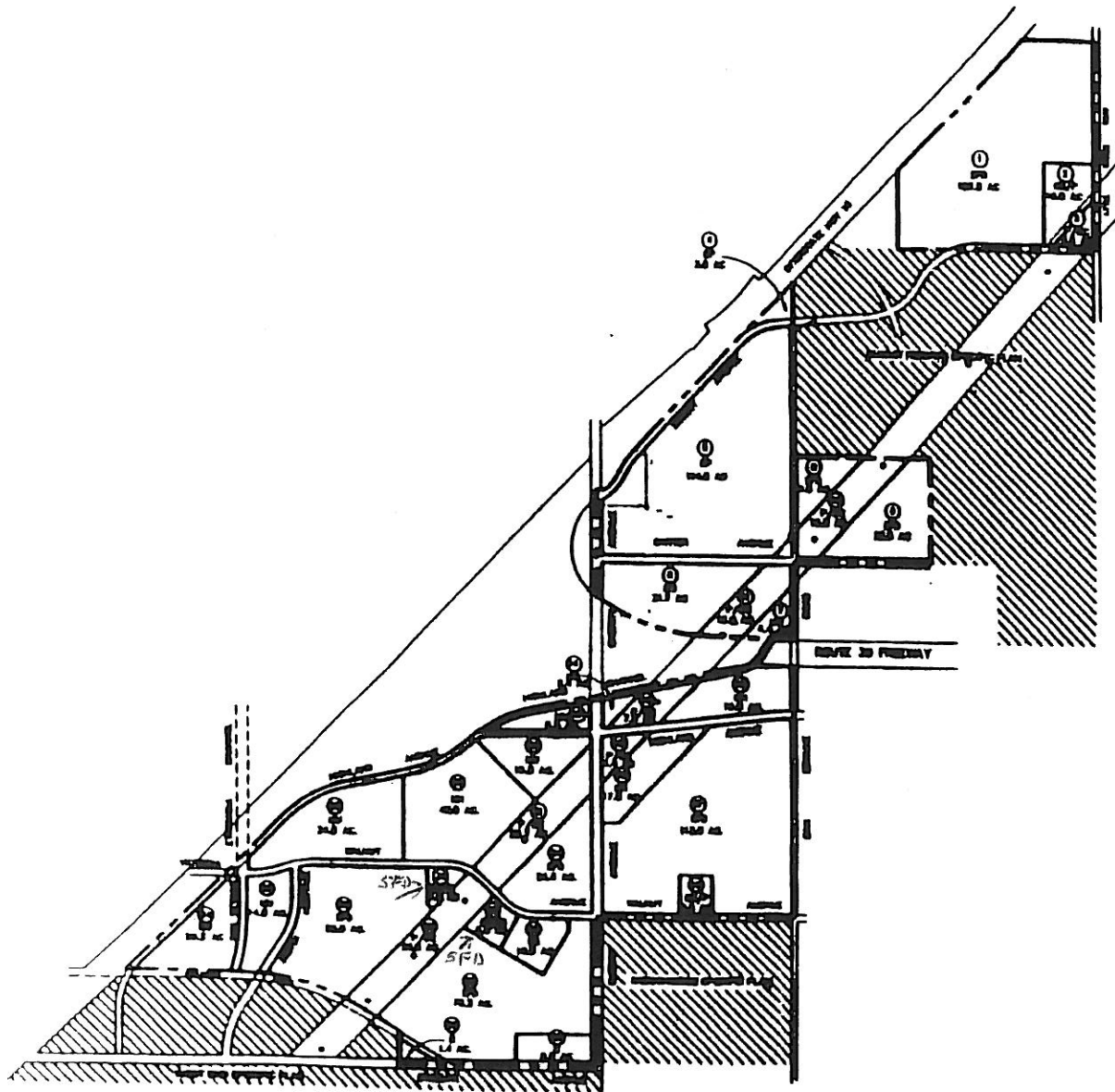
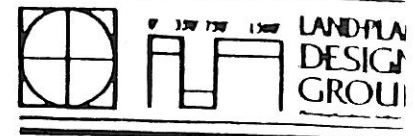
|      |                           |
|------|---------------------------|
| BP   | BUSINESS PARK             |
| C    | COMMERCIAL                |
| MU   | MIXED USE                 |
| SFD  | LOW DENSITY RESIDENTIAL   |
| MH   | MEDIUM HIGH RES.          |
| P/UC | PUBLIC / UTILITY CORRIDOR |
| OS/P | OPEN SPACE / PARK         |
| ES   | ELEMENTARY SCHOOL         |

## KEY

|      |                      |
|------|----------------------|
| (20) | PLANNING UNIT NUMBER |
| SFD  | LAND USE DESIGNATION |
| 44.1 | ACREAGE              |

## EXHIBIT 6

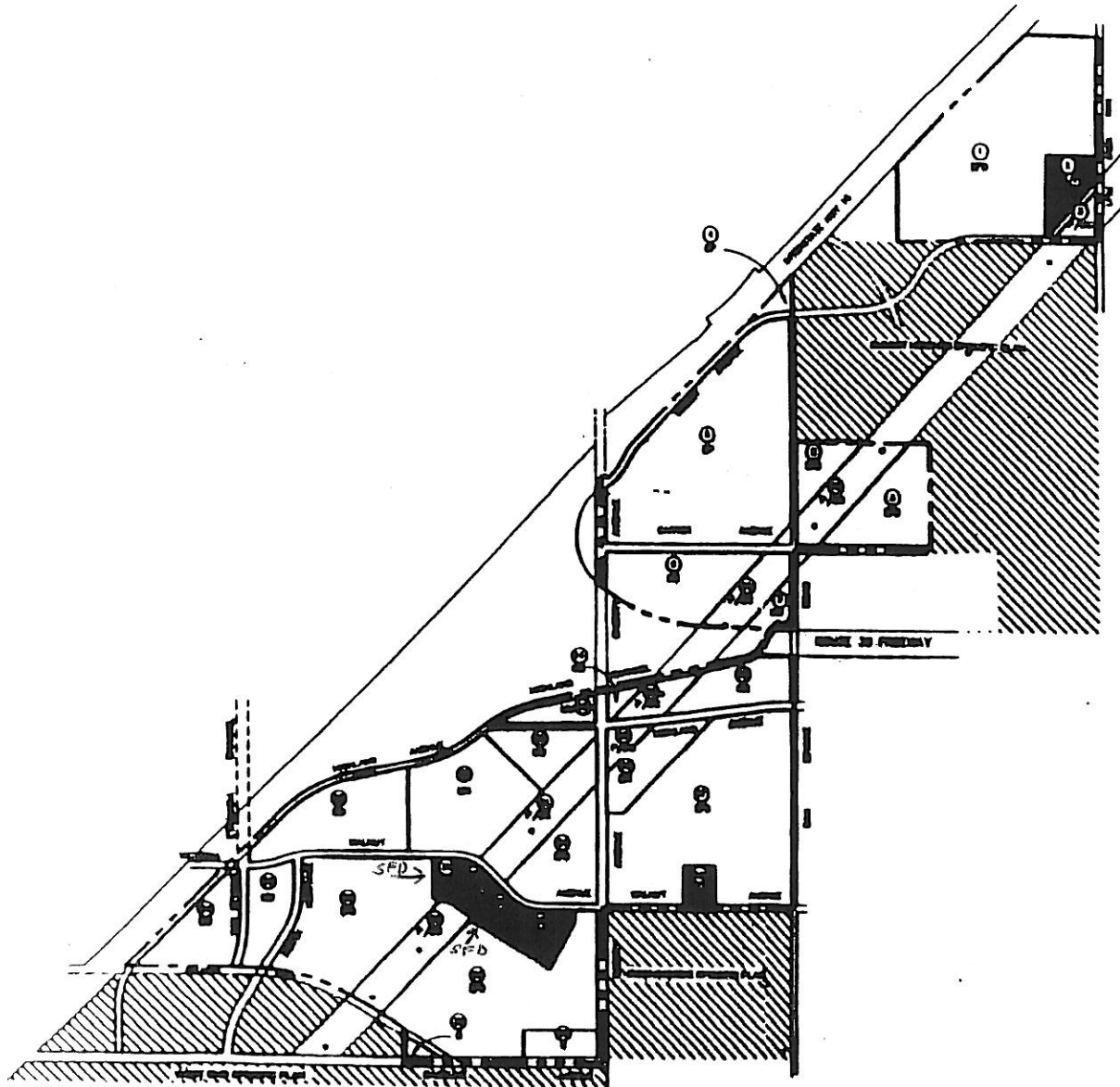
## LAND USE PLAN



Planning Areas #26 & #31 were changed  
from OS/P to SFD

EXHIBIT 6

EXHIBIT 6A



Planning Areas #26 & #31 were changed  
from OS/P to SFD

# WESTGATE SPECIFIC PLAN

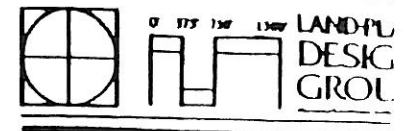
Prepared for: UNITEX

## LEGEND

-  PARK SITE
-  SCHOOL SITE

EXHIBIT 6A

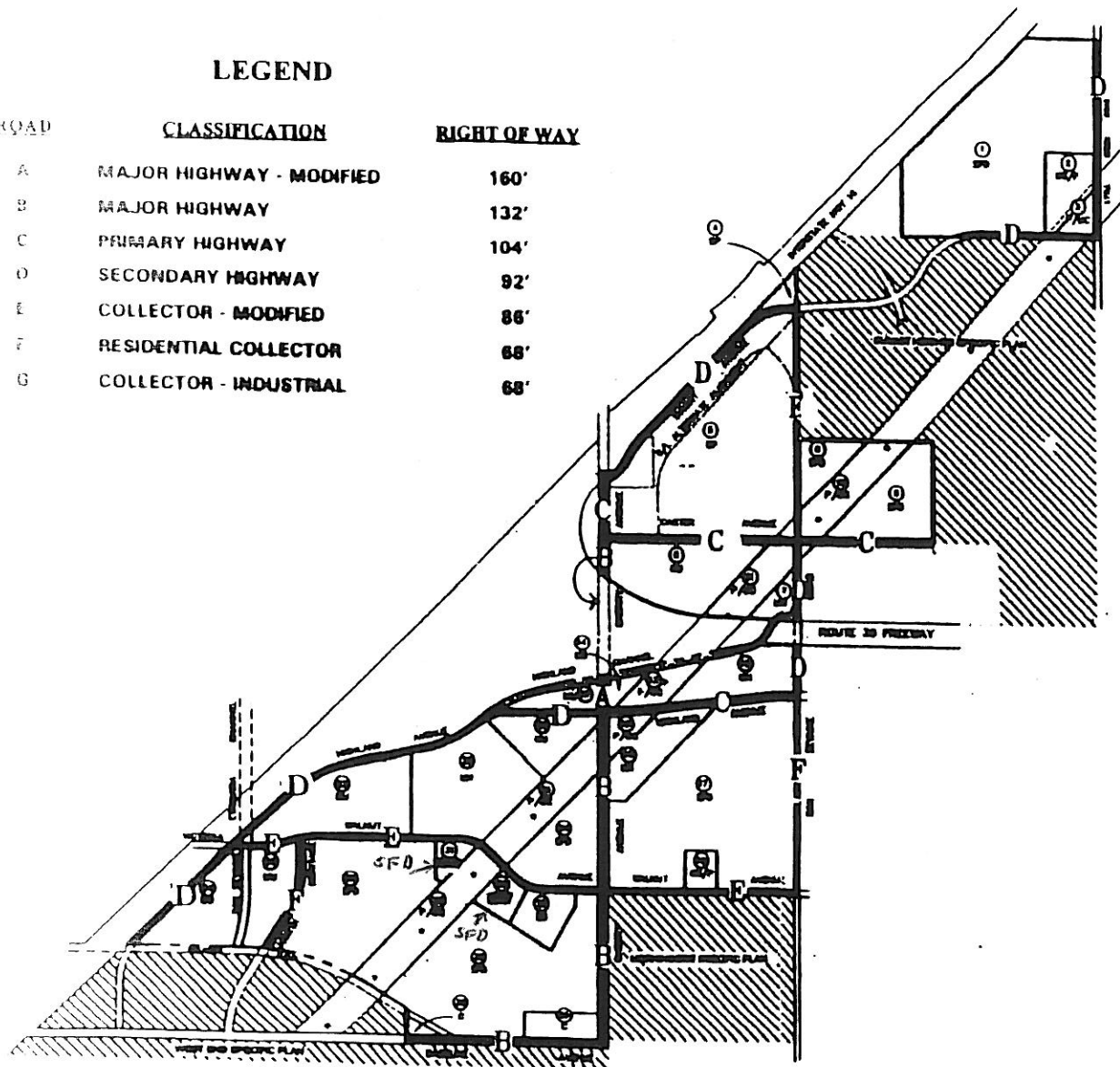
PUBLIC FACILITIES PLAN



# WESTGATE SPECIFIC PLAN

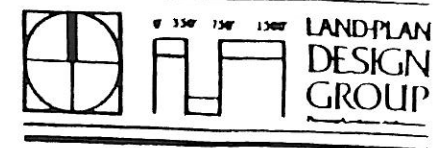
Prepared for: UNITEX

| ROAD | CLASSIFICATION           | RIGHT OF WAY |
|------|--------------------------|--------------|
| A    | MAJOR HIGHWAY - MODIFIED | 160'         |
| B    | MAJOR HIGHWAY            | 132'         |
| C    | PRIMARY HIGHWAY          | 104'         |
| D    | SECONDARY HIGHWAY        | 92'          |
| E    | COLLECTOR - MODIFIED     | 86'          |
| F    | RESIDENTIAL COLLECTOR    | 68'          |
| G    | COLLECTOR - INDUSTRIAL   | 68'          |



Planning Areas #26 & #31 were changed  
from OS/P to SFD

## EXHIBIT 7 CIRCULATION PLAN



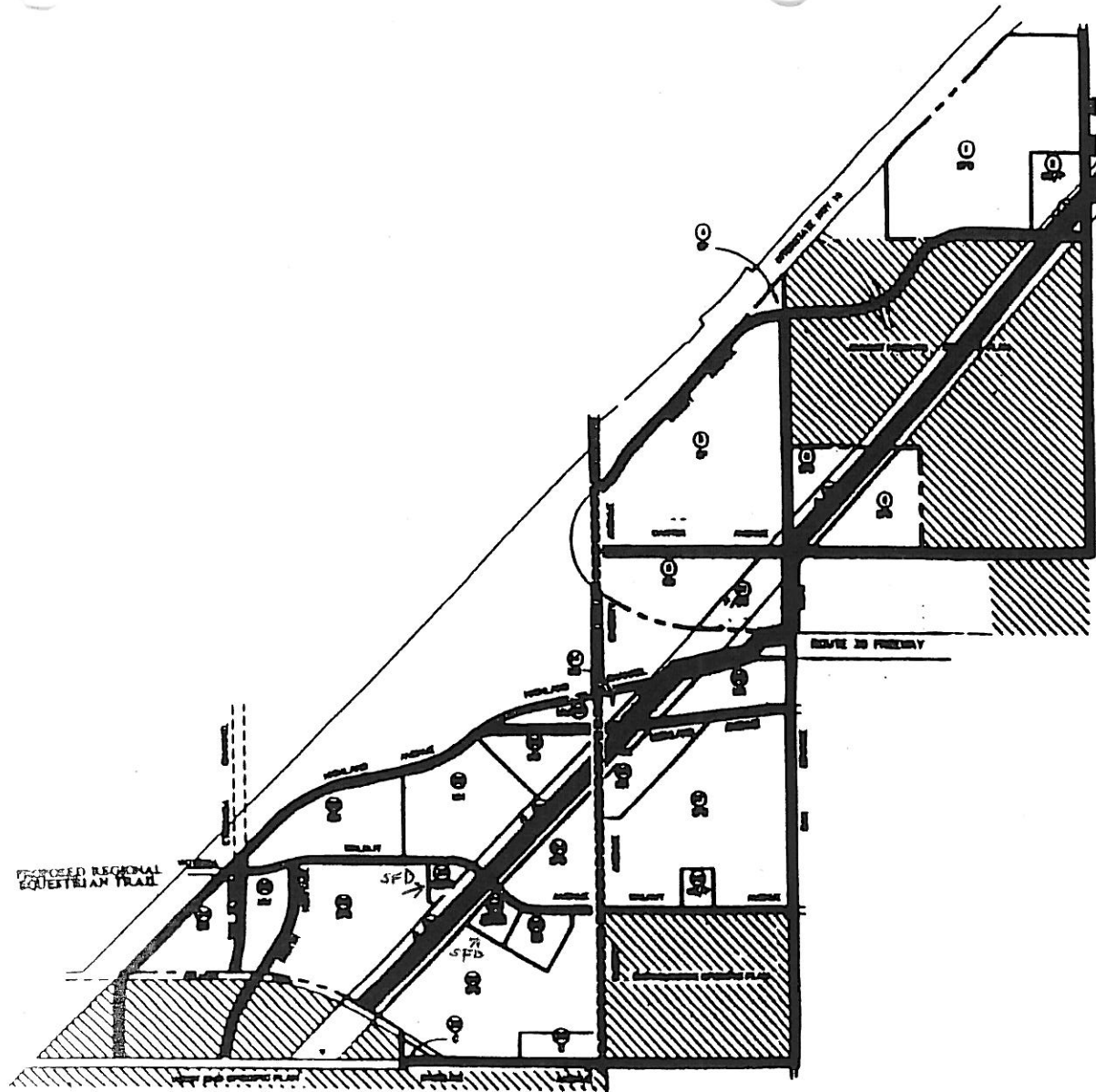


# WESTCATE SPECIFIC PLAN

Prepared for: UNITEX

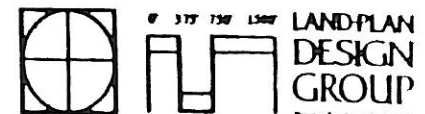
## LEGEND

- CLASS I  
STREET SEPARATED  
BICYCLE PATH
- CLASS II  
STRIPED, ON-STREET  
BICYCLE LANE
- REGIONAL BIKE  
TRAIL
- REGIONAL EQUESTRIAN  
TRAIL



Planning Areas #26 & #31 were changed  
from OS/P to SFD

## EXHIBIT 8 BICYCLE / EQUESTRIAN CIRCULATION PLAN



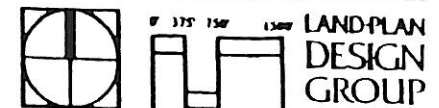
**WESTGATE**  
**SPECIFIC PLAN**  
Prepared for: **UNITEX**

**UNITEX**

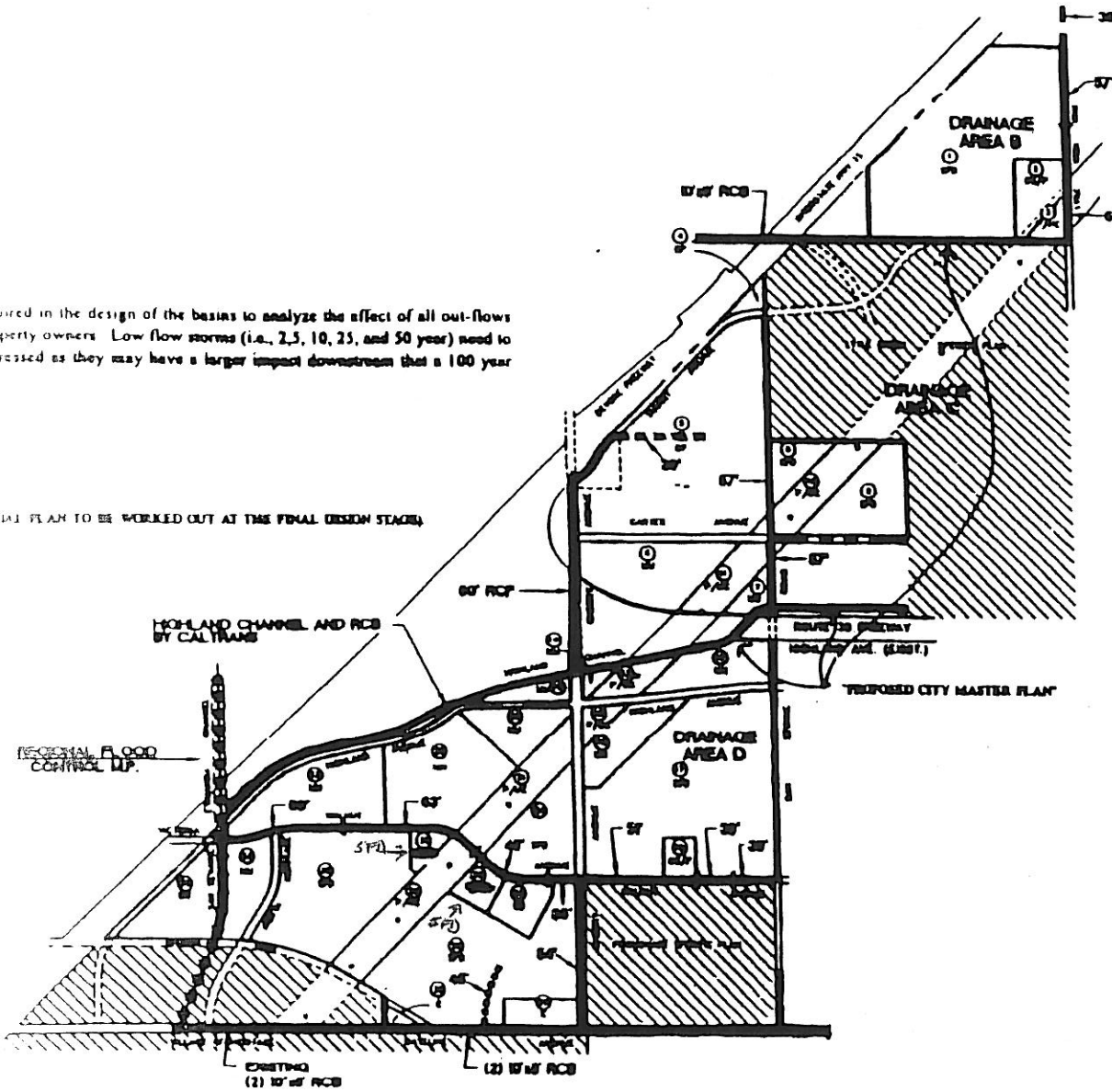
### LEGEND

- EXISTING CITY  
MASTER PLAN
- EXISTING SAN SEVAYNE  
CHANNEL - REGIONAL  
FLOOD CONTROL
- LOCAL DRAINS (Developer)

**EXHIBIT 9**  
**DRAINAGE PLAN**



SOURCE: ALLARD ENGINEERING


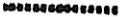


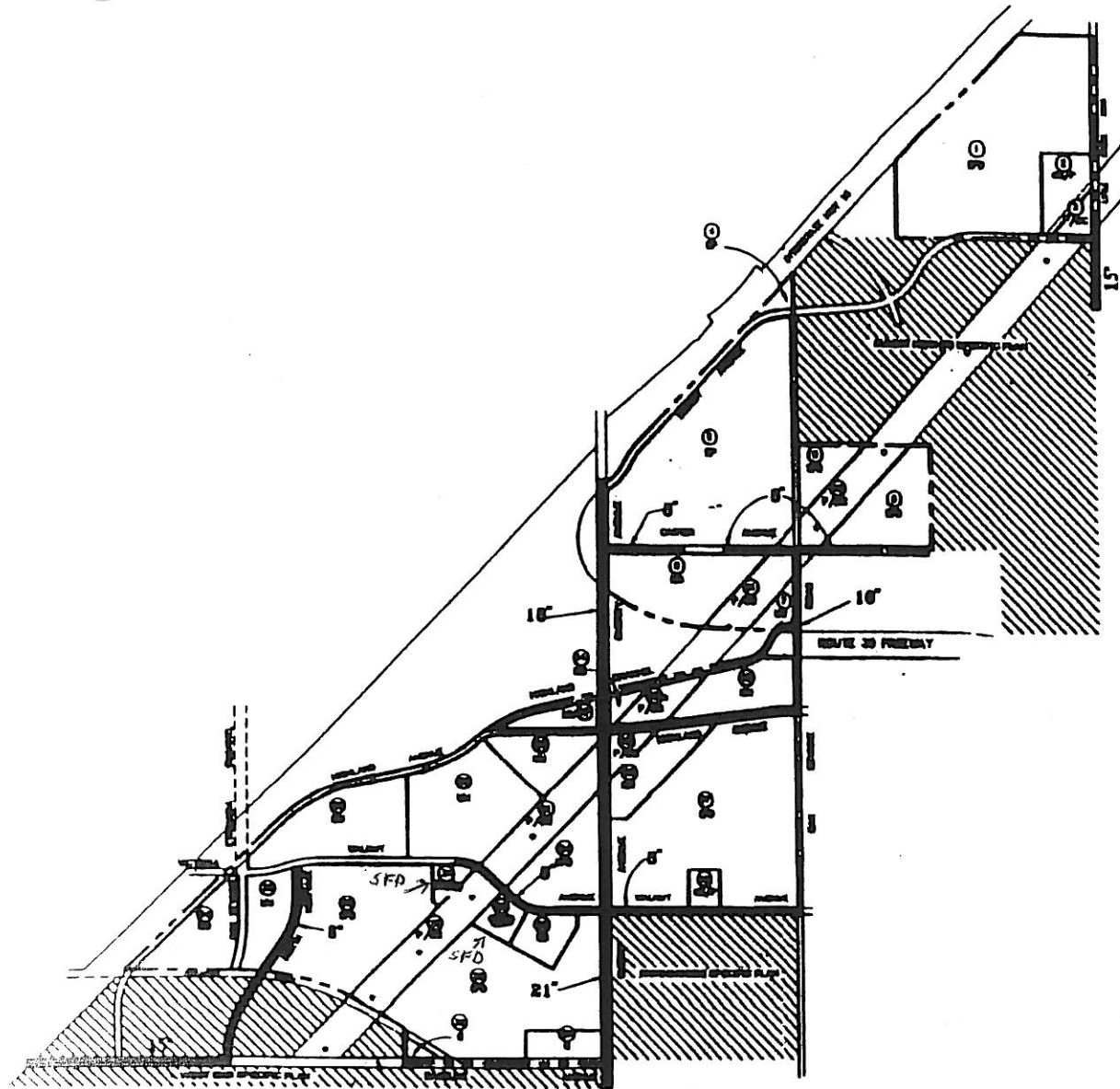
**Planning Areas #26 & #31 were changed  
from OS/P to SFD**

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

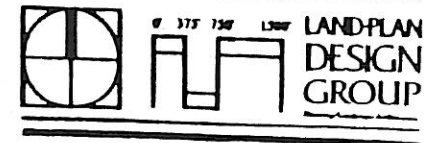
## LEGEND

-  PROPOSED SEWERLINE
-  EXISTING SEWERLINE



Planning Areas #26 & #31 were changed  
from OS/P to SFD

## EXHIBIT 10 SEWER PLAN




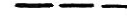


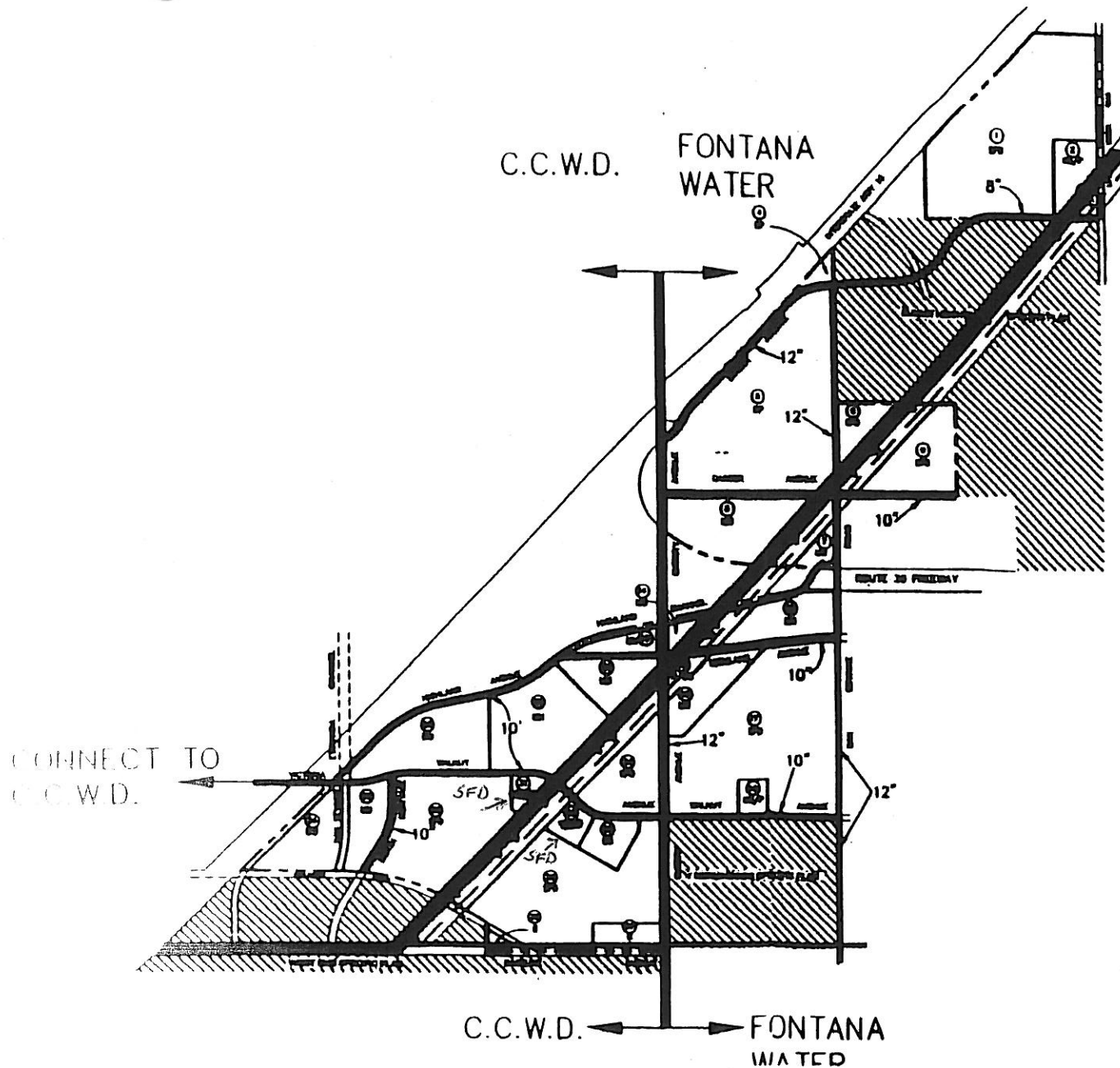
SOURCE: ALLARD ENGINEERING

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

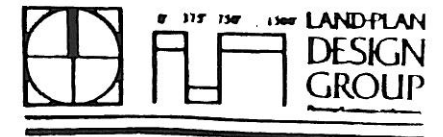
## LEGEND

-  PROPOSED WATERLINE
-  EXISTING WATERLINE
-  EXISTING MWD LINE
-  EXISTING SGV LINE



Planning Areas #26 & #31 were changed  
from OS/P to SFD

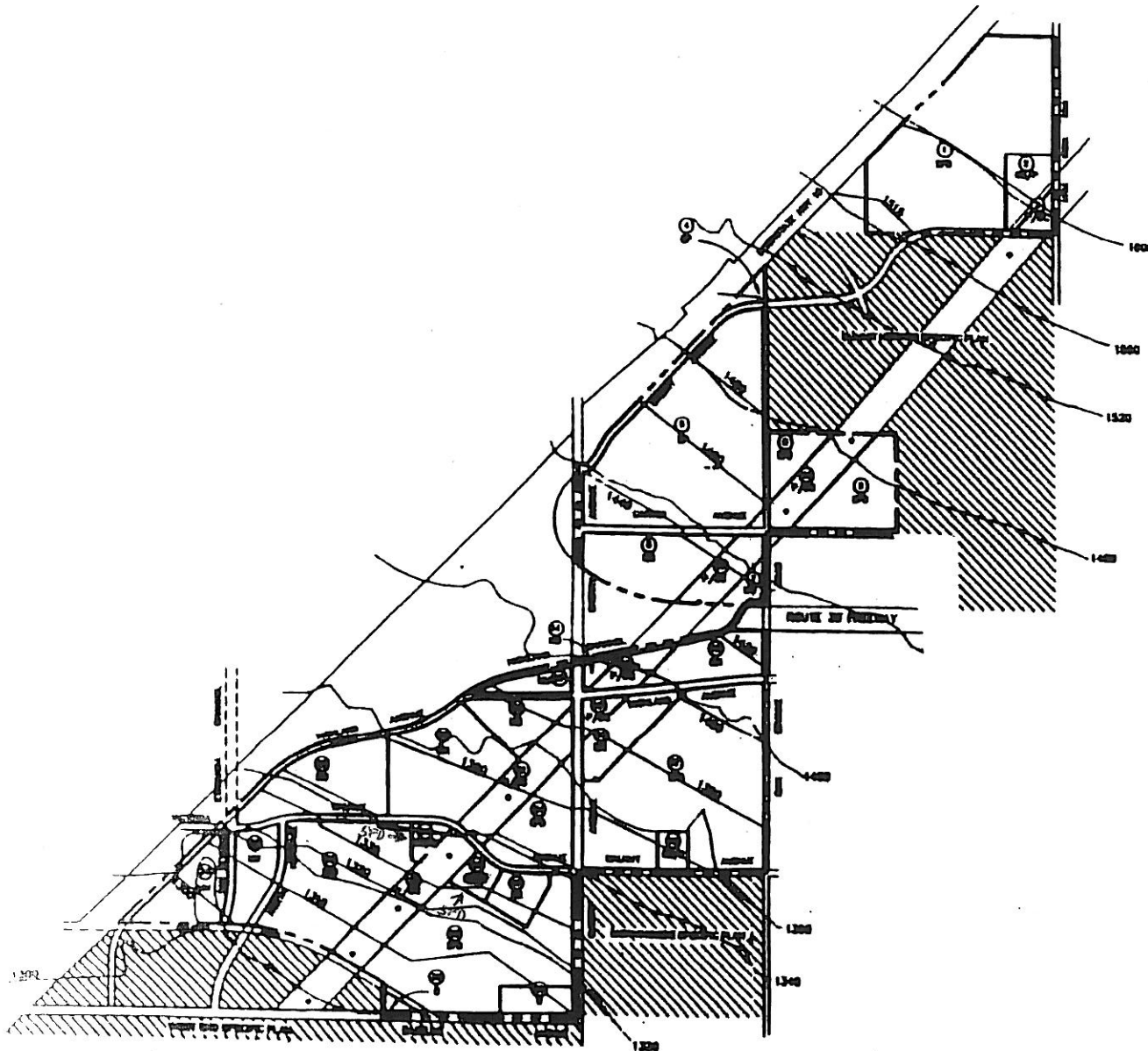
## EXHIBIT 11 WATER PLAN



SOURCE: ALLARD ENGINEERING

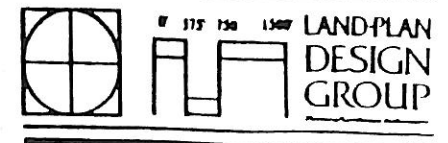
# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



Planning Areas #26 & #31 were changed  
from OS/P to SFD

## EXHIBIT 11A GRADING PLAN



# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

## LEGEND



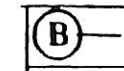
MAJOR BUSINESS ENTRY  
SEE EXHIBIT 13 & 14



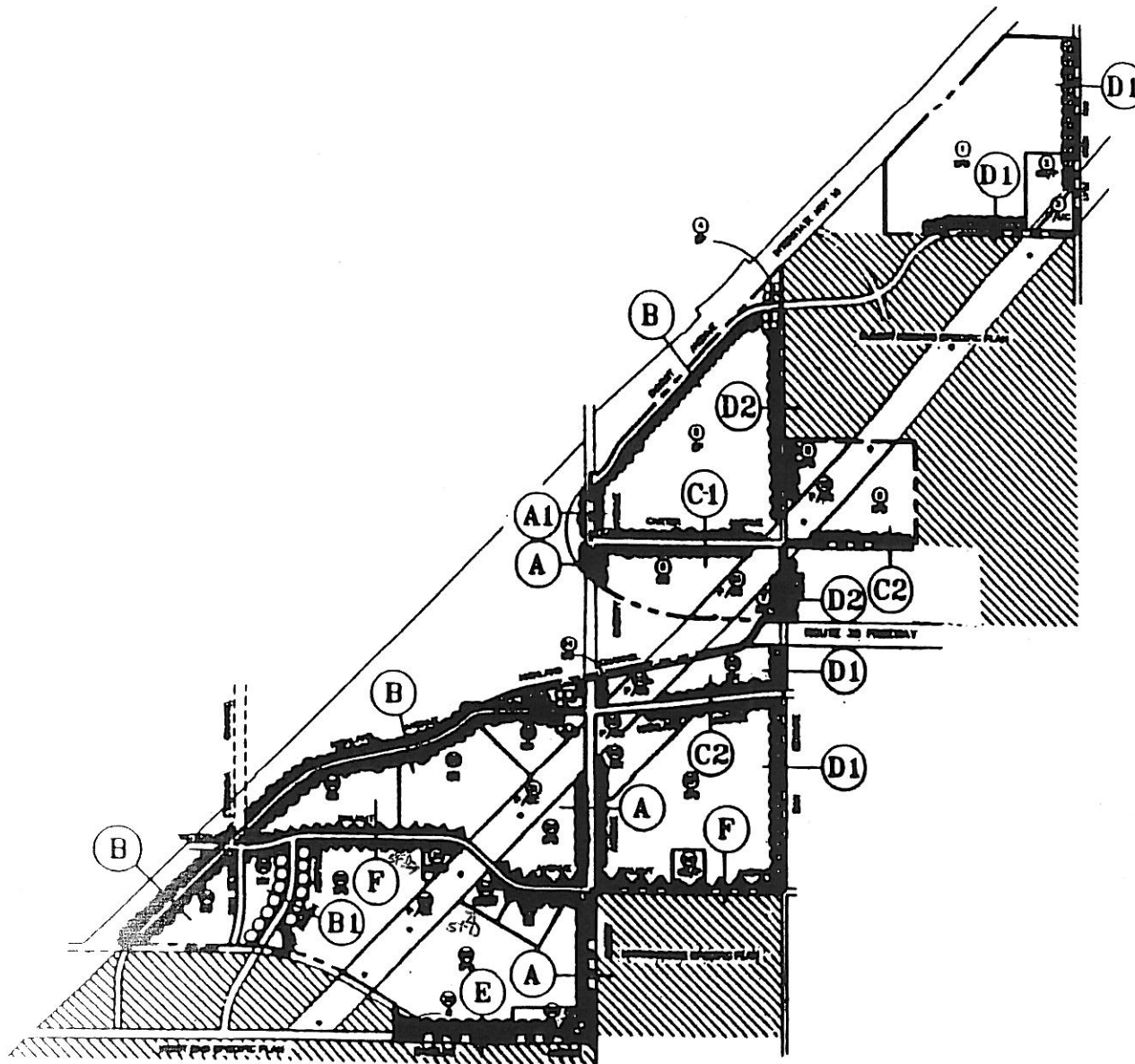
MAJOR RESIDENTIAL ENTRY  
SEE EXHIBIT 15 & 16



INTERSECTION ENHANCEMENT  
SEE EXHIBIT 16A



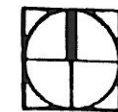
LANDSCAPE SECTIONS  
SEE EXHIBITS 17-20



Planning Areas #26 & #31 were changed  
from OS/P to SFD

EXHIBIT 12

LANDSCAPE PLAN

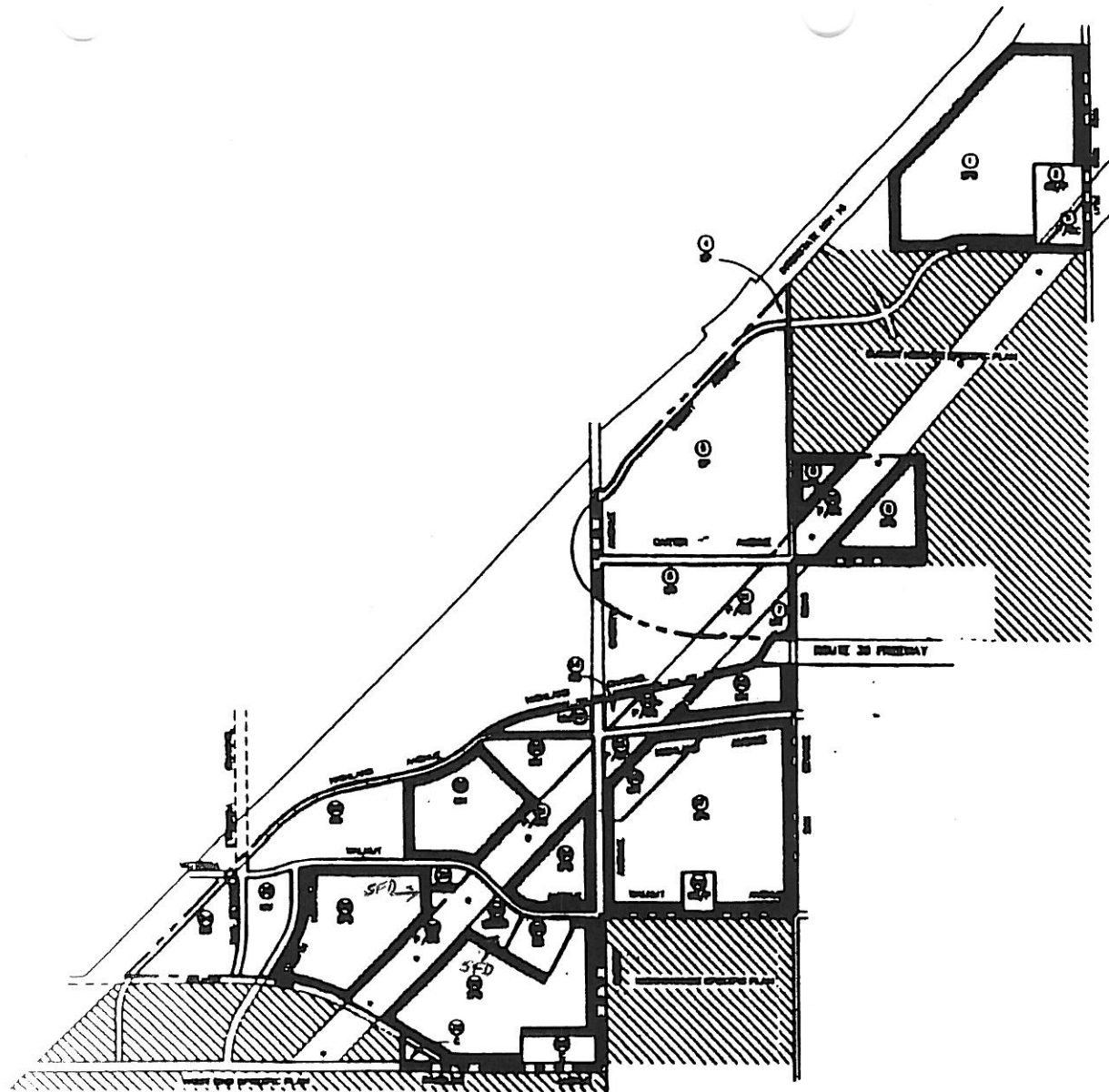


1115 1500 1500 LAND-PLAN  
DESIGN  
GROUP



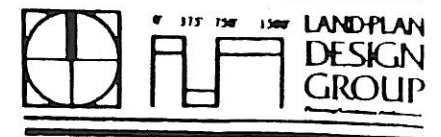
**LEGEND**

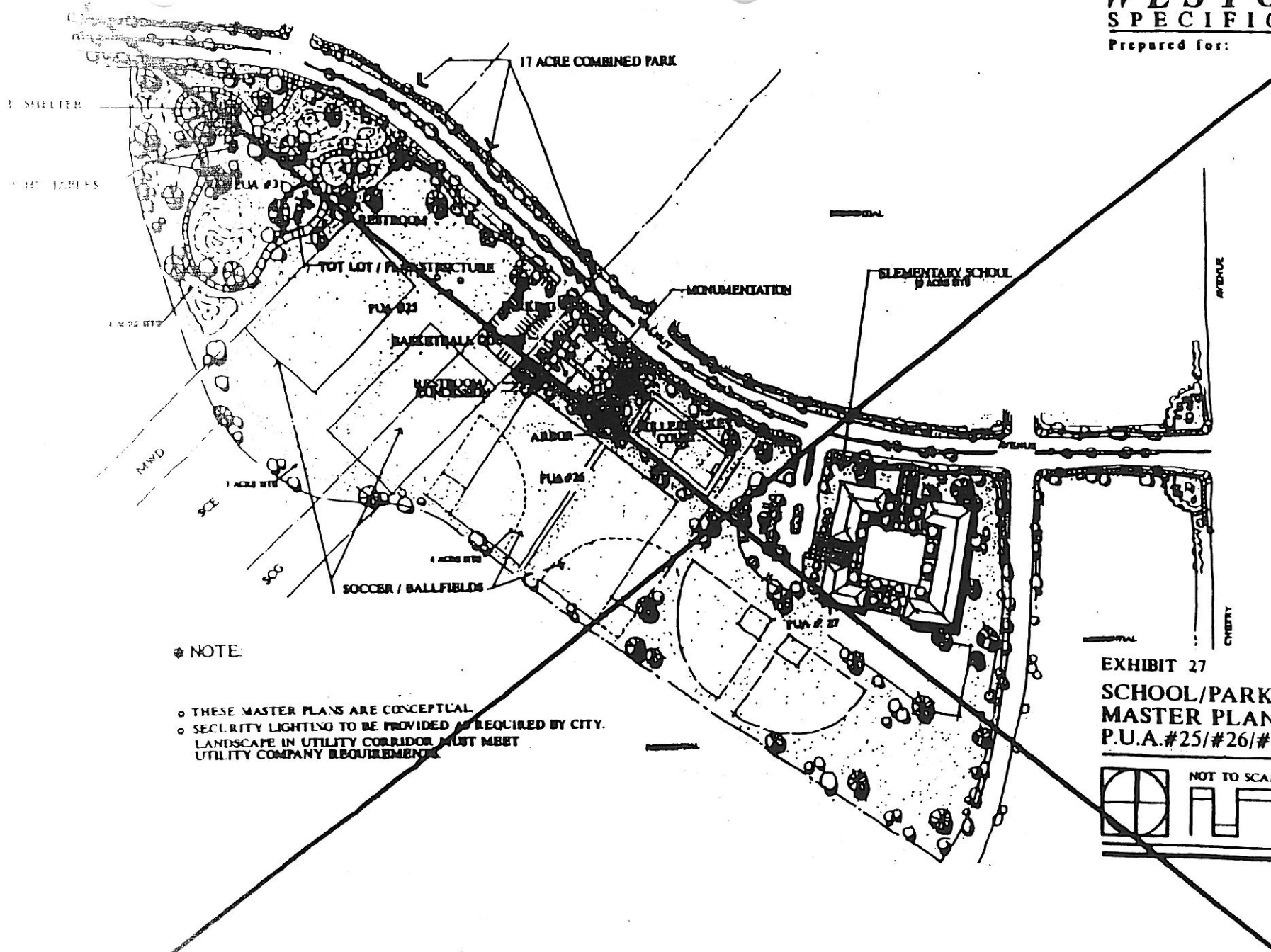
 **COMMUNITY THEME WALL**  
 **SLUMPSTONE WALL**



Planning Areas #26 & #31 were changed  
 from OS/P to SFD

**EXHIBIT 21**  
**COMMUNITY WALL**  
**PLAN**





**NOTE:**

- THESE MASTER PLANS ARE CONCEPTUAL.
- SECURITY LIGHTING TO BE PROVIDED AS REQUIRED BY CITY.
- LANDSCAPE IN UTILITY CORRIDOR MUST MEET UTILITY COMPANY REQUIREMENTS.

**EXHIBIT 27**

**SCHOOL/PARKS  
MASTER PLAN**

**P.U.A.#25/#26/#27/#31**



**NOT TO SCALE LAND PLAN  
DESIGN GROUP**

**RESOLUTION NO. 98-109**

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF FONTANA, CALIFORNIA, APPROVING GENERAL PLAN AMENDMENT #98-04 AND GENERAL PLAN AMENDMENT #98-06**

**WHEREAS**, the Planning Commission at its September 28, 1998, meeting received public testimony and considered General Plan Amendment #98-04 and forwarded a recommendation to the City Council; and

**WHEREAS**, the Planning Commission at its October 26, 1998, meeting received public testimony and considered General Plan Amendment #98-06; and

**WHEREAS**, the City Council of the City of Fontana adopted the General Plan on May 15, 1990.

**WHEREAS**, notice of the City Council public hearing concerning General Plan Amendment #98-04 and General Plan Amendment #98-06 was given pursuant to the Government Code by publication in the The Sun, a newspaper of general circulation within the City; and

**WHEREAS**, the City Council has received public testimony on General Plan Amendment #98-04 and on the environmental analysis and determines that the project will not have a significant effect on the environment and a Mitigating Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act; and

**WHEREAS**, the City Council has received public testimony on General Plan Amendment #98-06 and on the environmental analysis and determines that the project will not have a significant effect on the environment and a Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding is recommended for this project per the Local Guidelines for Implementing the California Environmental Quality Act; and

**NOW, THEREFORE, BE IT RESOLVED** that the City Council of the City of Fontana, orders as follows:

**Section 1.** Find that General Plan Amendment #98-04 will not have a significant effect on the environment, adopt the Mitigating Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

Resolution No. 98-109

**Section 2.** Find that General Plan Amendment #98-06 will not have a significant effect on the environment, adopt the Negative Declaration and State of California Department of Fish and Game De Minimis Impact Finding, and direct staff to prepare and file a Notice of Determination.

**Section 3.** Amend the General Plan, Land Use Element, Specific Plan Designations, by adding the following:

**Summit Heights Specific Plan (#19):**

The Summit Heights Specific Plan is comprised of a mixture of single family residential homes, recreational, and commercial land uses on 291 acres. The Specific Plan is located in the northwest portion of the City of Fontana and bounded by Summit Avenue to the north, Lytle Creek Road to the east, Highland Avenue and the proposed Route 30 to the south, and Interstate 15 and the proposed extension of San Sevaine Avenue to the west.

**Section 4.** The General Plan Land Use Map shall be amended per Exhibit A & B.

**APPROVED AND ADOPTED** this 17<sup>th</sup> day of November, 1998.

**READ AND APPROVED AS TO LEGAL FORM:**

/s/ Clark Alsop  
City Attorney

I, Patricia M. Murray, City Clerk of the City of Fontana and Ex-Officio Clerk of the City Council, do hereby certify that the foregoing resolution is the actual resolution duly and regularly adopted by the City Council at the regular meeting on the 17<sup>th</sup> day of November, 1998, by the following vote to wit;

**AYES:** Mayor Eshleman, Council Members Mancha, Nuaimi and Roberts

**NOES:** None

**ABSENT:** Council Member Freeman

/s/ Patricia M. Murray  
City Clerk of the City of Fontana

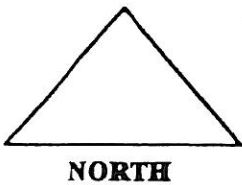
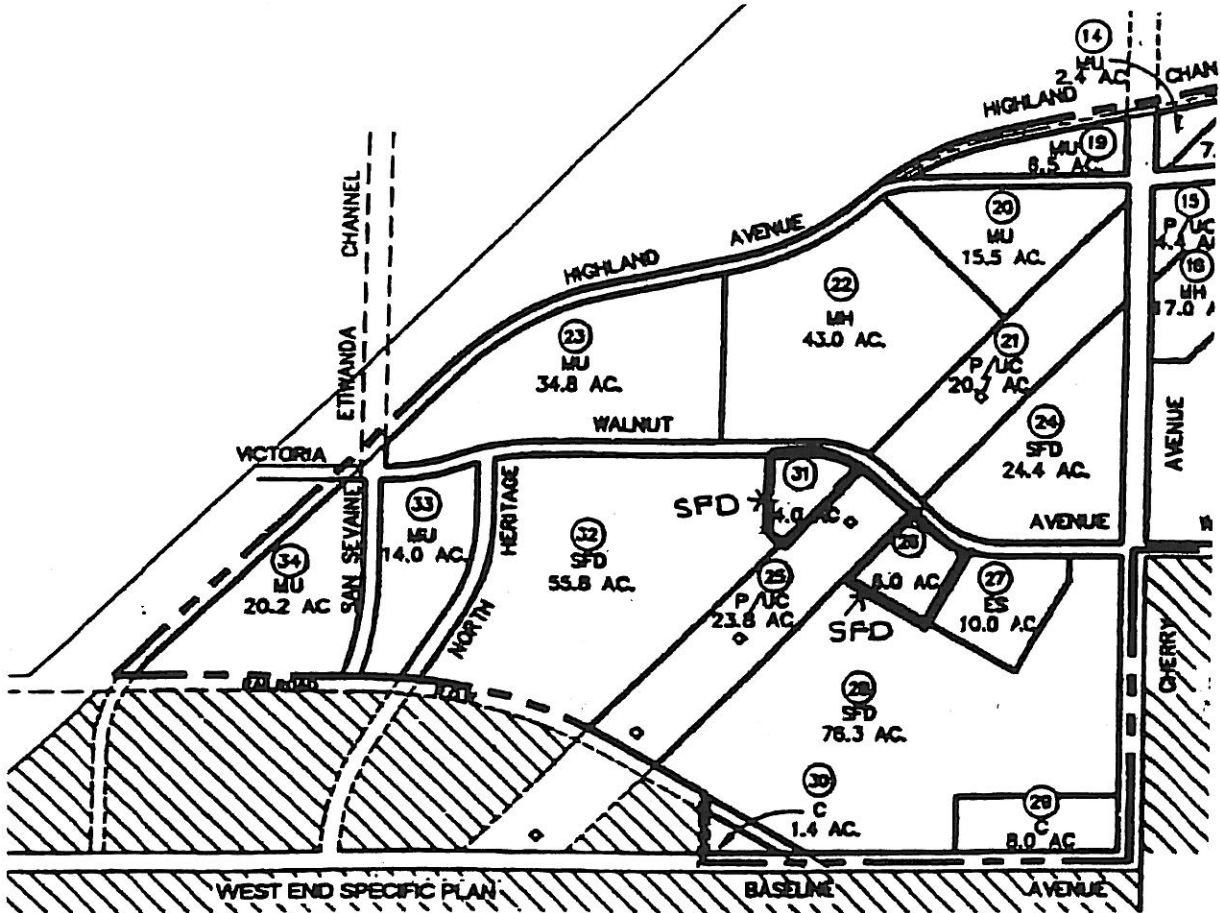
Resolution No. 98-109

**ATTEST:**

/s/ Patricia M. Murray  
City Clerk

Summit Heights disk/RES-GPA#98-04&06(11-17-98)

# CITY OF FONTANA PLANNING DIVISION



## EXHIBIT B

DATE: December 1, 1998

CASE: General Plan  
Amendment #98-06  
(Westgate Specific Plan  
Amendment #1)



# **WESTGATE SPECIFIC PLAN**

**LEAD AGENCY:**

**CITY OF FONTANA**

Planning Division  
Debbie Brazill, Planning Manager  
Craig L. Bruorton, AICP, Senior Planner  
8353 Sierra Ave.  
Fontana, CA 92335  
(909) 350-6727

**APPLICANT:**

**UNITEX MANAGEMENT CORPORATION**

Jeff Pierson, Vice President  
6101 Cherry Avenue  
Fontana, CA 92336  
909-899-5011

**CIVIL ENGINEER:**

**ALLARD ENGINEERING**

Ray Allard, Principal  
6101 Cherry Ave.  
Fontana, CA 92336  
909-899-5011

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# WESTGATE SPECIFIC PLAN

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I. Introduction

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## **I INTRODUCTION**

### **A. BACKGROUND AND PURPOSE**

The policies, plans, and programs of the City of Fontana's General Plan establishes the basic framework for development of the Westgate Specific Plan. The primary purpose of this Specific Plan is to implement the mission and policies of the City on a specific planning area basis. The City's General Plan Summary articulates the City of Fontana's vision in its Mission Statement:

"The City of Fontana is committed to its emergence as the premiere quality of life community in the Inland Empire."

The Westgate Specific Plan incorporates all the components to achieve these goals. When adopted, the specific plan will serve both a regulatory and planning function, guiding the necessary community design infrastructure and public service requirements.

### **B. AUTHORITY FOR THE SPECIFIC PLAN**

The Westgate Specific Plan is created through the authority granted to the City of Fontana by the California Government Code. The adoption of the Plan by the City of Fontana is authorized by the California Government Code, Title 7, Divisional Chapter 3, Articles 8 and 9, Sections 65450-65507, under this Code. The Planning Commission must hold a public hearing before the Planning Agency can recommend the adoption of a specific plan. The City Council may then adopt a specific plan by ordinance or resolution. California Government Code Section 375507 provides as follows:

"When it deems it to be for the public interest, the legislative body may initiate and adopt an ordinance or resolution establishing a Specific Plan or an amendment thereto."

The California Government Code provides that a specific plan shall include the following elements:

#### **1. LAND USE:**

The location of housing, business, industry, open space, recreation facilities, educational facilities, churches and related religious facilities, public buildings and grounds, solid and liquid waste disposal facilities, together with regulations establishing height, bulk, and setback lines.

#### **2. CIRCULATION:**

The plan may include the location of streets, road standards, maintenance provisions, and other transportation needs. This plan may include standards for both private and public facilities.

**3. DENSITY:**

Standards for population density and building density may be included. This may include lot size, permissible types of construction, provisions for water supply, sewage disposal, storm water drainage and the disposal of solid waste.

**4. DESIGN:**

The City, through the specific plan process, may provide design criteria for the study area to enhance local image, promote high aesthetic standards and promote the location and development of public focal points.

In order to obtain approval, future development plans, tentative parcel maps or tract maps submitted within the Westgate Specific Plan area must be consistent with the Specific Plan.

**C. APPLICATION**

The Westgate Specific Plan applies only to that property known as the Westgate Specific Plan area, as delineated on the ownership and land use maps in the body of the text and described in the legal description.

**D. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE**

An Environmental Impact Report (EIR) will be prepared by the City of Fontana for Westgate in accordance with CEQA and City requirements. The EIR assesses the environmental impacts of the proposed development in all areas of the specific plan, including: land use, circulation, infrastructure, and land use policies. This EIR fulfills the environmental impact assessments for all future development projects within the Westgate Specific Planning area (i.e., development plans, subdivision maps, conditional use permits) as long as those proposals are consistent with this Plan. A comprehensive fiscal impact analysis will also be prepared for the project.

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## II. Project Setting

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## II. PROJECT SETTING

### A. PROJECT LOCATION

Westgate is comprised of approximately 954 acres located in the northwest portion of the City of Fontana and adjacent to the Interstate 15 / Devore Freeway and Future Route 30 Freeway. It is situated north of Baseline Avenue, south and west of Lytle Creek Road with the major portion west of San Sevaine Road. Highland Avenue, (future Route 30), bisects the site in an east / west direction. See Exhibits 1 and 2.

### B. PROJECT DESCRIPTION

In accordance with the City's General Plan goals and objectives, Westgate has been designed as a master-planned community integrating business park, commercial retail, office and residential opportunities. The community includes an elementary school and public parks around which residential neighborhoods are organized. The Westgate Plan will provide the City with a strong economic and employment base by virtue of the approximately 257 acres of business / commercial uses located primarily at the juncture of the I-15 / Future Route 30 Freeways. Following is a summary of the various land use components:

**TABLE A - LAND USE SUMMARY**

| DESCRIPTION                        | ACRES                | DWELLING<br>UNITS  |
|------------------------------------|----------------------|--------------------|
| Business Park .....                | 117.60               |                    |
| Commercial Retail .....            | 9.40                 |                    |
| Mixed Use .....                    | 129.50               |                    |
| Low Density Residential .....      | 421.10               | 2031               |
| Medium High Residential .....      | 79.00                | 474                |
| Open Space/Parks .....             | 15.00                |                    |
| Open Space/Utility Corridors ..... | 91.00                |                    |
| School Site .....                  | 10.00                |                    |
| Other (Roads, R.O.W.) .....        | <u>81.50</u>         |                    |
| <b>TOTAL .....</b>                 | <b><u>954.10</u></b> | <b><u>2505</u></b> |

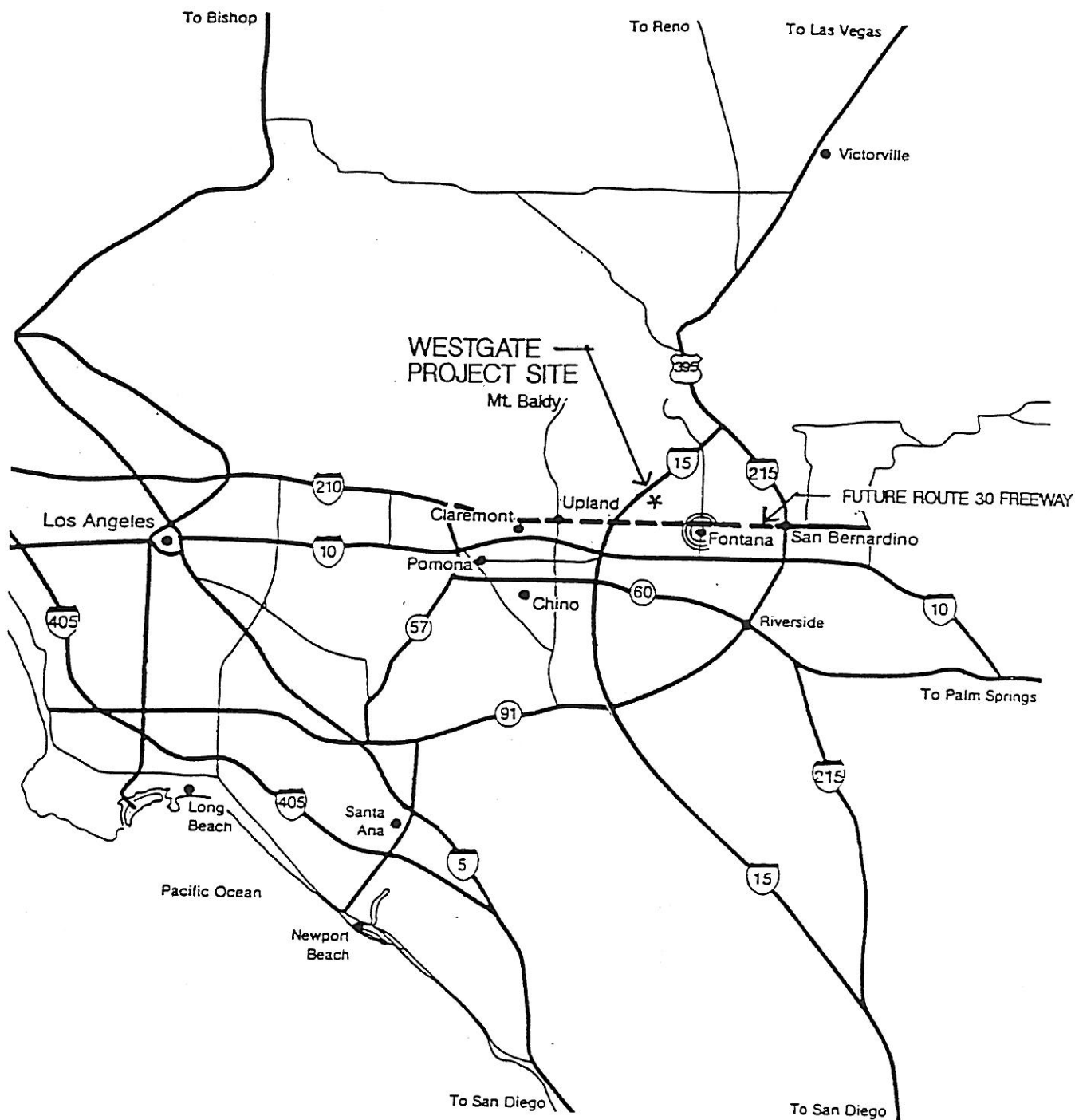
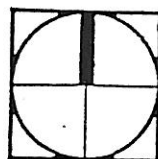


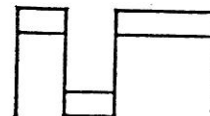
EXHIBIT 1  
REGIONAL  
CONTEXT MAP

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**



NOT TO SCALE



**LANDPLAN  
DESIGN  
GROUP**

Planning/Landscape Architecture

### **C. PROPERTY OWNERSHIP**

The Westgate planning area has several land owners. See Exhibit 3. The major land owner is Intex Property Inland Empire, L.P.. Unitex Management Corporation is the applicant of this Specific Plan and represents Intex Property Inland Empire, L.P..

### **D. EXISTING SITE CONDITIONS**

The Westgate site was previously utilized for agricultural purposes and contains no significant topographical features. The site gently slopes at an approximately two percent gradient in a southwesterly direction. One office building exists within the site located along Cherry Avenue at the juncture of the current exit ramp for Highland Avenue from the Devore Freeway. The San Sevaine earthen channel traverses the site in a north / south direction, while a series of Southern California Edison (SCE) Company utility towers diagonally traverse the site in a southwesterly direction. Metropolitan Water District has a main trunk line within a right of way that runs adjacent and parallel on the north side of the SCE corridor. Southern California Gas Company (SCG) also has a trunk line on the south side and parallel to the SCE corridor. Southern Pacific's right of way exists contiguous to the southwest boundary of the site. See Exhibit 4.

### **E. EXISTING AND PROPOSED ADJACENT SPECIFIC PLANS**

Several existing and proposed projects are located near the Westgate site. The West End Specific Plan, (Village of Heritage), located directly to the south of Westgate, is a 1,400 acre project with approximately 3,500 dwelling units, 400 acres of business park and 120 acres of office and retail uses. The proposed Summit Heights Specific Plan and Morningside Specific Plan are projects located directly east of Westgate, and collectively include about 1,100 dwelling units and approximately 70 acres of commercial / business uses and retail uses. Previously approved nearby Specific Plans include California Landings and Rancho Fontana. The approved California Landings Specific Plan, located to the east between Future Route 30 and Walnut Avenue, includes 791 single family dwellings and approximately 15.0 acres of commercial use. Rancho Fontana, also to the east, includes 2,295 residential units and 35 acres of mixed use and commercial development. The Sierra Lakes Specific Plan, located approximately two miles to the east, contains 700 acres, with 2,239 dwelling units and approximately 64 acres of commercial uses. These Specific Plans and others proposed in the local vicinity are identified in Exhibit 5.

### **F. CONSISTENCY WITH THE CITY OF FONTANA GENERAL PLAN POLICY**

#### **1. SUMMARY**

The City's General Plan outlines a series of goals, policies and objectives that need to be incorporated into any master plan. The Westgate Specific Plan compliments, reinforces and promotes these goals, policies and objectives, a summary of which is

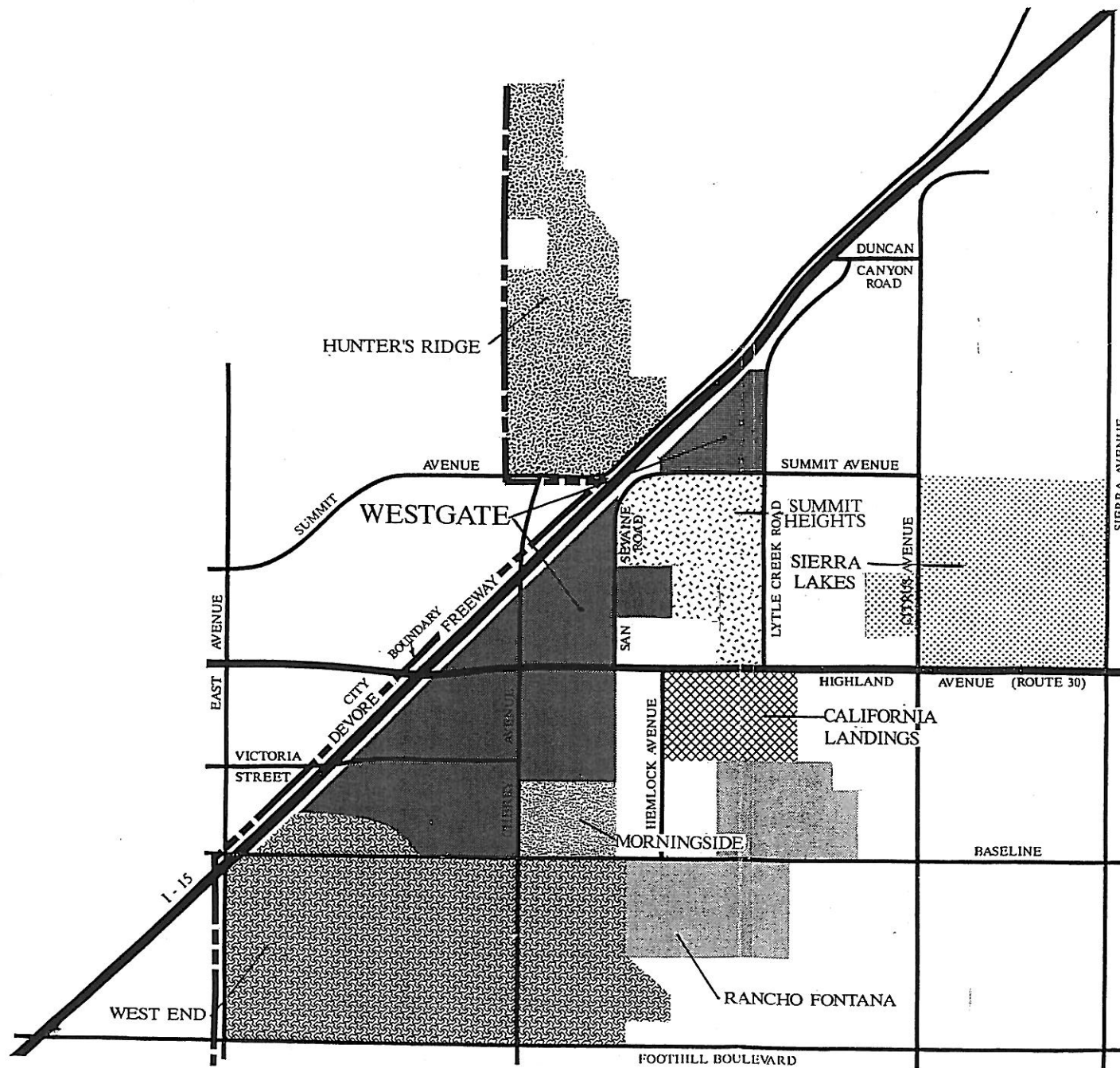


EXHIBIT 5  
SPECIFIC PI  
IN LOCAL A





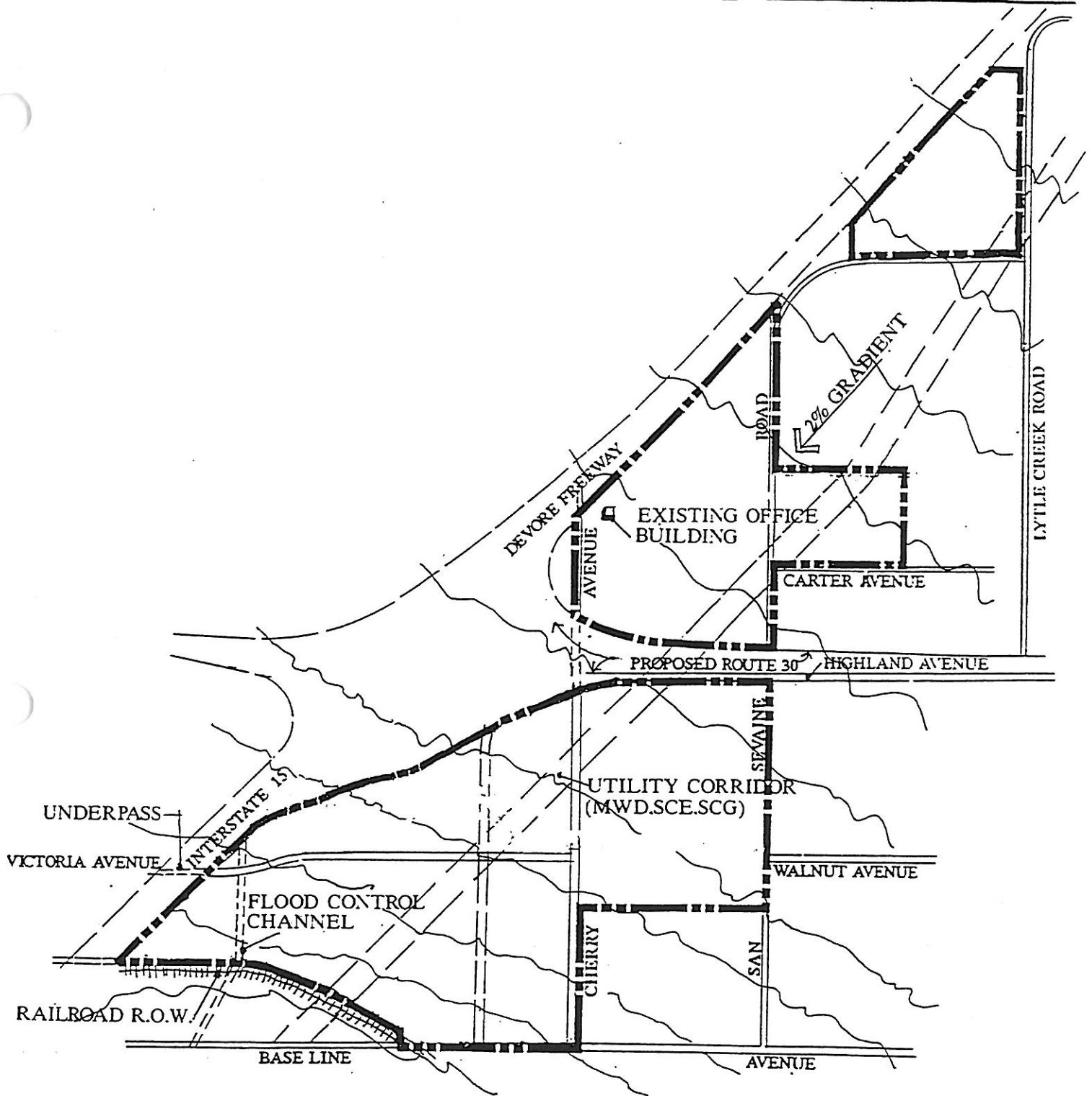
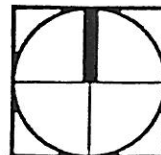


EXHIBIT 4

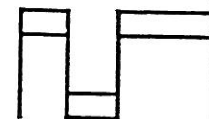
EXISTING CONDITIONS

**WESTGATE**  
SPECIFIC PLAN

Prepared for: **UNITEX**

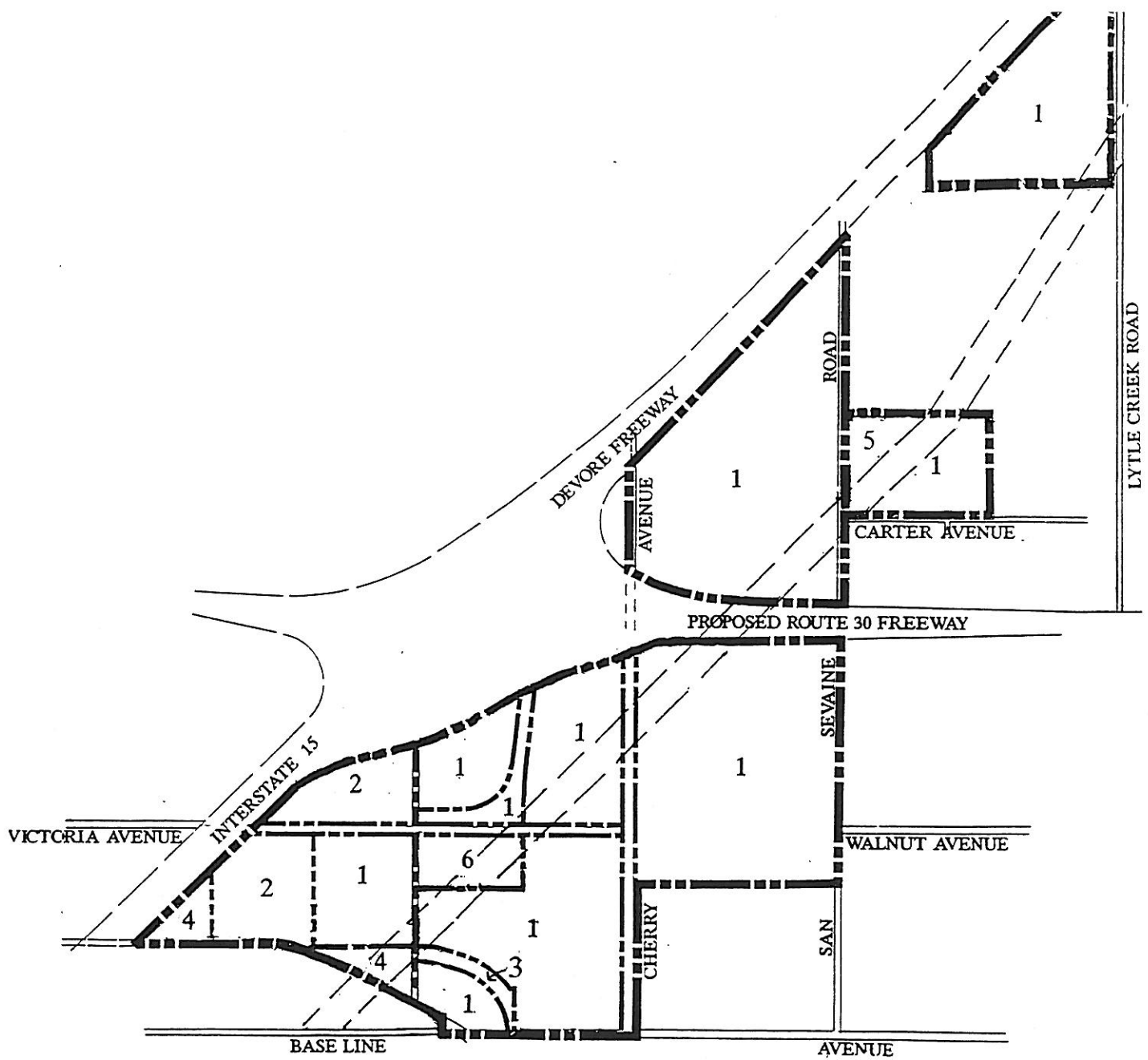


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**LAND-PLAN  
DESIGN  
GROUP**

Planning/Landscape Architects



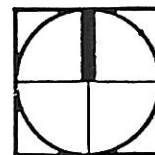
## LEGEND

- |   |                     |
|---|---------------------|
| 1. INTEX PROPERTY INLAND EMPIRE L.P.    | 5. INTEX / KORELICH |
| 2. SAN BERNARDINO COUNTY FLOOD CONTROL  | 6. LANCIA           |
| 3. STATE OF CALIFORNIA                  |                     |
| 4. FONTANA HERITAGE WEST END ASSOCIATES |                     |

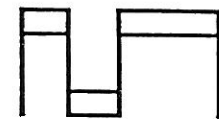
EXHIBIT 3

PROPERTY OWNERSHIP

**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**



NOT TO SCALE



**LAND-PLAN  
DESIGN  
GROUP**  
Planning/Landscape Architecture

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

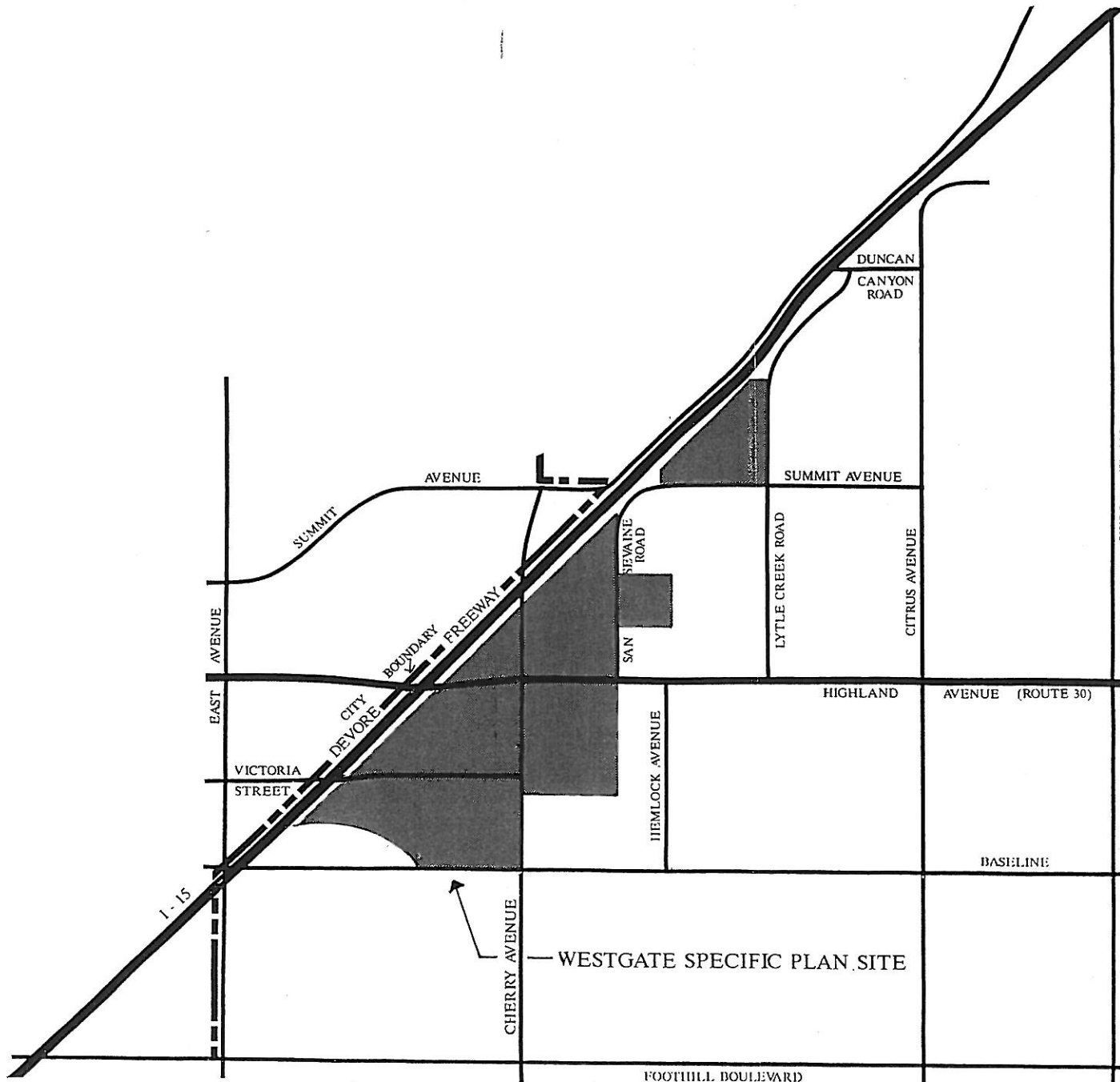
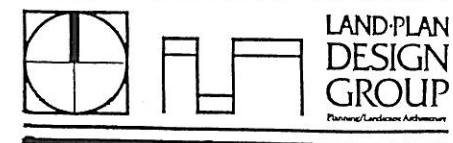


EXHIBIT 2  
VICINITY MAP



listed below.

## 2. GENERAL PLAN POLICY CONFORMANCE

The City of Fontana's General Plan Land Use Element (see Exhibit 5A) currently designates four major land use designations; Planned Community-Residential (R-PC), Regional Mixed Use (RMU), Community Mixed Use (CMU) and Utility Corridor (P / UC) within the Westgate Specific Plan. The following summarizes the General Plan Policies with respect to each land use category and identifies how Westgate complies with each policy. Detailed policy compliance is analyzed in the Appendix under General Plan Policy Consistency.

### a. REGIONAL MIXED USE (RMU)

- This land use classification applies to the North Fontana area (i.e., the area north of Baseline) and is intended as a focus for commercial and industrial uses along the Interstate 15 and Route 30 corridors. The creation of job-generating uses is an important goal to development with RMU areas. Specific development types allowed with RMU areas are as follows:

Research and Development

Regional Malls

Corporate Business Parks

Service Business Offices

Light manufacturing such as fabricating, assembly, and processing.

Warehousing and distribution

Warehouse retail outlets

Entertainment centers

Hotels and convention centers

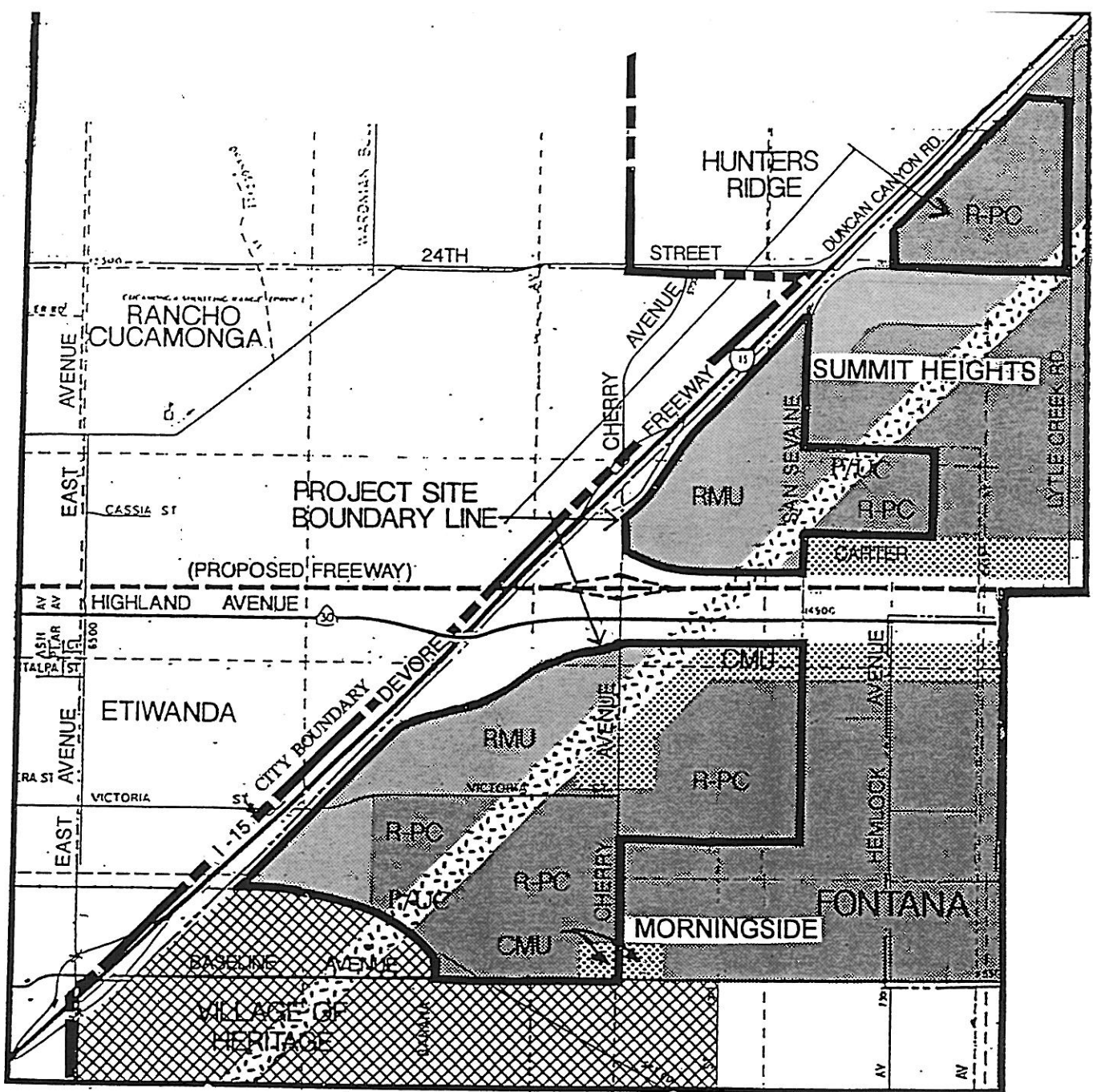
Professional business offices

Eating and drinking establishments

Day care centers

Institutional, public and quasi-public uses

Medium-High Density Residential Uses (see below for MH description)



## LEGEND






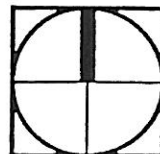
-  RMU REGIONAL MIXED USE
-  CMU COMMUNITY MIXED USE
-  R-PC PLANNED COMMUNITY-RESIDENTIAL
-  P/UC UTILITY CORRIDOR
-  WEST END SPECIFIC PLAN

EXHIBIT 5A

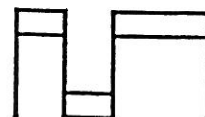
## GENERAL PLAN OVERLAY LAND USE POLICY MAP

**WESTGATE**  
SPECIFIC PLAN

Prepared for: **UNITEX**



NOT TO SCALE



**LAND-PLAN  
DESIGN  
GROUP**  
Planning/Landscape Architecture

**Compliance:** Westgate includes approximately 290 acres of Regional Mixed Use (RMU). Of this total, approximately 247 acres are designated business uses and 43.0 are residential uses. Residential uses are permitted within RMU areas subject to the criteria identified below. (Apartments are prohibited within this or any residential area of the Specific Plan).

- Residential development at Medium-High Density Residential (R-MH) land use densities up to 12 dwelling units per net acre may be allowed in proposed Specific Plans for which a preferred land use alternative has been approved by the City Council as of November 24, 1992, if the following criteria are met:

The RMU area in which a residential project is being considered must be included as part of a planned community in conjunction with a R-PC master plan.

The residential component of RMU area must meet all of the General Plan and Zoning guidelines and requirements applicable to the density of the residential development being considered.

**Compliance:** Westgate is providing residential uses within the RMU area of the Specific Plan in conformance with the General Plan Policy. 43.0 acres are proposed for detached single family uses at a maximum density of 6.0 dwelling units per acre. (Apartments and attached homes are prohibited).

**b. COMMUNITY MIXED USE (CMU)**

- The Community Mixed Use designation applies to the North Fontana area and is intended to allow for support commercial uses for residential development within the Residential Planned Community areas. The CMU designation also allows for residential development at up to 12 dwelling units per net acre. Specific permitted uses are as follows:

Community serving retail commercial centers

Professional offices serving a community level need, such as doctors, lawyers, dentists, consulting firms, etc.

Service business

Entertainment centers such as movie theaters

Sales outlets for wholesale business

Eating and drinking establishments

Day care centers

Institutional, public and quasi-public uses

Medium High density residential uses (See below for MH description).

**Compliance:** Due to the abundance of business uses located nearby the CMU areas (approximately 250 acres), the proximity to the 14.8 acre California Landings Specific Plan commercial site within 1/2 mile of Westgate, the lack of a major intersection within the CMU areas and the compatibility with the surrounding residential uses, the 40.5 acres of CMU areas have been designated single family residential.

- Residential development at Medium-High Density Residential (R-MH) land use densities may be allowed in proposed Specific Plans for which a preferred land use alternative has been approved by the City Council as of November 24, 1992, if the following criteria are met:

The CMU area in which a residential project is being considered must be included as part of a planned community in conjunction with a R-PC master plan.

The residential component of CMU areas must meet all of the General Plan and Zoning guidelines and requirements applicable to the density of the residential development being considered.

**Compliance:** Westgate is providing residential uses in the CMU category in conformance with General Plan Policy. Approximately 40.5 acres are proposed for detached single family uses at a maximum of 6.0 dwelling units per acre and 4.5 acres at a maximum of 4.85 dwellings per acre. Both sites are far below the 12.0 dwelling unit per acre maximum permitted in the CMU zone. (Apartments are prohibited).

**c. RESIDENTIAL PLANNED COMMUNITY (R-PC)**

The intent of the Residential Planned Community (R-PC) is to provide for the managed growth of master planned communities. The development criteria as contained in the City's General Plan for the R-PC area may be summarized as described below.

***Master Plan Requirement***

All development proposals must be approved as a master planned project subject to the criteria established for specific plans or a community plan. A specific plan shall be required for an area of 160+ contiguous acres under one or more ownerships, or if residential lots of less than 7,200 square feet in size are proposed, or an area otherwise subject to the need for unified planning and development. Property owned by public utilities, districts, or



are proposed, or an area otherwise subject to the need for unified planning and development. Property owned by public utilities, districts, or governments will not be counted toward the acreage minimum. A community plan shall include a minimum area of 40-160 acres under one or more ownerships or otherwise subject to the need for unified planning and development. All residential lots shall be 7,200 square feet or greater. Property owned by public utilities, districts, or governments will not be counted toward the acreage minimum.

Compliance: Westgate is greater than 40 acres and is being master planned subject to Specific Plan criteria.

***Base Density***

Compliance: This is not applicable to Westgate, as this provision applies to projects not prepared under a Specific Plan.

***Master Plan Density***

The net dwelling unit range for master planned projects is 4.35 to 7.00 dwelling units per net acre, which corresponds to a lot size range of 10,000 to 6,200 square feet. The 6,200 square foot lots are permitted only if an extraordinary amenity is provided.

Compliance: If an extraordinary amenity is provided, lot sizes of 6,200 square feet within the R-PC designation are permitted; otherwise 7,200 square foot lots shall be the minimum.

***Minimum Lot Size***

The minimum lot size for any component of an R-PC project is 6,200 sq. ft. (6,200 square foot lots are allowed as part of specific plans with extraordinary amenities).

Compliance: If an extraordinary amenity is provided, lot sizes of 6,200 square feet within the R-PC designation are permitted; otherwise 7,200 square foot lots shall be the minimum.

***Lot Size Minimum for Master Plan Projects in an R-PC Area***

Lots within a master planned area must be 7,200 square feet or larger (not including access easements or rights-of-way of any type, except for projects with an extraordinary open space amenity).

Compliance: Within R-PC areas, Westgate is providing 7,200 square foot lots, unless an extraordinary amenity is approved which shall allow a minimum lot size of 6,200 square feet.

***Additional Requirements***

In conjunction with, and in addition to, State of California Specific Plan requirements, all R-PC Specific Plans must contain the following:

A land use plan providing a mix of compatible uses incorporating high quality design concepts and a consistent community design theme.

A circulation plan establishing appropriate access to and from the project area, as well as adequate on-site circulation within the project area.

A landscape plan providing a consistent planting theme establishing a community identity for the project area.

Special edge treatments along major arterials and as buffers between residential and non-residential uses.

A plan for the installation of infrastructure describing the scope and sizing of capital improvements, the level of public services such as police, fire, and schools to be provided, a phasing plan and the funding / financing mechanism proposed for construction and maintenance consistent with the infrastructure plan for the area.

A phasing plan for the development.

An assessment of the fiscal and economic impacts of the development.

Compliance: The Westgate Specific Plan is prepared in conformance with all the above requirements.

**d. PUBLIC UTILITY CORRIDOR (P/UC)**

The Public Utility Corridor designation identifies locations in the planning areas which contain rights-of-way for utilities such as Southern California Edison transmission lines and easements held by other quasi-public agencies.

Compliance: Westgate has reserved these areas, which includes approximately 91 acres, for utility and general open space uses.

**G. FEATURES AND AMENITIES**

The following features and amenities proposed in this Specific Plan are summarized below:

**1. EMPLOYMENT / FISCAL BENEFITS**

With approximately 257 acres of employment uses, Westgate is well positioned

to become a major economic and employment hub for the region and the City of Fontana in particular. The Specific Plan has established quality design standards that will maximize market interest, accelerate absorption and create an upscale image for the City.

## **2. ARCHITECTURE / SITE DEVELOPMENT STANDARDS**

Quality architecture and site development standards have been established for all land use types, including retail, business park, office and residential uses. For each use, architectural principles and goals are identified and specific criteria are established for building materials, roof design, storage areas, grading, lighting, signage, parking and landscaping.

## **3. COMMUNITY WIDE ELEMENTS**

Community wide design elements provided in the Specific Plan enhance the overall community character. Major entry statements with monumentation and enhanced landscape areas, along with enlarged parkways and landscape setbacks, provide upgraded amenities.

## **4. BIKEWAYS**

An extensive bikeway network is provided throughout the Westgate community. Of the approximately seven miles of bikeway provided, approximately three miles have been located in "off-street" parkways with an 8 foot wide pavement width to enhance bicycle use and overall community safety.

## **5. PARK IMPROVEMENTS**

A variety of standard park site enhancements are provided that include picnic areas, walkways, activity fields and sand lots with swings. Westgate is also providing substantial additional park amenities, such as lighted soccer fields, ballfields, basketball courts, among other facilities that will further enhance the goal of providing an upscale image for the Westgate community and City as a whole.

## **6. "EXTRAORDINARY" AMENITIES**

In addition to providing its fair share of public infrastructure improvements, Westgate may in the future also provide contributions above and beyond requirements for improvements serving city-wide needs, including but not limited to, sewage treatment facilities, water rights, water distribution facilities, and / or other public services. These public facility contributions, if approved by the City Council, will satisfy the requirement for "extraordinary amenities" defined in the City General Plan permitting 6,200 square feet minimum lot sizes for R-PC areas. However, until such time as an extraordinary amenity is ultimately approved within a development agreement or specific plan amendment by the City Council, the minimum lot size in R-PC areas is 7,200 square feet.

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### III. Specific Plan Framework & Components

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### III. SPECIFIC PLAN FRAMEWORK AND COMPONENTS

#### A. INTRODUCTION

The goal of the Westgate Specific Plan is to implement the City of Fontana's goals and policies which are summarized in the Mission Statement identified in Section I-A of this text. This section, composed of Land Use, Circulation, Public Facilities and Community Wide / Specific Land Use Design Standards, provides the framework and guidelines, to assure the Specific Plan implements the Mission and is "balanced and financially viable", incorporates "a mix of environmentally sound residential, commercial, public, and industrial uses", and places an "emphasis on building an upscale community for families and individuals".

#### B. SUMMARY

Westgate has been designed to take advantage of its unique freeway setting from both a regional and local context. With nearly all the approximately 257 acres of business / commercial uses near the convergence of the I-15 / Route 30 freeways, Westgate is positioned to become one of the major regional centers in the Inland Empire, and in doing so, provide a major contribution to the City of Fontana's economic and employment base.

The residential areas of Westgate will benefit substantially due to their close proximity to services and employment. An extensive pedestrian and bikeway system integrates the entire community and provides an alternative to automobile travel. An equestrian trail links to the San Gabriel mountains. Approximately 32 acres of improved park uses are provided within the community, 7 acres of which are proposed within a utility corridor. Lighted ballfields, along with passive areas for informal use, picnic and children's play areas, are planned.

The circulation design provides an efficient system of access throughout the site and provides a separation between many residential and business uses. Generous parkways along the major streets, entry monumentation and perimeter theme walls in Westgate provide an enhanced and inviting street scene. Architectural guidelines for the variety of land uses are provided to create unity within diversity. Together, these above elements will create a quality "upscale" environment that promotes Westgate's economic potential and incorporates all the needs of its future residents and visitors: jobs, services, a variety of housing and recreation.

The Land Use Section that follows generally describes the land uses that occur within the Specific Plan and includes a statistical listing that summarizes the total acres for each land use along with the total number of dwelling units, where applicable. Site specific development standards for each land use i.e., setbacks, building height limitations, are located in Section IV, Development Regulations and should be reviewed for land use requirements. The Street Circulation Section identifies all major streets and right of way standards within the project (a comprehensive traffic

study can be reviewed in the Environmental Impact Report). Bicycle circulation is also discussed in this section. Public services (water, sewer, storm drain, police and fire services) are described in the Public Facilities section. The final section, Community Wide and Specific Land Use Design Guidelines, establishes comprehensive design criteria for the various land uses in regard to 1) community wide issues i.e., community entry monuments at major intersections, streetscape themes, theme walls, and landscape guidelines seen as part of the "public landscape" and 2) specific land use design standards i.e., detailed site planning and design standards for business parks, retail, mixed use, residential and open space / park uses.

## 1. LAND USE

Land uses of Westgate are summarized below and include business park, commercial retail, mixed use, residential, school and open space. The Land Use Plan, Exhibit 6, identifies the locations of these land uses within the Westgate Specific Plan. Table A on page II-1 presents a summary of the various land use acreages, including total planned dwelling units. A detailed statistical listing by planning area can be found in Table B on page III-3.

The Land Use Plan is divided into planning unit areas. A planning unit area (P.U.A.) is the boundary of defined land use. Each planning unit contains a land use designation and total acres. The planning areas have generally been defined by logical planning boundaries, i.e. elements such as major roads, utility corridors, etc.

### a. BUSINESS PARK (BP):

Approximately 117 acres of Business Park uses have been included in the plan. These uses are generally located along the freeway and Cherry Avenue, a major highway that has direct access to the freeway. It is anticipated that for the foreseeable future business park uses will be primarily distribution oriented. Over time, as the population in the surrounding area grows and the freeway is completed, a transition to light manufacturing is expected to occur.

### b. COMMERCIAL RETAIL (C):

Approximately 9 acres of Commercial Retail uses in two locations have been designated in the land use plan. These sites are located along major roads, providing ease of visibility and access for all local residents. Traditional retail users such as a supermarket, pharmacy, restaurant, bookstore, and / or florist are envisioned for these sites. Additional retail uses are also permitted and encouraged within the Mixed Use areas.

**WESTGATE  
TABLE B  
STATISTICAL LISTING - BY PLANNING AREA**

| <u>PUA #</u> | <u>Land Use</u> | <u>Acres</u>  | <u>Density</u> | <u>Dwelling<br/>Units</u> |
|--------------|-----------------|---------------|----------------|---------------------------|
| 1            | SFD             | 106.50        | 4.85           | 516                       |
| 2            | OS/P            | 10.00         | -              | -                         |
| 3            | P/UC            | 5.60          | -              | -                         |
| 4            | BP              | 3.00          | -              | -                         |
| 5            | BP              | 114.60        | -              | -                         |
| 6            | MU              | 31.70         | -              | -                         |
| 7            | MU              | 4.40          | -              | -                         |
| 8            | SFD             | 9.60          | 4.75           | 46                        |
| 9            | SFD             | 25.50         | 4.75           | 121                       |
| 10           | P/UC            | 16.80         | -              | -                         |
| 11           | P/UC            | 12.80         | -              | -                         |
| 12           | MH              | 19.00         | 6.00           | 114                       |
| 13           | P/UC            | 7.50          | -              | -                         |
| 14           | MU              | 2.40          | -              | -                         |
| 15           | P/UC            | 4.40          | -              | -                         |
| 16           | MH              | 17.00         | 6.00           | 102                       |
| 17           | SFD             | 113.00        | 4.85           | 548                       |
| 18           | OS/P            | 5.00          | -              | -                         |
| 19           | MU              | 6.50          | -              | -                         |
| 20           | MU              | 15.50         | -              | -                         |
| 21           | P/UC            | 20.70         | -              | -                         |
| 22           | MH              | 43.00         | 6.00           | 258                       |
| 23           | MU              | 34.80         | -              | -                         |
| 24           | SFD             | 24.40         | 4.85           | 118                       |
| 25           | P/UC            | 23.80         | -              | -                         |
| 26           | SFD             | 6.00          | 4.8            | 29                        |
| 27           | ES              | 10.00         | -              | -                         |
| 28           | SFD             | 76.30         | 4.76           | 363                       |
| 29           | C               | 8.00          | -              | -                         |
| 30           | C               | 1.40          | -              | -                         |
| 31           | SFD             | 4.00          | 4.8            | 19                        |
| 32           | SFD             | 55.80         | 4.85           | 271                       |
| 33           | MU              | 14.00         | -              | -                         |
| 34           | MU              | 20.20         | -              | -                         |
| -            | Roads/R.O.W.    | <u>80.90</u>  |                |                           |
| <b>TOTAL</b> |                 | <b>954.10</b> |                | <b>2505</b>               |



c. **MIXED USE (MU):**

Approximately 130 acres of this land use type are located generally along the intersection of the existing I-15 and Route 30 freeway. The intent of the Mixed Use zone is to allow a variety of compatible uses and facilities supportive of the general community. These uses include retail, business park, and professional offices. Currently, approximately 75 acres are envisioned for office park within P.U.A.s #23, 33, and 34, with the balance geared toward regional and community retail / business uses. (See Exhibit 6). Any development application submitted for this land use will be required to be consistent with the varied uses permitted in the City's General Plan and as specifically defined in this Specific Plan.

d. **RESIDENTIAL:**

Residential land use categories located within the Specific Plan are described below. These land use categories provide for a variety of housing within the community that will offer a diversity in house style and size.

*Low Density (SFD):*

The Low Density residential land use encompasses approximately 421 acres, providing for the development of single-family detached homes with minimum 7,200 square foot lots; 6,200 square foot with an extraordinary amenity, if approved in the future subject to a Specific Plan Amendment or Development Agreement.

*Medium High (MH):*

This Medium High residential land use encompasses approximately 79 acres. A total of 474 dwelling units could be achieved in these areas dependent upon specific circumstances relative to all development standards. This designation permits single-family detached dwellings units up to 6.0 units per acre. No apartments or attached homes are permitted.

e. **OPEN SPACE USES:**

Approximately 116 acres of the site is devoted to open space uses which are described in greater detail within the Community Design Guidelines later in this section. Open Space has been divided into three sub-categories as follows:

*Open Space / Park (OS / P):*

Two planning units comprising 15.0 acres have been designated for park use. Active and passive uses are currently planned for park areas. The total parks program or in-lieu fees provided shall meet the City of Fontana standard of three acres of park per 1,000 population for neighborhood parks. These parks are centrally located to surrounding residential neighborhoods. Community park needs of two acres per 1,000 population are planned to be met by providing community level improvements within the Westgate parks equivalent to City park fees. Fees or park dedication and improvement will fulfill the City of Fontana standard of five acres of park per 1,000 population.\*

The total park land / improvements / fees provided by Westgate will fulfill the City of Fontana and State of California Quimby Act Park requirements as defined below:

|  |                   |
|--|-------------------|
| Total maximum dwellings  | 2505              |
| Person(s) per dwelling<br>(per City policy)                      | 3.48              |
| Total Population   | 8717              |
| Neighborhood park<br>required at 3 acres<br>per 1,000 population | 26                |
| Community park<br>required at 2 acres<br>per 1,000 population    | <u>17.43</u>      |
|  | 43.43 acres total |

Note: In the event fewer housing units are developed, the park requirements will be adjusted proportionately.

\* Exact park improvements will be based on City program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

\*\* The actual totals are 25.65 and 17.10 respectively. However, 82 dwelling units from the West End Specific Plan have been shifted into the Westgate Plan at the request of the City of Fontana. These units have already contributed fees to the city park requirements and their equivalent park requirements of 1.40 acres have been deducted from the total Westgate park requirements. (.65 acres have been deducted from the neighborhood parks and .75 from community parks, for a total of 1.4 acres).

***Public / Utility Corridor (P / UC):***

Traversing diagonally through the project site is a utility corridor including Southern California Edison and Southern California Gas Company easements and a Metropolitan Water District fee simple right-of-way. This 91 acre area will largely remain unimproved open space except for the 7 acre landscape / park area and a regional bike route / trail along residential areas as shown in Exhibit 30A.

***Open Space / Pedestrian and Bicycle Paths / Equestrian Trail:***

Over seven miles of bicycle paths and pedestrian walks interconnect all parts of Westgate and provide access between the business park / employment uses and residential areas of the Specific Plan. They also provide a link to opportunities in the local surrounding area. An equestrian trail, located along the improved San Sevaine Wash Channel, provides continuous access to the San Gabriel mountains.

**f. SCHOOL USES (ES):**



A 10.0 acre school site is planned to meet the elementary school needs of the community and is located adjacent to park site planning areas 25, 26 & 31 totalling 17 acres. Junior high and high school needs will be met by existing or future planned facilities in close proximity to Westgate. The elementary and junior high school are located within the Etiwanda School District, while the high school is located within the Chaffey Joint Union District.

Exhibit 6A, Public Facilities Plan, identifies the school and park sites within the Specific Plan; Exhibit 27 illustrates the school / park site design concept.

**2. STREET CIRCULATION**

The street Circulation Plan for Westgate is consistent with the General Plan and establishes the layout of major circulation and street design standards. The

**LEGEND**

-  PARK SITE
-  SCHOOL SITE

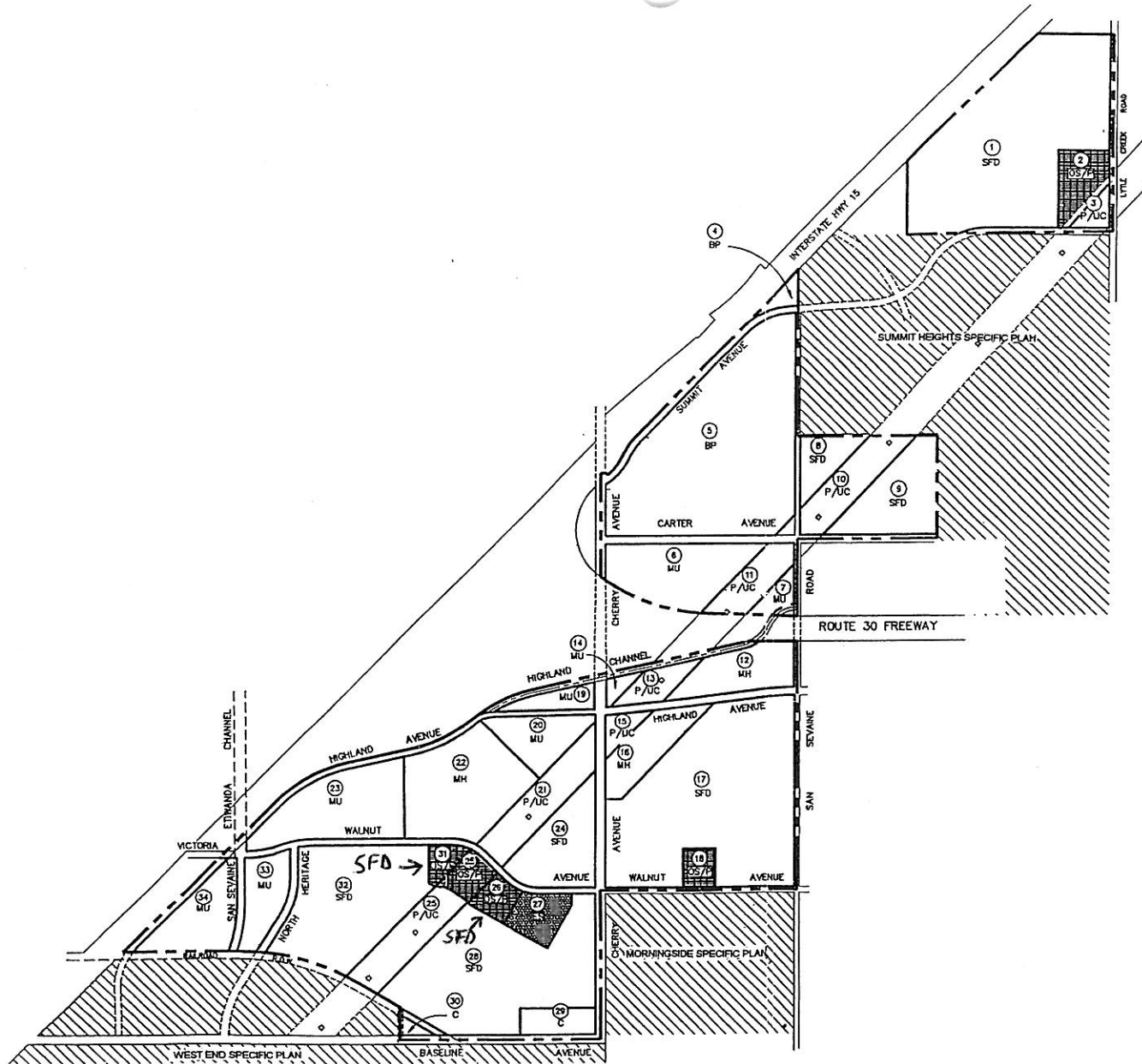


EXHIBIT 6A

**PUBLIC FAC**



Prepared for: UNITED

## LEGEND

| <u>ROAD</u> | <u>CLASSIFICATION</u>    | <u>RIGHT OF WAY</u> |
|-------------|--------------------------|---------------------|
| A           | MAJOR HIGHWAY - MODIFIED | 160'                |
| B           | MAJOR HIGHWAY            | 132'                |
| C           | PRIMARY HIGHWAY          | 104'                |
| D           | SECONDARY HIGHWAY        | 92'                 |
| E           | COLLECTOR - MODIFIED     | 86'                 |
| F           | RESIDENTIAL COLLECTOR    | 68'                 |
| G           | COLLECTOR - INDUSTRIAL   | 68'                 |

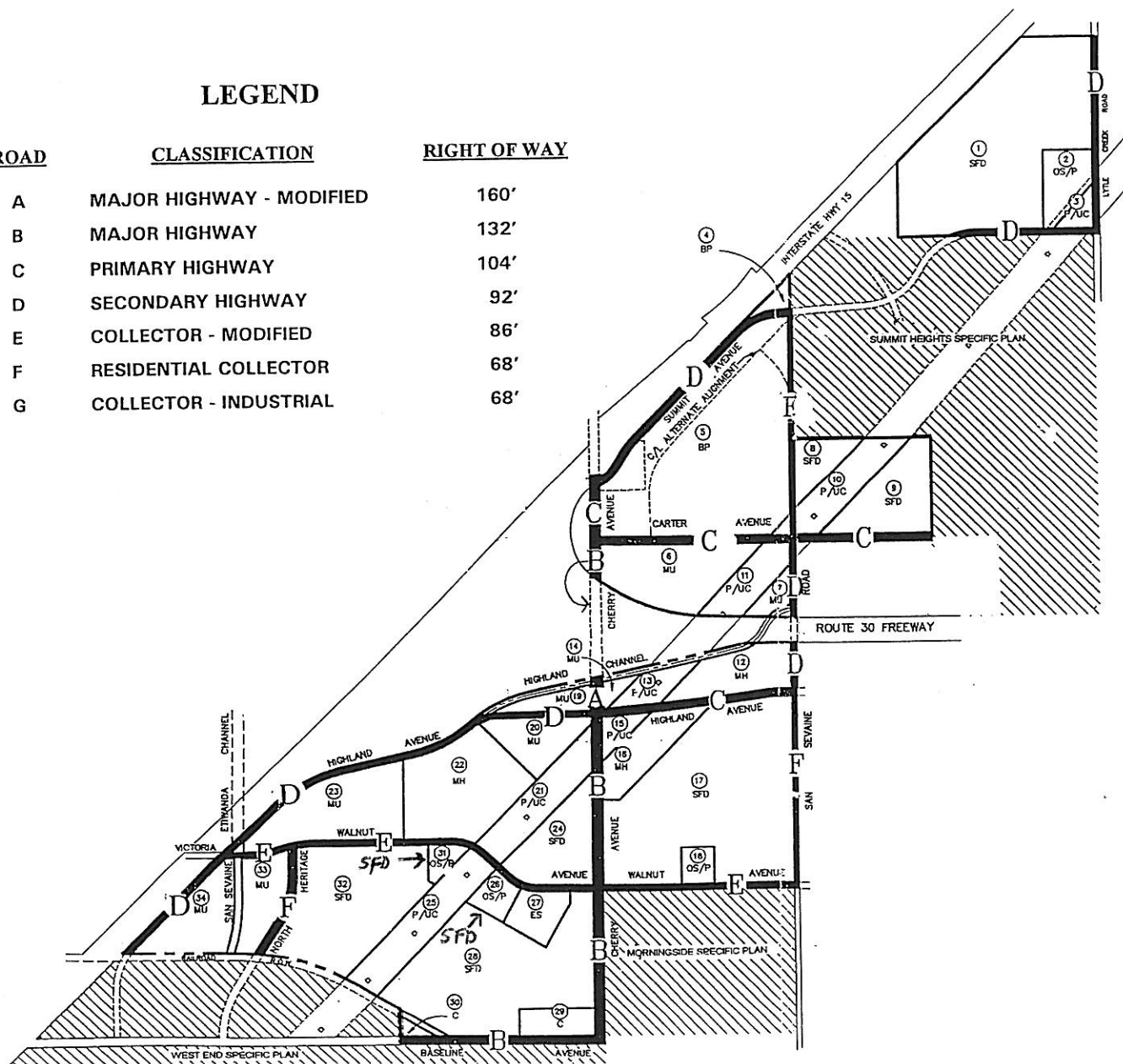
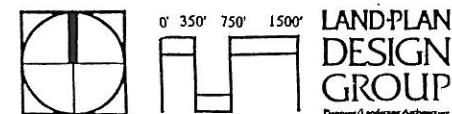
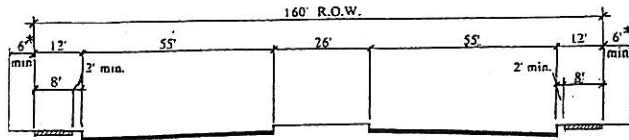
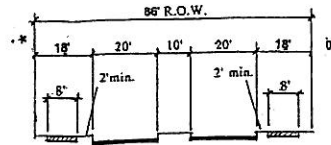


EXHIBIT 7  
CIRCULATION PLAN

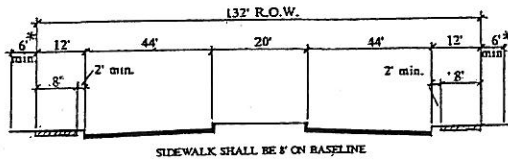




**STREET A - MAJOR HIGHWAY - MODIFIED**  
(6 TO 8 LANES - DIVIDED)

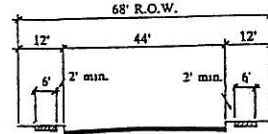


**STREET E - COLLECTOR / MODIFIED**  
(2 LANES DIVIDED)

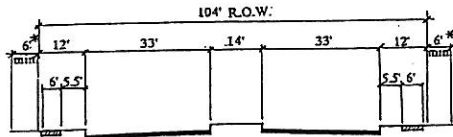


**STREET B - MAJOR HIGHWAY**  
(6 LANES - DIVIDED)

SIDEWALK SHALL BE 8' ON BASELINE

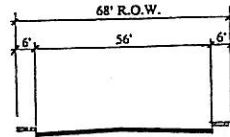


**STREET F - RESIDENTIAL COLLECTOR**  
(2 LANES - UNDIVIDED)

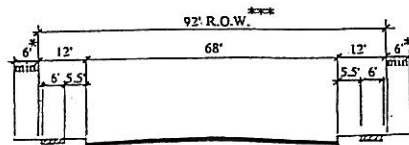


**STREET C - PRIMARY HIGHWAY**  
(4 LANES DIVIDED)

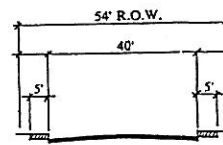
SIDEWALK SHALL BE 8' ON CHERRY AVE.



**STREET G - BUSINESS PARK COLLECTOR**  
(2 LANES - UNDIVIDED)  
(SIDEWALK REQUIRED ON ONE SIDE ONLY)

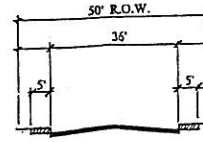


**STREET D - SECONDARY HIGHWAY**  
(4 LANES - UNDIVIDED)



**STREET H - LOCAL ROAD \*\*STREET I - SHORT LOCAL ROAD \*\***  
(2 LANES - UNDIVIDED)

(Landscape setbacks do not apply on local streets)



**NOTES:**

- \* THE LANDSCAPE SETBACK IS 6' WHEN ADJACENT TO RESIDENTIAL USES, 15' ADJACENT TO NON-RESIDENTIAL (BP, C, OFC, MU), AND ADJACENT TO A FREEWAY OR HIGHLAND CHANNEL (UNLESS OTHERWISE NOTED IN TABLE D)
- \*\* THESE STREETS DO NOT APPEAR ON THE CIRCULATION PLAN, EXCEPT WHERE SHOWN
- SIDEWALKS MAY MEANDER ON ROADS A - F MINIMUM DISTANCE BETWEEN SIDEWALK AND CURBS OR WALLS IS 2'-0" (A-F)
- \*\*\* NO SIDEWALKS ON FREEWAY SIDE SUMMIT AND HIGHLAND AVENUE ADJACENT TO FREEWAY RIGHT OF





**EXHIBIT 7A**

**STREET SECTIONS**



Prepared for:

## LEGEND

-  CLASS 1 STREET BICYCL
-  CLASS 1 STRIPE BICYCL
-  REGIONAL TRAIL
-  REGIONAL TRAIL

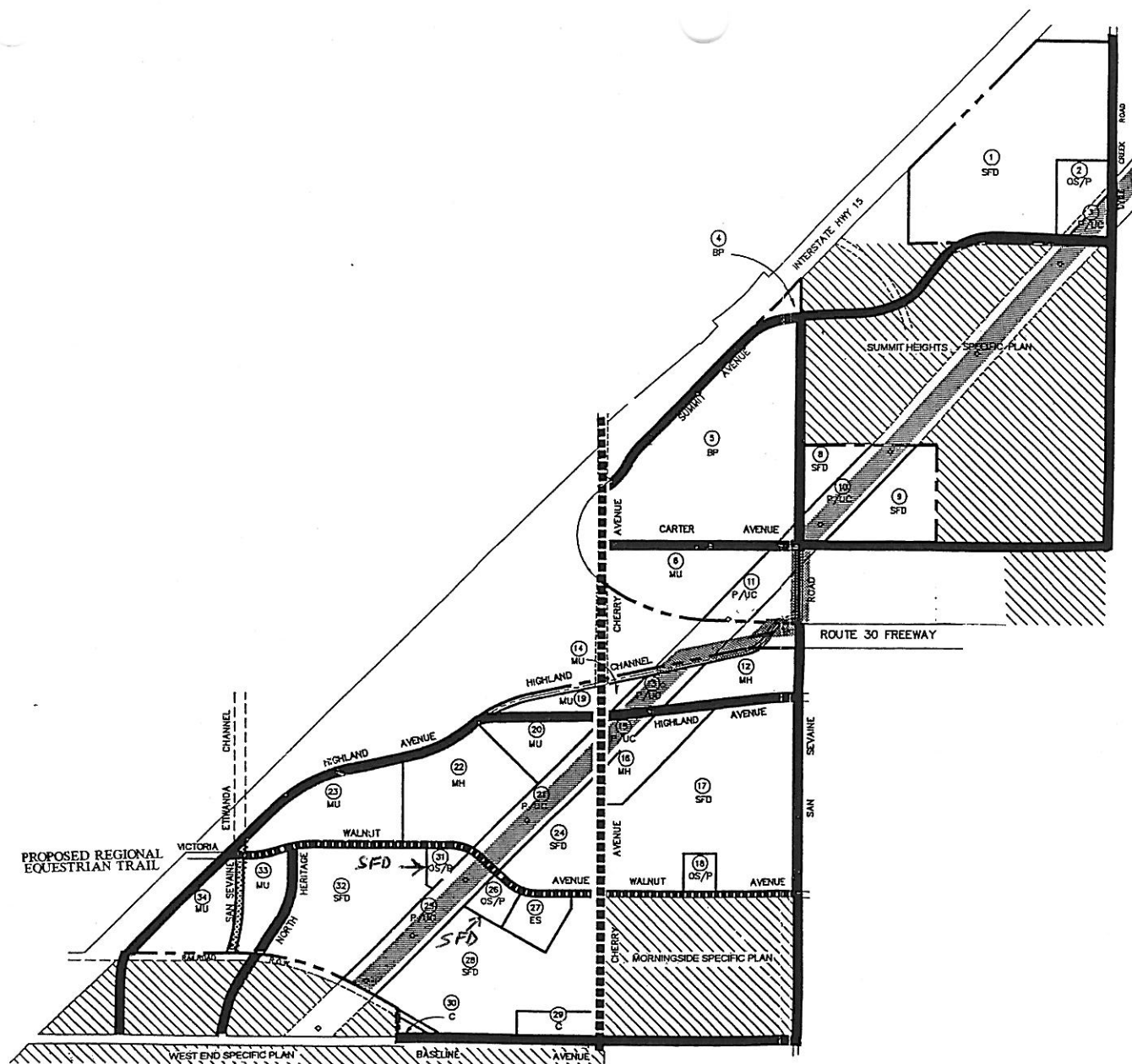


EXHIBIT 8  
BICYCLE / EQUE  
CIRCULATION PI





Circulation Plan includes specific rights-of-way standards for major, primary and secondary highways, collector and local streets. A detailed Traffic Circulation Analysis is included as part of the Environmental Impact Report.

The following summarizes the various circulation elements within the Specific Plan. (Refer to Exhibits 7 and 7A for the Circulation Plan and corresponding street sections):

**a. CHERRY AVENUE: Modified Major Highway, Major Highway, and Primary Highway - Sections A, B and C:**

Cherry Avenue is an existing two-lane street and is the major north / south corridor within Westgate. Cherry Avenue includes three different right of way standards: modified major highway, major highway, and primary highway, depending upon its location within the Specific Plan.

Between Route 30 and Highland Avenue, Cherry Avenue is designated as a Modified Major Highway with a 160 foot wide right of way and 26 foot wide median. The cross-section provides up to eight lanes of traffic and is modified to accomodate traffic generated from the interchange at Route 30. Between Highland Avenue and Baseline and between Carter Avenue and Route 30, Cherry Avenue is shown as a major highway with a 132 foot wide right-of-way and a 20 foot median. North of Carter, Cherry Avenue converts to a primary highway within a 104 foot wide right of way.

**b. BASELINE AVENUE: Major Highway - Section B:**

Baseline Avenue forms the southern most project boundary and is currently improved on the south half, adjacent to the Village of Heritage. Baseline is fully improved from the I-15 interchange easterly to North Heritage Circle. Currently a 120 foot right of way exists with a 38 foot curb to curb section east of North Heritage Circle as identified in the West End Specific Plan. Since the approval of the West End Specific Plan, the City of Fontana has increased the right of way standard on Baseline to a 132 foot right-of-way. Consequently, the north half of Baseline adjacent to Westgate will be larger. The mid-block curb to curb dimension will increase from 38 feet to 44 feet; the median will expand slightly and the parkway will be changed from 13 feet to 12 feet.

**c. HIGHLAND AVENUE: Primary Highway (East of Cherry Avenue) - Section C:**

Highland Avenue is an existing two-lane state highway and is identified as a

major east / west primary highway by the City of Fontana. It is planned to be relocated and will provide a frontage-type street along the future Route 30 freeway. Highland Avenue is designated as a 4-lane divided street with a 104 foot wide right of way and 14 foot center median east of Cherry Avenue.

**d. CARTER AVENUE: Primary Highway - Section C:**

Beginning at the juncture with Cherry Avenue, Carter Avenue is designated as a primary highway with a 104 foot wide right-of-way and 12 foot parkways.

**e. SUMMIT AVENUE: Secondary Highway - Section D:**

Beginning at the juncture with Cherry Avenue, Summit Avenue is designated as a secondary highway with a 92 foot wide right-of-way and 12 foot parkways.

**f. WALNUT AVENUE: Divided Collector / Modified - Section E:**

Walnut Avenue is planned as a collector street within an 86 foot wide right-of-way and will include expanded 18 foot wide parkways and a 10 foot median.

**g. SAN SEVAINE ROAD: Secondary Highway / Collector Street - Sections D and F:**

San Sevaime Road forms the eastern boundary for the southerly portion of the Specific Plan area. It is planned as a collector level street, within a 68 foot wide right-of-way, except between Carter and Highland Avenues, where it will be increased to a secondary level street within a 92 foot wide right-of-way and between Summit Avenue and Carter Avenue, where it is reduced to a 68 foot wide right-of-way.

**h. LYTLE CREEK ROAD: Secondary Highway - Section D:**

Lytle Creek Road forms the eastern boundary of the northern portion of the site and is planned as a secondary level street within a 92 foot wide right-of-way.

**i. NORTH HERITAGE DRIVE: Residential Collector - Section F:**

Providing access to the major residential areas from an arterial or a primary / secondary highway, this collector road will include a two-lane undivided cross-section within a right-of-way of 68 feet.

j. **HIGHLAND AVENUE (West of Cherry Avenue): Secondary Highway - Section D:**

Highland Avenue, west of Cherry Avenue, is designated as a secondary highway. This street will include a four-lane undivided cross-section within a right-of-way of 92 feet.

k. **STREET SECTION H - Local Road:**

Local roads will provide access from one of the above mentioned streets to individual lots within residential tracts. These roads will include a two-lane undivided cross-section within a 54 foot right-of-way.

l. **STREET SECTION I - Short Local Street / Cul-de-Sac Street:**

These streets will provide the access to the individual homes with a two-lane undivided cross-section. A right-of-way of 50 feet is provided. To be classified as a short local street the maximum length shall be 600 feet.

**3. BICYCLE CIRCULATION**

Exhibit 8 identifies the extensive bicycle system within the Westgate Plan. A class I bicycle path (8' wide - off-street) is located along the entire length of Walnut Avenue and within a major portion of Cherry Avenue. This off-street pathway minimizes conflicts between vehicles and bicycles and provides a safe method of transportation for accessing the school, park and commercial sites from most residential areas of the community. In addition to the class I bikeways, class II bikeways occur on nearly all the remaining streets within Westgate including Highland, Carter, and San Sevaime. These include striped lanes within the roadway with restricted vehicular parking and appropriate signage. The class II bikeway will also cross under Route 30 at San Sevaime Road. This comprehensive network will encourage the use of bicycle transportation as an alternative to vehicular travel. All bike lanes will include street lighting standards in accordance with city requirements. In addition to the above bike lanes along streets, a pedestrian / bike path is provided within the utility corridor. See Exhibit 30A.

**4. PUBLIC FACILITIES**

The following describes the various utilities within the Specific Plan area including: drainage, sewer, water, electric, telephone, gas and cable television. Proposed drainage, sewer, and water master plans have been conceptually designed to provide an adequate level of service for the maximum level of the

planned development. These master plans are based on the City of Fontana General Plan and various City infrastructure studies. The proposed electric, telephone, gas and cable television utilities will be connected at the most convenient existing locations and extended throughout the site during the phased construction of the project.

**a. DRAINAGE PLAN**

The Project Site slopes southwesterly at approximately two percent slope and the existing use of the site is primarily agricultural. With few exceptions, flows upstream of the site are generally intercepted by the I-15 Freeway. Flows migrate through the site in a sheet flow condition. While the old San Sevaine earthen channel still exists, it no longer serves regional drainage needs and will be abandoned and filled in as development occurs.

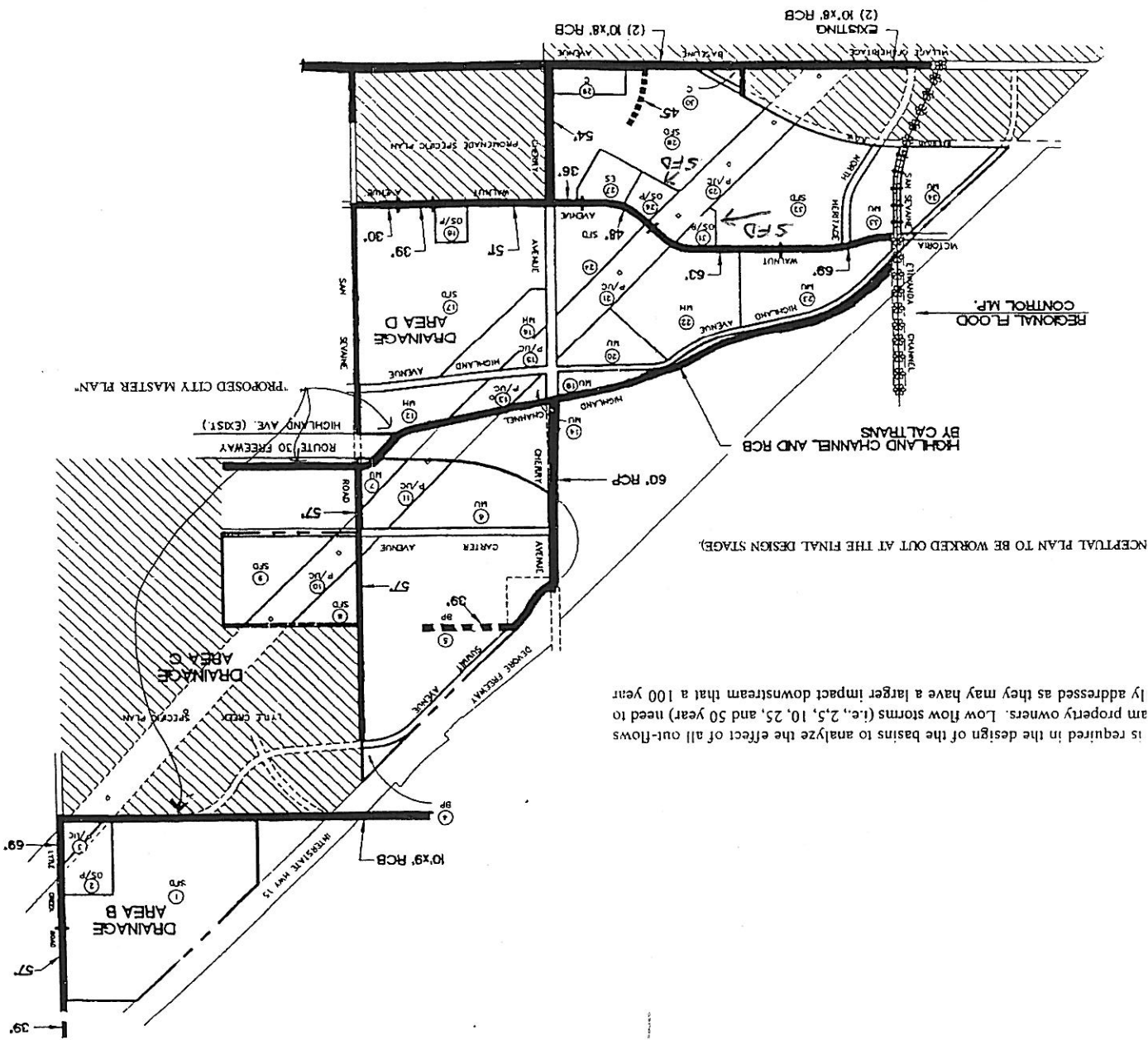
Storm drainage master planning is a joint responsibility of the City of Fontana and the San Bernardino County Flood Control District (SBCFCD). The SBCFCD is responsible for the regional channels, debris basins, and detention facilities. The City is responsible for the acceptance, maintenance and master plan design of the local drainage collection systems, local detention basins, and the infrastructure lines carrying runoff to the County regional facilities.

The City of Fontana has prepared a Master Plan of Drainage for Fontana and the project site is within the Master Plan area. The master planned drainage facilities are designed for various design capacities. The project will be responsible to safely convey the 100 year proposed discharge to a regional or City master planned facility.

The project includes 3 master planned facilities. The first is the Summit Avenue Storm Drain, a proposed 10 feet x 9 feet Reinforced Concrete Box. The second is the Highland Channel, a proposed concrete channel and reinforced concrete box. The third is the Baseline Avenue Storm Drain, an existing double 8 x 10 feet Reinforced Concrete Box. The project also includes various connections to these facilities. All of the regional and proposed systems can be seen on Exhibit 9.

## LEGEND

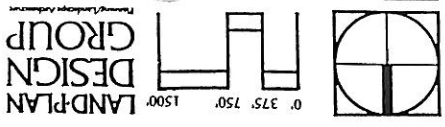
- EXISTING CITY MASTER PLAN
- EXISTING SAN SEVAIN CHANNEL - REGIONAL FLOOD CONTROL
- LOCAL DRAINS (Developer)



is required in the design of the basins to analyze the effect of all out-flows from property owners. Low flow storms (i.e., 2.5, 10, 25, and 50 year) need to be addressed as they may have a larger impact downstream than a 100 year

CONCEPTUAL PLAN TO BE WORKED OUT AT THE FINAL DESIGN STAGE.

## EXHIBIT 9 DRAINAGE PLAN



In addition to the City drainage improvements, the project must also satisfy the SBCFCD requirements for detention. Due to an agreement with Riverside County to limit drainage into Riverside County, the SBCFCD must detain flows from San Bernardino County. SBCFCD is planning for several regional detention basins in the area. Until the detention basins are constructed, the SBCFCD policy requires that all developments in the affected area provide on-site detention to reduce the runoff flows to 90% of the existing runoff from the site. Developments are also required to participate in the regional solution as determined by the SBCFCD.

Special care is required in the design of the basins to analyze the effect of all out-flows on downstream property owners. Low flow storms (i.e., 2, 5, 10, 25, and 50 year) need to be specifically addressed as they may have a larger impact downstream than a 100 year event. Flows exiting a detention basin need to be designed to a point of discharge to a City or County Master Planned Facility. This will insure that there are no downstream impacts resulting from the use of the basins. Specific location of detention basins is a function of development phasing and will be done as development progresses.

The Specific Plan storm water will sheet flow from north to south throughout the site. This water will be picked up throughout the site in the proposed system of master storm drains and local lines designed to handle project flows and offsite flows, where necessary, as shown on the drainage plan. The on-site storm water will be handled by the roadways and an on-site local storm drain system.

The detailed engineering design of the storm drain system will refine the design currently shown on the Storm Drain Plan. The facilities will be sized to meet the requirements of landowners within the project area based on proposed land uses and will meet the City of Fontana's standards.

**b. SEWER PLAN**

The collection of sewer flow from the Specific Plan area is to be provided for by the City of Fontana. Currently, sewage is collected and then transported to the Chino Basin Municipal Water District (CBMWD), where the City has a contract with them for treatment and disposal. Ongoing construction assures the capacity needed to serve the Specific Plan area.

CBMWD is the current purveyor responsible for the construction and maintenance of the waste water treatment facilities and the sewer interceptor lines. The City of Fontana is responsible for constructing and maintaining the collection system within the City limits.



The Sewer Plan (see Exhibit 10) illustrates the existing and proposed sewer line locations and sizes. Currently there is an existing 21 inch sewer trunk line that ends at the intersection of Baseline and Cherry Avenue. From Baseline Avenue, the line extends northerly to Hunters Ridge. There is also a 15 inch trunk line located at the southwestern corner of the Specific Plan area. The southeast portion of the Specific Plan area will connect its on-site sewer system to the existing 15 inch sewer line. Rights of way will have to be acquired for off-site systems.

The detailed engineering design of the sewage collection system will refine the design currently shown on the Sewer Plan. The facilities will be sized to meet the requirements of landowners within the project area based on proposed land uses and will meet the City of Fontana's standards.

**c. WATER PLAN**

The water service to the Specific Plan area is currently envisioned to be provided by two different agencies. To the east of Cherry Avenue is the Fontana Water Company and to the west Cucamonga County Water District. Initial discussions with the staff of these agencies indicate that there is adequate pressure and water flow to serve the project.

The respective agencies' requirements shall be used in the detailed engineering design of the water distribution facilities.

Proposed water facilities will join an existing 16 inch water line in Baseline Avenue. The proposed line sizes and location are shown on the Water Plan, however, these sizes and locations will be further refined during final design. See Exhibit 11.

**d. UTILITIES**

*Electrical Service*

The Specific Plan area is served by Southern California Edison Company (SCE). Currently there is a 66 KV overhead line that traverses diagonally through the site and a 12 KV underground line that runs along the south side of Baseline Avenue. SCE also has a 12 KV line running north from Baseline Avenue along the east side of Cherry Avenue. These lines will service the Specific Plan area. The developer will construct on-site underground utility lines that will meet SCE specifications. Under grounding of smaller lines will be done per City policy.



*Gas Service*

The Specific Plan area is served by Southern California Gas Company (SCG). Currently there is an existing eight inch gas line in Cherry Avenue and an eight inch gas line in Baseline Avenue. These two lines will provide service for the Specific Plan area. Service of gas to the project will be in accordance with the Southern California Gas Company policies and PUC regulations.

*Telephone Service*

The Specific Plan area is served by Pacific Bell. There is an existing conduit structure and manhole located at the southwest corner of the intersection of Baseline Avenue and Cherry Avenue. This structure will provide for a service connection for the project.

The developer will construct an on-site underground conduit system that will meet regulations set by Pacific Bell and the PUC regulations.

*Cable Television Service*

Comcast Cable Company will service the Specific Plan area. There is an existing trunk line running along the west side of Cherry Avenue. Service for cable television to the Specific Plan area will be provided for from this existing line. Service for cable television will be in accordance with Comcast Cable policies and PUC regulations.

**e. GRADING**

The existing topography on the project site and surrounding areas slopes generally to the southwest. The slope is mild (1% to 3%), therefore no significant grading will occur as development progresses. All grading will be done under the jurisdiction of the latest edition of the U.B.C., and the City of Fontana Building and Safety and Engineering divisions. The conceptual Grading is shown on Exhibit 11A.



In most areas, the proposed grades will be within 1 to 5 feet of existing ground. This may increase in the business park, where larger pads are typically needed. There may also be more grading needed in the vicinity of the Route 30, I-15 interchange, as the adjacent sites blend with the Freeway grading.

Remedial grading will be required in the area of the existing flood control

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**

## LEGEND

-  PROPOSED SEWERLINE
-  EXISTING SEWERLINE

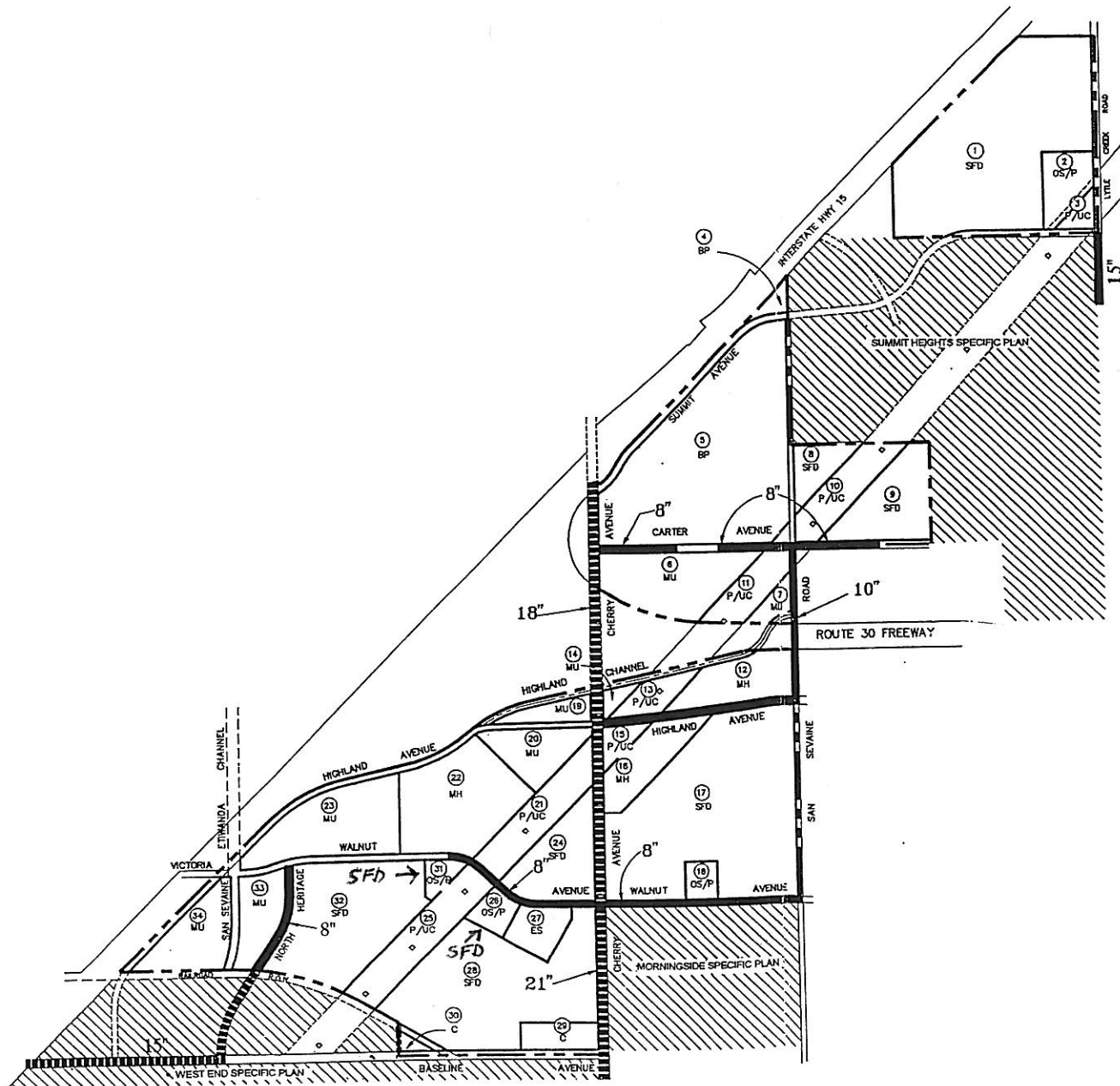
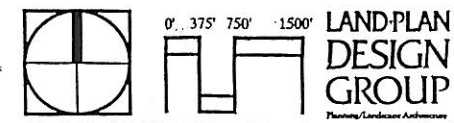


EXHIBIT 10  
SEWER PLAN







SOURCE: ALLARD ENGINEERING

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

## LEGEND

-  PROPOSED WATERLINE
-  EXISTING WATERLINE
-  EXISTING MWD LINE
-  EXISTING SGV LINE

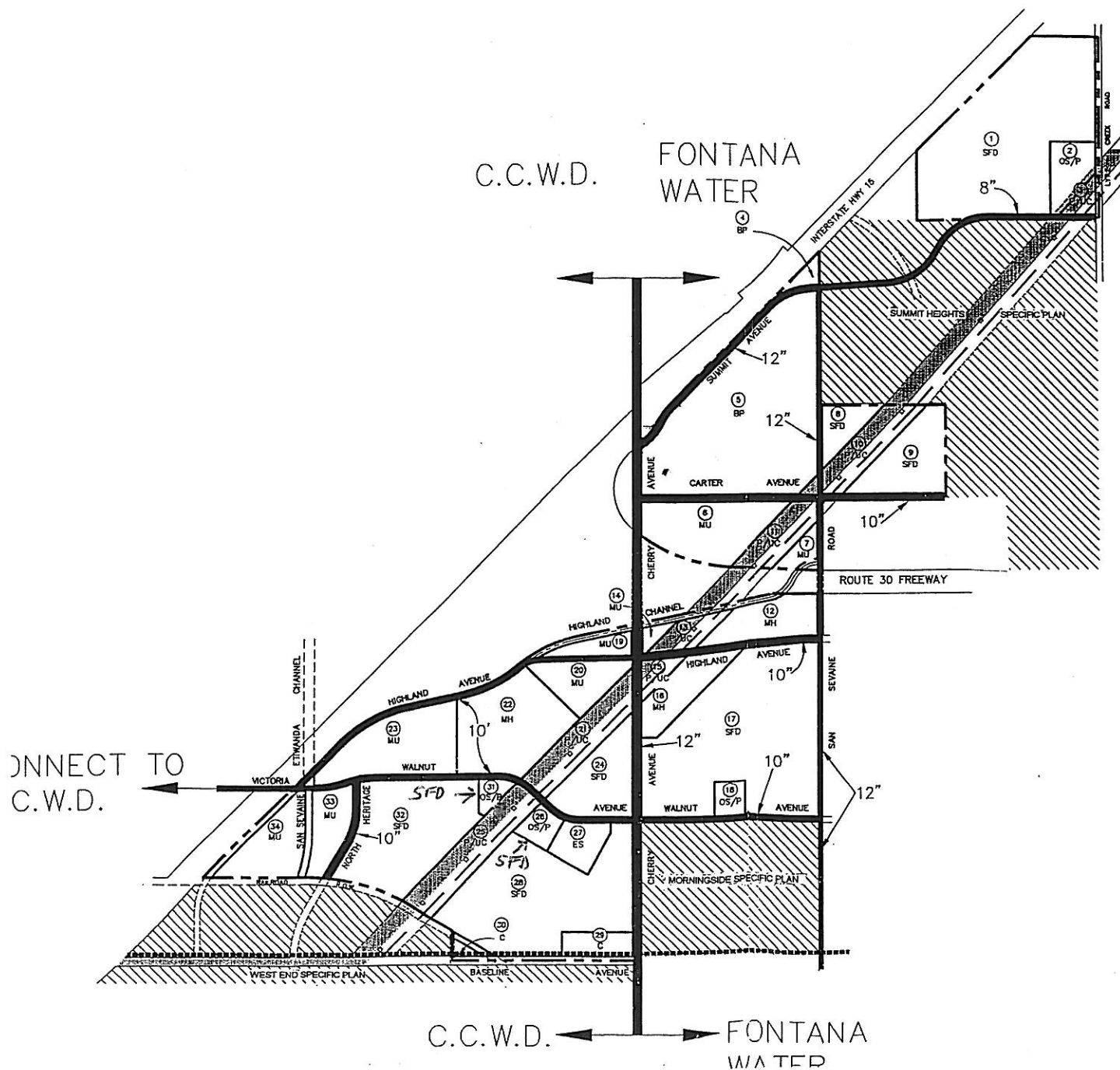
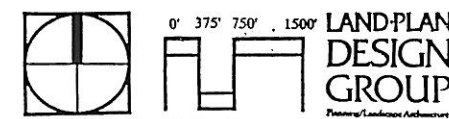


EXHIBIT 11  
WATER PLAN



SOURCE: ALLARD ENGINEERING

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

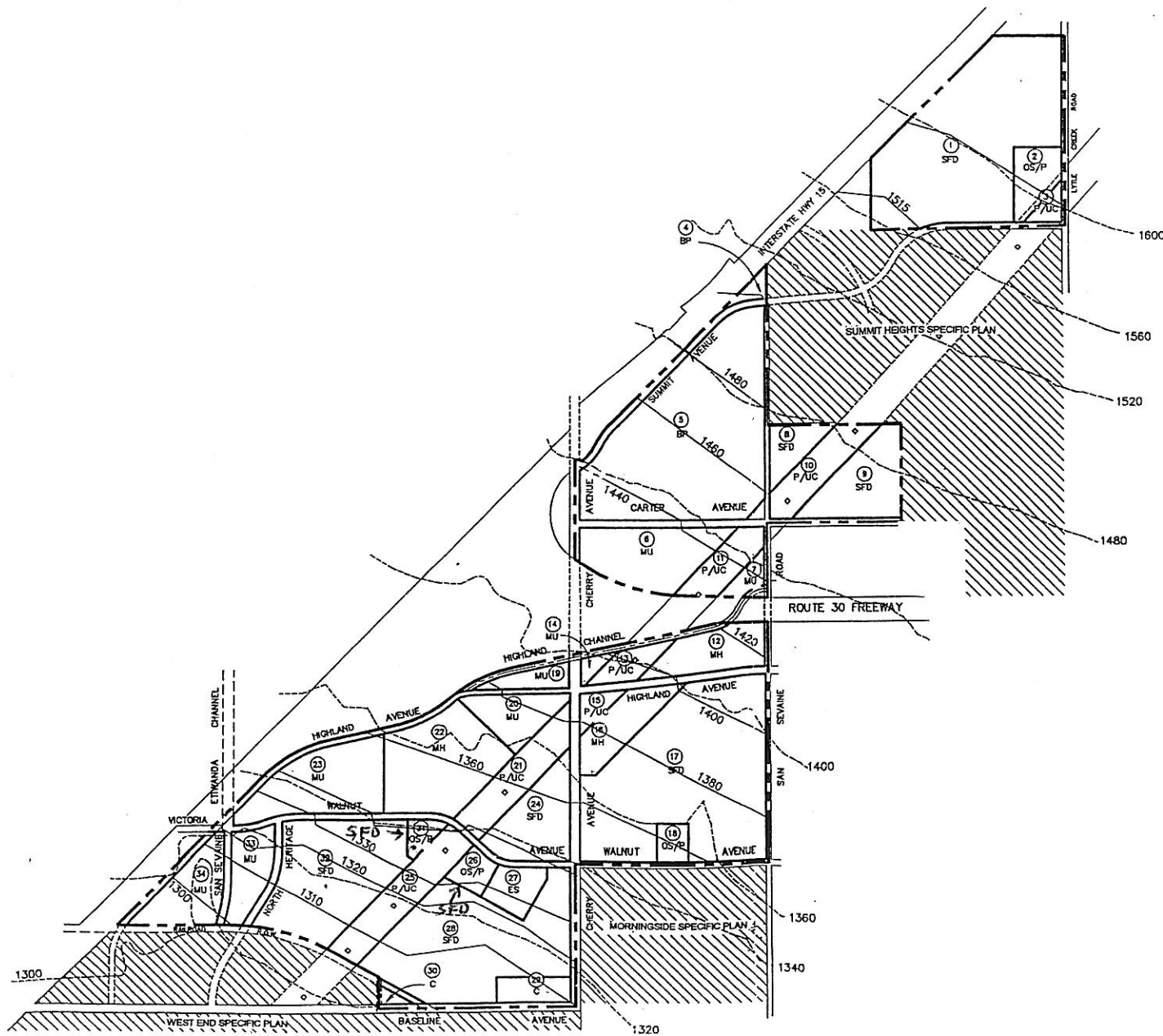
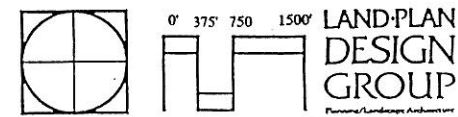


EXHIBIT 11A  
GRADING PLAN



earth channels. Since they have been replaced with concrete lined channels, they are no longer needed, and can be filled in. It is anticipated that any alluvial soil and cobbles can be accommodated in the on-site grading. The site earthwork is expected to balance within the Specific Plan area, and no import or export is contemplated.

**f. COMMUNITY SERVICES**

School facilities, fire protection, police protection, and solid waste disposal services are summarized below. A more detailed discussion of facilities and services is presented in the environmental impact report (EIR).

***School Facilities***

The project falls within the Etiwanda School District grades K-8 and the Chaffey Joint Union High School District, grades 9-12. Based upon the Etiwanda School District's generation factor of .4 of the total project dwelling units, it has been determined that one elementary school facility is needed for this community. Planning Area #27 has been designated for the 10.0 acre school site and is located adjacent to a 17.0 acre park. Junior high school needs will likely be satisfied by the junior high school site located in the West End Specific Plan / Village of Heritage and high school needs at Etiwanda High School. Both school sites are located approximately one mile from the site. An agreement will be prepared and executed between the applicant and the affected school districts in accordance with the respective district standards prior to occupancy of any home.

***Fire Protection***

The San Bernardino County Fire Department currently serves the project area. The closest fire station to the site is Station #78 located at 6262 Citrus Avenue (near Highland Avenue). Fire protection needs will be determined as part of the Environmental Impact Report process.

***Police Protection***

The Westgate project will be served by the City of Fontana Police Department. The department currently maintains a ratio of 1.08 sworn officers per 1,000 residents. They operate in cooperation with surrounding law enforcement agencies under the "State Mutual Aid Pact". The department's headquarters is located on Upland Avenue, approximately five miles from the site. Within the local area, one contact station is

proposed along Highland Avenue, within the California Landings Specific Plan. Actual police needs for Westgate will be determined as part of the Environmental Impact Report process.

***Solid Waste Disposal***

Solid waste is collected by Fontana Rubbish Collectors, a private company under contract to the City of Fontana. The Mid-Valley Landfill is currently receiving the solid waste for the project area.

**5. COMMUNITY-WIDE AND SPECIFIC LAND USE DESIGN GUIDELINES**

This section is divided into two major parts, COMMUNITY-WIDE DESIGN GUIDELINES and SPECIFIC LAND USE DESIGN GUIDELINES. "Community-Wide" guidelines address the overall design elements which help organize and unify the total Plan. These elements include: entry monuments, streetscapes, perimeter theme walls, and project wide landscape materials. "Specific Land Use" guidelines establish architectural, landscape, lighting, and grading, standards for the business park, office, mixed use, commercial retail, residential and open space planning areas. These guidelines, when combined, provide the framework for establishing a strong unified identity and distinctive character for Westgate.

**a. COMMUNITY-WIDE DESIGN GUIDELINES**

Community-Wide Design Guidelines have been divided into four categories: a) Entry Themes / Monuments, b) Streetscape Themes, c) Community Theme Walls, and d) Planting Guidelines. The Landscape Plan identifies the locations of the various design elements. It will be useful to refer to this exhibit when reviewing the text in order to understand the locations and relationships of the various landscape elements within the community. See Exhibit 12.

***Entry Themes / Monuments***

Entry themes and entry monuments will play an important role in creating an impressive and inviting atmosphere for the community. The initial impression of a community is often formulated by the quality and character developed at the entries.

Within Westgate, business and residential entry treatments have been developed. The Landscape Plan, Exhibit 12, identifies their locations within the community. These exhibits are conceptual, details of design will

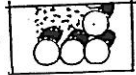
# WESTGATE SPECIFIC PLAN

Prepared for:

UNITEX

## LEGEND

MAJOR BUSINESS ENTRY  
SEE EXHIBIT 13 & 14



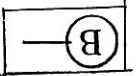
MAJOR RESIDENTIAL ENTRY  
SEE EXHIBIT 15 & 16



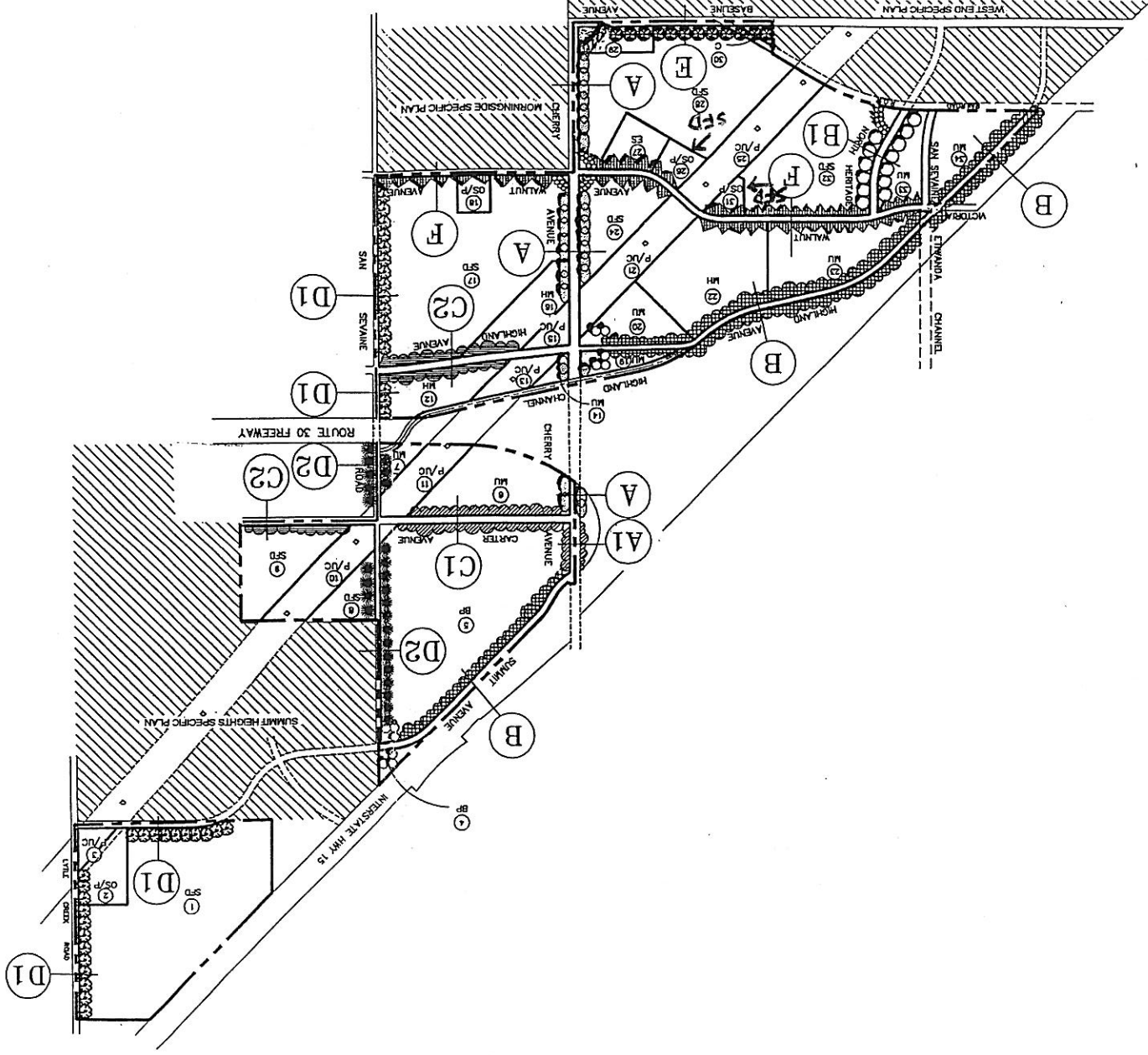
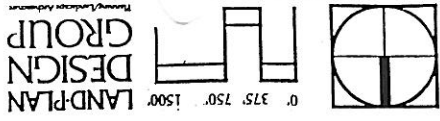
INTERSECTION ENHANCEMENT  
SEE EXHIBIT 16A



LANDSCAPE SECTIONS  
SEE EXHIBITS 17-20



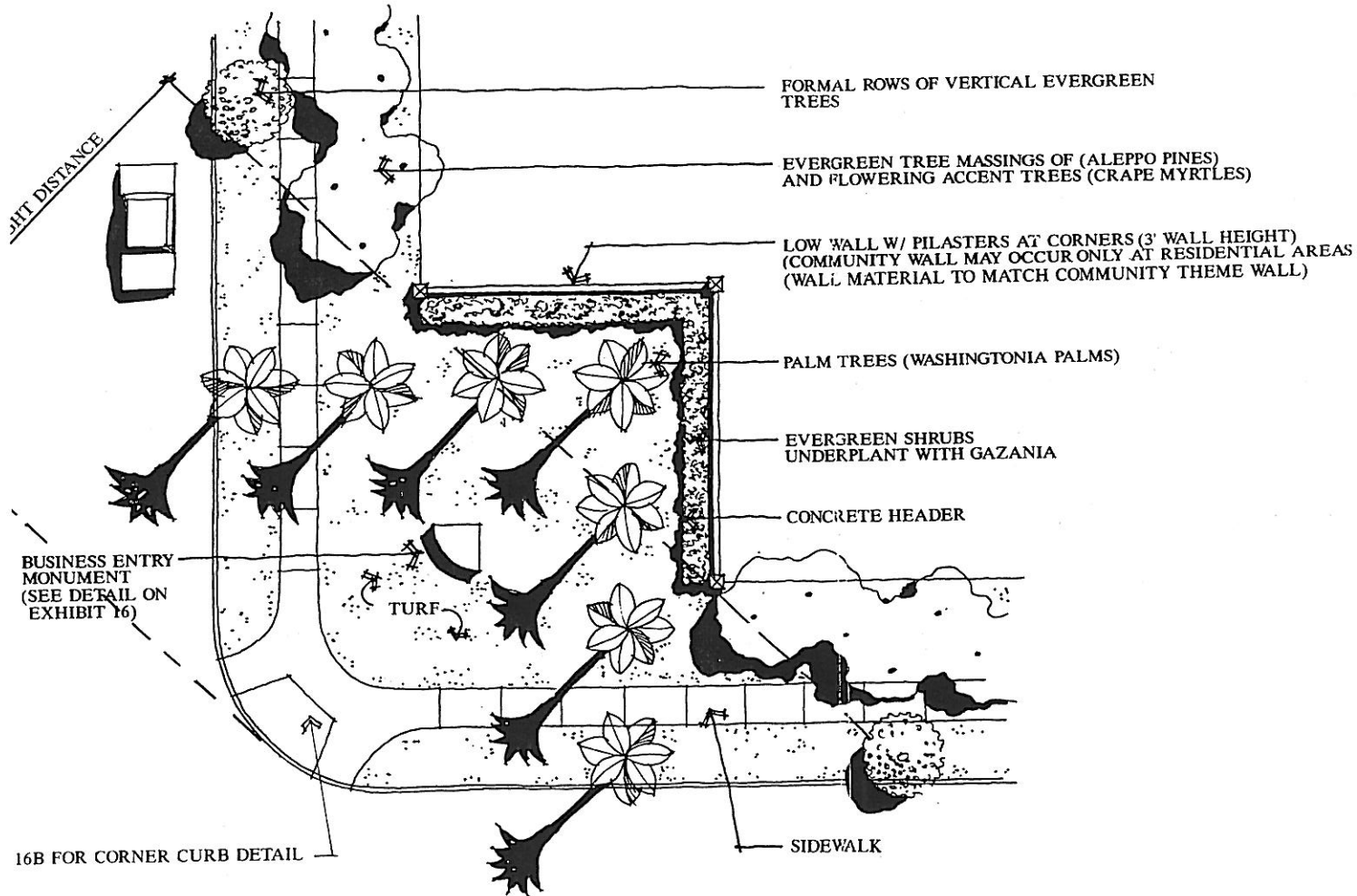
## EXHIBIT 12 LANDSCAPE PLAN





# WESTGATE SPECIFIC PLAN

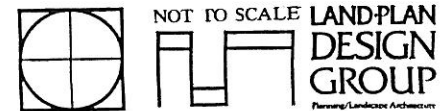
Prepared for: **UNITEX**



PLAN

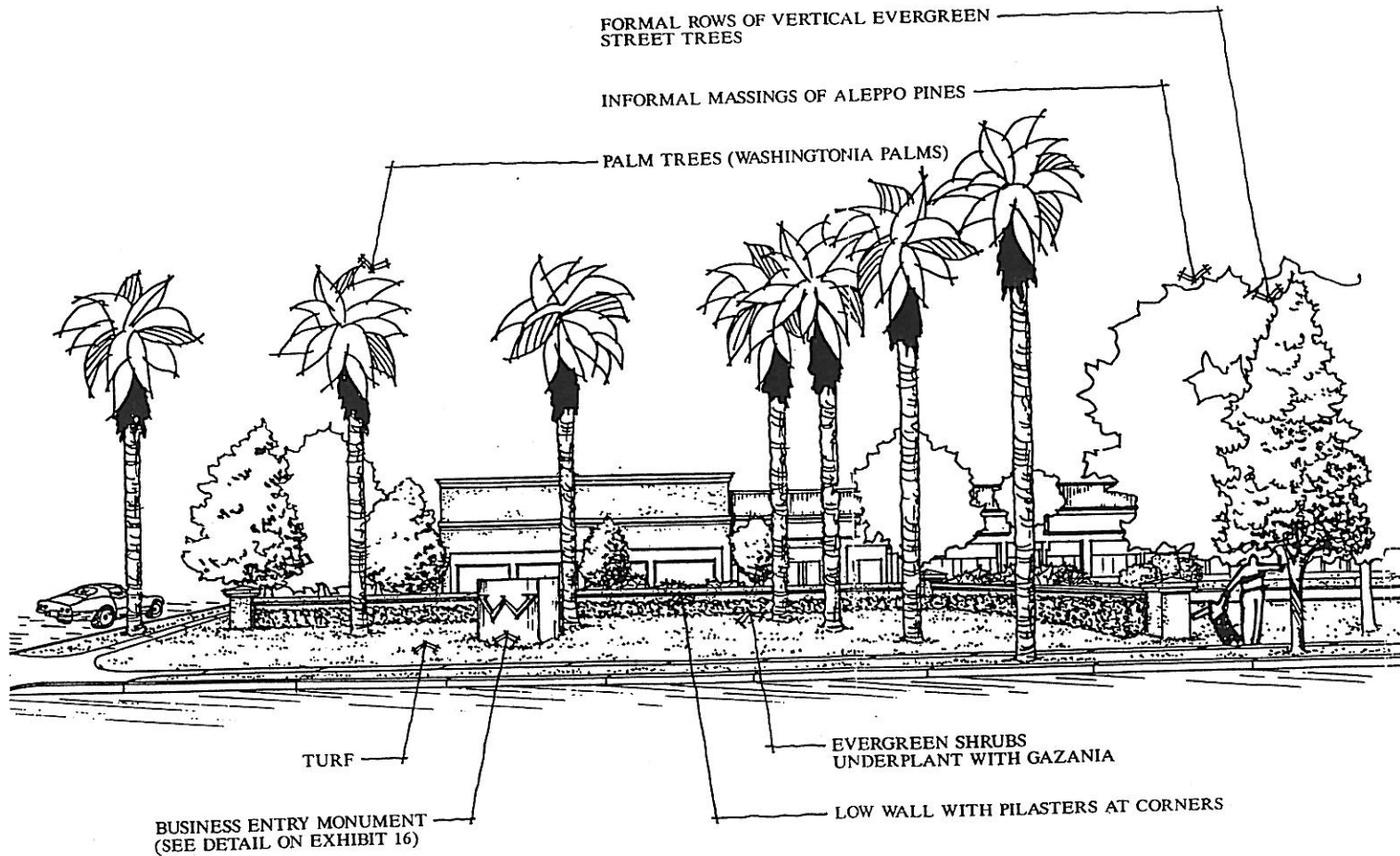
NOTE:  
SIGHT DISTANCES AT INTERSECTIONS  
SHALL BE PER CITY CODE

EXHIBIT 13  
MAJOR INTERSECTION  
BUSINESS ENTRY (PLAN)



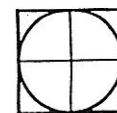
# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



PERSPECTIVE

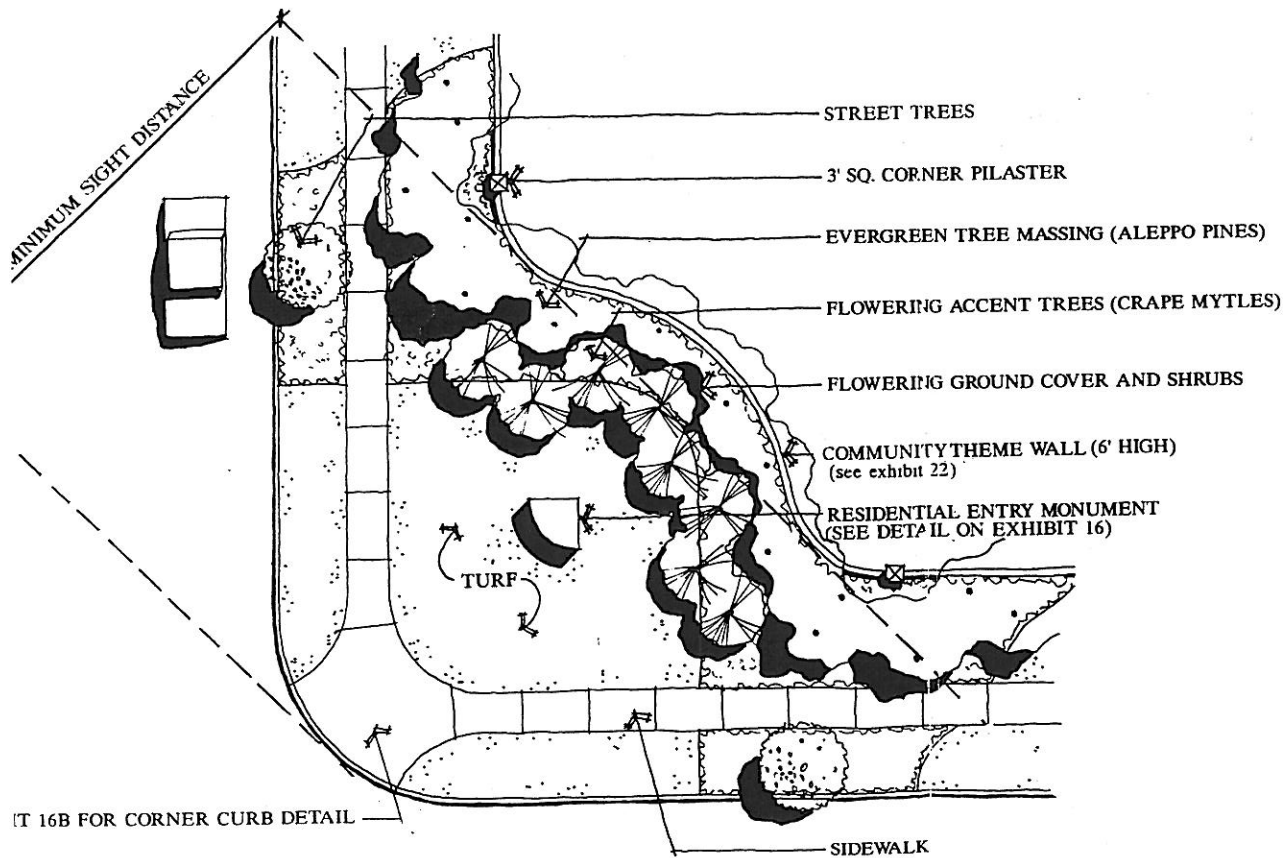
EXHIBIT 14  
MAJOR INTERSECTION  
BUSINESS ENTRY  
(PERSPECTIVE)



NOT TO SCALE  
LAND-PLAN  
DESIGN  
GROUP  
Planning/Landscape Architecture

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

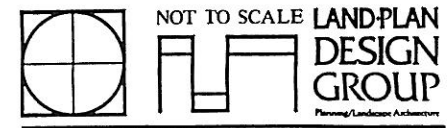


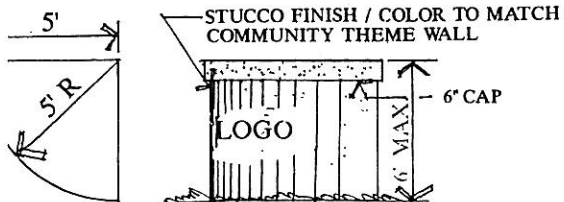
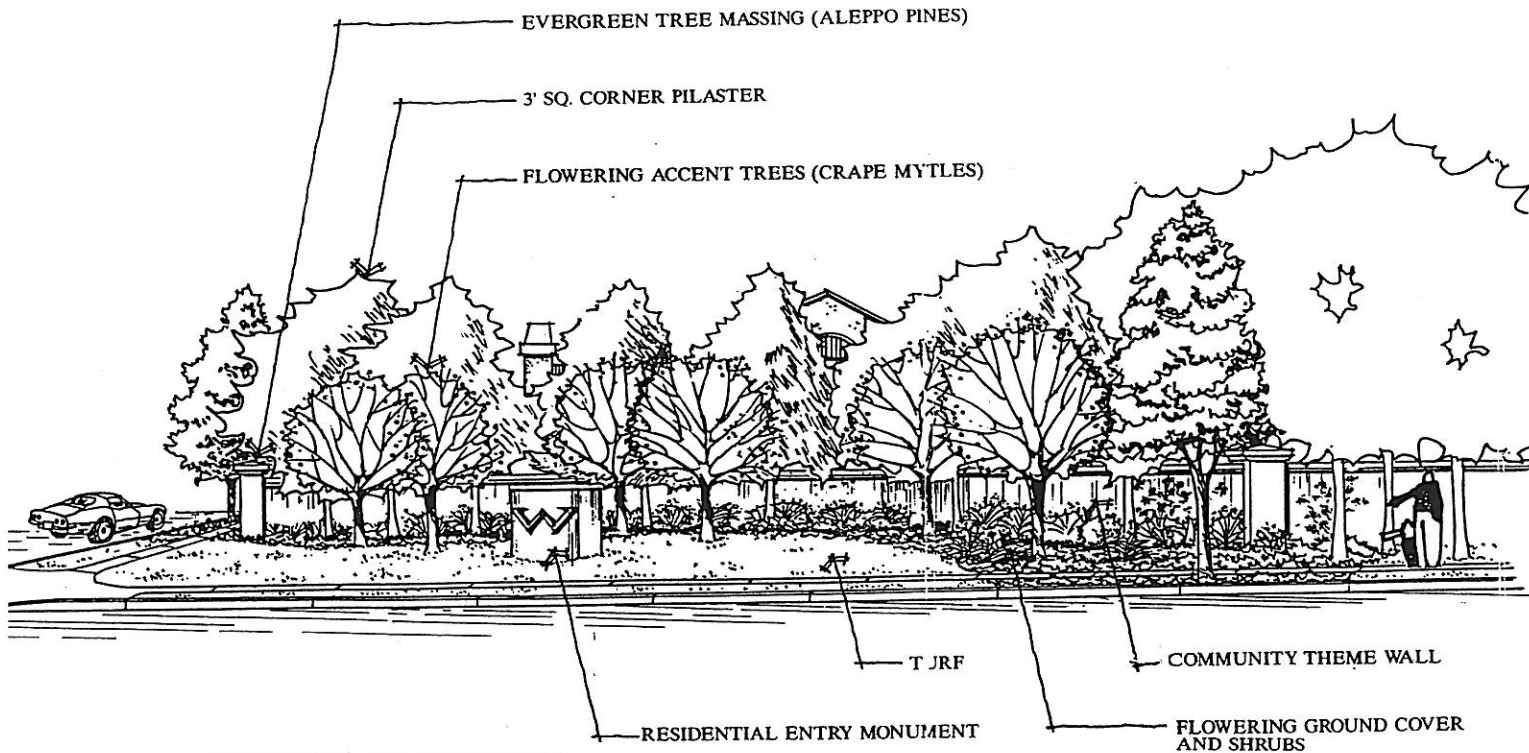
PLAN

NOTE:

SIGHT DISTANCES AT INTERSECTIONS  
SHALL BE PER CITY CODE

EXHIBIT 15  
MAJOR INTERSECTION  
RESIDENTIAL ENTRY  
(PLAN)

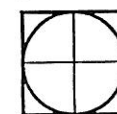




ENTRY MONUMENT DETAIL -  
 RESIDENTIAL & BUSINESS

PERSPECTIVE

EXHIBIT 16  
 MAJOR INTERSECTION  
 RESIDENTIAL ENTRY  
 (PERSPECTIVE)



NOT TO SCALE **LANDPLAN  
 DESIGN  
 GROUP**  
Planning/Landscape Architecture

**WESTGATE**  
**SPECIFIC PLAN**  
Prepared for: **UNITEX**

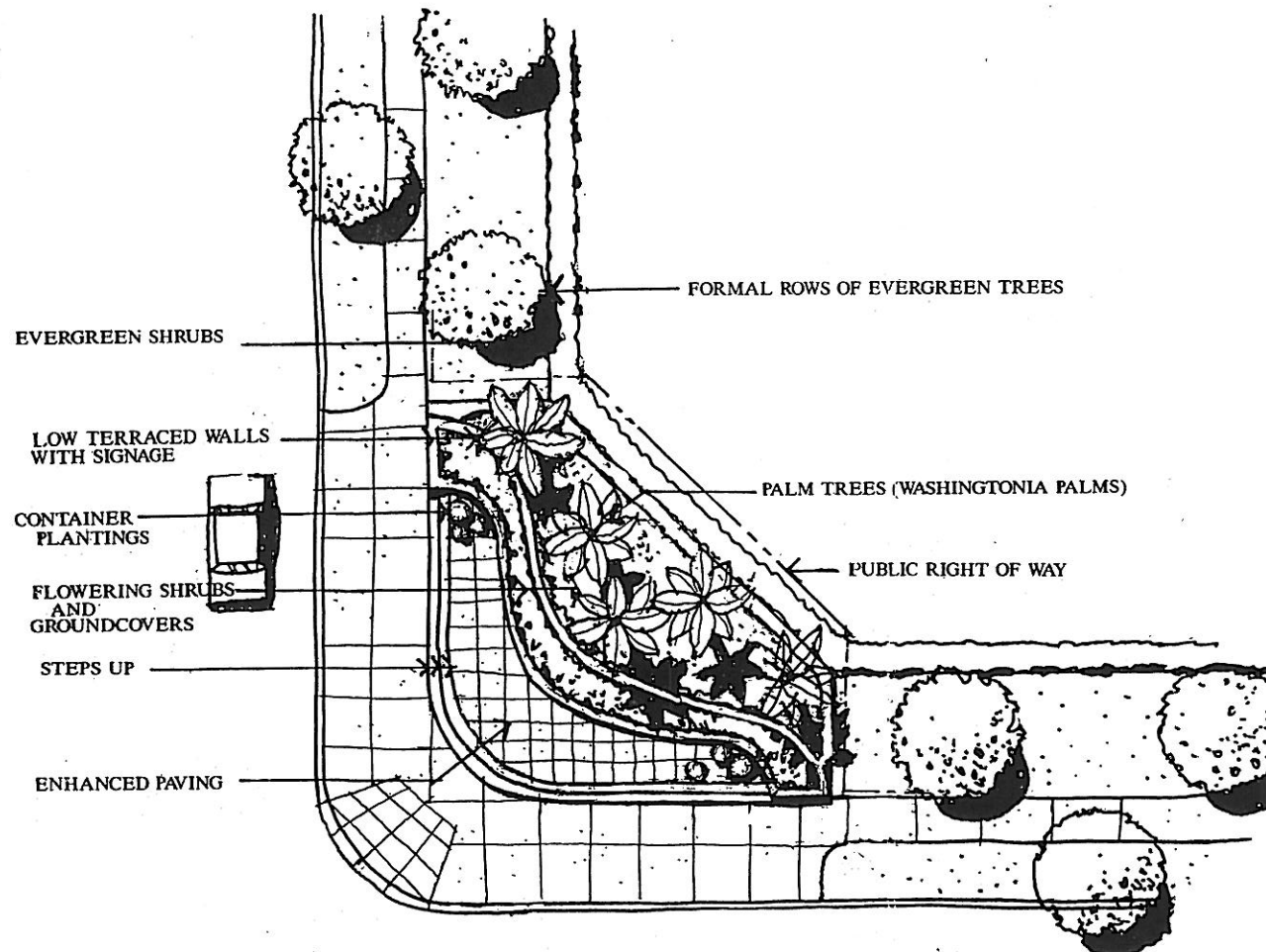
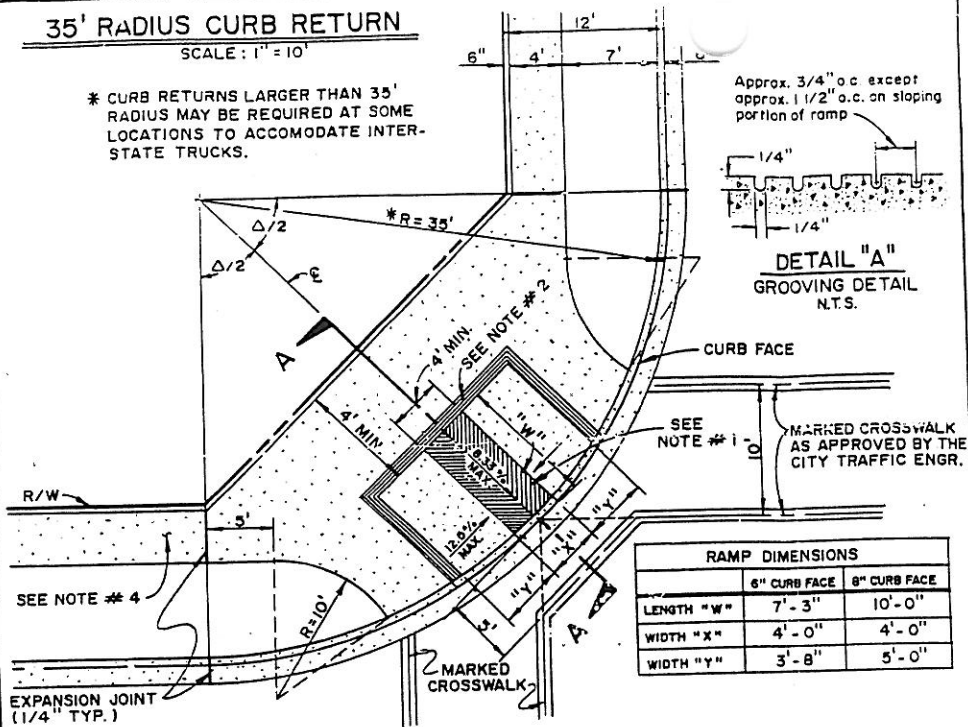


EXHIBIT 16A  
MINOR  
INTERSECTION  
ENHANCEMENT

# 35' RADIUS CURB RETURN

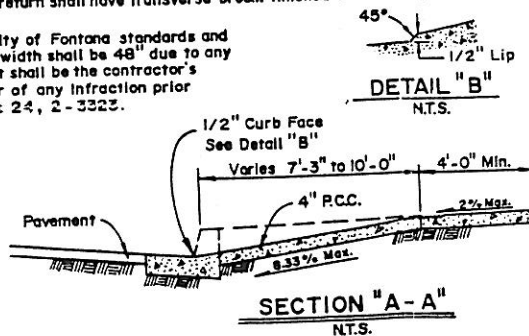
SCALE: 1" = 10'

\* CURB RETURNS LARGER THAN 35' RADIUS MAY BE REQUIRED AT SOME LOCATIONS TO ACCOMMODATE INTER-STATE TRUCKS.



## NOTES:

1. When ramp is located in middle of curb return it shall be grooved in a herringbone pattern with 1/4" grooves approximately 1 1/2" o.c. grooves which should be aligned parallel to crosswalk stripes to direct blind pedestrians into appropriate crosswalk.
2. This ramp shall have a 12" wide border with 1/4" grooves approximately 3/4" o.c. as shown in Detail "A".
3. Ramps not located at the middle of curb return shall have transverse broom finished texture rougher than surrounding sidewalk.
4. All sidewalks shall conform to current City of Fontana standards and specifications. The smallest allowable width shall be 48" due to any existing utility standard obstructions. It shall be the contractor's responsibility to notify the City Engineer of any infraction prior to any placement of concrete, per Title 24, 2-3323.



CITY OF FONTANA, CALIFORNIA  
RAMPED CURB RETURN

SCALE: AS SHOWN

Drawn By: G. HARWORTH  
Checked By: D. RAY /  
Approved By: *[Signature]*  
City Engineer RCE 25126  
Expires 12-31-89  
Date: 12-12-89

STD.  
DETAIL  
104A  
SHEET  
1

WESTGA  
SPECIFIC P  
Prepared for: U

EXHIBIT 16B

STANDARD CURB  
RETURN



be subject to review at the time of plan submittal.

- ***Major Business Entries:***

Major business entry statements have been provided at the primary business intersections. These entry elements establish a corporate setting and will identify and unify the various business areas within Westgate. The first of these is located at the intersection of San Sevaine Road and Summit Avenue, while the second is located at the intersection of Cherry and Highland Avenue. Each entry includes a freestanding entry monument sign supported by a backdrop of stately palm trees, flowering shrubs for seasonal color and low perimeter wall with pilasters. See Exhibits 12, 13 and 14 for the location and design of these entries.

- ***Major Residential Entries:***

Located at key locations within the community are two major residential entries, one at the intersection of Walnut Avenue and Cherry Avenue, and the second north of Baseline and the Village of Heritage on North Heritage Drive. Each of these major entries have been located on the Landscape Plan, Exhibit 12, and are illustrated on Exhibits 15 and 16. Informal tree massings and flowering shrubs, which form a backdrop and complement a freestanding entry monument, create an image that is inviting and in character with the residential neighborhood.

- ***Minor Intersection Enhancement:***

Design guidelines prepared by the City for North Fontana recommended an enhancement at the corner of Cherry Avenue and Baseline that includes tree clusters, theme walls, and contrasting pavements". Exhibit 16A illustrates an enhancement for the Westgate northwest portion of the intersection.

***Streetscape Themes***

- ***Introduction***

While entry monuments will form an important initial impression, the



plant materials selected for the Westgate streetscapes will play a major role in unifying the various land uses into a cohesive community design. A simple palette of trees, shrubs, ground covers and vines has been selected in order to achieve this goal. Specific selections for major theme plant materials have been identified in the various design solutions. These plant materials are intended to provide general intent as to form and character, and may be changed subject to City staff approval. A plant palette has been developed in Table C. Details of plant material and overall design will be subject to review at the time of plan submittal.

In order to provide for a "corporate" landscape theme for the business park, office and commercial retail areas, the landscape will feature evenly spaced rows of stately "formal" trees.

A "woodland" landscape theme has been selected for the residential areas to create an inviting environment and to provide shade for the walkways and bikeways throughout the community. This theme will also provide a buffering effect between the edges of residential development and the major roadways through and around the site. This will be established by utilizing a backdrop of informally grouped evergreen trees with accents of flowering trees set within expanded landscaped parkways.

One major theme tree has been selected to create cohesiveness among the streets and edges of all residential development. The "Aleppo", or similar type pine tree, will be used with secondary groupings of other trees, shrubs and ground covers to establish a consistent streetscape theme.

The following describes the various streetscape themes, while Exhibits 12 and 17 - 20 graphically illustrates them.

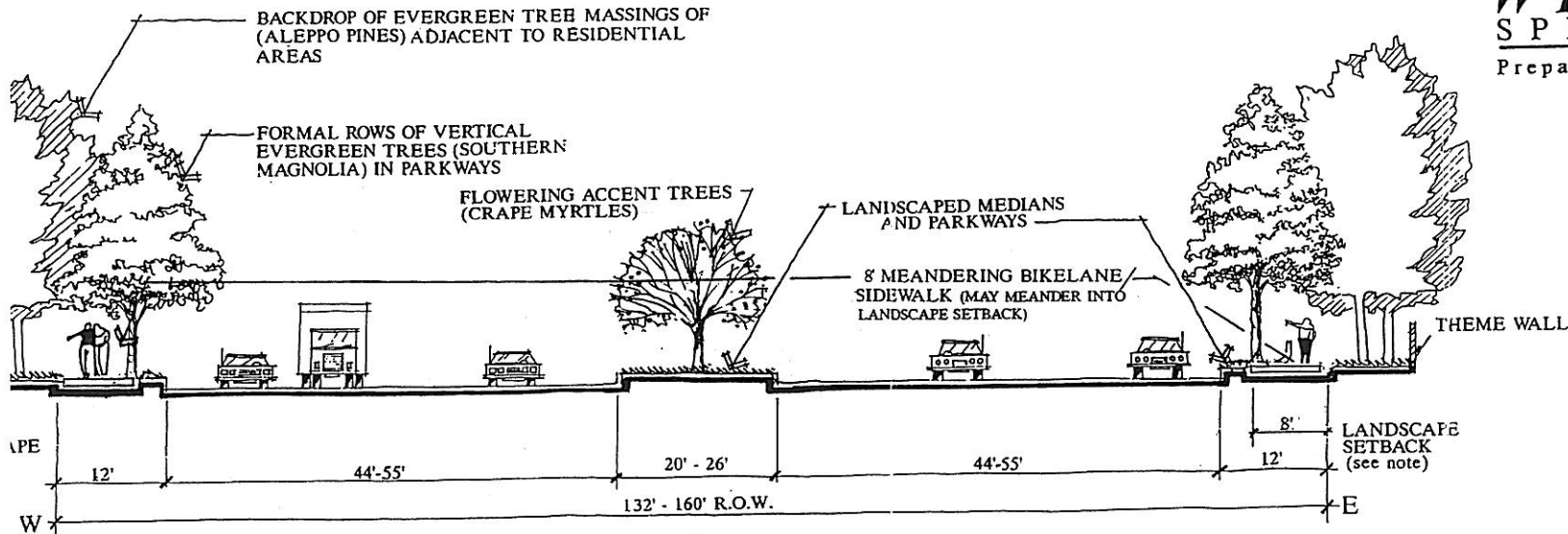
- ***Streetscape Theme Descriptions***

- **Section A and A1- CHERRY AVENUE:**

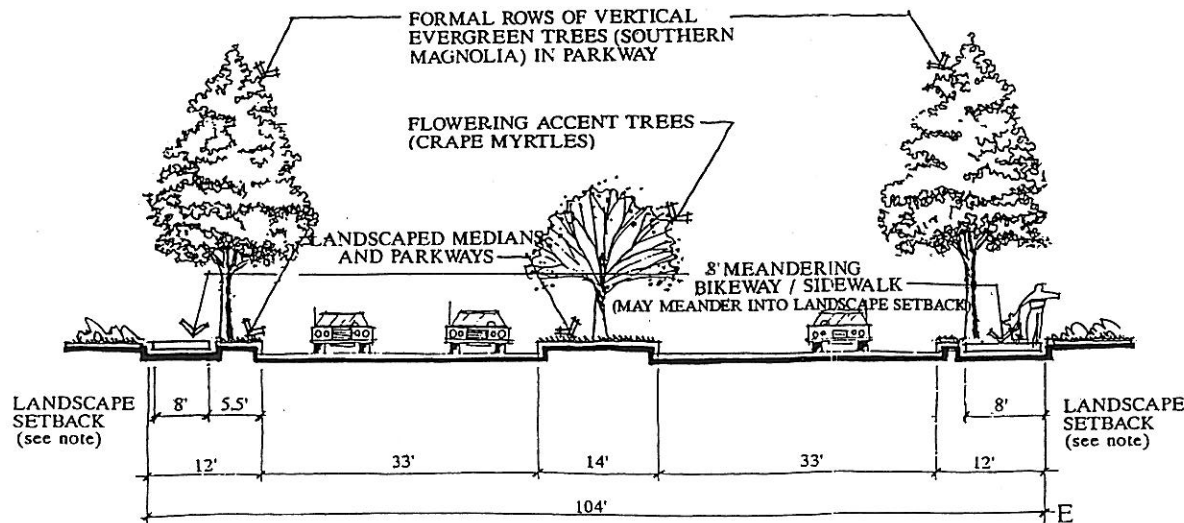
- Westgate is bisected by Cherry Avenue in a north-south direction. This street will be lined with formal rows of stately evergreen trees in the parkways and flowering trees in the median to enhance this primary corridor and to continue the existing formal tree pattern established along Cherry Avenue to the south. Informal grouping

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



SECTION A - CHERRY AVENUE  
Baseline to Carter Ave.



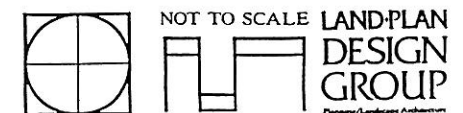
SECTION A1- CHERRY AVENUE  
Carter to Summit Ave.

## NOTE:

THE LANDSCAPE SETBACK IS 6' WHEN ADJACENT TO RESIDENTIAL USES AND 15' WHEN ADJACENT TO ALL OTHER USES AND 25' ON BASELINE AND CHERRY AVE. (UNLESS OTHERWISE NOTED IN TABLE D) THEME WALLS OCCUR ONLY WHEN ADJACENT TO RESIDENTIAL USES

## EXHIBIT 17

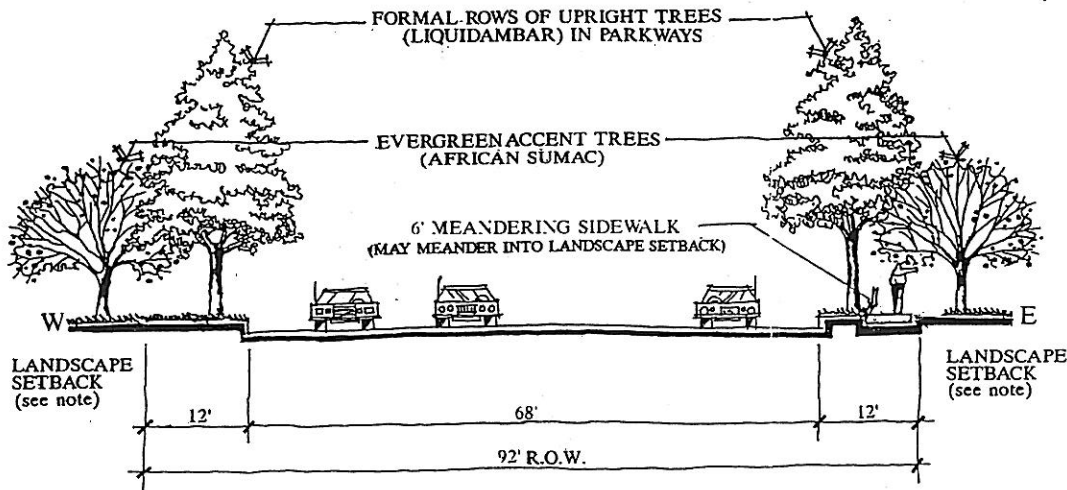
### A,A1 LANDSCAPE SECTIONS (SEE EXHIBIT 12)



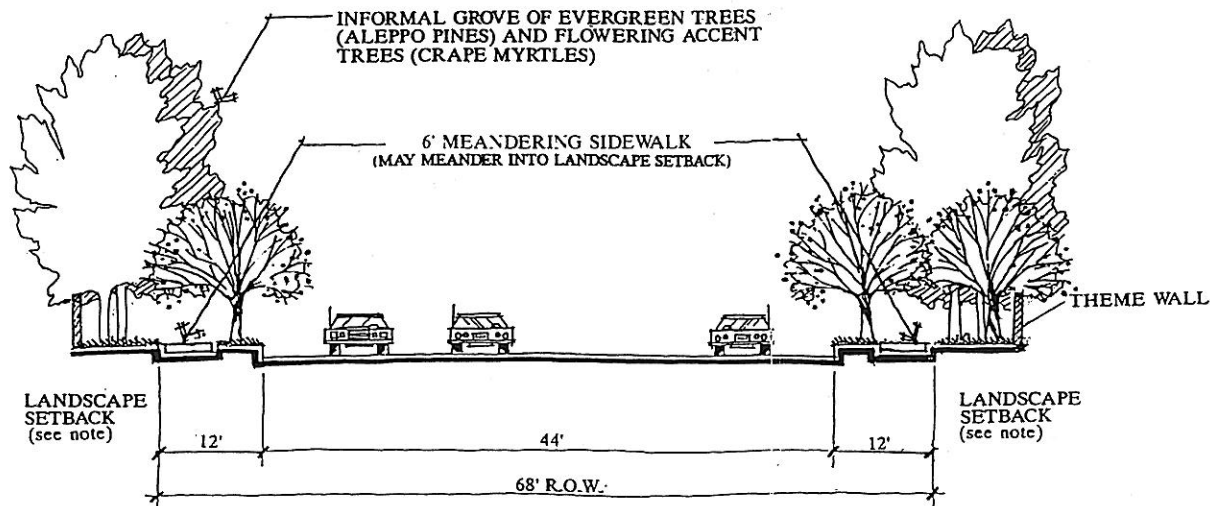
# WESTGATE SPECIFIC PLAN

Prepared for:

UNITEX



SECTION B - HIGHLAND AVENUE West of Cherry Ave  
SUMMIT AVENUE West of San Sevaime Road



SECTION B1 - NORTH HERITAGE DRIVE

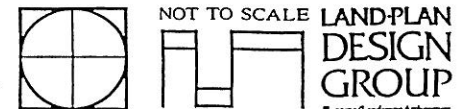
## NOTE:

THE LANDSCAPE SETBACK IS 6' WHEN  
ADJACENT TO RESIDENTIAL USES AND  
15' WHEN ADJACENT TO ALL OTHER USES.  
(0' WHEN ADJACENT TO FREEWAY)  
(UNLESS OTHERWISE NOTED IN TABLE D)  
THEME WALLS OCCUR ONLY WHEN  
ADJACENT TO RESIDENTIAL USES.

EXHIBIT 17A

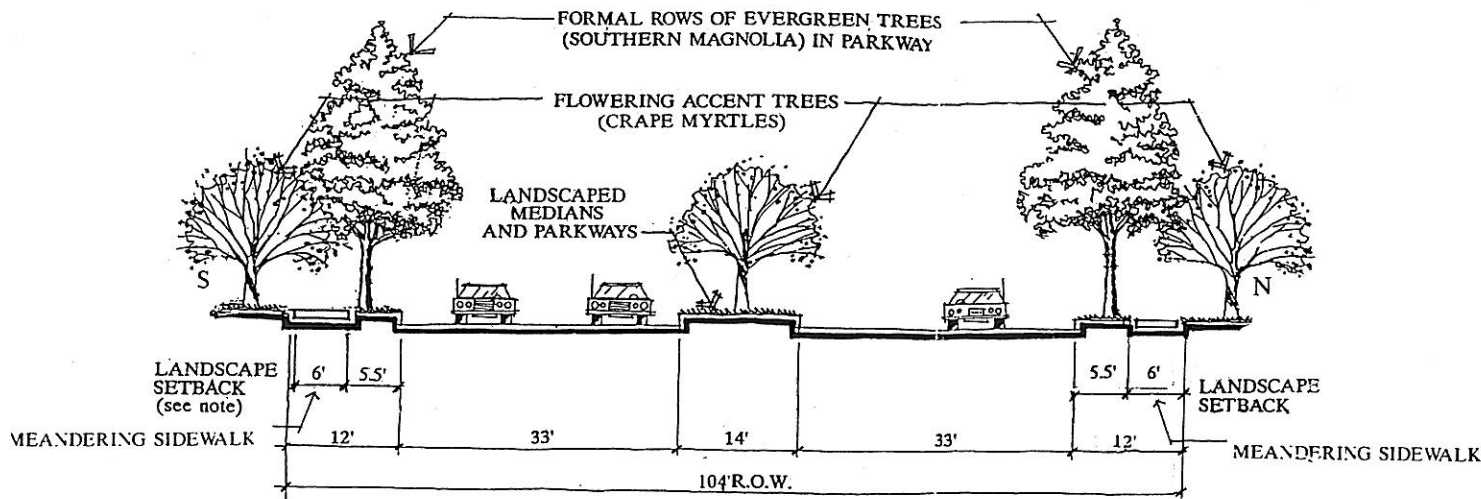
B, B1

LANDSCAPE SECTIONS  
(SEE EXHIBIT 12)

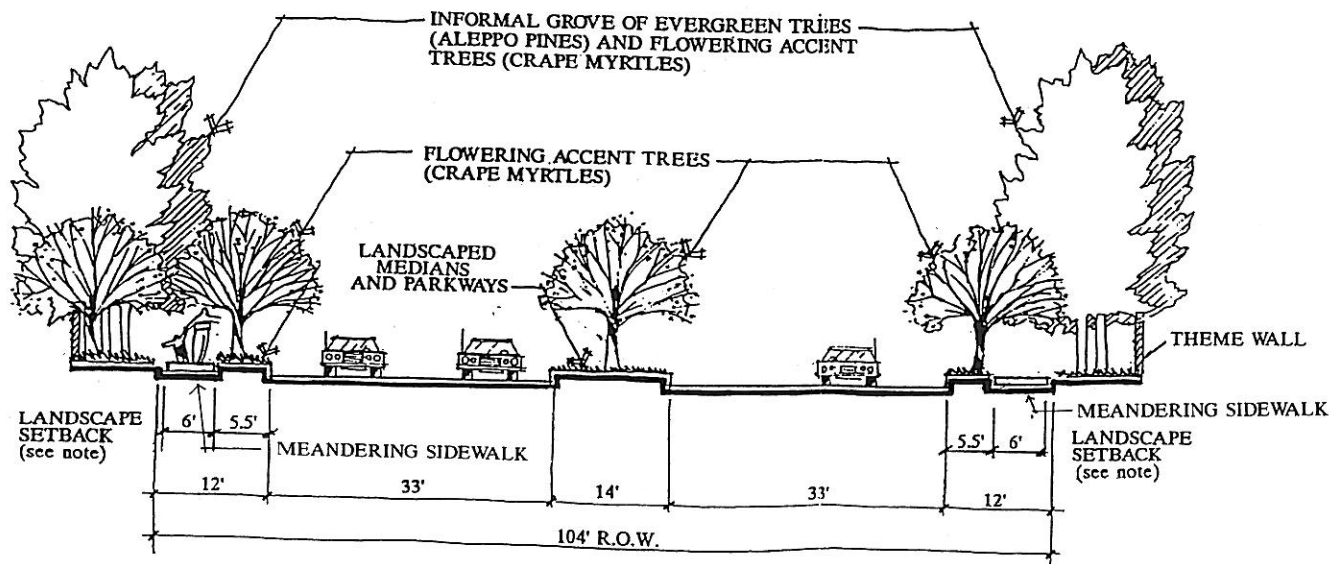


# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



SECTION C1 - CARTER AVENUE West of San Sevaime Road



SECTION C2 - HIGHLAND AVENUE East of Cherry Avenue  
CARTER AVENUE East of San Sevaime

## NOTE:

THE LANDSCAPE SETBACK IS 6' WHEN ADJACENT TO RESIDENTIAL USES AND 15' WHEN ADJACENT TO ALL OTHER USES. (UNLESS OTHERWISE NOTED IN TABLE D)

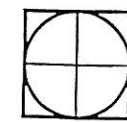
THEME WALLS OCCUR ONLY WHEN ADJACENT TO RESIDENTIAL USES.

EXHIBIT 18

C1, C2

LANDSCAPE SECTIONS

(SEE EXHIBIT 12)



NOT TO SCALE  
LAND-PLAN  
DESIGN  
GROUP  
Planning/Landscape Architecture

of trees will be located behind the formal tree rows within residential areas to provide a backdrop and buffer. See Exhibit 17.

- **Section B - HIGHLAND AVENUE, West of Cherry Avenue;  
SUMMIT AVENUE, West of San Sevaine Road:**

An important circulation corridor predominantly through the business areas of the development, this street will reflect a corporate appearance utilizing stately upright trees within parkways as its major landscape element. These will be reinforced with a backdrop of evenly spaced evergreen accent trees located in the landscape setback area. See Exhibit 17A.

- **Section B1 - NORTH HERITAGE DRIVE:**

This residential collector level street will include informal groupings of evergreen background trees and flowering foreground accent trees, consistent with other residential streetscapes within the community. See Exhibit 17A.

- **Section C1 - CARTER AVENUE, West of San Sevaine Road:**

This primary highway includes stately evergreen trees evenly spaced to reflect the corporate character of the adjacent business uses. Flowering accent trees, also evenly spaced, will be located in the median and setback areas to further enhance the streetscape. See Exhibit 18.

- **Section C2 - CARTER AVENUE, East of San Sevaine Road;  
HIGHLAND AVENUE, East of Cherry Avenue:**

As these streets traverse through major residential areas, informal evergreen tree massings have been used as a backdrop with accents of flowering deciduous trees in the foreground. See Exhibit 18.

- **Section D1 - LYTLE CREEK ROAD, AND SUMMIT  
AVENUE, East of San Sevaine Road, and AND SEVAINE  
ROAD, South of Route 30:**

The streetscape will feature informal groupings of evergreen trees complemented by flowering deciduous foreground trees to reinforce the residential community theme. See Exhibit 1.

- **Section D2 - SAN SEVAINE ROAD, North of Route 30:**

Located primarily adjacent to business uses, the streetscape along this road will feature evenly spaced rows of evergreen trees supported by a backdrop of flowering accent trees. See Exhibit 19.

- **Section E - BASELINE AVENUE:**

The southern boundary of the site is bordered by Baseline, most of which has been developed under the West End Specific Plan. This major street will be lined with rows of evenly spaced evergreen trees in the parkways, consistent with the existing formal tree theme along Baseline Avenue. See Exhibit 20.

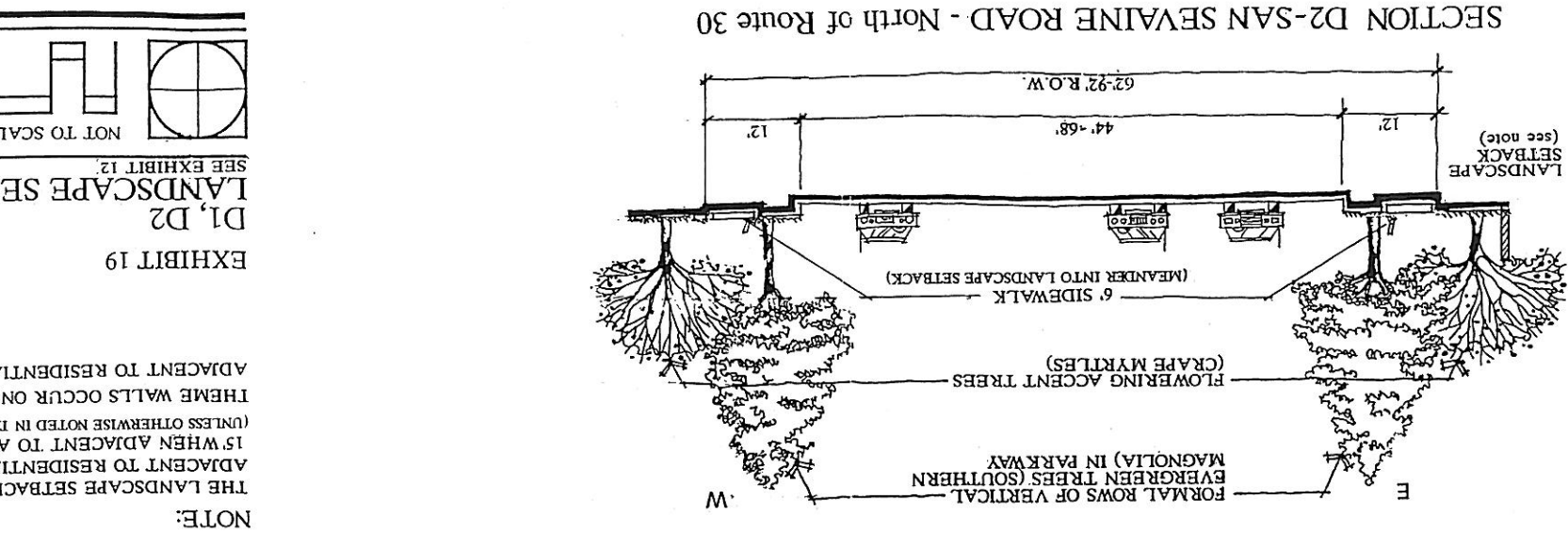
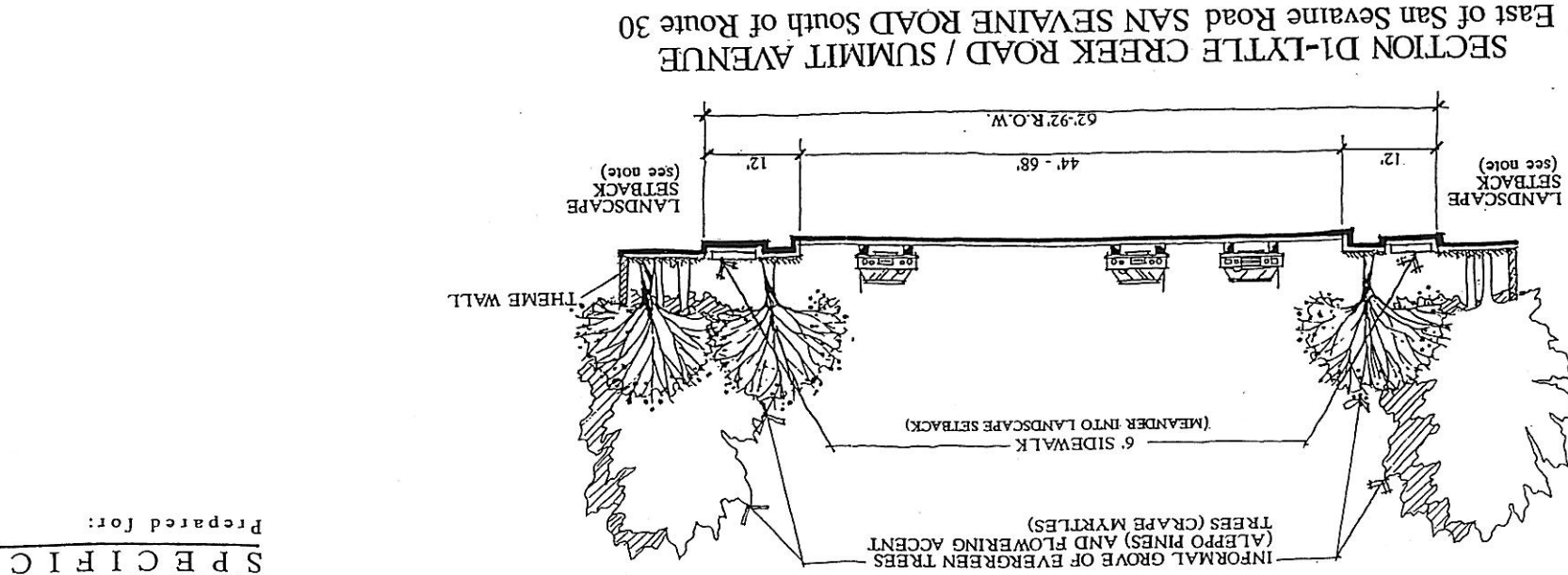
- **Section F - WALNUT AVENUE:**

This collector street enhanced with a median provides primary access to many of the residential areas. Consistent with the "woodland" theme, an informal backdrop of evergreen trees has been selected. They will be complemented with informal masses of deciduous flowering trees in the foreground to provide seasonal color accent. See Exhibit 20.

***Community Walls***

Community walls that can be viewed from public areas form an integral part of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards have been developed for community walls as illustrated in Exhibits 21 and 22. The locations of each will vary depending upon final detail and grading considerations. In general, solid walls will be located along the project perimeter between residential and non-residential uses, along the utility corridor and along major arterial and collector streets. In order to discourage and minimize graffiti, all walls facing public areas are required to be planted with vines.

- ***Community Theme Walls*** will be located along arterial roads and primary / secondary highways as identified in Exhibit 21. These community walls shall be 6 foot high unless otherwise required in the environmental impact report acoustical study. See also Exhibit 22.
- ***Slumpstone Walls*** will be located along the perimeter of residential,

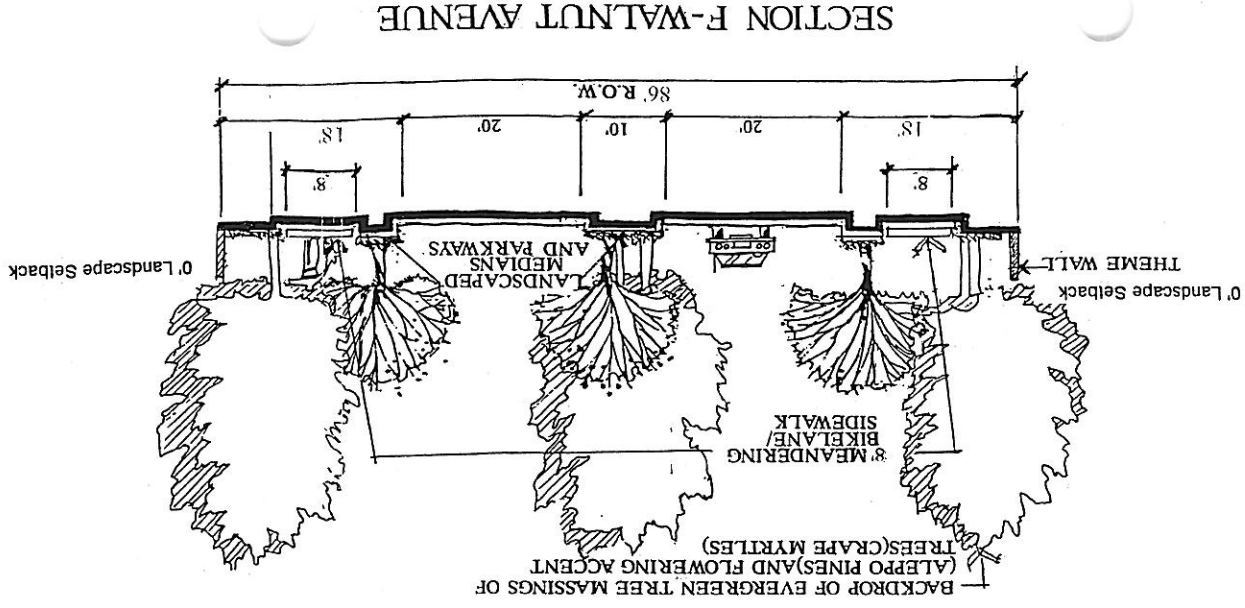
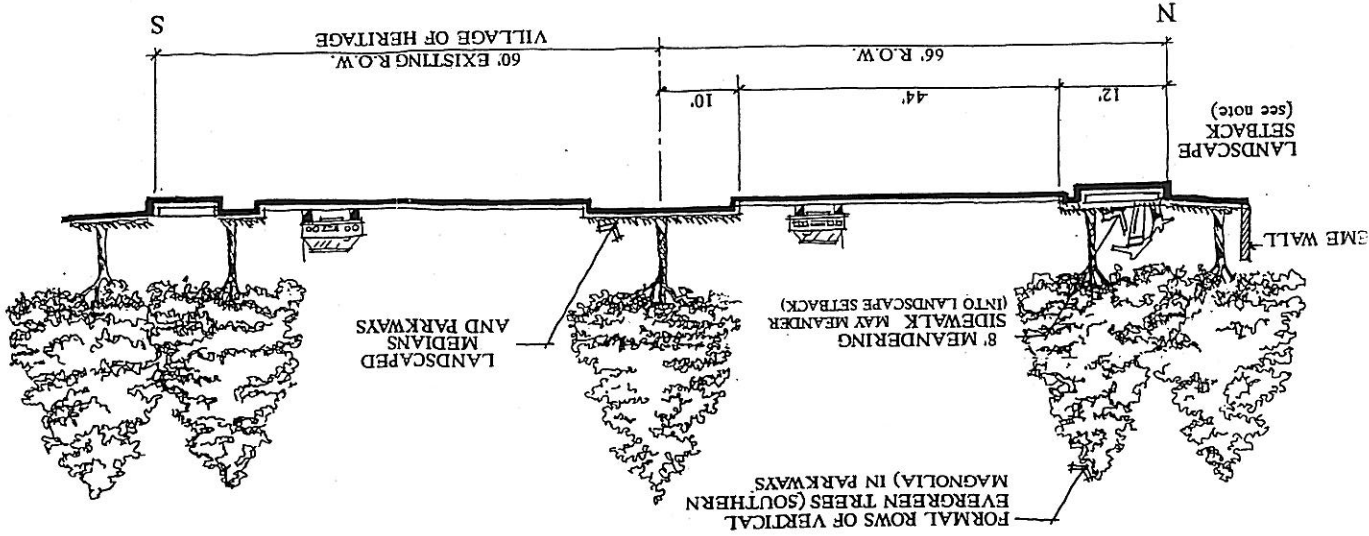


NOTE:  
THE LANDSCAPE SETBACK  
ADJACENT TO RESIDENTIAL  
15 WHEN ADJACENT TO A  
(UNLESS OTHERWISE NOTED IN I.  
THEME WALLS OCCUR ON  
ADJACENT TO RESIDENTIAL

EXHIBIT 19  
D1, D2  
LANDSCAPE SE  
SEE EXHIBIT 12







NOTE:

THE LANDSCAPE SETBACK IS 6' WHEN ADJACENT TO RESIDENTIAL USES AND 15' WHEN ADJACENT TO ALL OTHER USES. WISE NOTED IN TABLE D. THEME WALLS OCCUR ONLY WHEN ADJACENT TO RESIDENTIAL USES.

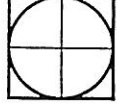
EXHIBIT 20

LANDSCAPE SECTIONS

(SEE EXHIBIT 12)

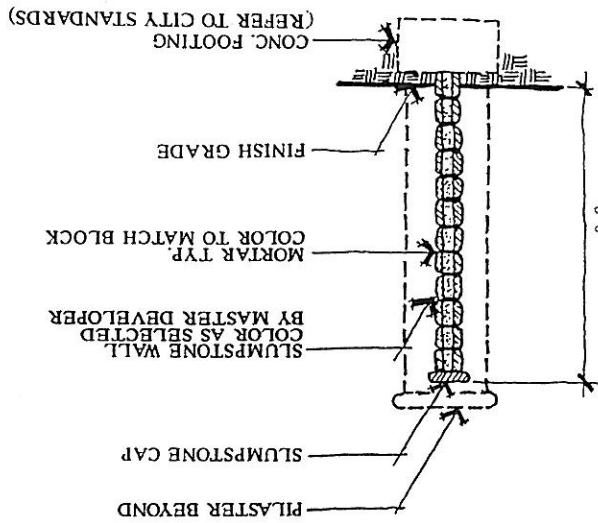
E, F

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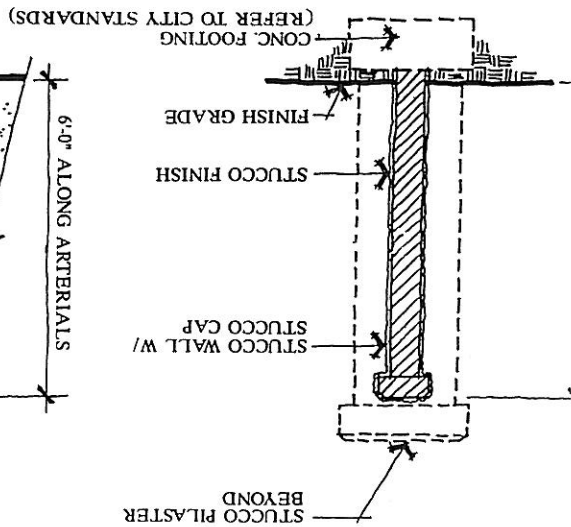


LANDPLAN DESIGN GROUP

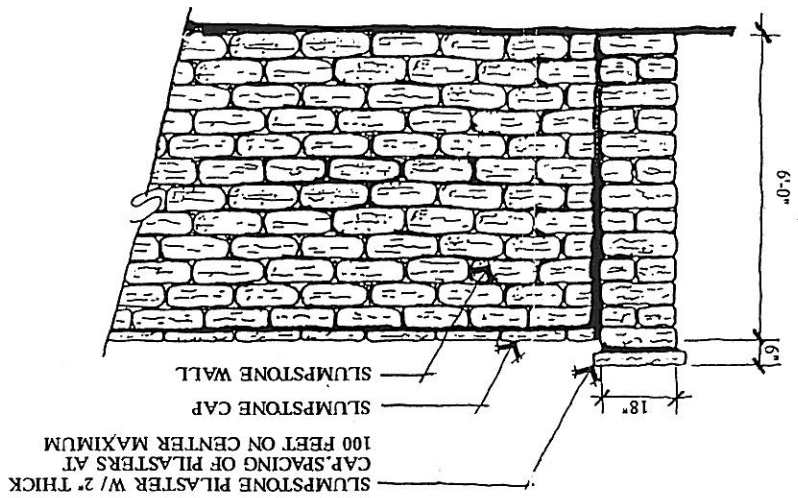
# UMPSTONE WALL SECTION



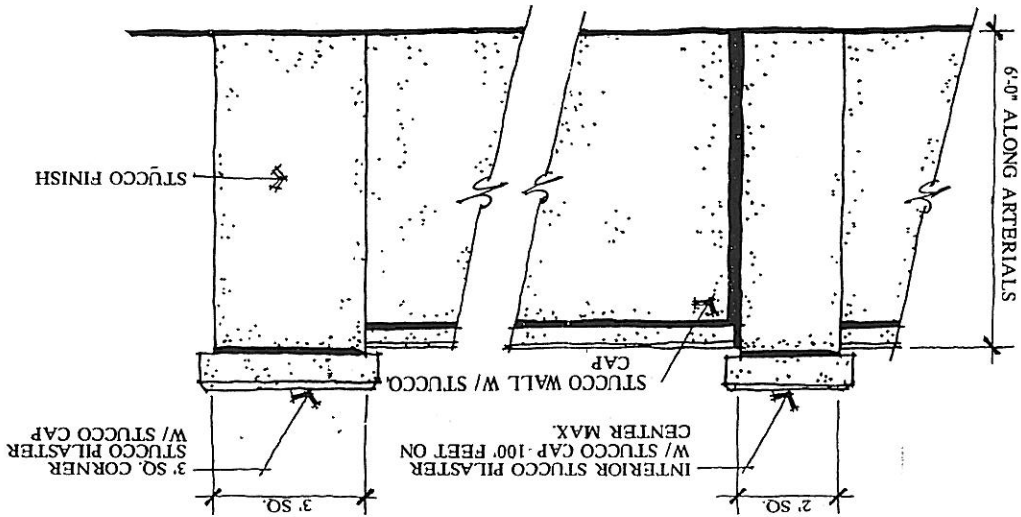
# COMMUNITY THEME WALL SECTION



# SLUMPSTONE WALL ELEVATION



# COMMUNITY THEME WALL ELEVATION



WALL DETAILS  
EXHIBIT 22

WESTGATE  
SPECIFIC PLAN  
UNITEK  
Prepared for:

LAND-PLAN  
DESIGN  
GROUP  
NOT TO SCALE

utility corridor / park and school areas (not along major roads) to separate and buffer differing land uses as shown on the exhibit. See Exhibit 22.

***Planting Guidelines***

The following guidelines relate to all publicly maintained landscape areas such as parks, parkways, and entries.

- ***Landscape Development***

All publicly landscaped areas shall be installed with trees, shrubs, ground cover, vines, and / or turf. Smooth transitions from landscape common areas to adjoining properties are encouraged and can easily be obtained; i.e., landscape development occurring adjacent to existing or planned common areas should use plant material compositions that are compatible. All landscape plans shall be prepared by a registered landscape architect.

- ***Plant Material Palette***

The plant materials selected in Table C were developed with emphasis on plant suitability to this region and the community theme. Selections were made with respect to growth factors such as climate and soil conditions, drought tolerance and maintenance concerns. Plant materials have been selected to reinforce project identity and to promote a unified appearance. Plant compositions that add variety to the community theme are encouraged.

The palette should also be utilized to form compositions that complement the style of the architecture. Compositions that rely on plants with drought tolerant characteristics are encouraged. The use of mulch in landscaped areas is also encouraged in order to conserve water usage. The turfgrass shall consist of drought tolerant varieties of tall fescue grasses or other types that are equal to or greater in drought tolerance.

- ***Landscape Maintenance***

The permanent landscape maintenance of the common landscape areas shall be the responsibility of the Landscape Maintenance District or other entity as approved by the City. Business park planning areas will

be privately maintained. All Street scene landscaping along internal industrial Collector Streets in Business park areas will be the responsibility of the private property owner. The maintenance shall be inclusive of practices necessary to keep all landscape areas healthy, neat and trimmed. Diseased and / or dead plant materials shall be removed and replaced. Hard surface areas shall be kept free from debris. The Maintenance District shall also be responsible for the maintenance of street lighting. In addition, an easement shall also occur along the surface of perimeter walls, entry walls and monuments adjacent to common landscape areas to provide the ability to repair / maintain those that are not adequately maintained by the adjacent property owner.

All landscape setbacks in residential areas between the community wall and public right of way shall be maintained by the maintenance district.

TABLE C  
PLANT MATERIAL PALETTE

**TREES**

| <b><u>Botanical Name</u></b> | <b><u>Common Name</u></b> |
|------------------------------|---------------------------|
| Albizia julibrissin*         | Silk Tree                 |
| Alnus rhombifolia*           | White Alder               |
| Arbutus unedo                | Strawberry Tree           |
| Cedrus deodora               | Deodar Cedar              |
| Ceratonia siliqua*           | Carob                     |
| Geijera parvifolia*          | Australian Willow         |
| Jacaranda mimosifolia*       | Jacaranda                 |
| Koelreuteria panniculata*    | Golden Rain Tree          |
| Lagerstroemia indica*        | Crape Myrtle              |
| Liquidambar styraciflua*     | American Sweet Gum        |
| Magnolia grandiflora         | Southern Magnolia         |
| Olea europaea                | Olive                     |
| Phoenix dactylifera          | Date Palm                 |
| Pinus eldarica*              | Mondel Pine               |
| Pinus halepensis             | Aleppo Pine               |
| Pistacia chinensis*          | Chinese Pistache          |
| Platanus acerifolia*         | London Plane Tree         |
| Prunus carolineana           | Carolina Laurel Cherry    |
| Prunus lyonii                | Catalina Cherry           |
| Pyrus calleryana 'Bradford'* | Bradford Pear             |
| Quercus (many species)       | Oak                       |
| Rhus lancea*                 | African Sumac             |
| Washingtonia filifera        | California Fan Palm       |
| Washingtonia robusta         | Mexican Fan Palm          |
| Zelkova serrata              | Japanese Zelkova          |
| Zizyphus jujuba              | Chinese Jujube            |

\*Trees suitable for street trees on local/cul-de-sac roads.

**SHRUBS**

| <b><u>Botanical Name</u></b> | <b><u>Common Name</u></b> |
|------------------------------|---------------------------|
| Acacia (most species)        | Acacia                    |
| Agapanthus africanus         | Lily-of-the-Nile          |
| Arbutus unedo                | Strawberry Tree           |
| Atriplex (most species)      | Salt Bush                 |
| Callistemon citrinus         | Lemon Bottlebrush         |
| Cassia artemisioides         | Senna                     |
| Ceanothus 'Julia Phelps'     | Julia Phelps Ceanothus    |
| Ceanothus 'Rigidus snowball' | Snowball Ceanothus        |
| Cercis occidentalis          | Redbud                    |
| Cotoneaster (most species)   | Cotoneaster               |
| Dendromecon                  | Bush Poppy                |
| Elaeagnus (most species)     | Elaeagnus                 |
| Grevillea species            | Grevillea                 |
| Hemerocallis (evergreen)     | Daylily                   |
| Heteromeles arbutifolia      | Toyon                     |
| Hypericum calycinum          | Creeping St. Johnswort    |
| Leptospermum laevigatum      | Australian Tea Tree       |
| Mahonia (most species)       | Mahonia                   |
| Melaleuca nesophila          | Pink Melaleuca            |
| Myrtus communis              | True Myrtle               |
| Nandina domestica            | Heavenly bamboo           |
| Nerium oleander              | Oleander                  |
| Photinia                     | Photinia                  |
| Pittosporum (most species)   | Pittosporum               |
| Pyracantha (most species)    | Firethorn                 |
| Rhaphiolepis indica          | India hawthorn            |
| Rhus ovata                   | Sugar Bush                |
| Rosa rugosa                  | Ramanas Rose              |
| Rosmarinus species           | Rosemary                  |
| Tamarix species              | Tamarix                   |
| Xylosma congestum            | Xylosma                   |

**GROUND COVERS**

**Botanical Name**

**Common Name**

|                                    |                       |
|------------------------------------|-----------------------|
| Baccharis pilularis 'Twin Peaks'   | Coyote Brush          |
| Cotoneaster horizontalis           | Rock Cotoneaster      |
| Cotoneaster 'lowfast'              | Low Fast Cotoneaster  |
| Cotoneaster microphyllus           | Rockspray Cotoneaster |
| Gazania (most species)             | Gazania               |
| Lantana montevidensis              | Lantana               |
| Myoporum parvifolium               | Myoporum              |
| Pyracantha 'Red Elf'               | Firethorn             |
| Rosmarinus officinalis 'Prostrata' | Dwarf Rosemary        |
| Trachelospermum (most species)     | Star Jasmine          |

**VINES**

**Botanical Name**

**Common Name**

|                             |              |
|-----------------------------|--------------|
| Ficus repens                | Creeping Fig |
| Macfadyena unguis-cati      | Cat's Claw   |
| Parthenocissus tricuspidata | Boston Ivy   |
| Wisteria species            | Wisteria     |



**b. SPECIFIC LAND USE DESIGN GUIDELINES**

The following architectural guidelines for Business Park, Retail, Office and Residential Uses are intended to encourage flexibility and freedom to develop architectural solutions most appropriate for each site. These guidelines are not "absolutes", but instead are intended to promote creativity, innovation and quality. The architecture to be developed in each neighborhood or parcel should maintain an individual identity, yet blend into and contribute to the community as a whole. These architectural guidelines are immediately followed by general development standards for landscape, grading and lighting for the various uses.

***Business Park Architectural Design Guidelines***

• ***Architecture***

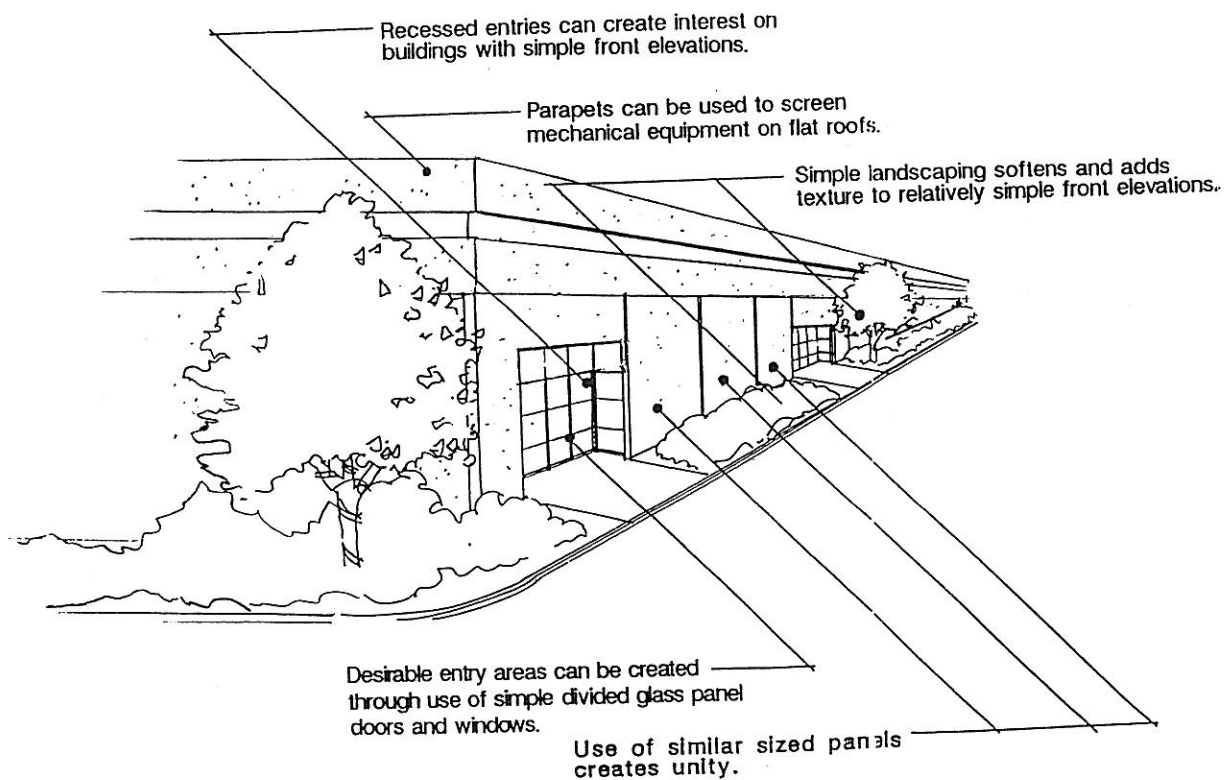
**Goals**

- Business parks which reflect creativity and innovation while remaining harmonious with the overall community.
- Visually pleasing business parks which coordinate well with surrounding land uses.
- Business parks which are functionally efficient and are designed at "human scale".

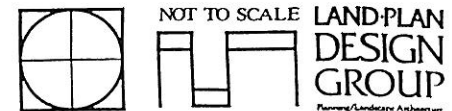
**Design Principles (See Exhibit 23)**

- Particular attention should be provided to building faces exposed to community or neighborhood view. Utilize cornices and relief moldings to create horizontal interest and unity on a building face; columns, half columns and vertical relief moldings create vertical interest and unity on building faces.
- Pedestrian and ground level entries in business park buildings should be recessed or covered by architectural projections, roofs, or arcades to provide pedestrians with shelter from the sun and rain.
- Demarcate and create interesting building entries using insets,

**WESTGATE**  
**SPECIFIC PLAN**  
 Prepared for: **UNITEX**



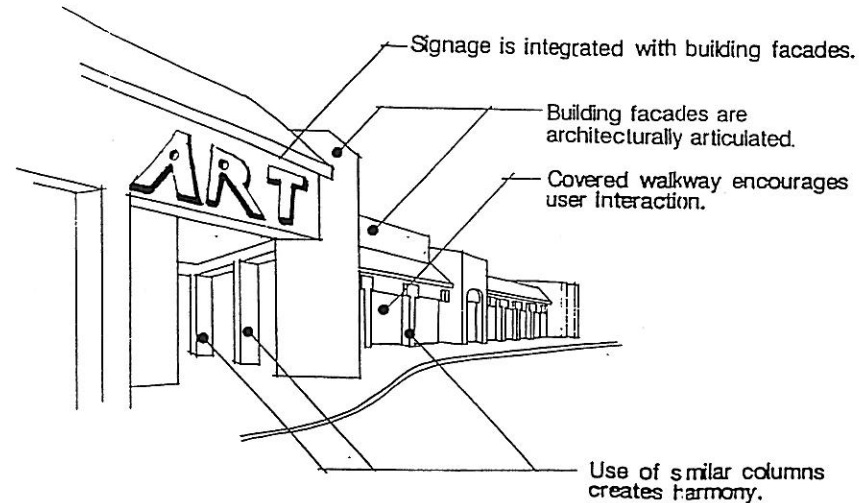
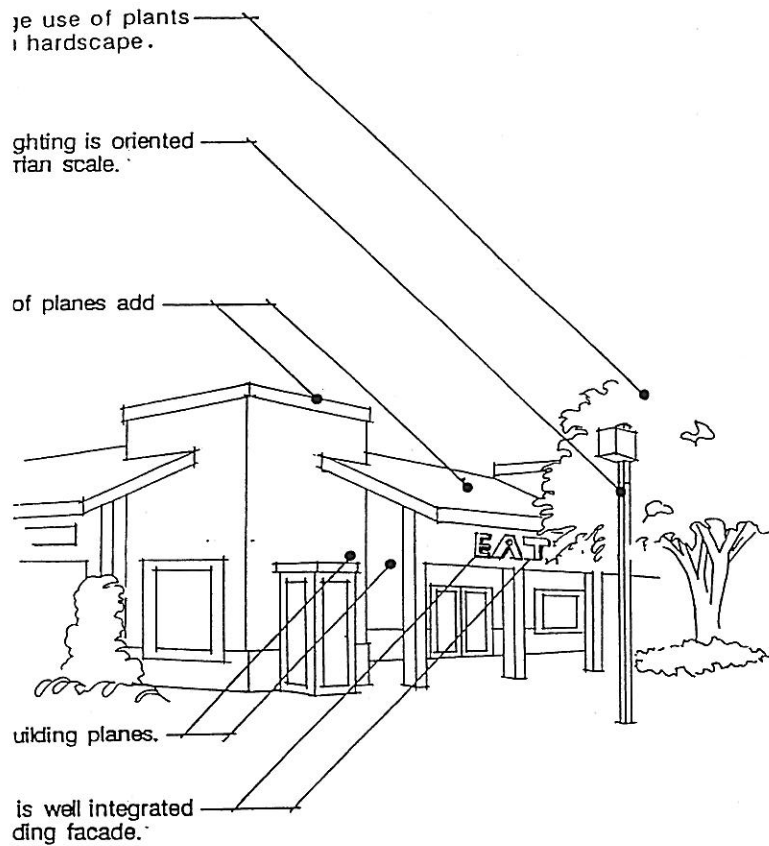
**EXHIBIT 23**  
**ARCHITECTURAL**  
**GUIDELINES**  
**BUSINESS PARK**  
**STRUCTURES**



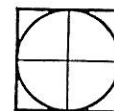
NOTE: Above are concepts only and are subject to final design through architectural review process.

# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX



## EXHIBIT 24 ARCHITECTURAL GUIDELINES COMMERCIAL RETAIL STRUCTURES



NOT TO SCALE LAND-PLAN  
DESIGN  
GROUP

NOTE: Above are concepts only and are subject to final design through architectural review process.

columns, projections and exterior material changes.

- Utilize doors or windows in a repetitive pattern to create rhythm.
- Articulate long and straight building facades which face public views by varying building mass, forms, textures, or colors. Landscaping also should be used to create interest and soften building faces.
- Service, utility, and trash collection areas should be screened from public view by permanent walls and landscaping. Screening walls and landscaping should be integrated, in respect to forms and materials, with the surrounding architecture and landscaping of parent buildings.
- Business park design should anticipate signage location, size and coloration so that eventual tenants / occupants can properly provide signage for the buildings. Multi-tenant projects should develop a comprehensive sign program that addresses tenant as well as project sign types and location.
- Architecturally enhance pedestrian and ground level stories of business park buildings adjacent to publicly oriented walkways and public roadways (introduction of smaller pedestrian scale features such as building masses, signage, doors, light fixtures, planters, etc.) to create human scale.
- Provide accent windows or doors (in a limited number), where appropriate, in some structures to create interest.

#### **Business Park Building Materials**

Materials are to be contemporary in nature to enhance the image of the architecture. Sensitive alternation of subtle colors and materials should be used to produce diversity and enhance architectural effects. The use of a particular material should, as a rule, exemplify the special characteristics of the product or be demonstrative of its unique application. For example, the use of tilt-up panels employing formed designs or with exposed aggregate is preferable to smooth-surfaced or painted panels. Metal as an enhancement material i.e., creating bands within a building facade, is acceptable while plain metal buildings are not.

- Materials, colors, and general design character should be integrated within each development site to achieve continuity in design and maximum compatibility with the adjoining natural or community environment.
- Accent building face areas or accent bands of contrasting materials, patterns textures or color should be used to create interest, focus and / or unity.
- Reflective glass-faced buildings should not be used in areas where existing or future surrounding buildings would be adversely affected by glare. Similarly, buildings with large amounts of reflective glass that would cause glare are not appropriate adjacent to areas regularly used by pedestrians or motorists.
- The following building materials (but not limited to) are permitted:

Glass  
Brick  
Plaster  
Tile

Heavy gauge or composite prefinished metal panels.  
"Tilt-up", poured-in-place, or precast concrete with painted or natural finish, sandblasted or textured, and uniform in color.  
Concrete block: textured, split face, or sandblasted  
Glass block

- The following building materials (but not limited to) are not permitted:

Wood shake shingles  
Asphalt shingles  
Wood siding  
Textured plaster  
Corrugated metal panels

### **Roofs**

While roofs are to be generally flat, with adequate minimum slope for adequate drainage, height variations should be used to conceal equipment and define entrances.

### **Ancillary Equipment**

- Roof mounted equipment should be hidden behind building parapets or screened integral to the building's design, so as not to be visible from surrounding streets, driveways or adjacent buildings on a horizontal sight line.
- Roof mounted ventilators should not exceed a maximum of 2.5 feet above the point to which attached. They should be screened as per requirements for other roof mounted equipment.
- Wall mounted items such as roof-ladders and electrical panels should be located within the interior of the building or in specially designed areas.
- Other ancillary equipment shall be subject to all the requirements for screening herein contained and shall only be permitted if they do not adversely impact the aesthetic character of the development area.

### **Performance Standards and Considerations**

- Use of systems which shift utility demand (i.e., gas and electricity) to off-peak hours are encouraged.
- Roof-top solar collectors can be installed if visually hidden by parapets or other architectural details.
- Buildings are encouraged to be designed and oriented on the site to take advantage of solar access.

### ***Commercial Retail Architectural Design Guidelines***

#### **• *Architecture***

##### **Goals**

- Commercial buildings and developments which reflect creativity and innovation while remaining harmonious with the overall community.

- Visually pleasing commercial projects which coordinate well with surrounding land uses.
- Commercial uses which are functionally efficient.
- Commercial uses which encourage user interaction.

**Design Principles (See Exhibit 24)**

- Articulate long and straight building facades facing public view through the introduction of interest-creating building mass, forms, textures and / or colors.
- Insets, columns, projections and exterior material changes should be used to architecturally demarcate and create interesting building entries.
- Utilize building and exterior openings such as doors or windows in a repetitive pattern to create rhythm.
- Shield service entries from public view by placing towards the rear and non-public view sides of buildings.
- Service, utility and trash collection areas and ground-mounted equipment should be screened from public view (public streets, parking areas, pedestrian walks, etc.) by permanent walls and landscaping. Screening walls and landscaping should be integrated with respect to forms and materials with the surrounding architecture and landscaping of parent buildings.
- Retail building exterior design should anticipate signage location, size and coloration so that eventual tenants, occupants can properly provide signage for the buildings. Multi-tenant projects should develop a comprehensive sign program consistent with the City of Fontana code that addresses tenant as well as project sign types and location.
- Fountains, plazas, sculptures, clock towers and other central features are encouraged as a focal point or center of confluence for several buildings grouped together.
- Exterior lighting should be oriented to the pedestrian by utilizing pedestrian scale lamp poles / standards and wall mounted lamps that light adjacent pedestrian walkways.



- Provide adequate pedestrian zone between parking and store fronts.

**Retail Building Materials**

- Contrasting exterior building materials can be used to create interest and avoid monotony.
- Accent building face areas or accent bands of contrasting materials, patterns, textures or color can be used to create interest, focus and / or unity.
- The following building materials (but not limited to) are permitted:

Glass  
Brick  
Plaster  
Tile

Poured-in-place, or precast concrete with painted or natural finish, sandblasted or textured, and uniform in color.

Concrete block: textured, split face, or sandblasted

Glass block

- The following building materials (but not limited to) are not permitted:

Wood shake shingles  
Asphalt shingles  
Textured plaster  
Corrugated metal panels

**Ancillary Equipment**

- Roof mounted equipment should be hidden behind building parapets or screened integral to the building's design, so as not to be visible from surrounding streets, driveways or adjacent buildings on a horizontal sight line.
- Roof mounted ventilators are not to exceed a maximum of 2-1/2 feet above the point to which attached. They shall be screened as per requirements for other roof mounted equipment.

- Wall mounted items such as roof-ladders and electrical panels should be located within the interior of the building or in specially designed areas.
- Other ancillary equipment shall be subject to all the requirements for screening herein contained and shall only be permitted if they do not adversely impact the aesthetic character of the development area.

#### **Performance Standards and Considerations**

- Use of systems which shift utility demand (i.e., gas and electricity) to off-peak hours are encouraged.
- Roof-top solar collectors can be installed if visually hidden by parapets or other architectural details.
- Buildings are encouraged to be designed and oriented on the site to take advantage of solar access.

#### ***Office Architectural Design Guidelines***

- ***Architecture***

##### **Goals**

- Office developments which reflect creativity and innovation while remaining harmonious with the overall community.
- Visually pleasing office parks which coordinate well with surrounding land uses.
- Office buildings which are functionally efficient and are designed at "human scale".

##### **Design Principles (See Exhibit 25)**

- Utilize cornices and relief moldings to create horizontal interest and unity on a building face; columns, half columns and vertical relief moldings can create vertical interest and unity on building faces.

# WESTGATE

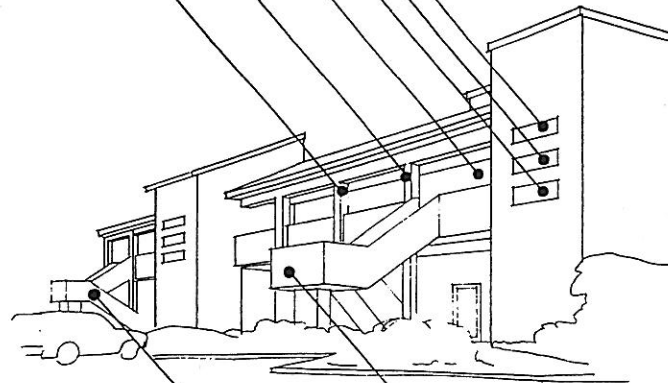
## SPECIFIC PLAN

Prepared for: UNITEX

covered walkway orients building to pedestrian use.

repetitive column structure creates harmony.

Comprehensive sign program for multi-tenant building.

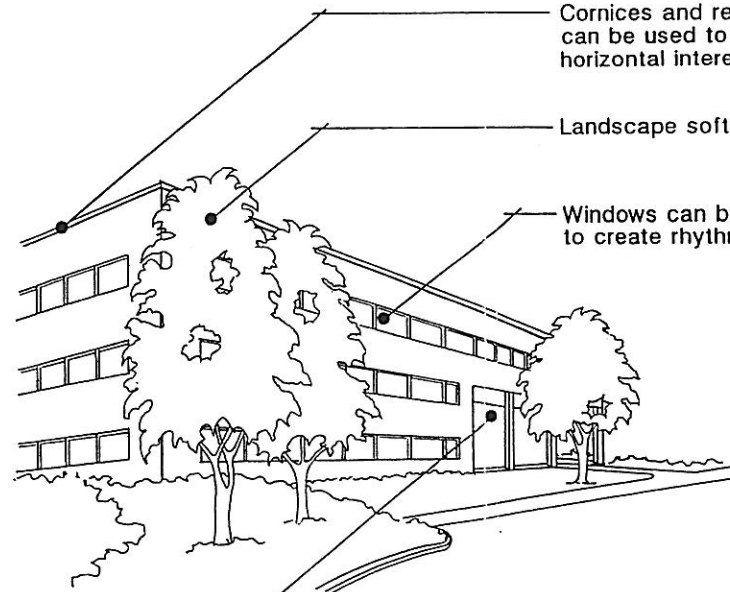


Stairs become a visual and functional amenity.

Cornices and relief moldings can be used to create horizontal interest.

Landscape softens building facade.

Windows can be used in a pattern to create rhythm.

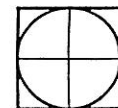


Insets, columns and exterior material changes create interesting building entries.

### EXHIBIT 25

## ARCHITECTURAL GUIDELINES

## OFFICE STRUCTURES



NOT TO SCALE LAND-PLAN DESIGN GROUP  
Planning/Landscape Architects

NOTE: Above are concepts only and are subject to final design through architectural review process.

- Pedestrian and ground level entries in office buildings can be recessed or covered by architectural projections, roofs, or arcades to provide pedestrians with shelter from the sun and rain.
- Utilize insets, columns, projections and exterior material changes to architecturally demarcate and create interesting building entries.
- Provide exterior openings such as doors or windows in a repetitive pattern to create rhythm.
- Building facades which face public views can be architecturally articulated by varying building mass, forms, textures, or colors. Landscaping shall also be used to create interest and soften building faces.
- Service, utility, and trash collection areas be screened from public view by permanent walls and landscaping. Screening walls and landscaping be integrated, in respect to forms and materials, with the surrounding architecture and landscaping of parent buildings.
- Office park designs should anticipate signage location, size and coloration so that eventual tenants / occupants can properly provide signage for the buildings. Multi-tenant projects should develop a comprehensive sign program consistent with the City of Fontana code that addresses tenant as well as project sign types and location.
- Pedestrian and ground level stories of office buildings adjacent to publicly oriented walkways and public roadways can be architecturally articulated (introduction of smaller pedestrian scale features such as building masses, signage, doors, light fixtures, planters, etc.) to create human scale.
- Accent windows or doors (in a limited number) can be appropriate in some structures to create interest.

#### **Office Building Materials**

Materials are to be contemporary in nature to enhance the image of the architecture. Sensitive alternation of colors and materials should be used to produce diversity and enhance architectural

effects. The use of a particular material should, as a rule, exemplify the special characteristics of the product or be demonstrative of its unique application. For example, the use of tilt-up panels employing formed designs or with exposed aggregate is preferable to smooth-surfaced or painted panels.

- Contrasting exterior building materials can be used to create interest and avoid monotony.
- Accent building face areas or accent bands of contrasting materials, patterns textures or color can be used to create interest, focus and/or unity.
- The following building materials (but not limited to) are permitted:

Glass  
Brick  
Plaster  
Tile

"Tilt-up", poured-in-place, or precast concrete with painted or natural finish, sandblasted or textured and uniform in color.  
Concrete block: textured, split face, or sandblasted  
Glass block

- The following building materials (but not limited to) are not permitted:

Wood shake shingles  
Asphalt shingles  
Wood siding  
Textured plaster  
Corrugated metal panels

#### **Ancillary Equipment**

- Roof mounted equipment will be hidden behind building parapets or screened integral to the building's design, so as not to be visible from surrounding streets, driveways or adjacent buildings on a horizontal sight line.
- Roof mounted ventilators are not to exceed a maximum of 2-1/2 feet above the point to which attached. They shall be

screened as per requirements for other roof mounted equipment.

- Wall mounted items such as roof-ladders and electrical panels should be located within the interior of the building or in specially designed areas.
- Other ancillary equipment shall be subject to all the requirements for screening herein contained and shall only be permitted if they do not adversely impact the aesthetic character of the development area.

**Performance Standards and Considerations**

- Use of systems which shift utility demand (i.e., gas and electricity) to off-peak hours are encouraged.
- Roof-top solar collectors can be installed if visually hidden by parapets or other architectural details.
- Buildings are encouraged to be designed and oriented on the site to take advantage of solar access.

***Single-Family Residential Architectural Design Guidelines***

• ***Architecture***

**Goals**

- Create residential neighborhoods and individual residential architectural structures that are visually pleasing.
- Create residential streets and neighborhoods that are differentiated from each other and that contribute to the creation of distinctly recognizable places.
- Discourage residential architecture that has little variation or that appears visually monotonous.
- Encourage residential architecture that coordinates well with the general character of architecture in the surrounding neighborhood with respect to building materials and styles.

**Design Principles** (See Exhibit 26)

- Building faces (particularly front elevation planes) and roof planes should be varied in placement and size to avoid visual monotony, and to create interest and human scale.
- Further architectural articulation of building faces and roof planes can be accomplished through the introduction of sub-elements such as projections, dormers, roof ridge jogs, roof overhangs, building face trims, recessed doorways, bay windows, or entry courts.
- In two-story structures, varied and horizontally off-set ground and second level floor plans may be used to produce exterior building and roof plane articulation.
- In two-story structures, scale and vertical transition should be created in the front of the structure by "stepping back" the second story and providing a partial roof or trellis at the top of the first-story vertical building plane.
- Emphasis and balance between various building architectural elements (i.e., between garages and entries) should be created by focusing architectural detail upon the area of desired prominence. Visual focus can be created through increasing texture, detail, color or trim in the feature to be emphasized. Articulation of entries including doors, alcoves, entry walls, gates, overhead trellises/sub-roofs, light fixtures and contrasting colors, is a common method of creating building visual/functional focus and sense of identity.
- An accent window having a different or articulated shape (i.e., rounded, diamond, and / or with contrasting molding) or with a finer texture (i.e., many small panes) may be used to create interest on building elevations.
- When used on roofs, solar energy equipment such as solar panels, solar modules, or piping should be well integrated into roof design in terms of placement and color.
- Front and side yard landscaping can be used to focus attention, create visual rhythm, or screen from view various architectural features.

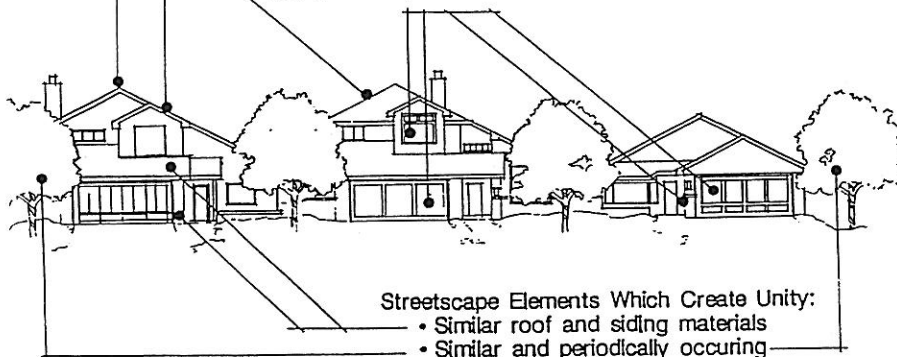


# WESTGATE SPECIFIC PLAN

Prepared for: UNITEX

## Streetscape Elements Which Create Interest:

- Varied roof heights
- Varied roof types (e.g. hip roof, gable roof).
- Varied facade treatments (entries, garage doors, accent features).



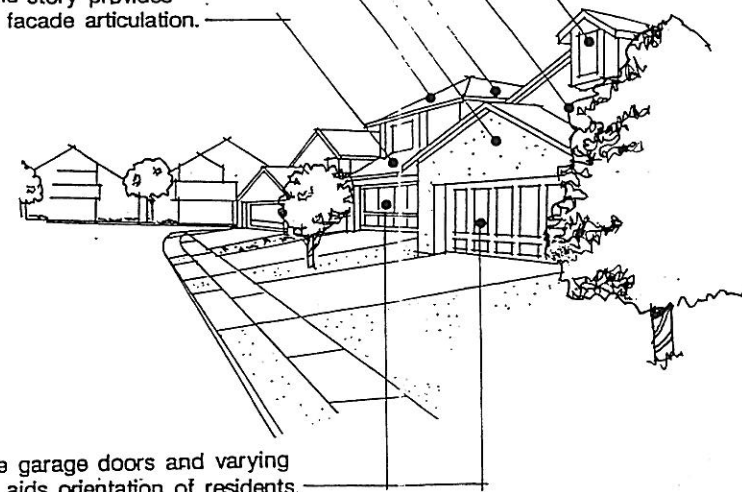
## Streetscape Elements Which Create Unity:

- Similar roof and siding materials
- Similar and periodically occurring street trees.

Building facade projections provide variety.

Building faces and roof planes are varied to create interest.

Horizontally stepped back at second story provides building facade articulation.



Distinctive garage doors and varying setbacks aids orientation of residents.

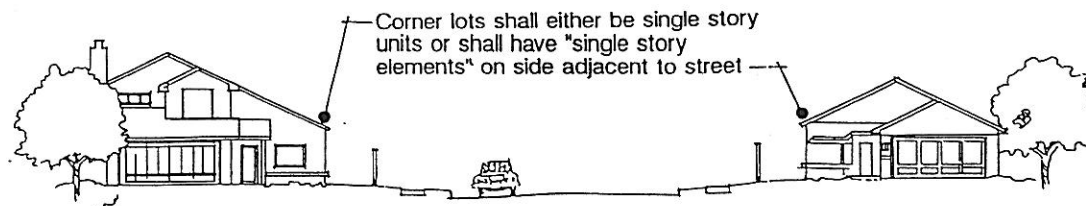
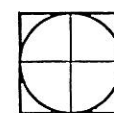


EXHIBIT 26

## ARCHITECTURAL GUIDELINES RESIDENTIAL



NOT TO SCALE LAND PLAN  
DESIGN  
GROUP  
Planning/Landscape Architecture

NOTE: Above are concepts only and are subject to final design through architectural review process.

### Residential Building Materials

#### General

- A plain surface can be embellished through the use of localized contrasting materials as accents or trims.
- Instead of using contrasting materials on the same flat building surface it is best to offset the contrasting materials on different building planes.
- To provide interest and / or architectural accents on structures predominantly finished in stucco, moldings, cornices, insets or offsets can be used. Similarly, to create interest, portions of the exterior building surface can also be covered with a complimentary building material, texture, or color.
- The use of many different styles of windows on one building plane should be avoided (i.e., a home front elevation with two different aluminum framed sliding glass windows next to a wooden sash windows with exterior shutters).
- Any bare metallic surfaces (vents, pipes, gutters, flashing, etc.) should be painted or covered from view in a manner harmonious with the general exterior architectural treatment of the building.

#### Colors

Color is intended to act as a primary theme-conveying element, reflective of the architectural styles. Wall finish colors should be subdued, emphasizing pastel tones that shall complement the environment. Accent colors used to complement the wall surfaces are permitted and encouraged in moderation. Wood trim should be finished with light-colored stains or painted as accents.

- Permitted or Encouraged
  - Light textured stucco and/or siding.
  - Two siding materials for one building allowed only where incorporated with cantilevered balcony or other

extended architectural element. Otherwise one siding material per building side.

- Natural stains on wood trim.
- Tile, stone or brick as accents.
- Prohibited
  - Painted brick and stone.
  - Mirrored glass.
  - Aluminum or vinyl/plastic siding.

### **Roof Forms and Materials**

Principal roof forms may be gable or hip with pitches from a minimum of 3:12. All roof material colors should provide continuity in texture, color and character.

- Permitted or Encouraged
  - Simple roof geometry, emphasizing long, horizontal lines.
  - Roof pitches for the porch may be slightly shallower than that of the building (2:12).
  - Large roof overhangs and exposed rafter ends.
  - Hipped or gabled roofs.
  - Roof overhangs and/or exposed rafter ends.
  - Flat concrete tile or barrel tile ("S" tile) roofs.
- Prohibited
  - Exterior fiberglass materials.
  - Flat roofs (not to exceed 10% of total roof area).
  - Wood shake / wood shingles.

### **Windows and Doors**

Recessed doors, windows and wall openings are characteristic elements of the allowed architectural styles and convey the appearance of thick protective exterior walls. Fully recessed openings are encouraged.

Particular attention must be given to shading of windows with western exposure. Operable windows are encouraged to allow cross-ventilation.

- Permitted or Encouraged
  - Relate the building design to the out-of-doors through generous use of glazing in doors and windows.
  - Sliding glass doors or french doors.
  - Decorative front doors.
  - Pedimented windows and doors.
  - Windows banded to emphasize the horizontal. Divided lights.
  - Color accented window frames and doorways.
  - Picture windows with simple wood trim.
  - Arched windows and doorways.
- Prohibited
  - Reflective glass or metal awnings.

#### **Chimneys**

As an architectural form, chimneys shall be simple in design to insure a consistency of character and style.

- Required
  - Forms and materials fitting to the architectural style.
- Prohibited
  - Free standing or exposed flues.

#### **Garage Doors**

Garage doors should incorporate a variety of design styles to provide a major visual element in single family detached housing. Accent colors are encouraged to complement the architecture and provide visual variety along streetscape.

- Required
  - Elegant and refined design styles.
  - Quality materials and trims.
- Prohibited

- Bold trim and patterns.

#### **Columns**

Columns incorporated as a structural or aesthetic design element should convey a solid, durable image as expressed through bold forms. Columns may be used as a free-standing element or as support for porch roofs and balconies.

- Required
  - Good craftsmanship and authentic detail.
- Permitted or Encouraged
  - Simple massive square wood posts.
  - Wood plant-ons.
  - Square stucco columns.
  - Free-standing plaster archways.
- Prohibited
  - Thin posts, such as small metal pipe columns.
  - Metal posts.

#### ***General Site Development Standards - Business Park, Retail and Office Land Uses***

- ***Landscape Architecture***

##### **Goals and Design Principles**

The high quality environment envisioned for Westgate will be enhanced by the landscape treatment. The landscape is intended to give structure and identity to the overall project. The landscape concept recognizes the need to conserve water and to use plants which do well in the varying climate of Fontana in accordance with the City of Fontana Water Conservation Ordinance.

The landscape architecture should establish structure, hierarchy, coherence, continuity, and visual identity for each parcel while reinforcing the overall formal community design concept within

the business use areas. Preference has been given to a blend of deciduous and evergreen plant material to ensure year-round foliage as well as displays of fall color and perennial flowering.

Linear berms, where possible, or shrub hedges are proposed to buffer parking lots from streets, while maintain visibility to each building facility.

### **Landscape Standards**

Each parcel shall include the following landscape provisions:

- A fully automatic irrigation system.
- Landscape coverage for each site is to be determined by the setback requirements listed in Section IV Development Regulations.
- All unpaved non-work areas not utilized for parking or storage shall be landscaped with turf, groundcovers and trees.
- Landscape and irrigation plans shall be submitted for City approval prior to installation of materials. Installation shall occur prior to occupancy of building.
- Typical landscaping adjacent to public street rights-of-way should be consistent in character with the streetscape and planting setback standards defined under "Community-Wide Design Guidelines" and may be planted with lawn and trees, except where parking signs occur, in which case ground covers and shrubs may be used.
- Boundary landscaping abutting residential parcels: Boundary landscaping abutting residential parcels shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant sizes, location, and number of trees to be planted which will meet this requirement.
- Parking lot landscaping: The intent of providing landscaping in parking areas is to offer visual relief of parked cars and to create an overhead canopy. See Development Regulations for specific landscape coverage requirements.

- Separation: Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least 6 inches higher than the adjacent vehicular area.
- Tree plantings shall consist of 15 gallon minimum size and should be planted to complement the architecture.
- Plant material palette: For possible selections of plant materials, see Table C, page III-22, Plant Material Palette.

- ***Grading***

Site grading should complement and reinforce the architectural and landscape design character by facilitating the screening of parking, loading and service areas; by reducing the perception of height and mass on larger structures; and, by providing transition continuity between on-site uses and uses on adjacent parcels.

Grading should mirror the natural landform.

Grade transitions should be smooth and natural appearing.

Drainage swales should be considered as design elements and should have a natural appearance.

All graded slopes may not exceed 2:1 ratios.

- ***Utility Lines***

All telephone and electric lines of 35 KV or less will be placed underground. Transformer or terminal equipment shall be screened from view of adjacent streets and properties.

- ***Lighting***

**Goals and Objectives**

To have on-site lighting fixtures and illumination levels consistent throughout Westgate areas.



### Standards

- Wall mounted security lighting to be used only at rear and interior side of buildings.
- Security lighting may utilize high pressure sodium fixtures.
- Shielded fixtures with well defined cut-off limits should be used to confine illumination to on-site areas only.
- Architectural lighting should be integrated into building design where feasible.
- Accent lighting, where used, should originate from concealed or inconspicuous source location. Accent lighting may utilize high pressure sodium or mercury vapor.
- Colored lights should not be used.
- Building illumination and architectural lighting should be indirect in character (no light source visible). Indirect wall light "wall washing" overhead down light, or interior illumination which spills outside is encouraged. Architectural lighting should articulate the particular building design as well as provide the required functional lighting for safety of pedestrian movement.

### *General Site Development Standards - Residential*

- *Landscape Architecture*

#### Walls

All residential home areas shall have block walls per the following:

- Along arterial roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along collector roads a decorative blockwall shall occur adjacent to residential areas. See Exhibit 21 & 22.
- Along open space / parks, utility corridor and railroad right of way, a slumpstone wall shall occur where adjacent to

residential areas. See Exhibit 21 & 22.

- If required by the Development Code (Chapter 30), a block wall shall be provided along rear and side property lines of interior residential lots.

- ***Grading***

All graded slopes may not exceed 2:1 ratios. Slopes five feet or greater in vertical height shall be landscaped and automatically irrigated.

Grade transitions and drainage swales should be smooth and have a natural appearance.

***Open Space Design Guidelines***

One goal of the Westgate plan has been to incorporate the 106 acres of open space into an integral part of the community. This has been accomplished by first defining the appropriate boundaries and uses for different open space elements and then insuring physical and / or visual access to them from various parts of the development. For example, all parks are located along two lane roadways where residents and visitors will pass by them on a daily basis. Pedestrian walks and bikeways are also provided to all park sites to facilitate access. A second goal of the open space system has been to provide opportunities for specific recreational activities within park sites.

The open space exhibits which follow fulfill the goals outlined above. These plans are conceptual and are not intended as final plans. Exact details of design will be subject to review at the time of plan submittal.

The Westgate open space system has been divided into:

Open Space / Park (OS / P)

Public / Utility Corridor (P / UC)

Pedestrian Walks

***Open Space / Park (OS / P):***

Two park sites have been planned for Westgate as described below:

- An 10.0 acre park site located in planning unit #2 serves the major residential area west of Lytle Creek Road. Four (4) activity fields, soccer, two (2) basketball courts and free play areas are provided along with a sand lot with swings, walkway and covered picnic stations. Parking and a restroom building are also included. The site overlaps 1.4 acres of Metropolitan Water District right-of-way and is located adjacent to the Southern California Edison utility corridor, which provides the opportunity for additional active and passive open space uses. See Exhibit 28.
- A 5.0 acre site is located in planning unit #18. It will provide amenities including one (1) activity field / soccer / free play area, along with a covered picnic shelter, restroom, lighted parking lot, sand lot with swings, walkway and picnic stations. See Exhibit 29.

***Park Guidelines***

- The landscape intent of the parks is to be informal and natural in appearance with interesting tree massings with random spacings of both evergreen and deciduous trees.
- All park areas should be predominantly turf with undulating grades to achieve the desired natural design concept.
- Park facilities should be arranged logically and orderly to obtain the best use of park space for both active and passive uses.
- All landscaped areas within each park site shall be irrigated by a fully automatic irrigation system.

***Park Furnishings***

The park furnishings for the Westgate community shall conform to the standards as shown in the following exhibits:

Benches - see Exhibit 30

Prepared for:

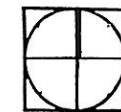
Prepared for:



- THESE MASTER PLANS ARE CONCEPTUAL.
- SECURITY LIGHTING TO BE PROVIDED AS REQUIRED BY CITY.
- LANDSCAPE IN UTILITY CORRIDOR MUST MEET UTILITY COMPANY REQUIREMENTS.

# SCHOOL/PARKS MASTER PLAN

P.U.A.#25/#26/#27/#31

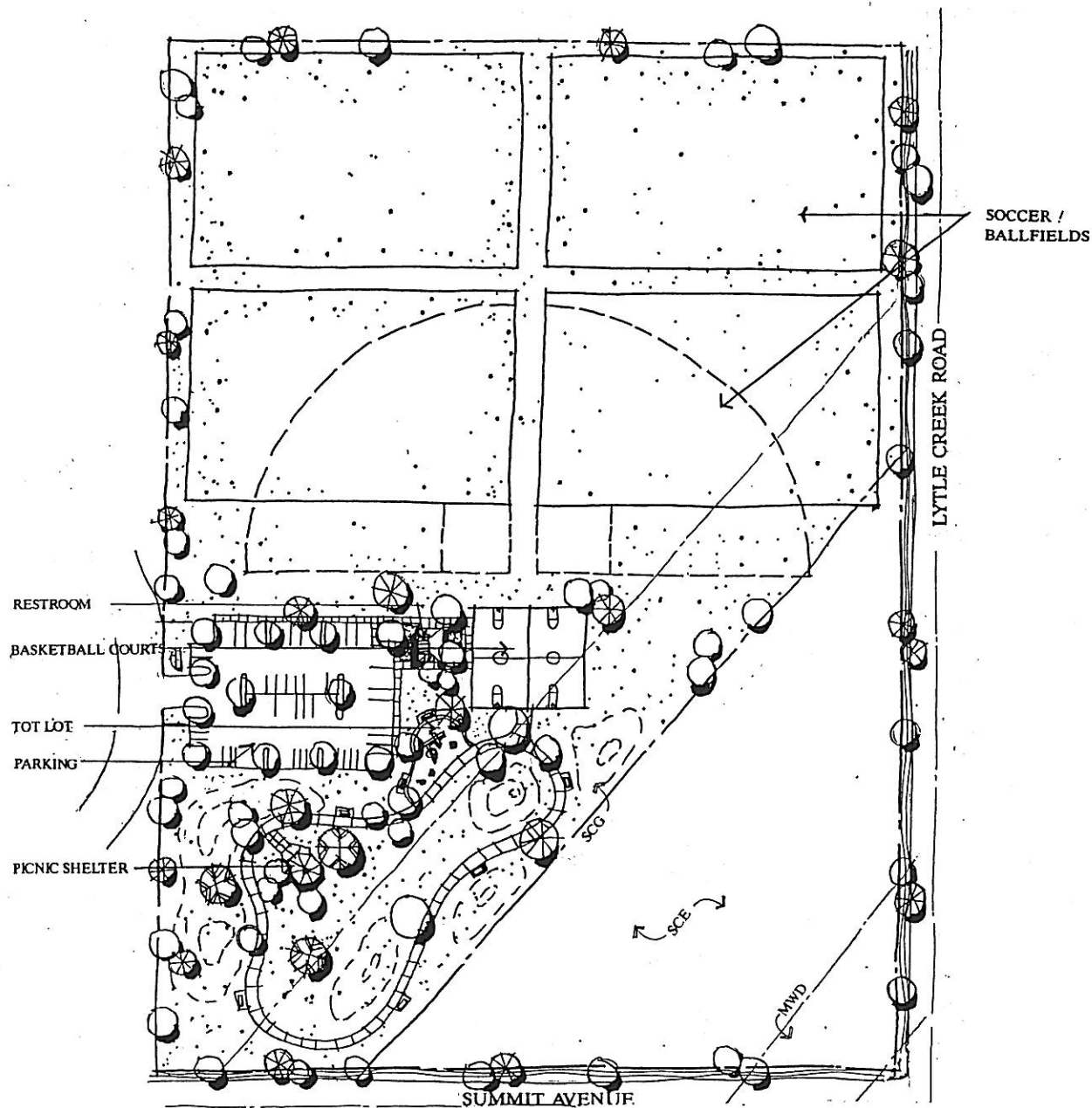


NOT TO SCALE

LAND-PLAN  
DESIGN  
GROUP

# WESTGATE SPECIFIC PLAN

Prepared for: **UNITEX**



## NOTE:

LANDSCAPING IN UTILITY CORRIDOR MUST MEET UTILITY COMPANY REQUIREMENTS

EXHIBIT 28  
PARK  
MASTER PLAN  
P.U.A. #2



**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**

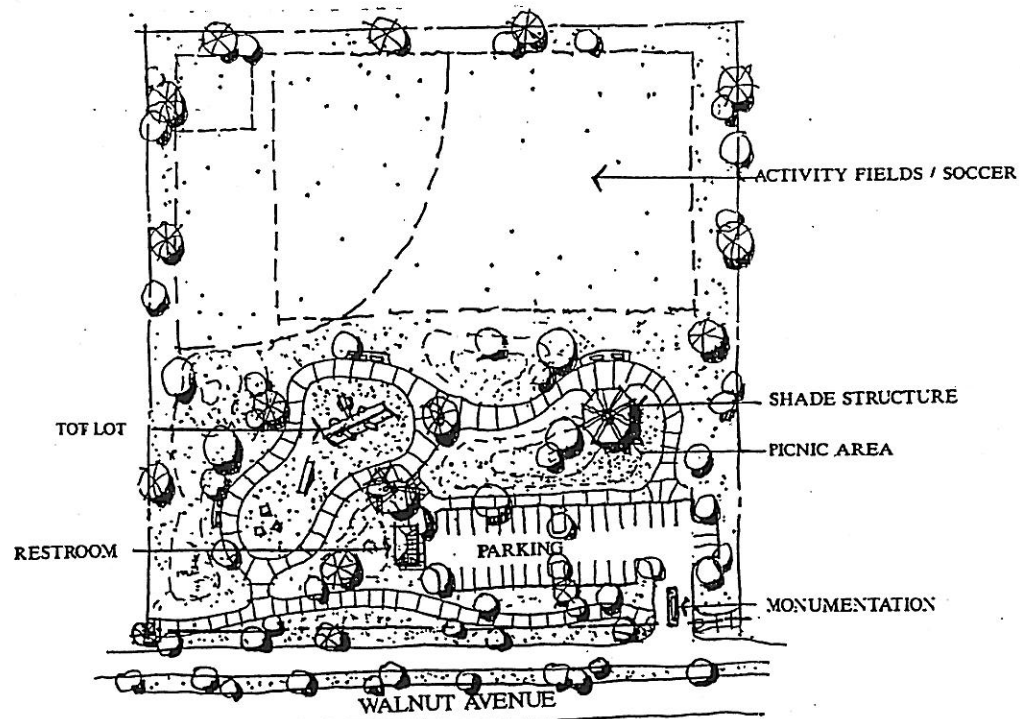


EXHIBIT 29  
PARK  
MASTER PLAN  
P.U.A. #18

Drinking fountain - see Exhibit 30

Trash receptacles - see Exhibit 30

***Public / Utility Corridor (P / UC):***

A utility corridor right of way of approximately 91 acres will be accessible from various parts of the community for open space uses within areas identified as P / UC. Within this right of way, adjacent to residential, bike trail route is planned. See Exhibit 30A. Approximately 7 acres is also proposed to be landscaped in order to visually and physically integrate Planning Unit Areas 26 and 31. Refer to Exhibit 30A.

***Pedestrian Walks***

Sidewalks are provided along all public streets within Westgate and will enable convenient and safe pedestrian access to all parts of the community. Over 7 miles of bikeways are also provided as discussed in Section III and illustrated on Exhibit 8.



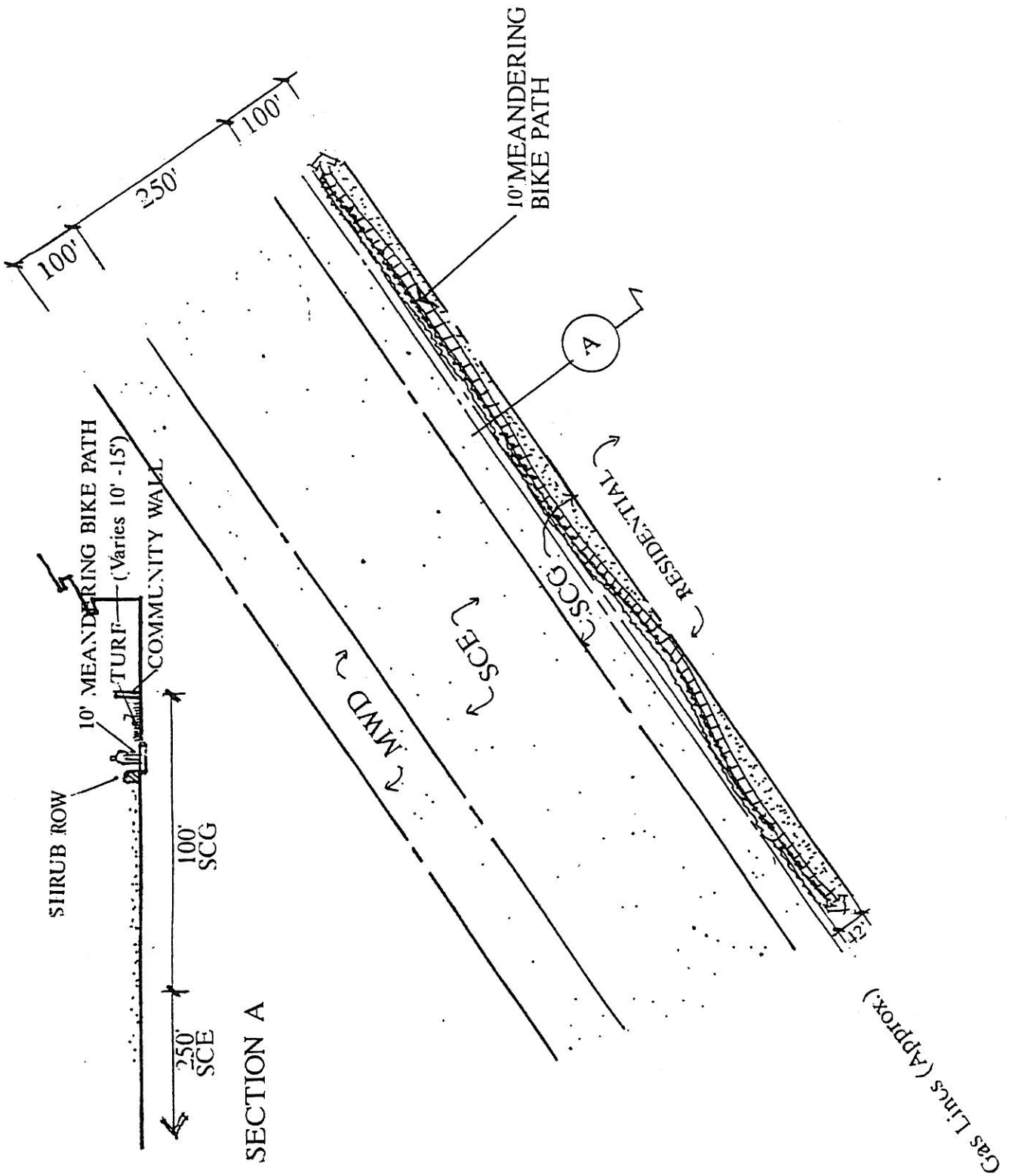
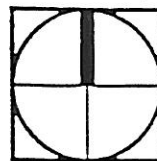
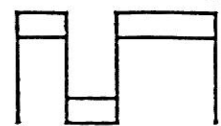


EXHIBIT 30A  
UTILITY CORRIDOR  
TRAIL

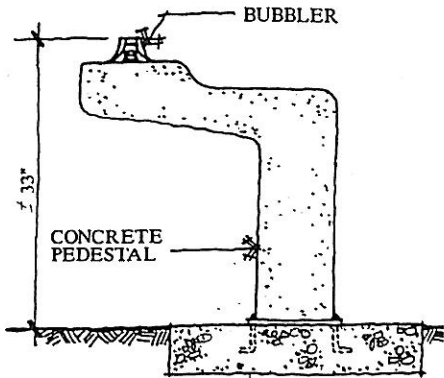
**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**



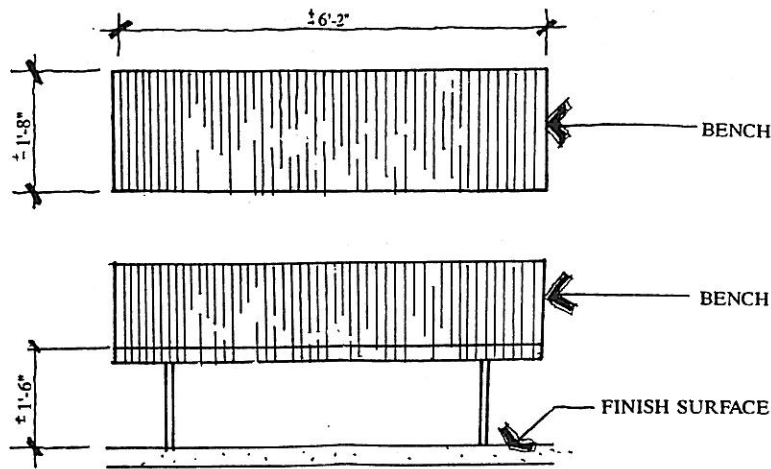
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**LANDPLAN  
DESIGN  
GROUP**  
Planning/Landscape Architects

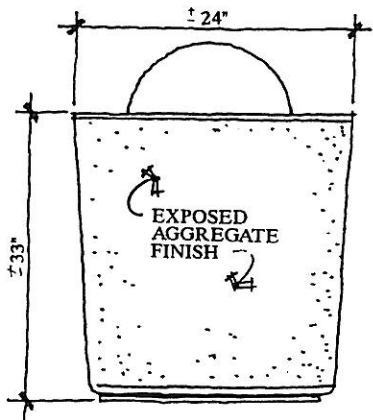


**TYPICAL  
 DRINKING FOUNTAIN**



**ELEVATION**

**TYPICAL BENCH**  
 (WABASH OR WEBCOAT)



**TYPICAL  
 TRASH RECEPTACLE**

EXHIBIT 30  
 PARK  
 FURNISHINGS

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#### IV. Development Regulations

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## **IV. DEVELOPMENT REGULATIONS**

### **A. GENERAL PROVISIONS**

#### **1. PURPOSE AND OBJECTIVES**

Upon adoption of the Westgate Specific Plan, the development standards and procedures established herein will become the governing zoning regulations and standards for land uses within the Westgate Specific Plan area.

The Westgate development standards have been established to protect and promote the public health, safety, convenience, and welfare of Westgate residents and the public as a whole. The development standards herein were developed in compliance with the spirit and intent of the Fontana General Plan, and City Zoning and Development Code. The purpose of these standards is to provide for the classification of land uses and to define specific regulations for the orderly development of the Westgate Specific Plan.

#### **2. STATISTICAL LISTING**

The Statistical Listing on Table B, page III-3, is intended as an easily referenced summary of the information illustrated on Exhibit 6, the Land Use Plan. The Planning Unit Area number (P.U.A.) references specific land use areas and corresponding acreages on the Land Use Plan.

#### **3. DEFINITION OF TERMS**

Words, phrases and terms not specifically defined herein shall have the same definition as provided in the City Zoning and Development Code.

#### **4. GENERAL PLAN CONSISTENCY**

The Westgate Specific Plan has been found to be consistent with all elements of the Fontana General Plan by the approval and adoption process of the Planning Commission and City Council.

#### **5. DEVELOPMENT CODE CONSISTENCY**

Any details or regulations not specifically covered by these development standards shall be subject to the regulations of the Fontana Zoning and Development Code and applicable local, state and federal regulations. In case of differences between the development standards and the City's Zoning and Development Code, these development standards shall prevail.

## 6. OTHER CODES

All construction shall comply with applicable provisions of the Uniform Building Code and various other mechanical, electrical, and plumbing codes in effect at the time of construction.

## 7. SIGN REGULATIONS

The following standards establishes major community signage themes within the Westgate Specific Plan. Except as specified herein, sign regulations shall be in accordance with Chapter 3 of the Fontana Municipal Code and the standards set forth under the controlling zone district in which the signs are located.

### a. MAJOR INTERSECTION BUSINESS ENTRY

One is located at the intersection at Summit Avenue and Sevaive Avenue and a second at Highland and Cherry Avenue. See Exhibits 13 and 14.

- The maximum height and width of the monument shall be five (5) feet.
- The sign area consisting of lettering and / or a logo shall not exceed twenty (20) square feet.

### b. MAJOR INTERSECTION RESIDENTIAL ENTRY

One is located at the intersection of Cherry and Walnut Avenue, a second along North Heritage Drive, north of Baseline Avenue. See Exhibits 15 & 16.

- The maximum height and width of the monument shall be six (6) feet.
- The sign area consisting of lettering and / or a logo shall not exceed twenty (20) square feet.

### c. MINOR INTERSECTION ENTRY

Located at the northwest corner of Baseline Avenue and Cherry Avenue. See Exhibit 16A.

- The maximum height of the signage wall shall be five (5) feet.
- The sign area consisting of lettering and/or logo shall not exceed thirty (30) square feet.

## 8. INTERPRETATION

These regulations shall be held to be minimum requirements in their application and interpretation. No provision herein is intended to abrogate or interfere with any deed restriction, covenant, easement, or other agreement between parties. If there

is dispute regarding the interpretation of any of these regulations, the City of Fontana Community Development Director shall interpret the intent. Any person aggrieved by such an interpretation may request an interpretation by the Planning Commission. If this person is aggrieved by the interpretation of the Planning Commission, he / she may appeal to the City Council for a final determination.

**9. ADJUSTMENTS TO PLANNING AREAS**

Changes to the size and boundary configurations of planning areas that may occur during preliminary and final site engineering are permitted up to a maximum of 10% of the site area without an amendment to the Specific Plan. Adjustments to arterial road alignments or utility plans may be made provided the above conditions are met and the intent of the Specific Plan is not changed. (The 10% maximum does not apply to areas of identical land uses that are divided by a roadway. These may be changed to accommodate a roadway alignment adjustment, providing the sum total of the affected like kind planning areas does not vary by more than 10%). Phasing changes are permitted to respond to market conditions, providing said changes provide adequate access and infrastructure to the area served.

**10. PLANNING AREA PERMITTED DENSITY**

The dwelling unit density permitted in any residential planning area, as designated in the Westgate Specific Plan, shall apply to the overall residential planning area and shall not be literal to any division thereof. Transfer of densities from individual planning areas shall be considered consistent with the General Plan and Specific Plan provided: a) the overall project maximum of 2505 dwelling units is not exceeded and b) minimum lot size standards within the respective land use category, i.e., 6,200 square feet within the SFD category and a 5,000 square feet minimum with the MH, are not exceeded. A tracking report will be provided to the Community Development Director that demonstrates all dwelling unit shifts on a project-wide basis.

Should the public school or park sites be relocated, the resulting planning area may be developed as SFD low density (single family detached) housing in accordance with the Specific Plan regulations.

**11. LARGE-LOT SUBDIVISION**

Large-lot subdivision maps, for the purpose of conveyance or financing, may be approved when such maps include a declaration that lots created are not building sites. This includes the subdivision of residential, commercial, office and business park areas. Posting of bonds, installation of infrastructure improvements, or dedication of open space shall not be made a condition of approval of a large-lot subdivision for conveyance or financing purposes. A tentative tract map may be submitted for any portion of a single planning area or combination of planning areas.

**12. BUILDING CONSTRUCTION**

All building construction within the Specific Plan shall comply with applicable

building codes.

### 13. INTERIM USES

Agricultural uses shall be permitted on the property until the property is developed in accordance with the Specific Plan.

### 14. CITY COUNCIL DECLARATION / SEVERABILITY

If any portion of these regulations is, for any reason, declared by a court of competent jurisdiction to be invalid or ineffective in whole or in part, such decision shall not affect the validity of the remaining portions thereof. The City Council hereby declares that they would have enacted these regulations and each portion thereof, irrespective of whether one or more portions were declared invalid or ineffective.

### 15. PERMITTED TEMPORARY USES

In order to facilitate the development of the project, the following temporary uses, and any others listed in the City Development Code, may be permitted within any of the development areas upon review and approval of a temporary use permit by the Director of Community Development or his / her designee:

- a. Temporary tract sales offices within a commercial mobile home only until model homes become available for use as a sales office.
- b. Temporary construction facilities and parking compounds for contractors equipment during construction. Facilities shall be located away from existing residential areas and occupied units of the development.
- c. Real estate signs relating to the sale, lease, or other disposition of the real property on which the sign is located are permitted. Signs shall not exceed a height or width of eight (8) feet. Other allowed signage shall be subject to City code requirements.
- d. Model homes, temporary real estate offices and subdivision signs, temporary on-site construction offices, continued use of an existing building during construction of a new building or site preparation. Any model home may be used on a temporary basis as a real estate office subject to the following conditions:
  - The model home real estate office must be located on a lot established and depicted within an approved recorded tract map encompassing the property in question. Location of model homes shall be subject to approval by the Community Development Director.
  - The model home real estate office must meet all applicable provisions of this Plan and all applicable provisions of the City of Fontana Zoning and Development Code.
- e. Christmas tree and Halloween pumpkin sales.



## **B. BUSINESS PARK DEVELOPMENT REGULATIONS (BP)**

(See also Table D, page IV-28)

### **1. DESCRIPTION AND PURPOSE**

The purpose of these provisions is to regulate the planning, design, and development of Business Park uses within Westgate. The Business Park provisions assure that development within this category will be integrated into a quality environment through consistency of landscape, architectural, building setback, screening and signage requirements. The regulations also are designed to assure compatibility with adjacent land uses and the overall character of the Westgate community.

### **2. PERMITTED USES**

The Business Park District permits industrial, general business, service business, office, commercial and other uses described below:

#### **a. Industrial uses including, but not limited to, the following:**

- Light and medium manufacturing plants and facilities.
- Assembly plants and facilities.
- Industries engaged in distribution, storage and warehousing.
- Construction and industries such as general contractors and specialty contractors.

#### **b. General business uses including, but not limited to, the following:**

- Research laboratories and facilities.
- Product development facilities.
- Testing laboratories and facilities.
- Corporate headquarters.

#### **c. Service businesses including, but not limited to, the following:**

- Repair, maintenance or servicing of appliance, component parts, etc..
- Tooling and small machine shops.
- Testing shops.
- Photo finishing and photographic processing facilities.
- Blueprinting, reproduction and copying services, photoengraving, printing, publishing and bookbinding.
- Dry cleaning and laundry plants.
- Any other similar use which is found by the Community Development Director compatible with the purpose and objectives of this section according to the provisions of this chapter.



**d. Wholesale Businesses**

**e. Retail and service commercial including, but not limited to, the following:**

- Financial institutions
- Restaurants, sandwich shops including drive-thru service.
- Wholesale and / or retail lumber yards, plumbing supplies and general home improvement centers.
- Wholesale and / or retail nurseries and garden shops.
- Warehouse and sales outlets for furniture, carpets, appliances, etc..
- Any uses which are found in Commercial Retail Uses (C) that are compatible with the purpose and objectives of the Specific Plan.

**f. Municipal Uses** including water facilities.

**g. Other similar uses** which the Community Development Director finds compatible with the permitted uses described herein, consistent with the purpose and intent of the district and not of a type to affect adversely the use of adjoining properties.

**3. USES PERMITTED SUBJECT TO A CONDITIONAL USE PERMIT**

**a.** Automobile repair garages, fender and body repair and paint shops, operated in conjunction with automobile rental and sales agencies.

**b.** Service Stations

**c.** Rental and sales agencies for automobiles, recreational vehicles, truck , trailers, boats and motorcycles and service in connection therewith.

**d.** Rental and sales agencies for garden and home equipment.

**e.** Rental and sale agencies for agricultural, industrial and construction equipment.

**f.** Cellular poles

**g.** Sports facilities, including a stadium.

**4. SITE DEVELOPMENT STANDARDS (See also Table D)**

**a. BUILDING SITE AREA**

No minimum.

**b. LOT COVERAGE**

No maximum; subject to required building setbacks, parking and landscape requirements.

**c. BUILDING HEIGHT LIMIT**

The maximum building height is fifty (50) feet. Taller buildings, greater than fifty (50) feet but not in excess of 100 feet, are subject to a conditional use permit.

**d. FLOOR AREA RATIO (F.A.R.)**

The maximum floor area ratio shall be 1.0. F.A.R.s of greater than 1.0 may require a General Plan Amendment.

**e. BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**

Twenty (20) feet minimum, except along Cherry Avenue and Baseline Avenue, which shall be thirty-five (35) feet.

**f. BUILDING SETBACKS FROM ADJACENT USES**

***Adjacent to a Business Park (BP) Parcel / Railroad right-of-way***

Along property lines that separate business park uses or a railroad right-of-way, there shall be no minimum setback required.

***Adjacent to a Commercial (C) Parcel***

Along property lines that separate commercial park uses there shall be a minimum of ten (10) feet.

***Adjacent to an Office Parcel***

Along property lines that separate office park parcels there shall be a minimum of ten (10) feet.

***Adjacent to a Residential Parcel***

Abutting a residential parcel, there shall be minimum setback of thirty (30) feet.

**g. PARKING**

**Manufacturing:** One (1) space per 500 square feet of gross floor area for the first 40,000 square feet of manufacturing area, plus one (1) space per 750 square feet of gross floor area for any additional manufacturing area greater than 40,000 square feet, plus one (1) space per 250 square feet of gross floor area of office (actual office area or 5% of the total gross floor area, whichever is greater).

**Warehouses** shall have a minimum of one (1) space per 1,000 square feet of gross floor area for the first 40,000 square feet of storage area plus one (1) space per 4,000 square feet of gross floor area for any additional storage area greater than 40,000 square feet plus one (1) space per 250 square feet of gross floor area of office (actual office area or 5% of the total gross floor area, whichever is greater).

**Retail:** See "Commercial Retail Parking" standard.

***Parking Stalls***

- Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional space shall be required for 1/2 or more fractional parking space and any fractional space less than 1/2 of a parking space shall not be counted.
- Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be fifteen (15) feet, with twenty-five (25) feet on Cherry Avenue and Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining minimum landscape requirements.

***Parking Landscape Requirements:***

- The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. A minimum of fifteen (15) percent of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas

may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree).

- Planter islands shall be located a maximum of every ten (10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, this two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements, and it shall be in addition to the minimum landscape planter / setback width.

***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one (1) additional floor or story may be allowed subject to approval of the Planning Commission under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities, including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practical, from surrounding uses and from public view.
- The building shall not exceed 100 feet.

***Shared Parking:***

Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Planning Commission and must meet the following conditions:

- Sufficient evidence shall be presented to the Planning Commission demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.

- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located within a reasonable distance from the structure or use served.

**h. LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-1.

**i. LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the City of Fontana Zoning and Development Code.

**j. TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height nor more than eight (8) feet. No such area shall be located within any public street frontage area.

**k. SCREENING**

*Abutting residential areas.* A masonry block wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.

*Storage and refuse collection areas.* All outdoor storage and refuse collection areas shall be screened with a minimum six (6) foot masonry wall (see 4j above) so the stored materials are not visible from streets or adjacent properties.

*Loading areas.* Where truck loading areas face a public street, a six (6) foot tall earthen berm (3:1 slope maximum), wall, or combination thereof shall be required.



*Notwithstanding the requirements listed above*, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust, shall be screened. Screening shall be provided as an integral aspect of the building design.

1. **LANDSCAPING - Private parcels** - (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be determined by setback and parking landscape requirements. Any area not covered by a building's parking or designated storage area shall be landscaped.

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan or fifteen (15) feet, whichever is greater, with twenty-five (25) feet minimum along Cherry Avenue and Baseline Avenue.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of twenty (20) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement.

***Side and rear setback areas.*** All unpaved, non-work areas not utilized for parking or storage shall be landscaped.

***Separation.*** Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

***Watering.*** Permanent automatic watering facilities shall be provided for all landscaped areas.

**m. ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.



**C. COMMERCIAL RETAIL DEVELOPMENT REGULATIONS**  
(C) (See also Table D, page IV-28)

**1. DESCRIPTION AND PURPOSE**

The planning areas designated Commercial Retail are established to provide for the development of commercial uses, which provide for the general shopping needs of the Westgate Specific Plan area residents and visitors, with a variety of retail and personal services. It is the intent of these regulations to provide a comprehensive set of standards to respond to community needs for Commercial Retail uses.

**2. PERMITTED USES**

**a. PRINCIPAL PERMITTED USES**

The following uses are permitted subject to the Regulations and Guidelines set forth herein.

- Ambulance services
- Amusement establishments
- Animal hospital
- Antique shops
- Apparel shops
- Appliance store
- Art, dance and music studios
- Art supply shops and studios
- Auditoriums and conference rooms
- Automobile supply store
- Bakery shops
- Banks and financial institutions including drive-through
- Barber and beauty shops
- Bicycle / Motorcycle store
- Blueprint and duplicating services
- Book stores (non-adult) and binders
- Catering services
- Ceramic sales with kiln area not exceeding 16 cubic feet
- Cleaning and dyeing shops
- Clothing stores
- Community facilities & services
- Confectionery or candy stores
- Costume design studios
- Day care

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- Delicatessens
- Department stores
- Dressmaker
- Drug stores
- Dry goods stores
- Electrical supply store
- Electronic data processing, tabulating and record keeping services
- Employment agencies
- Florist shops
- Food and beverage services including such uses as restaurants, cafes, markets, and delicatessens, together with the sale of alcoholic beverages as incidental part of a permitted use.
- Gift shops
- Glass / Mirror shop
- Hardware stores
- Health clubs
- Hobby shops
- Home furnishings
- Ice cream shops
- Ice sales, not including ice plants
- Interior decorating shops
- Jewelry stores
- Laundries and laundromats
- Leather goods stores
- Library, reading room
- Locksmith shops
- Meat markets, not including slaughtering
- Medical appliance and supply sales
- Medical clinic, including dental, chiropractic or similar specialties including laboratories
- Municipal uses, including water facilities
- News stores
- Notions or Novelty stores
- Nursery / Plant stores
- Offices, including but not limited to, business, professional, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate, insurance, title, escrow, etc..
- Paint and wallpaper stores, not including paint contractors
- Pet shops and pet supply shops
- Pharmacies
- Photography shops and studios and photo engraving
- Post Office
- Product markets

- Public safety facilities, police / fire
- Refreshment stands
- Schools, business and professional, including art, barber, beauty, dance, drama, music and swimming.
- Shoe stores and repair shops
- Shoeshine stand
- Sporting goods stores, showroom for exhibition of products, for wholesale or retail distribution.
- Sports and recreational facilities
- Stationery stores
- Swimming pool sales
- Tailor shops
- Telephone exchange
- Temporary uses as permitted by Specific Plan
- Tobacco shops
- Tourist information centers
- Toy shops
- Travel agents
- Variety store
- Other similar uses which are found by the Community Development Director to be consistent with the above listed uses and which are consistent with the intent of this land use classification.

### **3. USES PERMITTED SUBJECT TO A CONDITIONAL USE PERMIT**

- a. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of these Development Regulations:
  - Automobile repair garages not including body and fender shops or spray painting
  - Bars and cocktail lounges
  - Billiard and pool facilities
  - Bowling alleys
  - Building materials sales yard
  - Car Wash
  - Cellular Poles
  - Ceramic sales if kiln area exceeds sixteen (16) cubic feet
  - Church, Synagogue
  - Convalescent care facilities, rest homes, and active senior facilities
  - Dance hall / saloons
  - Drive-thru restaurants
  - Hotels
  - Liquor Stores

- Mobilehome sales, trailer sales and rental of house trailers
- Private schools, private clubs, fraternal organizations or lodges
- Rental and sales agencies for automobiles, recreational vehicles, trucks, boats, and service in connection therewith.
- Service station dispensing gasoline
- Skating Rinks
- Sport facilities, including a stadium
- Stations, bus, railroad and taxi
- Theaters
- Underground bulk fuel storage in conjunction with a principal permitted use.
- Use including outdoor activity, display or storage, greater than 200 square feet.

**4. SITE DEVELOPMENT STANDARDS (See also Table D)**

**a. BUILDING SITE AREA**

No minimum.

**b. LOT COVERAGE**

No maximum; subject to required building setbacks, parking and landscape requirements.

**c. BUILDING HEIGHT LIMIT**

The maximum building height is fifty (50) feet. Taller buildings, greater than fifty (50) feet but not in excess of 100 feet, are subject to a conditional use permit.

**d. MAXIMUM FLOOR AREA RATIO (F.A.R.)**

The maximum F.A.R. shall be 1.0. F.A.R.s greater than 1.0 may require a General Plan Amendment.

**e. BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**

Twenty (20) feet minimum, except along Cherry Avenue and Baseline Avenue, which shall be thirty-five (35) feet.

**f. BUILDING SETBACKS FROM ADJACENT USES**

***Adjacent to a Business Park (BP) Parcel / Railroad right-of-way***

Along property lines that separate business park uses or a railroad right-of-way there shall be a ten (10) feet minimum setback required.

***Adjacent to a Commercial (C) Parcel***

Along property lines that separate commercial park uses there shall no minimum setback required.

***Adjacent to an Office Parcel***

Along property lines that separate office park parcels, there shall be a ten (10) feet minimum setback required.

***Adjacent to a Residential Parcel***

Abutting a residential parcel there shall be a minimum setback of twenty-five (25) feet.

**g. PARKING**

Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be fifteen (15) feet, with twenty-five (25) feet on Cherry Avenue and Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining minimum landscape requirements.

***Retail:*** One (1) space per 175 square feet of gross floor area for the first 5,000 square feet, plus one (1) space per 200 square feet of gross floor area for the next 5,000 square feet, plus one (1) space per 225 square feet of gross floor area for any additional building area greater than 10,000 square feet.

***Parking Landscape Requirements:***

- The intent of providing landscaping in parking areas is to offer relief to

the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. A minimum of fifteen (15) percent of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree).

- Planter islands shall be located a maximum of every ten (10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, this two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements, and it shall be in addition to the minimum landscape planter / setback width.

***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one additional floor or story may be allowed subject to approval of the Community Development Director under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practicable, from surrounding uses and from public view.
- Building shall not exceed 100 feet.

***Shared Parking:***

Parking facilities may be used jointly with parking facilities for other uses

when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Community Development Director and must meet the following conditions.

- Sufficient evidence shall be presented to the Community Development Director demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located within a reasonable distance for the structure or use served.

**h. LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-1.

**i. LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the Fontana Zoning and Development Code.

**j. TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height nor more than eight (8) feet. No such area shall be located within any public street frontage area.

**k. SCREENING**

*Abutting residential areas.* A masonry wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where



there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.

*Notwithstanding the requirements listed above*, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

**Outdoor activity.** All outdoor activity shall be screened from view from adjacent public streets and any residential areas.

***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened. Screening shall be provided as an integral aspect of the building design.

1. **LANDSCAPING - Private parcels** - (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be fifteen (15) percent. Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover, or turf which may also include sidewalks, shall be installed and maintained subject to the following standards:

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan, twenty-five (25) feet minimum along Cherry Avenue and Baseline Avenue in addition to the public right-of-way.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of ten (10) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement.

***Side and rear setback areas.*** All unpaved, non-work areas not utilized for parking or storage shall be landscaped.

***Separation.*** Any landscaped area shall be separated from an adjacent

vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

**Watering.** Permanent automatic watering facilities shall be provided for all landscaped areas.

**m. ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.

**D. MIXED USE DEVELOPMENT REGULATIONS (MU)**  
(See also Table D, page IV-28)

Dev.  
Reg.  
MU

**1. DESCRIPTION AND PURPOSE**

The purpose of these provisions is to regulate the planning, design, and development of Mixed Use areas. Mixed Use designation permits a combination of compatible uses and facilities supportive of the general community. It is the intent of this section to allow the location of businesses engaged primarily in business, professional, and administrative offices, industrial uses, service industry, and commercial activities. The Mixed Use district regulations are designed to assure compatibility with adjacent land uses and the overall character of the Westgate community.

**2. PERMITTED USES**

**a. BUSINESS PARK (BP) USES**

All business park and industrial uses and their respective development regulations listed in Section B - Business Park Development Regulations, except in Planning Unit Areas 20, 23, 33 and 34.

**b. COMMERCIAL RETAIL (C) USES**

All commercial retail uses and their respective development regulations listed in Section C - Commercial Retail Development Regulations.

**c. OFFICE / PROFESSIONAL (OFC) USES**

Uses for the practice of a profession, administration of a business, or offering of a service of the following types:

- Accountants, advertising agencies, appraisers, attorneys, business management consultants, economists and public relations consultants.
- Administration or executive offices of any type of business.
- Architects, landscape architects, planners, engineers and surveyors, geologists, industrial designers, graphic designers, and interior designers, not including retail sales right on the premises.
- Employment agencies, travel agencies, and airline ticket agencies.
- Financial institutions, including banks, savings and loan associations, finance companies and credit unions. Drive thru's are permitted.
- Insurance brokers and services, investment brokers, real estate brokers and offices, and title and escrow companies.
- Medical complex including medical, dental and health-related services of all types for humans, including laboratories and housing for the aged or infirm.
- Municipal uses, including water facilities.
- Oculists, opticians, optometrists, and prescription pharmacies located in a building containing the offices of four or more medical practitioners and devoting more than fifty (50) percent of the total pharmacy floor space to prescription compounding.
- Other similar uses which are found by the Community Development Director to be consistent with the intent of this land use classifications.

### **3. SITE DEVELOPMENT STANDARDS - OFFICE USES**

#### **a. BUILDING SITE AREA**

Minimum of one-quarter (1/4) acre. Master planned multi-tenant developments may have smaller lot areas provided they share reciprocal facilities such as parking and access and provided it can be shown those lots can comply with all the standards of this section.

#### **b. LOT COVERAGE**

No maximum, subject to required building setbacks, parking and landscape requirements.

**c. BUILDING HEIGHT LIMIT**

The maximum building height is fifty (50) feet. Taller buildings greater than fifty (50) feet, but not in excess of 100 feet, are subject to a conditional use permit.

**d. MAXIMUM FLOOR AREA RATIO (F.A.R.)**

The maximum F.A.R. shall be 1.0. F.A.R.s in excess of 1.0 may require a General Plan Amendment.

**e. BUILDING SETBACKS FROM STREET PUBLIC RIGHTS-OF-WAY**

Twenty feet (20) minimum except for buildings greater than thirty (30) feet in height which shall require the setback to be a distance equal to the height of the structure. If the building is stepped back, the setback does not have to equal the height of the structure. On Cherry Avenue and Baseline Avenue, the minimum setback shall be thirty-five (35) feet.

**f. BUILDING SETBACKS FROM ADJACENT USES**

***Adjacent to a Business Park (BP) Parcel / Railroad Right-of-way***

Along property lines that separate business park uses or a railroad right-of-way there shall be no minimum setback.

***Adjacent to a Commercial (C) Parcel***

Along property lines that separate commercial uses there shall be a minimum of ten (10) feet. Setback areas shall be landscaped.

***Adjacent to an Office Parcel***

Along property lines that separate office parcels there shall be a minimum of five (5) feet except if project shares reciprocal facilities such as parking and access. In this case no setback is required. Setback areas shall be landscaped.

*Adjacent to a Residential Parcel*

Abutting a residential parcel there shall be a minimum setback of thirty (30) feet.

**g. PARKING**

Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop subject to approval of the City engineer. Handicap spaces shall be subject to State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be fifteen (15) feet and twenty-five (25) feet on Cherry Avenue and Baseline Avenue.

*Office Uses* shall have one (1) parking space per 250 square feet of gross floor area.

*Parking Stalls*

- Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional space shall be required for 1/2 or more fractional parking space and any fractional space less than 1/2 of a parking space shall not be counted.
- Parking stall sizes shall be 9 feet x 19 feet except for handicap spaces. The nineteen (19) feet dimension may be reduced to a minimum of seventeen (17) feet when the curb face is utilized as a wheel stop. Handicap spaces shall be subject to all State and Federal access regulations. The minimum parking setback to a public street right-of-way shall be ten (10) feet, with twenty-five (25) feet on Cherry Avenue and Baseline Avenue. Parking stall overhang can be utilized in determining stall depth but cannot be used in determining minimum landscape requirements.

*Parking Landscape Requirements:*

- The intent of providing landscaping in parking areas is to offer relief to the monotony of rows of parked cars and to create an overhead canopy, thus providing a vertical dimension to an otherwise dominantly horizontal element of the landscape. A minimum of fifteen (15) percent

of that portion of the site devoted to parking shall be landscape. The fifteen (15) percent landscape requirement for drives and parking areas may be combined within the boundary landscape area if approved by the Community Development Director and when design solutions indicate conformance with the intent of this ordinance. Parking lot trees are required every ten (10) stalls in cases where face-to-face parking stalls occur. (15 gallon minimum tree).

- Planter islands shall be located a maximum of every ten (10) linear parking spaces. Vehicles shall be permitted to overhang landscaped areas providing either a low growing ground cover, turf, or a hardscape area is provided within two (2) feet of the curb face. However, this two (2) foot overhang area shall not be counted towards minimum landscape percentage requirements, and it shall be in addition to the minimum landscape planter / setback width.

***Parking Structures:***

Where the height of a building is limited by other sections of this Specific Plan, one additional floor or story may be allowed, subject to approval of the Community Development Director under the following conditions:

- At least seventy-five (75) percent of the ground floor is used for off-street parking, access and maneuvering.
- Use of the remaining ground floor area is limited to manager's offices, elevators, service facilities, and building access facilities including entrance foyer or lobby.
- Architectural design and treatment of the ground floor parking facility shall be integrated with the building as a whole.
- Ground floor parking shall be screened, insofar as practicable, from surrounding used and from public view.
- Building height shall not exceed 100 feet.

***Shared Parking:***

Parking facilities may be used jointly with parking facilities for other uses when operations are not normally conducted during the same hours, or when hours of peak use vary. Requests for the use of shared parking are subject to the approval of the Community Development Director and must meet the following conditions:



- Sufficient evidence shall be presented to the Planning Commission demonstrating that there will exist no substantial conflict in the principle hours or periods of peak demand of the structures or uses for which the joint use is proposed.
- The number of parking stalls which may be credited against the requirements for the structures or uses involved shall not exceed the number of parking stalls reasonably anticipated to be available during differing hours of operation.
- Parking facilities designated for joint use should be located within a reasonable distance for the structure or use served.

**h. LIGHTING and SIGNAGE**

Refer to the General Site Development Standards "Lighting", page III-41, and Development Regulations, page IV-2.

**i. LOADING**

All loading and maneuvering shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent public streets and residential areas. The size of the loading area shall comply with the Fontana Zoning and Development Code.

**j. TRASH AND STORAGE AREAS**

All storage, including cartons, containers, materials, products or trash, shall be shielded from view within a building or area enclosed by a solid masonry wall not less than six (6) feet in height or more than eight (8) feet in height. No such area shall be located within any public street frontage area.

**k. SCREENING**

*Abutting residential areas.* A masonry wall shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of not less than six (6) feet nor more than eight (8) feet, excluding landscaping. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.

*Notwithstanding the requirements listed above,* where the finished



elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.

***Mechanical Equipment***

All mechanical / electrical equipment such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened. Screening shall be provided as an integral aspect of the building design.

1. **LANDSCAPING - Private parcels** - (Refer also to the Design Guidelines for Community Wide Landscape Standards.) Landscape coverage for each site shall be determined by setback and parking landscape requirements. Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover, or turf which may also include sidewalks, shall be installed and maintained subject to the following standards.

***Boundary landscaping abutting major arterial streets.*** As specified in the landscape guidelines contained in Section III of the Specific Plan, fifteen (15) feet minimum, with twenty-five (25) feet minimum on Cherry Avenue and Baseline Avenue.

***Boundary landscaping along public streets, other than major arterial streets,*** is required to a minimum depth of fifteen (15) feet, in addition to the landscape required within the public right-of-way.

***Boundary landscaping abutting residential parcels.*** Areas shall be a minimum of fifteen (15) feet in depth and shall be so landscaped as to create a visual buffer between said areas. Landscape plans submitted with Development Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement.

***Side and rear setback areas.*** All unpaved, non-work areas not utilized for parking or storage shall be landscaped.

***Separation.*** Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area, or in some manner shall be protected from vehicular damage.

***Watering.*** Permanent automatic watering facilities shall be provided for all landscaped areas.

**m. ARCHITECTURAL DESIGN**

Refer to Design Guidelines, Section III.

**TABLE D**  
**BUSINESS PARK / OFFICE / RETAIL DEVELOPMENT STANDARDS**

| Development Zone   | BP  | OFC   | C   |
|--|---|---|---|
| Land Use Type  | Business Park   | Office  | Retail  |
| Building Site Area   | No minimum  | Minimum 1/4 acre  | No minimum  |
| Building Height (Maximum)                                      | 50'   | 50' (4)   | 50'<br>(35' if adjoining a residential use)                 |
| Building Coverage (1)<br>(Maximum)                             | No maximum<br>(F.A.R. = 1.0)                                | No maximum<br>(F.A.R. = 1.0)                                | No maximum<br>(F.A.R. = 1.0)                                |
| Building Setbacks<br>(Minimum) From Public<br>Right-of-Way     | 35' on Cherry<br>Ave. and<br>Baseline, 20'<br>other streets | 35' on Cherry Ave.<br>and Baseline, 20'<br>other areas (4)  | 35' on Cherry<br>Ave. and<br>Baseline, 20'<br>other areas   |
| Parking Spaces (3)<br>(Minimum)                                | See Note (2)  | See Note (2)  | See Note (2)  |
| Site Landscaping (% of<br>Site)                                | See Note (5)  | 15%   | 15%   |
| Landscape / Parking<br>Setbacks (minimum) from<br>right-of-way | 25' on Cherry<br>Ave. and<br>Baseline, 15'<br>other streets | 25' on Cherry<br>Ave. and<br>Baseline, 15'<br>other streets | 25' on Cherry<br>Ave. and<br>Baseline, 15'<br>other streets |

**Notes:**

1. Coverage will be a function of parking, landscape and building setback requirements.
2. See pages IV-8, IV-16, and IV-23 for all parking requirements.
3. Eating establishments require one (1) space for each seventy-five (75) sq. ft. of gross floor area for fast food, drive thru or walk-in only; (1) space for each one-hundred (100) sq. ft. for sit-down restaurants.
4. Buildings greater than 30' in height shall require the setback to be a distance equal to the height of the structure. Taller buildings shall require a conditional use permit.
5. No minimum, subject to landscape requirements identified in text.

Development  
STANDARDS  
BP  
OFC  
C

## E. RESIDENTIAL ZONE DEVELOPMENT REGULATIONS

The Westgate Community will provide a variety of residential opportunities. Development standards for the various residential uses follow. Table E, on page IV-31, provides a summary of those standards while Exhibit 31 illustrates house plotting criteria.

### 1. LOW DENSITY RESIDENTIAL ZONE (SFD)

#### a. DESCRIPTION AND PURPOSE

This district permits the development of quality residential uses composed of individual single family homes. The minimum lot size for this category is 6,200 square feet with an extraordinary amenity; 7,200 without an extraordinary amenity.

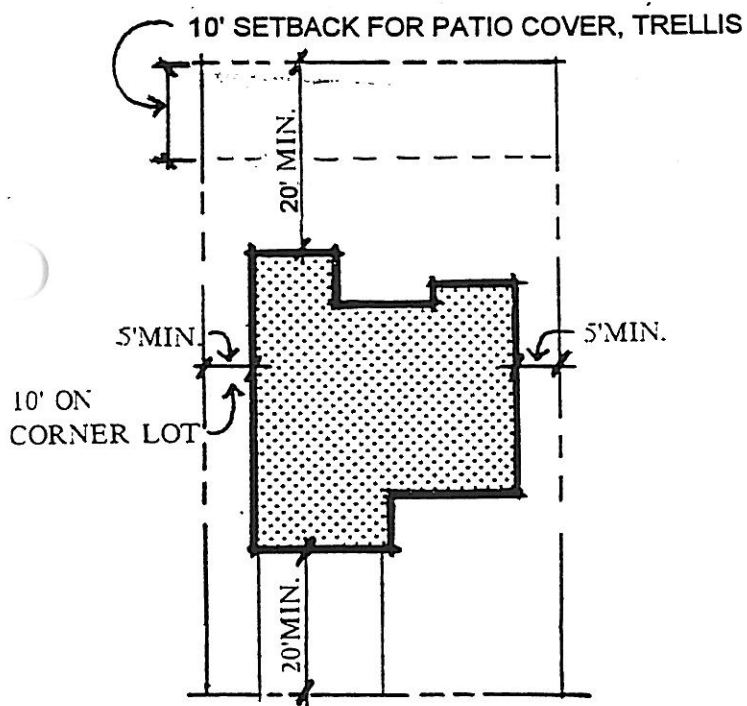
#### b. PERMITTED USES

The following uses only are permitted within this land use district subject to the standards and guidelines set forth in this Plan:

*Permanent, single-family, detached dwellings*, including garages. Also, any additional uses permitted in the R-PC area as identified in the City General Plan and Zoning and Development Code.

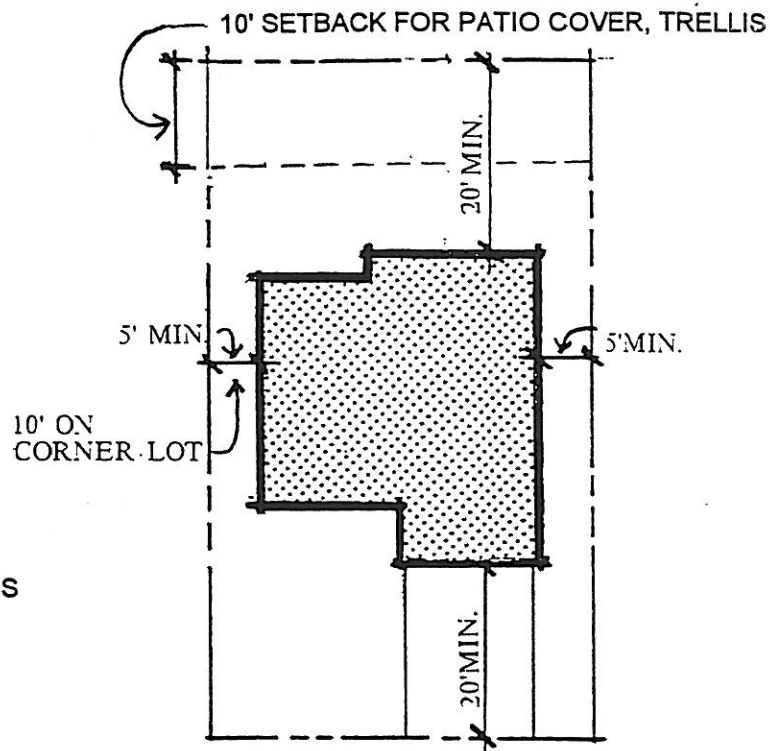
*Accessory Uses and Structures*, customarily incidental to any permitted residential use including, but not limited to: community pedestrian/bicycle trails/paseos, garages, carports, balconies, parking areas, walls and trellises, gazebos, patios, cabanas and storage sheds; swimming pools, spas, water fountains and related equipment and other recreational amenities; satellite dishes, solar collectors and related structures in conformance with the City's solar guidelines; and other uses as regulated by the City of Fontana Zoning and Development Code.

*Real Estate Information Center*, not a part of a model home complex, may be located within any new residential subdivision by the developer or builder, provided that such office shall be removed at the end of one-year prior following issuance of the last building permit for any home in the subdivision in which the office is located. The location of the temporary office shall be approved by the Planning and Building and Safety Divisions and shall not create a traffic or safety hazard.



MINIMUM LOT SIZE: 5000 SQ. FT.

BUILDING COVERAGE MAX. 50%

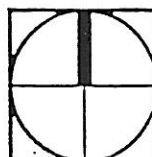


FOR MINIMUM LOT SIZE OF 6200 OR  
7200 SQ. FT.  
BUILDING COVERAGE MAX. 50%

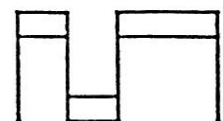
EXHIBIT 31

## RESIDENTIAL PLOTTING STANDARDS

**WESTGATE**  
SPECIFIC PLAN  
Prepared for: **UNITEX**



NOT TO SCALE



**LANDPLAN  
DESIGN  
GROUP**  
Planning/Landscape Architects



*Home Occupations*, subject to the provisions of the City of Fontana Zoning and Development Code.

*Municipal Uses*, including water facilities, public schools, and parks.

*Signs*, for identification of the development only and subject to Planning Division review. Other types of signs shall be prohibited.

*Temporary uses*, as permitted by this Specific Plan.

**c. CONDITIONAL USES**

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City of Fontana Zoning and Development Code:

*Religious Facilities*

*Community or Private Clubs*

*Community Facilities*

*Family Home Care/Day Care Centers / Pre-School / Nursery School*

*Private Schools / Privately Owned Recreational Facilities*

**d. SITE DEVELOPMENT STANDARDS (See also Table E)**

***Lot Area:***

7,200 square feet minimum (6,200 square feet if an extraordinary amenity is approved).

***Lot Width:***

Sixty (60) feet minimum at the front setback line and thirty-five (35) feet at the front property line for 7,200 square foot lots. Fifty (50) feet minimum at the front setback line and thirty-five (35) feet at the front property line for 6,200 square foot lots. Lots fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty (30) feet at the setback line.

**TABLE E**  
**RESIDENTIAL DEVELOPMENT STANDARDS**

| Development Zone                              | SFD                    | SFD                        | MH                      |
|---|------------------------|----------------------------|-------------------------|
| Housing Type                                  | Single Family Detached | Single Family Detached (I) | Single Family Detached  |
| Minimum Lot Area                              | 7,200 s.f.             | 6,200 s.f.                 | 5,000 s.f.              |
| Building Coverage Maximum                     | 50%                    | 50%                        | 50%                     |
| Minimum Lot Depth (A)                         | 100'                   | 100'                       | 85'                     |
| Minimum Lot Frontage (at front property line) | 35'                    | 35'                        | 35'                     |
| Minimum Lot Width at Setback (G)              | 60'                    | 50'                        | 40'                     |
| Building Height Maximum                       | 35' / 2.5 stories      | 35' / 2.5 stories          | 35' / 2.5 stories       |
| Minimum Building Setbacks (E)                 |                        |                            |                         |
| a) Front                                      | 20' minimum            | 15' min. / 20' avg. (H)    | 15' min. / 20' avg. (H) |
| b) Rear (B)                                   | 20'                    | 20'                        | 20'                     |
| c) Side                                       | 5'                     | 5'                         | 5'                      |
| d) Corner - (sideyard)                        | 10'                    | 10'                        | 10'                     |
| e) Garage - (side entry) (C)                  | 10'                    | 10'                        | 10'                     |
| f) Garage - (front entry)                     | 20'                    | 20'                        | 20'                     |
| g) Between Buildings (F)                      | 10'                    | 10'                        | 10'                     |
| Minimum Living Space                          | 1,550 s.f.             | 1,550 s.f.                 | 1,550 s.f. (D)          |
| Minimum Garage Spaces                         | 2                      | 2                          | 2                       |

**Notes:**

- A. Minimum depth may be reduced by 20' for SFD and 5' for MH lots fronting cul-de-sacs or knuckles.
- B. Patio covers, trellises, balconies or gazebos may extend into this minimum setback, but such structures shall be setback at least 10' from the property line to the support column. Enclosed patios shall defer to the Development Code.
- C. Three car garages are encouraged, not required.
- D. Single story units may reduce living space by 100 square feet provided that such reduction of 100 square feet apply to no more than 5% of units in any planning area.
- E. All setbacks are measured from habitable area, not from an architectural projection. An architectural projection is defined as an element that articulates the building elevations, such as pot shelves, eaves, enhanced window sills, shutter details, window trim, and entry gates, but does not include patio covers, porches, trellises, or other accessory structures.
- F. Buildings are defined as habitable structures and do not include trellises, decks, patio covers, retaining wall, or storage sheds.
- G. Minimum lot width at setback may be reduced to 30' at the right-of-way for lots on cul-de-sacs.
- H. Minimum setback for a front entry garage will remain at 20'.
- I. 6,200 sq. ft. lots permitted only with the approval of an extraordinary amenity.

RESIDENTIAL  
DEVELOPMENT  
STDS.  
SFD  
MH



***Lot Depth:***

Minimum lot depth shall be one hundred (100) feet; except at cul-de-sacs or knuckles which shall be a minimum eighty (80) feet.

***Building Setback - From property line:***

- ***Frontyard setback:***

Twenty (20) feet average; fifteen (15) feet minimum. Where garages are entered from the side a minimum frontyard set back of ten (10) feet is required. Garages entered from the front shall have a twenty (20) foot setback minimum.

- ***Sideyard Setback:***

Five (5) feet minimum. Minimum streetside setback shall be ten (10) feet from property line.

- ***Rearyard Setback:***

Twenty (20) feet minimum. Patio covers, trellises, balconies or gazebos may extend into the setback but such structure shall be set back at least ten (10) feet from the rear property line to the support column. Enclosed patios and room additions shall defer to the Development Code.

- ***Eaves, cornices, chimneys, canopies, cantilevered roofs, wing walls, and other architectural features*** may project into required front and sideyard set back areas a maximum of three (3) feet.

***Building Height:***

Thirty-five (35) feet, 2-1/2 stories maximum.

***Building Coverage:***

Fifty (50) percent maximum.

**Section IV**  
**DEVELOPMENT REGULATIONS**

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***Minimum Dwelling Unit Size:***

The minimum dwelling unit size shall be 1,550 square feet.

***Parking:***

Two (2) spaces within a garage and two (2) spaces within a driveway. Third car garage, if provided, may be a tandem space. Recreational vehicles are permitted in sideyards ten (10) feet or greater and located behind the frontyard setback.

***Accessory Structures:***

Accessory structures shall conform to the City of Fontana Development Code, except as provided for in this section.

***Landscape Standards:***

Refer to the Design Guidelines, Section III.

***Architectural Standards:***

Refer to the Design Guidelines, Section III.

**2. MEDIUM HIGH RESIDENTIAL ZONE (MH)**

**a. DESCRIPTION AND PURPOSE**

This residential district provides for the development of quality, medium high density residential uses consisting of single family detached homes not to exceed 6.0 units per acre.

**b. PERMITTED USES**

The following uses only are permitted within this land use district subject to the standards and guidelines set forth in this Plan:

***Permanent, single-family, detached dwellings,*** including garages. Also, any additional uses permitted under R-PC in the City General Plan and Zoning and Development Code.

Section IV  
DEVELOPMENT REGULATIONS

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***Accessory Uses and Structures*** customarily incidental to any permitted residential use including, but not limited to: community pedestrian / bicycle trails / paseos, garages, carports, balconies, parking areas, walls and trellises, gazebos, patios, cabanas and storage sheds; swimming pools, spas, water fountains and related equipment and other recreational amenities; satellite dishes, solar collectors and related structures in conformance with the City's solar guidelines; and other uses as regulated by the City of Fontana Zoning and Development Code.

***Real Estate Information Center***, not a part of a model home complex, may be located within any new residential subdivision by the developer or builder, provided that such office shall be removed at the end of one-year prior following issuance of the last building permit for any home in the subdivision in which the office is located. The location of the temporary office shall be approved by the Planning and Building and Safety Divisions and shall not create a traffic or safety hazard.

***Home Occupations***, subject to the provisions of the City of Fontana Zoning and Development Code.

***Municipal Uses***, including water facilities, public schools, and parks.

***Signs***, for identification of the development only and subject to Planning Division review. Other types of signs shall be prohibited.

***Temporary uses***, as permitted by this Specific Plan.

**c. CONDITIONAL USES**

The following uses are permitted only upon the issuance of a Conditional Use Permit pursuant to the provisions of the City of Fontana Zoning and Development Code:

***Religious Facilities***

***Community or Private Clubs***

***Community Facilities***

***Family Home Care/Day Care Centers / Pre-School / Nursery School.***

*Private Schools / Privately Owned Recreational Facilities*

**d. SITE DEVELOPMENT STANDARDS (See also Table E)**

***Lot Area:***

5,000 square feet minimum.

***Lot Width:***

Forty (40) feet minimum at the front setback line and thirty-five (35) feet at the front property line. Lots fronting on knuckles or cul-de-sacs may have a minimum frontage of thirty (30) feet at the setback line. Flag lots are not permitted.

***Lot Depth:***

Minimum lot depth shall be eighty-five (85) feet; except at cul-de-sacs or knuckles which shall be a minimum eighty (80) feet.

***Building Setback - From property line:***

***Frontyard setback:***

Twenty (20) feet average, fifteen (15) feet minimum. Where garages are entered from the side, a minimum frontyard setback of ten (10) feet is required. Garages entered from the front shall have a minimum twenty (20) feet setback.

***Sideyard Setback:***

Five (5) feet minimum. Minimum streetside setback shall be ten (10) feet from property line.

***Rearyard Setback:***

Twenty (20) feet minimum. Patio covers, trellises, balconies or gazebos may extend into the setback but such structure shall be set back at least ten (10) feet from the rear property line to the support column. Enclosed patios and room additions shall defer to the Development Code.

*Eaves, cornices, chimneys, cantilevered roofs, wing walls, and other architectural features* may project into required front and sideyard set back areas a maximum of three (3) feet.

***Building Height:***

Thirty-five (35) feet, 2-1/2 stories maximum.

***Building Coverage:***

Fifty (50) percent maximum.

***Dwelling Unit Size:***

The minimum dwelling unit size shall be 1,550 square feet.

***Parking:***

Two (2) spaces within a garage and two (2) spaces within a driveway. Third car garage, if provided, may be a tandem space. Recreational vehicles are permitted in sideyards ten (10) feet or greater and located behind the frontyard setback.

***Accessory Structures:***

Accessory structures shall conform to the City of Fontana Development Code, except as provided for in this section.

***Landscape Standards:***

Refer to the Design Guidelines, Section III.

***Architectural Standards:***

Refer to the Design Guidelines, Section III.

## **F. OPEN SPACE ZONE DEVELOPMENT REGULATIONS**

The following community support uses for open spaces shall be permitted consistent with the Westgate Specific Plan.

### **1. OPEN SPACE / PARK (OS / P)**



**a. Permitted Uses**

- Landscaped Open Space.
- Public parks, trails and recreational facilities.
- Accessory buildings, structures, parking lots and uses related and incidental to the above.
- Public botanical gardens.

**b. Site Development Standards**

Subject to review at the time of submittal by the City of Fontana.

**2. PUBLIC / UTILITY CORRIDOR (P / UC)**

**a. Permitted Uses**

- Natural open space.
- Hiking, bicycle and equestrian trails and facilities.
- Activity fields (soccer).
- Parking Lots.
- Other similar uses which are found by the Community Development Director to be consistent with the intent of this land use classification.

**b. Site Development Standards**

Subject to review by the agency that owns or has an easement on the property (i.e., SCE, MWD) and the City of Fontana.

**G. DEFINITIONS**

All terms used in this document shall have the same definitions as provided in the City of Fontana Zoning and Development Code or the following (to the extent that the terms used in this document do not exist in or are inconsistent with the City of Fontana Zoning and Development Code):

**1. DEFINITIONS (A)**

- a. Accessory Building:** A subordinate building located on a building site, the use of which is customarily incidental to that of a main building or to the use of the land.
- b. Accessory Use:** A use customarily incidental and accessory to the principal use of the land or building site, or to a building or other structure located on the

same building site as the principal use.

- c. **Applicant:** Legal authorized agent representing the property owner.

## 2. DEFINITIONS (B)

- a. **Berm:** A mound of earth, usually two (2) to six (6) feet in height.
- b. **Building:** A structure having a roof supported by columns or walls.
- c. **Building Height:** The vertical distance above a reference point measured to the highest point of the coping of a flat roof or to the deck line of a mansard roof or to the average height of the highest gable of a pitched or hipped roof. The reference point shall be the following, whichever yields a greater height of building:
- The elevation of the highest adjoining sidewalk surface within a five (5) foot horizontal distance of the exterior wall of the building when such sidewalk or ground surface is not more than ten (10) feet above lowest grade.
  - An elevation ten (10) feet higher than the lowest grade when the sidewalk or ground surface described in item immediately above is more than ten (10) feet above lowest grade.

The height of a stepped or terraced building is the maximum height of any segment of the building.

- d. **Building Site Coverage:** The relationship between the ground floor area of the building or buildings and the net area of the site. Said net area shall be computed by deducting from the gross site area any ultimate public street right-of-way. Unenclosed post-supported roofs over patios, driveways, and walkways, unenclosed post-supported eaves overhangs, and swimming pools shall not constitute buildings for the purpose of this definition.

## 3. DEFINITIONS (C)

- a. **Carport:** A roofed structure, or a portion of a building, open on two or more sides primarily for the parking of automobiles belonging to the occupants of the property.
- b. **City:** The City of Fontana.
- c. **City Council:** The City Council of the City of Fontana.



- d. **Cluster Development:** A development design technique that concentrates buildings in specific areas on the site to allow the remaining land to be used for recreation, common open space and preservation of environmentally sensitive features.
- e. **Commercial Use:** An activity, normally retail sales, carried out for monetary gain.
- f. **Commission or Planning Commission:** The City of Fontana Planning Commission.
- g. **Community Development Director:** City of Fontana Director of Community Development.
- h. **Community Facility:** A noncommercial use established primarily for the benefit and enjoyment of the community in which it is located.
- i. **Conditional Use:** An approval required for a conditional use to be permitted in a district or zone.
- j. **Conditional Use Permit:** A use that requires special consideration because of its unusual characteristics, so that it may be properly located with respect to the effects on surrounding properties.
- k. **Condominium Development:** A building, or group of buildings in which units are owned individually, and the structure, common areas and facilities are owned by all the owners on a proportional basis, as generally described in the Subdivision Map Act.

#### 4. DEFINITIONS (D)

- a. **Density:** The total number of dwelling units per acre determined by dividing the total dwelling units by the total acres.
- b. **Detention Basin:** A storage facility for the temporary storage of storm water run-off.
- c. **Dwelling, Duplex:** A total of two (2) single family dwellings attached to one another by a common wall.
- d. **Dwelling, Fourplex:** A total of four (4) single family dwellings attached to one another by common walls.
- e. **Dwelling, Single Family Attached:** A single family dwelling attached to

another single family dwelling by a common vertical wall.

- f. **Dwelling, Single Family Detached:** A permanent building containing one (1) dwelling unit.
- g. **Dwelling, Townhouse:** A one-family dwelling in a row of at least three (3) such units in which each unit has its own front and rear access to the outside, no unit is located over another unit and each unit is separated from any other unit by one (1) or more common walls.
- h. **Dwelling, Triplex:** A total of three (3) single family dwellings attached to one another by a common wall.
- i. **Dwelling Unit** One (1) or more rooms and a single kitchen designed for occupancy by one (1) family for living and sleeping purposes.

#### 5. DEFINITIONS (E)

- a. **Easement:** A recorded right or interest in the land of another, which entitles the holder thereof to some use, privilege or benefit out of or over said land.

#### 6. DEFINITIONS (F)

- a. **Family:** One (1) or more persons immediately related by blood, marriage or adoption living in a single housekeeping unit in a dwelling together with their domestic employees. A group of not more than six (6) unrelated persons living together with their domestic employees shall also be considered a family.
- b. **Floor Area, Gross:** The total horizontal area, in square feet, including the exterior walls of all floors of a structure.
- c. **Floor Area Ratio:** The numerical value obtained by dividing the gross floor area of a building or buildings located upon a lot or parcel of land by the total area of such lot or parcel of land.

#### 7. DEFINITIONS (G)

- a. **Garage, Private:** A building, or a portion of a building, used primarily for the parking of automobiles belonging to the occupants of the property.
- b. **Garage, Public:** A building other than private garage used for the maintenance or temporary storage of motor vehicles.
- c. **General Plan and Fontana General Plan:** The adopted General Plan of

the City of Fontana.

- d. **Gross Area:** The entire area within the boundaries of a project site, building or lot, measured to the property lines of the site and to the centerlines of adjoining public rights-of-way.
- e. **Gross Density:** The total density within a site when the total number of dwelling units are divided by the gross area of the site.

#### 8. DEFINITIONS (H)

- a. **Home Occupations:** Any vocation, trade or profession, as permitted in the Municipal Code, carried on solely by the occupant of the premises.
- b. **Homeowners Association:** A community association which is organized within a development in which individual owners share common interests and responsibilities for open space, landscaping or facilities.
- c. **Hotel:** Any building or portion thereof with access provided through a common entrance, lobby or hallway to six (6) or more guest rooms, and which rooms are designed, intended to be used or are used, rented or hired out as temporary or overnight accommodations for guests.

#### 9. DEFINITIONS (I)

- a. **Industry:** Any field or economic activity including but not limited to forestry, fishing, hunting and trapping, mining, construction, manufacturing, transportation, communication electric, gas and sanitary services, and wholesale trade.
- b. **Infrastructure:** Facilities and services needed to sustain residential and commercial activities.
- c. **Institutions:** A social, educational, governmental, health, or religious organization.

#### 10. DEFINITIONS (L)

- a. **Lot:** Any numbered or lettered parcel shown on a recorded tract map, a record of survey recorded pursuant to an approved division of land, or a parcel map.
- b. **Lot Area:** The computed area contained within the lot lines excluding any street rights-of-way.

- c. **Lot Depth:** The distance between the front and rear property lines, measured at the mid-point of the lot.
- d. **Lot Line, Common:** Any lot line except the front line of the lot or the lot line or a corner lot that abuts the side street, or a lot line separated from another lot line by a dedicated alley or street or way.
- e. **Lot Line, Front:** In the case of an interior lot, a line separating the lot from the street; in the case of a corner lot, the line separating the narrowest street frontage of the lot from the street.
- f. **Lot Line, Rear:** A lot line not abutting a street which is opposite and most distant from the front line.
- g. **Lot Line, Street:** Any lot line separating a lot from a street.

#### 11. DEFINITIONS (M)

- a. **Manufacturing-Light and Medium:** Activities typically include, but are not limited to, manufacturing, compounding of materials, processing, assembly, packaging, treatment or fabrication of materials, and products which require frequent large container truck traffic or rail traffic or the transport of heavy bulky items. The new products are semi-finished to be a component for further manufacturing, fabrication, and assembly. These types of business establishments are customarily directed to inter-plant transfer or order from industrial uses, rather than for direct sale to the domestic consumer. Activities may produce noise, odors, vibrations, illumination or particulates that affect the persons residing in or conducting business in the vicinity. Where twenty-four hour on-site surveillance is necessary, a caretaker's residence may be permitted when approved by a Conditional Use Permit.

Uses may include but are not limited to: Assembly, fabrication or repair processes which involve large container truck, truck or the transport of large scale bulky containers, electronic microchip assembly, printing publishing and allied industries, candy and confectionery products, bottle, canned soft drinks, paper board containers and boxes, drugs, small fabricated metal products such as tools, general hardware, architectural and ornamental metal work, toys, amusements, sports, and athletic goods, canned food, textile products, furniture and fixtures, converted paper and paper board products, plastic products made from purchased rubber, plastic or resin, fabricated metal products made from sheet metals, electrical and electrical machinery, equipment and supplies, office computing and accounting machines.

Excluded activities include forge shops, metal fabricating facilities, open

welding shops, lumber wood working, heavy machine shops, chemical storage and distributing, plastic plants, and light or vacuum casting facilities.

- b. **Mixed Use Development (MU):** The development of a tract of land or building or structure with two or more different uses such as, but not limited to, residential, office, business park, retail, or entertainment.
- c. **Motel:** A building or group of buildings containing guest rooms or dwelling units designed, intended or used primarily for the accommodation of transient automobile travelers; including, but not limited to, buildings or building groups designated as auto cabins, motor courts, or motor hotels.
- d. **Multi-Phase Development:** A development project that is constructed in increments, each increment being capable of existing independently of others.

## 12. DEFINITIONS (N)

- a. **Net Area:** The total horizontal area within the property lines of a lot or parcel of land, excluding surface public rights-of-way.
- b. **Net Density:** The total density within a site when the total number of dwelling units are divided by the net area of the site, exclusive of public street and surface rights-of-way and other public easements.

## 13. DEFINITIONS (O)

- a. **Off-Street - Parking Space:** A storage area for a motor vehicle that is not located on a dedicated street right-of-way.
- b. **On-Street - Parking Space:** A storage area for a motor vehicle that is located on a dedicated street right-of-way.
- c. **Open Space:** Any parcel or area of land or water essentially unimproved and set aside, dedicated, designated or reserved for public or private use for enjoyment, or for the use and enjoyment of owners and occupants of land adjoining or neighboring such open space.
- d. **Open Space - Public:** Open space owned by a public agency and maintained for the use and enjoyment of the general public.

## 14. DEFINITIONS (P)

- a. **Parking Area, Private:** An area, other than a street, designed or used primarily for the parking of private vehicles and not open to general public use.

- b. Parking Area, Public:** An area, other than a private parking area or street, used for the parking of vehicles and available for general public use, either free or for a fee.
- c. Planned Residential Development:** A development to be constructed that involves a variety of residential designs, planned as a total entity, and subject to approval, development regulation and maintenance as one comprehensive and land use plan.
- d. Planning Commission:** The Planning Commission of the City of Fontana.
- e. Planning Manager:** City of Fontana Manager of Planning
- f. Planning Unit Area:** Parcels of land identified within the specific plan land use map with a clearly identified land use title. All such parcels have regulatory controls and typically display acreage, land use type, and an identification number.
- g. Public Surface Right Of Way:** See Right Of Way.

#### 15. DEFINITIONS (Q)

- a. Quasi-Public:** A use owned or operated by a nonprofit, religious or charitable institution and providing education, cultural, recreational, religious or similar types of public programs.

#### 16. DEFINITIONS (R)

- a. Retail:** The selling of goods, wares or merchandise directly to the ultimate consumer.
- b. Retention Basin:** A pond, pool or basin used for the temporary or permanent storage of water run-off.
- c. Right of Way:** An area or strip of land, either public or private, on which a right of passage has been recorded. Street rights of way are shown on the Specific Plan street sections, exhibit 7A, and exclude setback areas.

#### 17. DEFINITIONS (S)

- a. Service:** An act, or any result of useful labor, which does not, it itself, produce a tangible commodity.

- b. **Setback Area (Building):** The area between the building line and the property line, or when abutting a street, the ultimate right-of-way line.
- c. **Shopping Center:** A group of commercial establishments planned, constructed, and managed as a total entity with customer and employee parking provided on-site, provision for goods delivery separated from customer access, aesthetic considerations, and protection from the elements.
- d. **Side-on Garage:** A building, or portion of a building, used primarily for the parking of motor vehicles, whose entry is perpendicular to the street or whose side is facing the street.
- e. **Sign:** Any device used for visual communication or attraction, including any announcement, declaration, demonstration, display, illustration, insignia or symbol used to advertise to promote the interest of any person; together with all parts, materials, frame and background.

"Sign" and "Advertising Devices" do not include the following:

- Official notices issued by any court or public body or officer;
  - Notices posted by any public officer in performance of a public duty or by any person in giving legal notice.
  - Directional, warning, or information signs or structures required by, or authorized by law or by Federal, State or County Authority.
  - The flag of the State of California or of the United States of America or any official flag of any other state or country.
- f. **Advertising Device:** Any temporary balloon; flag, pennant; propeller, oscillating, rotating, pulsating light; or other contrivance except a sign used to attract attention for the purpose of promoting (either directly or indirectly), the sale of products of any person.
  - g. **Specific Plan:** Westgate Specific Plan as amended from time to time.
  - h. **Storm Drains:** Any facilities designed to control, retain or remove surface water run-off.
  - i. **Story:** The portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above.



- j. **Street Opening:** A curb break, or a means, place, or way provided for the purpose of gaining vehicular access between a street and abutting property.
- k. **Structure:** Anything constructed or erected requiring a fixed location on the ground or attached to something having a fixed location on the ground except business signs and other improvements of a minor character.
- l. **Subdivision:** The division of a lot, tract or parcel of land into two (2) or more lots, tracts, parcels or other divisions of land for sale, development or lease.

**18. DEFINITIONS (T)**

- a. **Temporary Structure:** A structure without any foundation or footing and which is removed when the designated time period, activity, or use for which the temporary structure was erected has ceased.
- b. **Temporary Use:** A use established for a fixed period of time with the intent to discontinue such use upon the expiration of the time period.
- c. **Tot Lot:** An improved and equipped play area for small children.
- d. **Tract:** An area, parcel, site, piece of land, or property which is the subject of a development application.

**19. DEFINITIONS (V)**

- a. **Vehicular Accessway:** A private, non-exclusive vehicular easement affording access to abutting properties.

**20. DEFINITIONS (W)**

- a. **Wholesale:** The sale of communities in quantity, usually for resale to retailers, or other merchants, industrial, institutional or commercial users.
- b. **Wing Wall:** An architectural feature in excess of six (6) feet in height, which is a continuation of a building wall projecting beyond the exterior walls of a building.

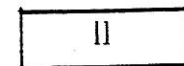
**21. DEFINITIONS (Y)**

- a. **Yards:** An open space, unoccupied and unobstructed from the ground upward.
- b. **Yard, Front:** An area extending across the full width of the lot and lying between the front lot line and a line parallel thereto, and having a distance

# WEST G. SPECIFIC

Prepared for:

## LEGEND

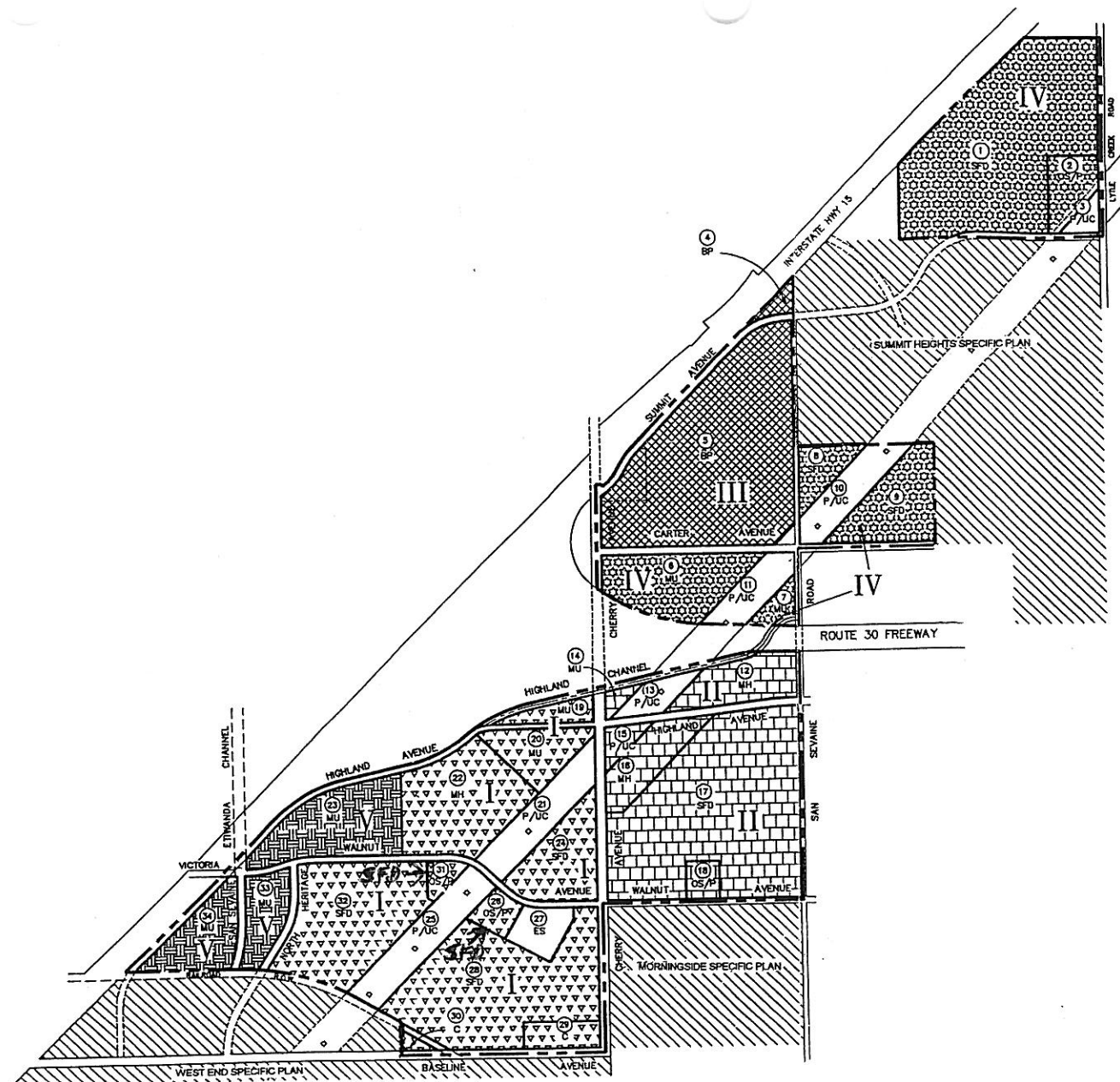


PHASE

## KEY



PLANNING UN



## EXHIBIT 32 PHASING PLAN



between them equal to the required front yard depth as prescribed in each zone. Front yard shall be measured by a line at right angles to the front lot line, or by the radial line in the case of a curved front lot line.

When term is applied to "Frontyard Landscape" it shall include frontyard per preceding definition, the sideyard in front of fence laterals, and corner lot street sideyard.

- c. **Yard, Rear:** A yard extending across the full width of the lot between the rear lot line and the nearest line or point of the main building, excluding projections such as fireplaces, greenhouse windows and other elements as identified in the Specific Plan.
- d. **Yard, Side:** A space extending from the front yard to the rear yard, or rear lot line, between a side lot line and the side yard setback line.

## 22. DEFINITIONS (Z)

- a. **Zero Lot Line:** The location of a building on a lot in such a manner that one or more of the building's sides rests directly on a lot line.
- b. **Zoning Ordinance:** The comprehensive zoning ordinance of the City of Fontana (Chapter 30).

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V. Plan Implementation

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## V. PLAN IMPLEMENTATION

### A. INFRASTRUCTURE IMPLEMENTATION SUMMARY

1. The Plan proposes to utilize the major utility trunk lines for water supply, sewer service and storm drainage to serve the Westgate Planned Community in accordance with the City's various Master Plans.
2. The Plan provides for the construction of all necessary on-site utility lines to serve the residents of the planned community.
3. The Plan is based upon adequate regional storm drainage capacity in the San Sevaire / Etiwanda Flood Control Channel. The Plan allows for locations for interim detention basins should such interim facilities be needed due to a lack of drainage infrastructure in the short term. Specific locations of detention basins are a function of site specific development phasing and will be provided as development progresses.

### B. PHASING

The Westgate Specific Plan will be developed in phases according to various factors, including market demand, interchange construction, regional infrastructure capacity, and the logical progression of development. Given these variables and multitude of uses and scale of the Westgate Plan, it is not possible to project specifically when each planning area will be developed. The phasing program identified below is intended to provide a general intent. Overlap may occur and is to be expected among phases. All development will be required to provide adequate vehicular access and infrastructure. The detailed alignment and sizing of major infrastructure systems will be addressed in detail during final engineering stages. The following summarizes the various components included as part of the phasing program.

#### 1. OFF-SITE (REGIONAL) INFRASTRUCTURE

All regional infrastructure exists within the boundaries or adjacent to the Westgate site. Plans for up-sizing the regional infrastructure (i.e. drainage, sewer treatment capacity, water storage, freeway interchange etc.) are in place and will be provided by the respective districts throughout the life of this project. Westgate will be responsible for monitoring the progress of the regional infrastructure, and will develop alternatives that enable development if regional capacity does not occur in a timely fashion. It is likely, for example, that the ultimate San Sevaire channel flood control improvements necessary for building construction to begin, will not be provided in a timely manner and alternative provisions will be necessary. These solutions, if necessary, will be designed during the site mapping process.

#### 2. ON-SITE INFRASTRUCTURE

Five phases have been identified in Exhibit 32. These areas may develop independently of each other or simultaneously. Within each phasing area sub-phases are anticipated.

Phasing will generally progress in a northerly direction which is consistent with the logical extension of infrastructure. On-site utility and circulation improvements will be constructed as required for each phase or sub-phase in accordance with city requirements.

### 3. PUBLIC FACILITIES

The elementary school will be developed in accordance with the Etiwanda School District pupil demand and funding schedules.

The two park sites in Westgate will be constructed during the phases of residential development which they serve. Table E identifies each of the two park planning areas, their size and the residential planning areas they will be constructed with. Exact park improvements will be based on city parks program costs unless further clarified in the Westgate Development Agreement, if applicable. Fees in lieu of construction may be paid to satisfy the park requirements.

**PARK PHASING  
TABLE F**

| Park Planning Unit Area<br># | Park Size  | To be Completed With<br>the Following Planning<br>Areas |
|------------------------------|------------|---|
| 2                            | 10.0 acres | 1   |
| 18                           | 5.0 acres  | 12 / 16 / 17  |

## C. METHODS AND PROCEDURES

Once the Westgate Specific Plan is adopted, it will serve as the Zoning and General Plan implementation document for the property in conjunction with Chapter 30 of the Fontana Municipal Code. The methods and procedures for implementation and administration of this Specific Plan document are as follows:

### 1. SPECIFIC PLAN ADOPTION

Government Code Section 65453(a) states that:

“A Specific Plan shall be prepared, adopted and amended in the same manner

as a General Plan, except the Specific Plan may be adopted by resolution or by ordinance and may be amended as often as deemed necessary by the legislative body.”

The Westgate Specific Plan will be Adopted by Ordinance in accordance with City policy.

The Westgate Specific Plan has been developed as both a regulatory document and a land use policy plan. The development standards have been structured in a format consistent with the City of Fontana Zoning and Development Code, incorporating general provisions, permitted uses, development standards, project approval procedures and other zoning related provisions. The remaining sections of the Westgate Specific Plan are oriented to land use policies and include background and project information, planning policies, design criteria, conceptual plans and infrastructure proposals.

## **2. IMPLEMENTATION**

Westgate shall be implemented through the processing of tract maps, parcel maps and site plans. The implementation process, as described below, provides the mechanism for reviewing precise plans and ensuring development consistency with the Specific Plan objectives.

### **a. *Applicability***

All development within Westgate shall be subject to the implementation procedures described herein.

### **b. *Development Review Process***

Tentative Tract / Parcel Maps and Site Plans for development within a Specific Plan area shall be submitted to the Planning Division for review and processing. Tentative Maps and Site Plans shall be prepared and submitted in accordance with City requirements and local codes (Fontana Municipal Codes). They will be reviewed by the City for consistency with the Land Use Plan Map and Development Standards that are set forth in this document.

## **3. PROCEDURES FOR REVIEW AND APPROVAL**

The following procedures are to be used for the review and approval of Site Plans for individual planning areas, and establish the requirements for making changes or additions to the Master Planned Community. It should be noted that upon adoption of this Specific Plan document, the land use designations indicated on the Land Use Plan shall be applied and will attain the regulatory equivalence of zoning ordinances.



**a. *Site Plan Approval***

The Site Plan(s) for a particular development area, accompanied by a Tentative Tract / Parcel Map(s), shall be reviewed at a duly noticed public hearing by the Planning Commission for consistency with the Specific Plan document. Notice of said hearings shall be given at the same time and in the same manner as specified for hearings for Tract Maps and Parcel Maps in the Municipal Code. If the Site Plan is found to be consistent with the Specific Plan and this chapter, the Planning Commission shall approve the Site Plan and direct that the Zoning Map of the City be amended when necessary. The decision of the Planning Commission shall be final, subject to appeal or review by the City Council in the same time and manner as provided for appeal from decisions of the advisory agency on Tract Maps or Parcel Maps as set forth in Chapters 26 and 30 of the City's Municipal Code.

**b. *Site Plan Consistency***

Following approval of a Site Plan, if any changes are proposed regarding the location or alteration of any use or structure shown on an approved Site Plan, a revised plan shall be submitted to the Director of Community Development and / or Planning Manager for approval. If the Director of Community Development or his/ her designee determines that the proposed revision complies with the provisions of the Specific Plan document and the general intent of the approved Site Plan, the revised Site Plan may be approved without resubmittal to the approval process described in the above Section (Site Plan approval). Such decision shall be final unless appealed to the Planning Commission within 10 days from the date of such decision.

**c. *Specific Plan Amendments***

Because the Westgate development will be phased over a number of years, it is anticipated that market conditions and development practices may change, thereby necessitating Specific Plan Amendments. Amendments may be requested at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the requirements in Chapter 30 of the Municipal Code.

Depending upon the nature of the proposed Specific Plan Amendment, a supplemental environmental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162. It is the applicant's responsibility to provide an analysis of the impacts of the amendment relative to the original EIR.

**Findings for Approval of Specific Plan Amendments**

In considering approval or disapproval of Specific Plan amendments, the City

Council shall find that the proposed Amendment is in compliance with the following:

- The proposed Amendment is consistent with the General Plan and its Elements in effect at the time of submission.
- The proposed Amendment does not result in an incompatibility with surrounding land uses with respect to use, development standards, density, or issues of health, public safety or general welfare
- The proposed Amendment is consistent with the overall design character and general community structure of Westgate.
- The proposed Amendment is not likely to cause substantial environmental damage, or substantially and avoidably injure significant wildlife, or their habitat.

#### **Minor Modifications**

The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Director of Community Development. The Director of Community Development, however, shall have the discretion to refer any such request for modification to the Planning Commission.

- Final facility sizing and precise location of water, sewer and storm drainage improvements when directed by the City Engineer.
- Change in utility and / or infrastructure servicing agency.
- Arterial or collector road alignment revisions when the centerline moves by less than 200 feet.
- Collector street alignments within tracts. Off-site connections or 4-way intersections at arterial roads only when reviewed and approved by the Director of Community Development and City Traffic Engineer.
- Alignment of pedestrian trails and off-street bike lanes.
- Decrease in project density.

- Adjustment of planning area so long as the total acreage of that planning area does not decrease or increase by more than 10 percent of that stated within this Specific Plan. In the case of identical land use areas separated by a major street on the Circulation Plan, individual planning areas may exceed a 10 percent change, as long as the combined like kind planning areas do not exceed a 10 percent limit.
- Minor landscape, wall material, wall alignment and streetscape design modifications which are consistent with the design guidelines contained in this document.
- Modifications to Architectural Design Guidelines, such as variations of materials within the particular architectural style and minor variations in colors.
- Changes in park facilities or conceptual park drawings.
- Minor revisions to project graphics which do not substantially change the intent of the graphics or signage in the Westgate Specific Plan. A change in project name is considered a minor revision.
- Modifications to architecture, plotting and unit size that have been previously reviewed and approved through the design review process.
- Specific modifications of a similar nature to those listed above, which are deemed minor by the Director of Community Development, which are in keeping with the intent of the Specific Plan and which are in conformance with the General Plan.



## VI. GENERAL PLAN POLICY CONSISTENCY

(General Plan policies are paraphrased, see General Plan for full policy.)

### A. LAND USE ELEMENT

- 3.1.1 Policy: Establish strong economic base.
- Consistency: With the approximately 257 acres of business uses, Westgate will create a substantial lasting tax and employment base for the City. The fiscal impact analysis prepared in conjunction with the Westgate Plan identifies the anticipated revenues to be generated.
- 3.1.2 Policy: Encourage residential variety.
- Consistency: Westgate includes a mix of residential uses and will include a variety of housing alternatives on a variety of lot sizes.
- 3.1.3 Policy: Support "upscale" housing.
- Consistency: Westgate will support "upscale" housing by providing a quality master planned environment where the lot sizes, design standards and amenities (entry monumentations, expanded streetscapes / theme walls, park improvements) will encourage the developers / builders to build and sell homes of high quality and design integrity.
- 3.1.4 Policy: Encourage office / commercial.
- Consistency: Substantial commercial uses are identified within the Westgate Plan. Locations of many office / commercial near and along the I-15 Freeway and at freeway interchanges will encourage users to locate at Westgate.
- 3.2.1 Policy: Maximize land use quality.
- Consistency: The land uses within Westgate are optimized by virtue of their location and consistency with the City of Fontana land use policy map. Business uses are generally located along the I-15 Freeway and primary highways. Residential uses are generally set back from freeways and are buffered by generous right of way landscaping and building set backs.
- 3.2.2 Policy: Facilitate regional uses.
- Consistency: Westgate incorporates proposed transportation corridors (such as State Route 30) and other beneficial major transportation corridors to facilitate regional uses and maximize the potential for

**Section VI**  
**GENERAL PLAN POLICY CONSISTENCY**

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employment and revenue generating uses.

- 3.2.3 Policy: Encourage infill.
- Consistency: Westgate encourages infill by including outparcels into the Specific Plan area and assuring they are fully integrated from a land use, circulation, and community design perspective.
- 3.3.1 Policy: Promote commercial centers, discourage strip development.
- Consistency: Commercial / office development within the site is proposed within large planning "blocks", thereby discouraging strip development.
- 3.3.2 Policy: Encourage incremental development.
- Consistency: The development will proceed in an orderly, logical fashion, and avoid piecemeal implementation. The phasing plan reflects this logical build-out intent.
- 3.3.3 Policy: Manage growth in relation to public facilities.
- Consistency: Public facilities will be provided in such a manner for the City, special districts and / or utilities to provide needed facilities and services.
- 3.3.4 Policy: Require new development to pay facility and service costs.
- Consistency: Each individual development within the Specific Plan that is submitted for City approval will be required to pay its fair share of public facilities and service costs.
- 3.3.5 Policy: Pursue responsible annexations.
- Consistency: Westgate is completely within City limits and requires no annexations.
- 3.3.6 Policy: "Master Capital Facilities / Services Study and Plan" required for specific plan or subdivision map.
- Consistency: In order for development to move into construction, either a Master Capital Facility Plan, development agreement for required infrastructure, or other agreements acceptable to the City of Fontana, will be developed.
- 3.3.7 Policy: One dwelling unit / structure per existing lot of record.

Consistency: Required infrastructure and services will be provided for the Specific Plan area in order to conform to this policy.

**B. CIRCULATION ELEMENT**

4.1.1 Policy: Provide street classifications.

Consistency: Street classifications are described in the Specific Plan and are designed to conform to the City General Plan Circulation Element and to serve the traffic needs of the area.

4.1.2 Policy: Limit access to arterials.

Consistency: Access to arterials within the Specific Plan has been limited within the Specific Plan area, to enhance traffic flow and safety.

4.1.3 Policy: Design for anticipated need.

Consistency: The Specific Plan Circulation Systems have been reviewed and approved by the City Planning and Transportation Divisions. A traffic analysis in the project E.I.R. confirms street traffic capacities are appropriate.

4.1.4 Policy: Regulate intensity of use re: traffic.

Consistency: The Westgate land uses are designed to regulate the balance of traffic and road capacity.

4.1.5 Policy: Design traffic control to meet City needs.

Consistency: Traffic control has been designed to conform to City of Fontana Standards.

4.1.6 Policy: Meet safety standards.

Consistency: The Westgate Plan will adhere to uniform practices for safety.

4.1.7 Policy: Coordinate improvements.

Consistency: All future street improvements and signalization will coordinate with regional transportation goals.

4.1.8 Policy: Maintain LOS "C".

Consistency: Existing and proposed streets will be improved to maintain a LOS "C".



- 4.1.9 Policy: Locate major traffic generators to protect local street.  
Consistency: The Westgate circulation plan discourages the use of local residential streets for access.
- 4.1.10 Policy: Provide bus turn-outs.  
Consistency: Westgate will incorporate bus turn-outs along appropriate arterials, where necessary.
- 4.1.11 Policy: Plan interchange I-10 at Alder and Beech.  
Consistency: This interchange is outside the limits and scope of this Specific Plan.
- 4.1.12 Policy: Use left-turn pockets.  
Consistency: Left turn pockets will be incorporate, where feasible, at major intersections.
- 4.2.1 Policy: Regional transportation.  
Consistency: Regional transportation will be facilitated by the development of the Route 30 Freeway and two freeway interchanges on or adjacent to the Westgate site.
- 4.2.2 Policy: Support regional bus systems.  
Consistency: Regional bus systems and service will be supported by providing a bus turnout along an appropriate route.
- 4.2.3 Policy: Provide a "Trans Center".  
Consistency: A "Trans Center" is outside the scope of this Specific Plan.
- 4.3.1 Policy: Coordinate with SCAG, SBCTC, SCRTD.  
Consistency: Coordination with the various transit planning efforts will occur, in accordance with City policies and good planning practices.
- 4.3.2 Policy: Recognize private transport services.  
Consistency: Private transportation services are available for residents of the Specific Plan.
- 4.3.3 Policy: Coordinate with human services.

- Consistency: Coordination between agencies to reduce duplicate transit services will be encouraged.
- 4.3.4 Policy: Require new development to put in bus shelters.
- Consistency: Transit facilities (shelter and turn-outs) will be provided where appropriate, as required.
- 4.3.5 Policy: Provide for disabled persons.
- Consistency: Public transportation facilities within the Westgate Plan will be designed to ensure accessibility of disabled persons.
- 4.3.6 Policy: Encourage ridesharing.
- Consistency: Ridesharing will be encouraged in cooperation with any city-wide program adopted by the City.
- 4.3.7 Policy: Provide transit services for elderly, handicapped, and for recreation purposes.
- Consistency: Westgate will provide access for future residents to transit services provided by the city and other transit providers.
- 4.4.1 Policy: Establish bike and pedestrian paths.
- Consistency: Westgate provides extensive bike and pedestrian paths.
- 4.4.2 Policy: Encourage pedestrian paths.
- Consistency: Pedestrian walks are incorporated throughout the project.
- 4.4.3 Policy: Encourage bike storage.
- Consistency: Bicycle racks will be provided at neighborhood parks and at various sites within business / commercial use areas.
- 4.4.4 Policy: Plan for disabled persons.
- Consistency: The pedestrian circulation system will be designed to be accessible to disabled persons.
- 4.4.5 Policy: Provide bike racks.
- Consistency: Westgate will provide for the installation of bike racks at neighborhood parks and at various sites within business /

- commercial use areas.
- 4.4.6 Policy: Assure bike route compatibility.  
Consistency: Westgate bike routes are designed to be compatible with street systems and provide connections to regional systems.
- 4.4.7 Policy: Use right-of-way for bikes.  
Consistency: Rights of way will be utilized to contain bike lanes and / or trails as described in the Specific Plan.
- 4.4.8 Policy: Encourage pedestrian trails in hills.  
Consistency: This is not applicable, as Westgate is essentially flat.
- 4.4.9 Policy: Maintain pedestrian trails.  
Consistency: Maintenance of pedestrian walks will be provided as part of the public street right of way.
- 4.5.1 Policy: Designate truck routes.  
Consistency: Highland Avenue is designated within the City Circulation Element as a truck route.
- 4.5.2 Policy: Design truck routes for safety.  
Consistency: Truck routes will be designed to safely accommodate truck travel, in accordance with City policies.
- 4.5.3 Policy: Develop buffering adjacent truck routes.  
Consistency: Appropriate buffering will be provided to minimize noise impacts to sensitize land uses.
- 4.5.4 Policy: Provide adequate loading / unloading areas.  
Consistency: Adequate loading / unloading within the Specific Plan will be provided.
- 4.5.5 Policy: Enforce truck regulations.  
Consistency: This is outside the scope of the Specific Plan.
- 4.6.1 Policy: Ensure safe rail operations.

- Consistency: This policy is outside the scope of the Specific Plan.
- 4.6.2 Policy: Establish connections between rail and activity centers.
- Consistency: This policy is outside the scope of the Specific Plan.
- 4.6.3 Policy: Provide spur access to industrial areas.
- Consistency: No industrial areas are proposed within the site which would require spur access via railroad.
- 4.6.4 Policy: Develop safe rail crossings.
- Consistency: Rail crossings will be designed in accordance with railroad company and city requirements.
- 4.6.5 Policy: Provide appropriate noise attenuation.
- Consistency: Noise attenuation will be provided where required in the acoustical report of the EIR.
- 4.6.6 Policy: Analyze potential for rail station.
- Consistency: This is beyond the scope of the Specific Plan, as railway stations must be looked at in regard to a master plan for the entire City.

**C. HOUSING**

- 5.1.1 Policy: Provide a range of residential development densities (1 du / ac to 12 du / ac).
- Consistency: Westgate provides the ability to have a range of densities with a maximum of 6 dwelling units per acre.
- 5.1.2 Policy: Provide for infill multi-family along commercial corridors.
- Consistency: Relates generally to areas with existing development. Westgate is undeveloped and excludes apartments.
- 5.1.3 Policy: Allow second units on existing single family lots.
- Consistency: Westgate will comply with the conditions established in the Zoning and Development Code, where applicable.
- 5.1.4 Policy: Encourage low income affordable housing.

- Consistency: Affordable housing will be provided generally within the MH land use areas where smaller lots may occur.
- 5.1.5 Policy: Respond to State requirements for low and moderate income housing through incentive techniques.
- Consistency: The medium high density residential areas within the project will provide for a range of housing choices.
- 5.1.6 Policy: Require affordable units for which density bonuses or other incentives are granted to meet general plan criteria.
- Consistency: Affordable units will be developed within the medium high density residential areas project to provide for a range of housing choices.
- 5.1.7 Policy: Require that lots and moderate income households will not be located in a single area in Fontana.
- Consistency: This policy is beyond the scope of this specific plan.
- 5.1.8 Policy: Encourage elderly housing with 25% density bonus or other financial incentive.
- Consistency: Senior housing is not proposed within Westgate.
- 5.1.9 Policy: Encourage handicap accessibility, especially regarding apartment complexes.
- Consistency: Westgate does not propose to develop apartments.
- 5.1.10 Policy: Encourage new housing for low income, elderly and disabled persons to be close to public transportation.
- Consistency: Westgate will comply with the city's codes, ordinances and standards in regards to the provision of convenient access to public transportation.
- 5.1.11 Policy: Encourage child care development coincident with new housing.
- Consistency: Child care centers are permitted within a variety of land uses of the Specific Plan.
- 5.1.12 Policy: Address homeless needs / allow emergency or temporary shelters in Medium and Medium-High Density Residential areas (subject to C.U.P.)
- Consistency: The location of emergency or temporary shelter for the homeless

Section VI  
**GENERAL PLAN POLICY CONSISTENCY**

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would not be an appropriate facility within Westgate. Typically, such centers are located in downtown urban centers close to social services.

5.1.13 Policy: Allow priority review for low and moderate income and elderly housing.

Consistency: Westgate does not propose low and moderate income or elderly housing.

5.1.14 Policy: Encourage favorable home purchasing techniques.

Consistency: Westgate will encourage favorable home purchasing techniques consistent with market and financing conditions at the time of development.

5.1.15 Policy: Utilize 20% Redevelopment set-aside funds for multi-family mortgage revenue bond projects.

Consistency: Set-aside funds will be considered as part of the overall financing plan for the Specific Plan.

5.1.16 Policy: Encourage energy conservation and passive design concepts.

Consistency: Westgate will comply with the City's codes, ordinances and standards in regards to the implementation of energy conserving practices.

5.2.1 Policy: Prohibit discrimination.

Consistency: Westgate will comply with all federal, state and local discrimination laws.

5.2.2 Policy: Support further spatial deconcentration and fair housing opportunities.

Consistency: Westgate supports spatial deconcentration and fair housing opportunities as indicated in the City General Plan.

5.2.3 Policy: Prohibit practices which restrict housing choice.

Consistency: Westgate offers a variety of housing choices and will comply with all anti-discrimination laws.

5.3.1 Policy: Advocate substandard property rehabilitation.

Consistency: No substandard property exists on the Westgate site.

- 5.3.2 Policy: Continue existing rehabilitation programs.  
Consistency: Westgate properties do not require any rehabilitation.
- 5.3.3 Policy: Focus rehabilitation efforts in select target areas.  
Consistency: Westgate properties do not require any rehabilitation.
- 5.3.4 Policy: Coordinate with County for rehabilitation in unincorporated areas.  
Consistency: The Westgate site is 100% incorporated.
- 5.3.5 Policy: Mitigate displacement impacts as a result of demolition.  
Consistency: Only one (1) residential structure will be displaced, resulting in minimal impact compared to the size of the development.
- 5.4.1 Policy: Retain existing viable mobile home parks.  
Consistency: No mobile home parks exist on site.
- 5.4.2 Policy: Retain existing economically and physically sound neighborhoods.  
Consistency: No residential neighborhoods exist on-site.
- 5.4.3 Policy: Promote property maintenance.  
Consistency: Public property maintenance will be promoted. A landscape and lighting district is proposed to maintain the public parks, parkways and entry monuments.
- 5.4.4 Policy: Enforce building, safety and housing codes.  
Consistency: Building safety and housing will be enforced by the City of Fontana.

**D. COMMUNITY DESIGN ELEMENT**

- 6.1.1 Policy: Establish development standards.  
Consistency: Westgate establishes land use and community design standards.
- 6.1.2 Policy: Consider adjacent development.



- Consistency: Westgate has been designed to consider adjacent development and has coordinated with surrounding Specific Plans proposed and existing, including West End, Morningside and Summit Heights.
- 6.2.1 Policy: Ensure variety in large development.
- Consistency: The Specific Plan encourages design standards establishing varying themes and solutions, while also encouraging unifying elements to identify the Specific Plan as a whole.
- 6.2.2 Policy: Establish landscape requirements.
- Consistency: Westgate establishes landscape standards that provide environmental controls and pleasing aesthetics. The Specific Plan shall comply with all city landscape standards in effect at the time of development.
- 6.2.3 Policy: Active code enforcement.
- Consistency: Code enforcement will be enforced by the City of Fontana.
- 6.2.4 Policy: Landscape medians.
- Consistency: Westgate proposes landscape medians within all major, primary, secondary, and enhanced collector streets.
- 6.3.1 Policy: Encourage preservation.
- Consistency: No historic or noteworthy structures exist on-site that require preservation.
- 6.3.2 Policy: Provide incentives for preservation.
- Consistency: No historic or noteworthy structures exist on-site that require preservation.
- 6.3.3 Policy: Ensure ordinance consistency with preservation.
- Consistency: No historic or noteworthy structures exist on-site that require preservation.
- 6.3.4 Policy: Establish historic district.
- Consistency: Establishment of a downtown historic district is outside the scope of this Specific Plan.

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water at Kaiser Steel site.

Consistency: Clean-up of Kaiser Steel site is beyond scope of this Specific Plan.

10.1.6 Policy: Encourage preservation of agricultural uses.

Consistency: Agriculture is not designated on the city land use map.

10.1.7 Policy: Reduce soil erosion. Requires erosion control plan for new development.

Consistency: An erosion control plan will be submitted and approved as per City policies prior to grading and construction. Project will come into compliance with the Clean Water Act.

10.1.8 Policy: Encourage development of community gardens in multi-family and planned unit developments.

Consistency: There are no multi-family units in the Westgate Specific Plan.

10.1.9 Policy: Minimize grading impacts.

Consistency: The site is flat, therefore grading impacts will be minimal.

10.1.10 Policy: Require feasibility study for curbside recycling program.

Consistency: This is outside the scope of this Specific Plan.

10.1.11 Policy: Support expansion of Fontana Landfill.

Consistency: This is outside the scope of this Specific Plan.

10.2.1 Policy: Minimize biotic impact.

Consistency: The Westgate EIR addresses biotic impacts and mitigation, if appropriate.

10.2.2 Policy: Establish wildlife corridors in City.

Consistency: Westgate is not located in an area appropriate for establishment of wildlife corridors.

10.2.3 Policy: Encourage tree planting.

Consistency: Tree plantings will be provided within landscape parkways and parks, as described in the Specific Plan, to enhance the

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**GENERAL PLAN POLICY CONSISTENCY**

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environment.

10.3.1 Policy: Encourage use of alternative energy resources, i.e., solar energy.

Consistency: The use of Alternate uses of energy sources will be encouraged as described in the Specific Plan and EIR.

10.3.2 Policy: Encourage design techniques which conserve energy.

Consistency: Westgate will encourage an energy-efficient community through energy conservation measures and design concepts.

10.4.1 Policy: Preservation of archaeological resources.

Consistency: An archaeological investigation is performed as part of the project EIR and city policies will be followed if resources are found.

10.4.2 Policy: Adoptive reuse of historical buildings.

Consistency: No known historical structures exist on the site.

10.5.1 Policy: Aggregate resources.

Consistency: No aggregate resource areas are proposed for mining on this site.

10.5.2 Policy: Reclamation of mined lands.

Consistency: There are no mined lands on-site, therefore reclamation does not apply.

10.5.3 Policy: Mineral production mitigation.

Consistency: No mineral production is proposed.

10.5.4 Policy: Aggregate resource extraction hazards.

Consistency: Aggregate resource extraction is not proposed on-site, therefore eliminating residual hazards to public health and safety.

**I. OPEN SPACE ELEMENT**

11.1.1 Policy: Balance natural and recreational open space.

Consistency: Westgate proposes improved recreational open space

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GENERAL PLAN POLICY CONSISTENCY

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- (neighborhood park, parkways and bike trails) to contribute to the City's inventory of open space.
- 11.1.2 Policy: Preserve significant natural habitat areas.
- Consistency: No significant environmental area of the Jurupa Hills or San Gabriel Mountains exist on-site.
- 11.2.1 Policy: Require open space and recreation areas with new residential development.
- Consistency: Recreation area (park) is proposed within the new residential development within the Specific Plan.
- 11.2.2 Policy: Establish new neighborhood parks.
- Consistency: Two new parks are proposed within the Specific Plan. These parks are within walking distance of residential areas on site.
- 11.2.3 Policy: Develop parks in conjunction with schools.
- Consistency: A 10 acre elementary school site is proposed adjacent to a park site.
- 11.2.4 Policy: Ensure park design meets user needs.
- Consistency: The parks provided by Westgate will be designed to meet the needs of surrounding residents by providing adequate facilities and access as defined in General Plan park standards.
- 11.2.5 Policy: Define additional cultural facilities.
- Consistency: No additional cultural facilities are proposed within the Specific Plan area at this time.
- 11.2.6 Policy: Park standards.
- Consistency: Westgate will provide 15 acres of park with significant neighborhood and community level improvements in accordance with City Standards.
- 11.2.7 Policy: Prepare Parks Master Plan.
- Consistency: City to prepare master plan, not within the scope of this Specific Plan.
- 11.3.1 Policy: Preserve hilly areas.
-

# WESTGATE SPECIFIC PLAN

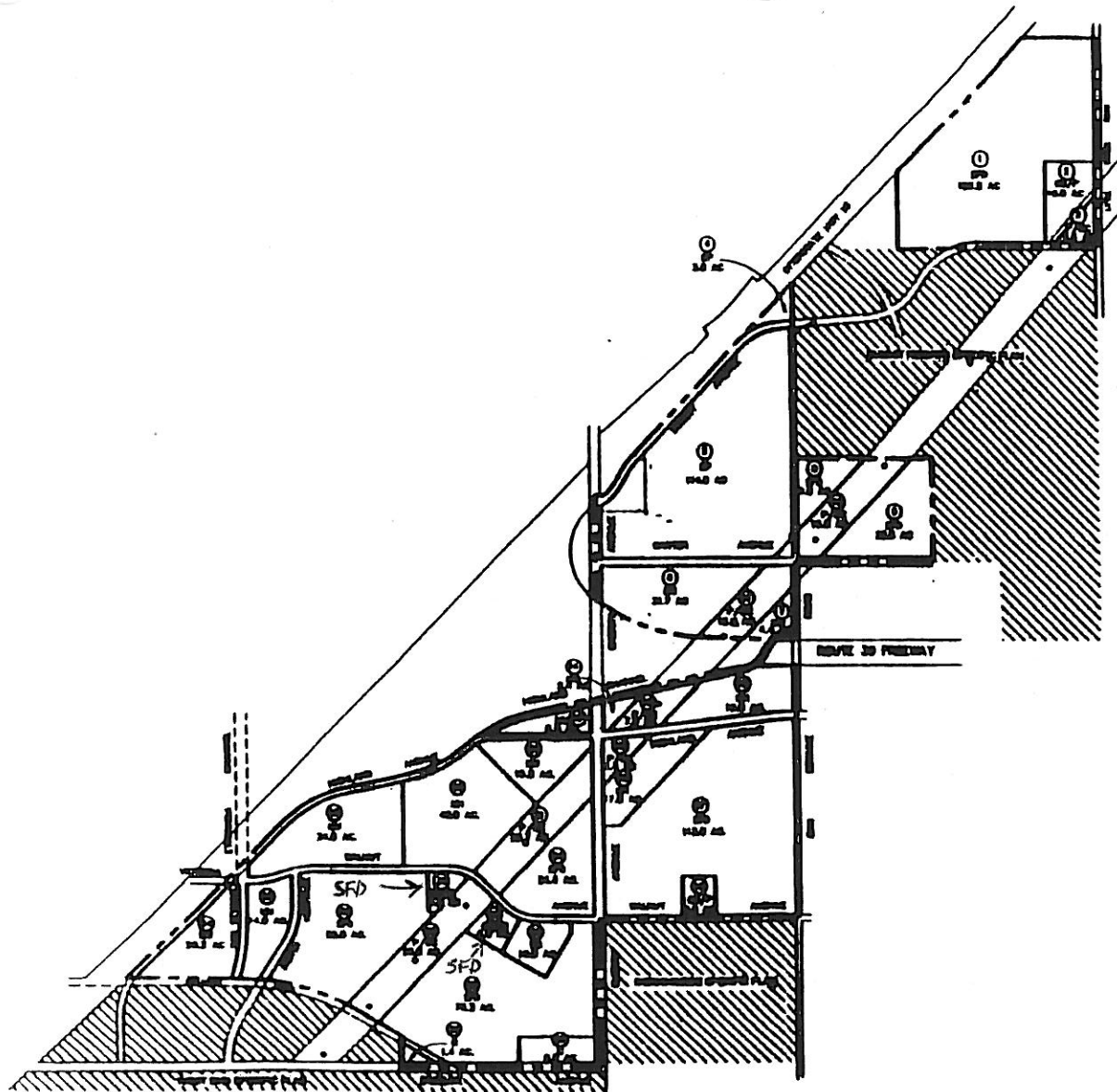
Prepared for: UNITEX

## LEGEND

|        |                                |
|--------|--------------------------------|
| BP     | BUSINESS PARK                  |
| C      | COMMERCIAL                     |
| MU     | MIXED USE                      |
| SFD    | LOW DENSITY RESID <sup>n</sup> |
| MH     | MEDIUM HIGH RES <sup>n</sup>   |
| P / UC | PUBLIC / UTILITY CORRIDOR      |
| OS / P | OPEN SPACE / PARK              |
| ES     | ELEMENTARY SCHOOL              |

## KEY

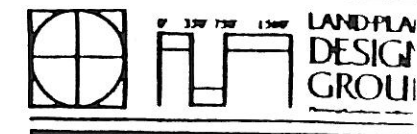
|      |                      |
|------|----------------------|
| (26) | PLANNING UNIT NUMBER |
| SFD  | LAND USE DESIGNATION |
| 44.1 | ACREAGE              |

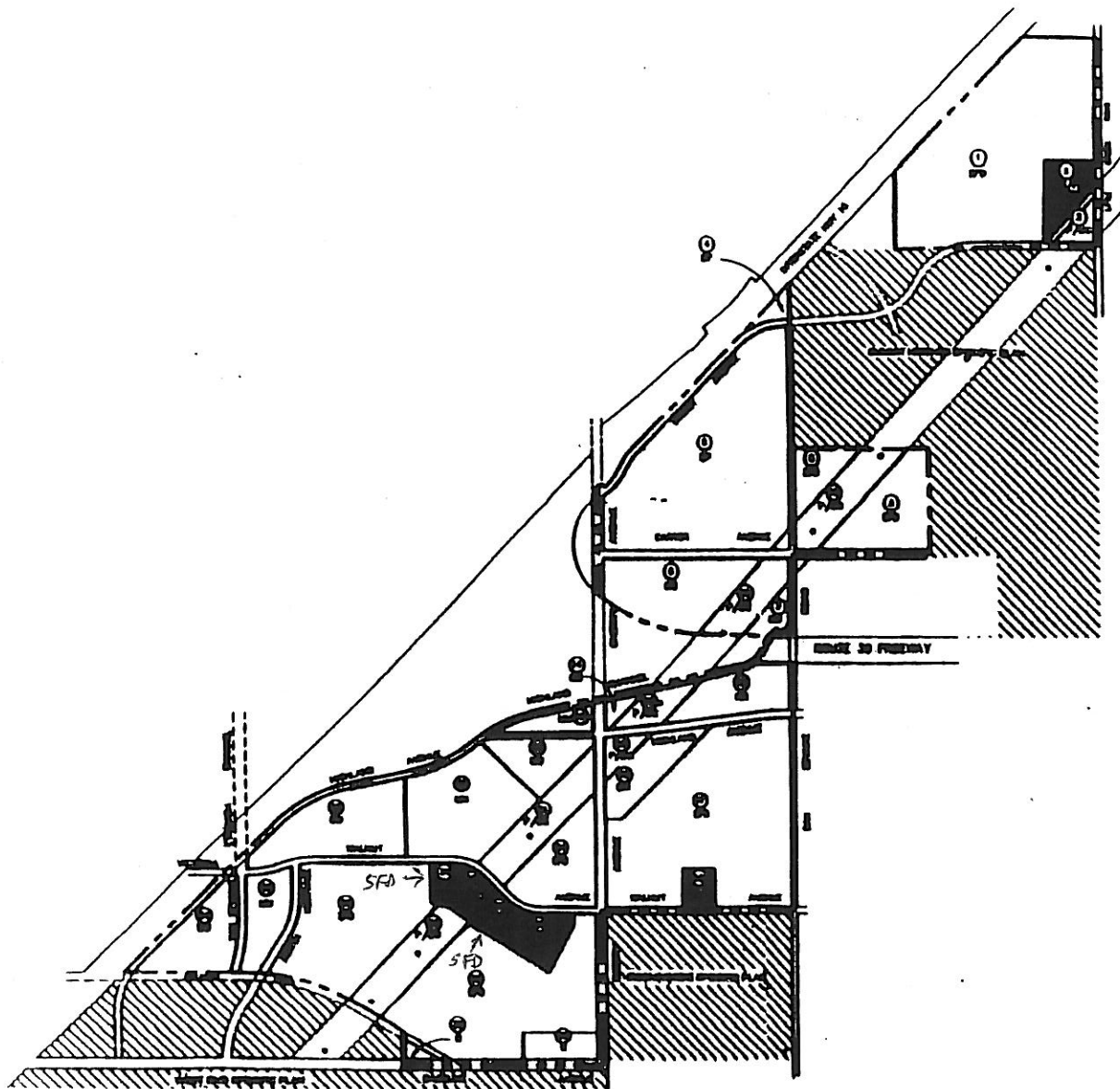


Planning Areas #26 & #31 were changed  
from OS/P to SFD

EXHIBIT 6

LAND USE PLAN





Planning Areas #26 & #31 were changed  
from OS/P to SFD

# WESTGATE SPECIFIC PLAN

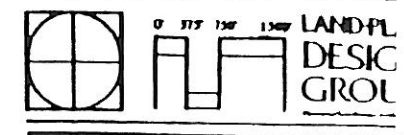
Prepared for: UNITEX

## LEGEND

- PARK SITE
- SCHOOL SITE

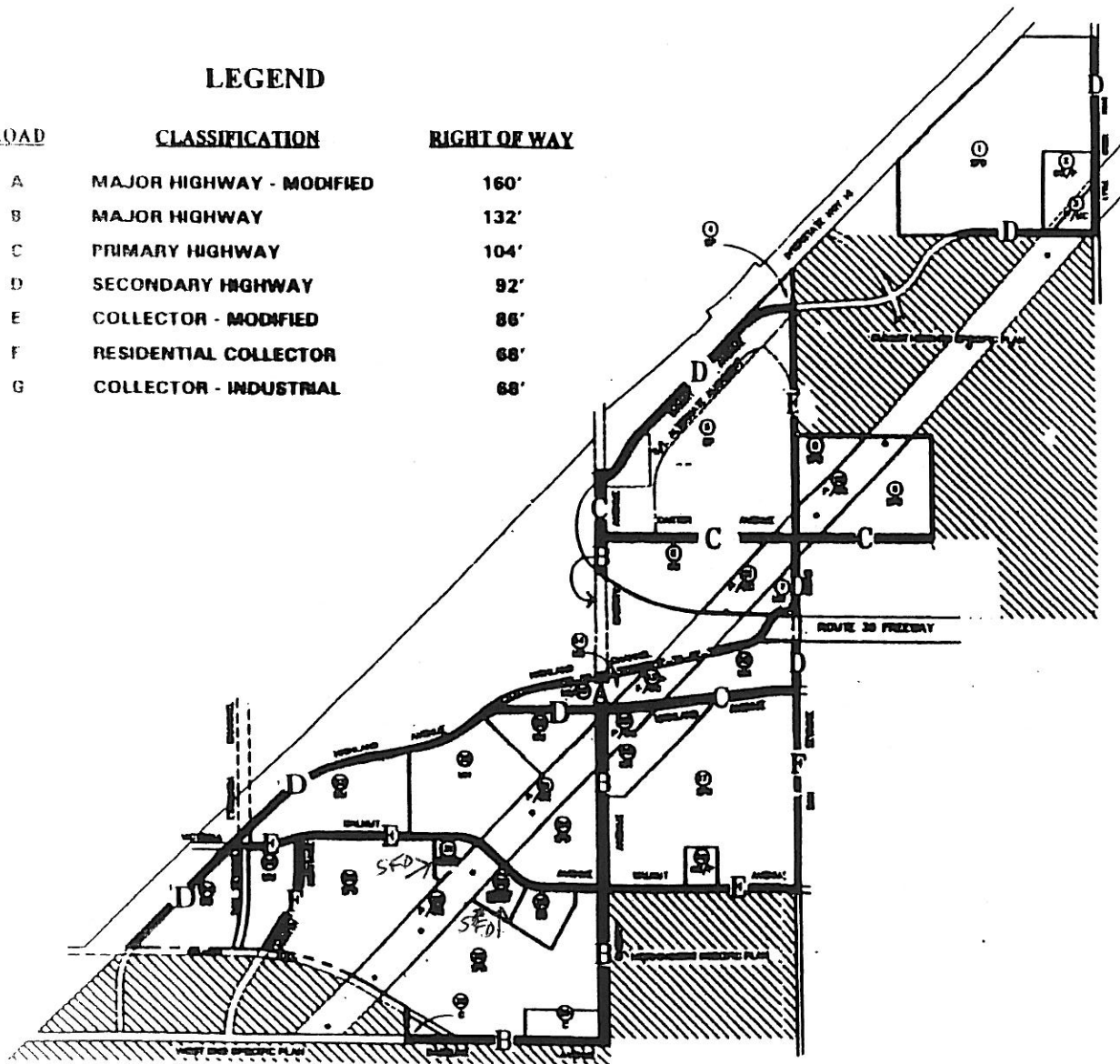
EXHIBIT 6A

PUBLIC FACILITIES PLAN



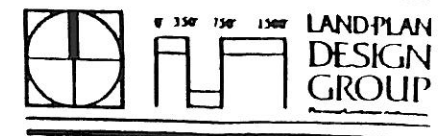
**LEGEND**

| <u>ROAD</u> | <u>CLASSIFICATION</u>    | <u>RIGHT OF WAY</u> |
|-------------|--------------------------|---------------------|
| A           | MAJOR HIGHWAY - MODIFIED | 160'                |
| B           | MAJOR HIGHWAY            | 132'                |
| C           | PRIMARY HIGHWAY          | 104'                |
| D           | SECONDARY HIGHWAY        | 92'                 |
| E           | COLLECTOR - MODIFIED     | 88'                 |
| F           | RESIDENTIAL COLLECTOR    | 68'                 |
| G           | COLLECTOR - INDUSTRIAL   | 68'                 |



Planning Areas #26 & #31 were changed  
 from OS/P to SFD

**EXHIBIT 7**  
**CIRCULATION PLAN**



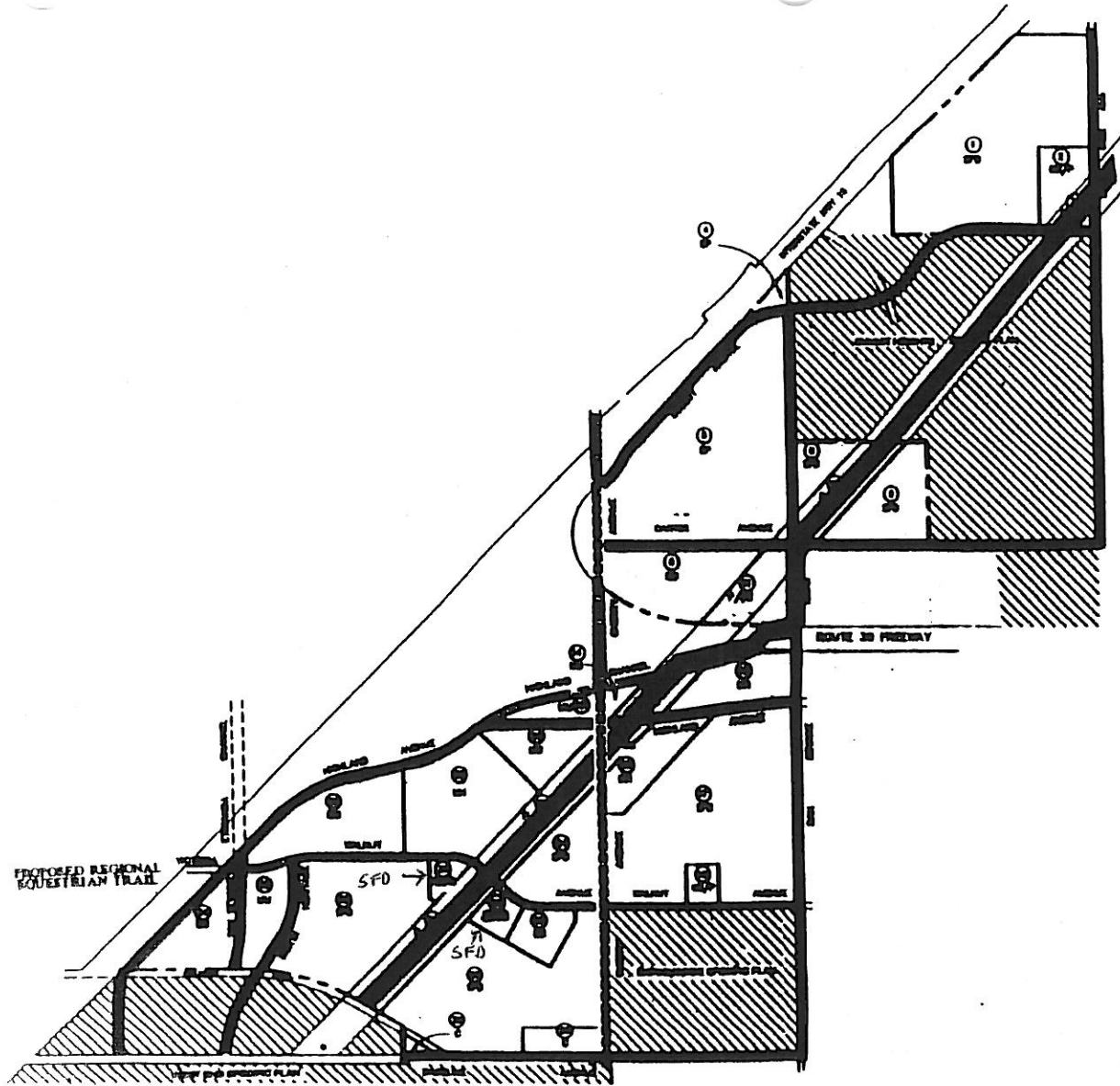


# WESTCATE SPECIFIC PLAN

Prepared for: UNITEX

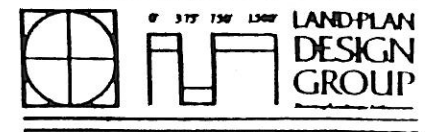
## LEGEND

- CLASS I  
STREET SEPARATED  
BICYCLE PATH
- CLASS II  
STRIPED, ON-STREET  
BICYCLE LANE
- REGIONAL BIKE  
TRAIL
- REGIONAL EQUESTRIAN  
TRAIL



Planning Areas #26 & #31 were changed  
from OS/P to SFD

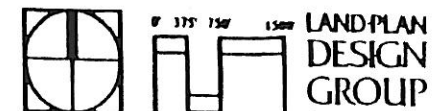
## EXHIBIT 8 BICYCLE / EQUESTRIAN CIRCULATION PLAN



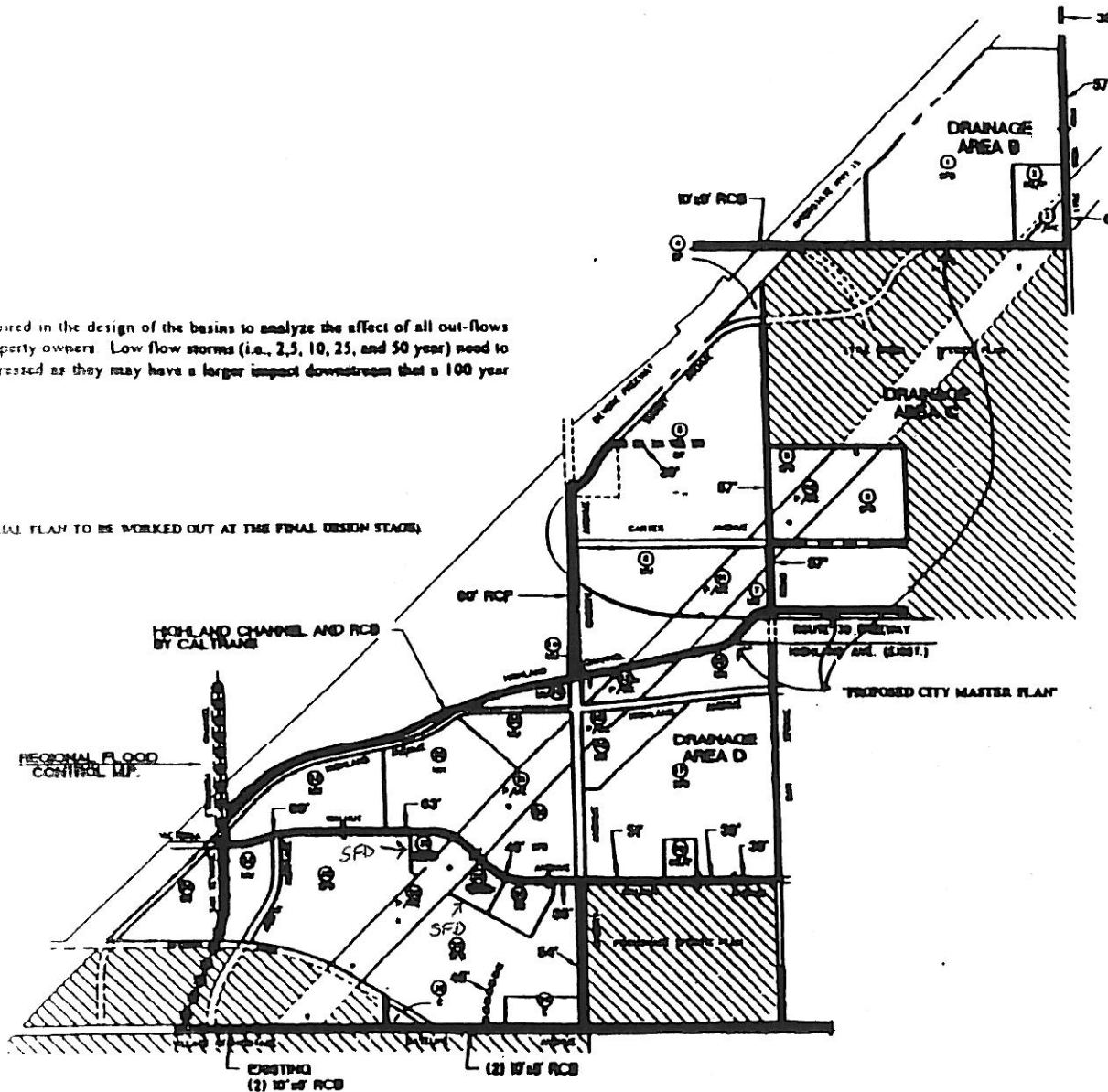
**LEGEND**

- EXISTING CITY MASTER PLAN
- ..... EXISTING SAN SEVANE CHANNEL - REGIONAL FLOOD CONTROL
- ..... LOCAL DRAINS (Developer)

**EXHIBIT 9**  
**DRAINAGE PLAN**



SOURCE: ALLARD ENGINEERING



Planning Areas #26 & #31 were changed  
 from OS/P to SFD

Special care is required in the design of the basins to analyze the effect of all out-flows on downstream property owners. Low flow storms (i.e., 2, 5, 10, 25, and 50 year) need to be specifically addressed as they may have a larger impact downstream than a 100 year storm.

(THIS IS A CONCEPTUAL PLAN TO BE WORKED OUT AT THE FINAL DESIGN STAGE)

- 6.4.1 Policy: Protect natural character of hills.  
Consistency: This site is essentially flat.
- 6.4.2 Policy: Establish open space network.  
Consistency: Westgate provides an open space network that connects pedestrian walks and bikeways, trails and parks.
- 6.4.3 Policy: Promote commercial core design theme of old Fontana.  
Consistency: The commercial core area of old Fontana and its revitalization is outside the scope of this Specific Plan.
- 6.4.4 Policy: Establish arterial corridor design theme.  
Consistency: Westgate established themes for all arterial corridors, including major, primary and secondary highways.
- 6.4.5 Policy: Establish Civic Center design theme.  
Consistency: A city hall / civic center design theme is outside the scope of this Specific Plan, and no public facilities are proposed on-site at this time.

**E. ECONOMIC DEVELOPMENT ELEMENT**

- 7.2.1 Policy: Encourage full range of commercial uses.  
Consistency: Westgate provides approximately 257 acres of business park and commercial uses to serve residents and the City, which will provide employment and contribute to the local tax base.
- 7.2.2 Policy: Limit adverse effects on existing business.  
Consistency: The commercial development proposed at Westgate will complement other City businesses and will not create adverse impacts on the Central Business District.
- 7.2.3 Policy: Cluster commercial uses.  
Consistency: Westgate clusters commercial development and will provide a variety of shopping and service needs.
- 7.2.4 Policy: Promote industrial development.

- Consistency: Approximately 118 acres of industrial uses is included in the Westgate Plan.
- 7.2.5 Policy: Arrest blight in retail areas.
- Consistency: The Specific Plan includes design standards and a maintenance program to discourage blight.
- 7.2.6 Policy: Monitor fiscal impact of new development.
- Consistency: A fiscal impact report was prepared in conjunction with this Specific Plan.
- 7.2.7 Policy: Encourage single-family development.
- Consistency: 100% of all residential uses will be detached single family homes.
- 7.2.8 Policy: Develop one-time fee structure.
- Consistency: Development of fee structure is beyond the scope of this Specific Plan.
- 7.2.9 Policy: Require fiscal analysis in conjunction with EIRs.
- Consistency: A fiscal analysis of the proposed project has been prepared in conjunction with this Specific Plan.
- 7.2.10 Policy: Maintain target industry list.
- Consistency: A list of target industries for the City of Fontana is beyond the scope of this Specific Plan.
- 7.2.11 Policy: Maintain liaison with Chamber of Commerce.
- Consistency: The Westgate applicant maintains liaison with the Chamber of Commerce.
- 7.2.12 Policy: Develop fiscal benefit model.
- Consistency: A fiscal analysis has been prepared as part of the project .
- 7.2.13 Policy: State campus.
- Consistency: Development of a state campus in Fontana is beyond the scope of this Specific Plan proposal.

**F. INFRASTRUCTURE ELEMENT**

- 8.1.1 Policy: Development shall be phased in accordance with necessary infrastructure.
- Consistency: Development will be phased as described in the Specific Plan, in accordance with provision of necessary circulation improvements, utilities and services.
- 8.1.2 Policy: "Leapfrog" development not permitted.
- Consistency: Westgate is a natural development progression northerly from the West End Specific Plan and westerly from Rancho Fontana.
- 8.1.3 Policy: Financing plans for infrastructure improvements required.
- Consistency: Financing plans for infrastructure will be proposed as part of the Master Capital Facilities Study and Plan or through a development agreement.
- 8.1.4 Policy: Master Capital Facilities Study and Plan.
- Consistency: The City proposes to establish this plan prior to recordation of a subdivision map, and if the study is incomplete, through a GPA and development agreement.
- 8.2.1 Policy: Creation of Communities Facilities District (CFD) for North Fontana.
- Consistency: If a CFD is formed, Westgate may participate.

**Water Policies**

- 8.3.1 Policy: Conservation and development of water resources.
- Consistency: Westgate will incorporate water conservation measures within the Specific Plan, per the mitigation measures in the EIR.
- 8.3.2 Policy: Prevent contamination of water resources.
- Consistency: No known contamination of water resources exists on site and all necessary measures will be undertaken to guard against future contamination due to development.

**Sewers**

- 8.4.1 Policy: Develop standards for minimizing water use.  
Consistency: Westgate will incorporate water conservation measures.
- 8.5.1 Policy: Investigate reuse options for RP-3 tertiary wastewater.  
Consistency: Reuse options for Regional Plan #3 tertiary waste water is beyond the scope of this Specific Plan.

**Solid Waste**

- 8.6.1 Policy: Encourage recycling of solid wastes.  
Consistency: Solid waste recycling could occur in conjunction with a supermarket program with the commercial center at Westgate or could occur community-wide, if the City provides a city-wide pick up program.

**Flood Control**

- 8.7.1 Policy: Support implementation of SBFCF Comprehensive Storm Drain Plan.  
Consistency: Westgate will coordinate drainage in conjunction with the SBFCF Comprehensive Storm Drain Plan.
- 8.7.2 Policy: Create communities facility district to equitably finance flood control infrastructure.  
Consistency: The applicant may participate in a CFD to finance flood control infrastructure.
- 8.7.3 Policy: Retention / detention ponds.  
Consistency: Due to the lack of regional detention facilities, temporary detention areas are proposed as flood control solutions.
- 8.8.1 Policy: Encourage multi-use of flood control facilities for open space and recreation purposes.  
Consistency: A temporary detention area may be constructed if approved by the City Engineer.

**G. PUBLIC SERVICES / FACILITIES ELEMENT**

- 9.1.1 Policy: Maintain police / residents ratio.  
Consistency: Westgate will comply with requirements to provide adequate police services.
- 9.1.2 Policy: Provide new police facilities.  
Consistency: Westgate will coordinate with the findings of the Capital Facilities Plan.
- 9.1.3 Policy: Fire Rating of Class 3.  
Consistency: Westgate will meet fire standards pursuant to City Code.
- 9.1.4 Policy: New fire station at Sierra and Slover.  
Consistency: Westgate will meet fire standards pursuant to City Code.
- 9.1.5 Policy: Maintain fire protection level.  
Consistency: Westgate will meet fire standards pursuant to City Code.
- 9.1.6 Policy: Fire and police response.  
Consistency: Westgate owners will work with city fire and police departments to achieve acceptable response times.
- 9.1.7 Policy: Attain Public Service standards.  
Consistency: Westgate owners will work with city school districts, libraries and health services to attain adequate standards to serve the Specific Plan site.
- 9.1.8 Policy: Community hospital feasibility.  
Consistency: Hospital feasibility is beyond the scope of this Specific Plan.
- 9.1.9 Policy: City Fire Department feasibility.  
Consistency: Feasibility of paramedic service is beyond scope of this Specific Plan.
- 9.1.10 Policy: Southridge library feasibility.



Consistency: Feasibility of a Southridge library is beyond the scope of this Specific Plan.

9.2.1 Policy: Phase development is accordance with provision of adequate services and facilities.

Consistency: Westgate will provide for implementation of infrastructure improvements, including water, sewer and storm drainage, in conjunction with each phase of development.

9.2.2 Policy: Financing plans are required for capital improvements to public service facilities.

Consistency: Costs and related financing will be provided through the establishment of an Assessment District, private funding, fees or other such funding vehicle available and / or pursuant to an adopted future master plan of infrastructure for North Fontana, and / or development agreement.

#### **H. CONSERVATION ELEMENT**

10.1.1 Policy: Maintain and improve the quantity of local and regional groundwater resources.

Consistency: Westgate will conform to standards and cooperate with the City to achieve the goal of maintaining quality and quantity of groundwater resources.

10.1.2 Policy: Water conservation measures must be incorporated into new developments.

Consistency: The proposed Specific Plan will comply with water conservation measures as required by law.

10.1.3 Policy: Require use of drought tolerant landscapes in new development; encourage replacement of water consumptive landscapes.

Consistency: Westgate will utilize drought tolerant landscapes as described in the Specific Plan.

10.1.4 Policy: Study reuse options of RP-3 treated water.

Consistency: Reuse options for Regional Plan #3 tertiary wastewater is beyond the scope of this Specific Plan.

10.1.5 Policy: Encourage expeditious clean-up of contaminated soil and ground-

water at Kaiser Steel site.

Consistency: Clean-up of Kaiser Steel site is beyond scope of this Specific Plan.

10.1.6 Policy: Encourage preservation of agricultural uses.

Consistency: Agriculture is not designated on the city land use map.

10.1.7 Policy: Reduce soil erosion. Requires erosion control plan for new development.

Consistency: An erosion control plan will be submitted and approved as per City policies prior to grading and construction. Project will come into compliance with the Clean Water Act.

10.1.8 Policy: Encourage development of community gardens in multi-family and planned unit developments.

Consistency: There are no multi-family units in the Westgate Specific Plan.

10.1.9 Policy: Minimize grading impacts.

Consistency: The site is flat, therefore grading impacts will be minimal.

10.1.10 Policy: Require feasibility study for curbside recycling program.

Consistency: This is outside the scope of this Specific Plan.

10.1.11 Policy: Support expansion of Fontana Landfill.

Consistency: This is outside the scope of this Specific Plan.

10.2.1 Policy: Minimize biotic impact.

Consistency: The Westgate EIR addresses biotic impacts and mitigation, if appropriate.

10.2.2 Policy: Establish wildlife corridors in City.

Consistency: Westgate is not located in an area appropriate for establishment of wildlife corridors.

10.2.3 Policy: Encourage tree planting.

Consistency: Tree plantings will be provided within landscape parkways and parks, as described in the Specific Plan, to enhance the

environment.

- 10.3.1 Policy: Encourage use of alternative energy resources, i.e., solar energy.
- Consistency: The use of Alternate uses of energy sources will be encouraged as described in the Specific Plan and EIR.
- 10.3.2 Policy: Encourage design techniques which conserve energy.
- Consistency: Westgate will encourage an energy-efficient community through energy conservation measures and design concepts.
- 10.4.1 Policy: Preservation of archaeological resources.
- Consistency: An archaeological investigation is performed as part of the project EIR and city policies will be followed if resources are found.
- 10.4.2 Policy: Adoptive reuse of historical buildings.
- Consistency: No known historical structures exist on the site.
- 10.5.1 Policy: Aggregate resources.
- Consistency: No aggregate resource areas are proposed for mining on this site.
- 10.5.2 Policy: Reclamation of mined lands.
- Consistency: There are no mined lands on-site, therefore reclamation does not apply.
- 10.5.3 Policy: Mineral production mitigation.
- Consistency: No mineral production is proposed.
- 10.5.4 Policy: Aggregate resource extraction hazards.
- Consistency: Aggregate resource extraction is not proposed on-site, therefore eliminating residual hazards to public health and safety.

**I. OPEN SPACE ELEMENT**

- 11.1.1 Policy: Balance natural and recreational open space.
- Consistency: Westgate proposes improved recreational open space

- (neighborhood park, parkways and bike trails) to contribute to the City's inventory of open space.
- 11.1.2 Policy: Preserve significant natural habitat areas.
- Consistency: No significant environmental area of the Jurupa Hills or San Gabriel Mountains exist on-site.
- 11.2.1 Policy: Require open space and recreation areas with new residential development.
- Consistency: Recreation area (park) is proposed within the new residential development within the Specific Plan.
- 11.2.2 Policy: Establish new neighborhood parks.
- Consistency: Two new parks are proposed within the Specific Plan. These parks are within walking distance of residential areas on site.
- 11.2.3 Policy: Develop parks in conjunction with schools.
- Consistency: A 10 acre elementary school site is proposed adjacent to a park site.
- 11.2.4 Policy: Ensure park design meets user needs.
- Consistency: The parks provided by Westgate will be designed to meet the needs of surrounding residents by providing adequate facilities and access as defined in General Plan park standards.
- 11.2.5 Policy: Define additional cultural facilities.
- Consistency: No additional cultural facilities are proposed within the Specific Plan area at this time.
- 11.2.6 Policy: Park standards.
- Consistency: Westgate will provide 15 acres of park with significant neighborhood and community level improvements in accordance with City Standards.
- 11.2.7 Policy: Prepare Parks Master Plan.
- Consistency: City to prepare master plan, not within the scope of this Specific Plan.
- 11.3.1 Policy: Preserve hilly areas.

Consistency: The site is flat, with no hilly areas or areas exceeding 30% slope to preserve.

11.4.1 Policy: Establish open space / recreation networks.

Consistency: Circulation corridors proposed will provide for pedestrian and bicycle paths as linkages through the site and to off-site areas.

## **J. SAFETY ELEMENT**

12.1.1 Policy: Restrict development from slope and flood areas.

Consistency: Westgate is not within areas of 30% or greater slope. Site is not in an area subject to flooding.

12.1.2 Policy: Restrict development in Alquist-Priolo zone areas.

Consistency: Westgate is not within an Alquist-Priolo zone.

12.1.3 Policy: Fire management plans in areas subject to wildfires.

Consistency: Proposed development is not within an area subject to wildfires.

12.2.1 Policy: Survey all unreinforced masonry structures.

Consistency: No unreinforced masonry structures exist on site.

12.2.2 Policy: Continue updating of emergency development plan.

Consistency: If emergency evacuation is determined to be an issue for the proposed development, the Specific Plan will outline a project specific emergency preparedness plan before final approach.

12.3.1 Policy: Support Federal, State, and County agencies.

Consistency: The Specific Plan will conform to current laws of federal, state and county agencies responsible for health and safety.

12.3.2 Policy: Fire and Police development review re: emergency services.

Consistency: The Specific Plan will be reviewed by county fire and city police departments.

12.3.3 Policy: Ensure safe construction.

- Consistency: City construction standards will be met in all proposed development at Westgate.
- 12.4.1 Policy: Enforce disclosure laws re: hazardous materials.
- Consistency: No hazardous material will be permitted and no disclosure will be required.
- 12.4.2 Policy: Identify hazardous material transport routes.
- Consistency: This is not within the scope of this Specific Plan.
- 12.4.3 Policy: Cooperate with railroads re: hazardous Emergency Plan materials.
- Consistency: Westgate will cooperate in Emergency Plans.
- 12.4.4 Policy: Maintain separation between hazardous materials and areas where people live or congregate.
- Consistency: No hazardous materials handling or transports are proposed and none exist in this surrounding area, therefore Westgate will conform with this policy.
- 12.4.5 Policy: Commercial and industrial uses must participate in hazardous materials mitigation.
- Consistency: Commercial and industrial sites that have potential hazardous materials will participate in hazardous materials mitigation.
- 12.4.6 Policy: Encourage clean-up at the Kaiser Steel site.
- Consistency: Clean-up of Kaiser site is beyond the scope of this Specific Plan.

**K. NOISE ELEMENT**

- 13.1.1 Policy: Construct barriers, participate in abatement plans.
- Consistency: The EIR identifies noise impact and proposed mitigations measures such as barriers, where necessary.
- 13.1.2 Policy: Include noise mitigation in new roadway projects.
- Consistency: The EIR identifies noise impacts and recommends mitigation where needed.
- 13.1.3 Policy: Reduce transportation noise.

- Consistency: New roadways proposed in the Specific Plan will be designed and coordinated to reduce noise.
- 13.1.4 Policy: Enforce noise laws.
- Consistency: Enforcement of noise levels by city divisions is the City's responsibility.
- 13.2.1 Policy: Establish community noise ordinance.
- Consistency: This is not within the scope of this Specific Plan.
- 13.2.2 Policy: Monitor Rialto Airport noise.
- Consistency: Aircraft operations at Rialto Airport do not effect the Specific Plan site.
- 13.2.3 Policy: Encourage acoustical design to meet noise standards.
- Consistency: The Specific Plan will encourage acoustical design in new construction to meet noise attenuation standards.
- 13.3.1 Policy: Establish a new Community Noise Ordinance.
- Consistency: Establishment of a new community Noise Ordinance is outside the scope of this Specific Plan.



## LEGAL DESCRIPTION

THE WEST 1/2 OF SECTION 26, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO UNITED STATES GOVERNMENT TOWNSHIP PLAT THEREOF, APPROVED BY THE OFFICE OF THE SURVEYOR GENERAL.

EXCEPTING THEREFROM THE NORTH 30 FEET OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 26.

ALSO EXCEPTING THEREFROM THE NORTH 30 FEET OF THE NORTHEAST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 26, AS GRANTED TO THE COUNTY OF SAN BERNARDINO BY DEED RECORDED NOVEMBER 10, 1941 IN BOOK 1500, PAGE 462, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 26; THENCE EAST ALONG THE NORTHERLY BOUNDARY LINE THEREOF, A DISTANCE OF 466.80 FEET; THENCE SOUTH 4° 03' WEST, A DISTANCE OF 430.00 FEET; THENCE SOUTH 26° 06' WEST, A DISTANCE OF 994.62 FEET, MORE OR LESS, TO A POINT ON THE WESTERLY BOUNDARY LINE OF SAID SECTION; THENCE NORTH 0° 03' EAST ALONG SAID WESTERLY BOUNDARY LINE, A DISTANCE OF 1322.13 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND LYING WITHIN THE STATE HIGHWAY AS CONVEYED TO THE STATE OF CALIFORNIA IN DEED RECORDED NOVEMBER 18, 1974 IN BOOK 8559, PAGE 60, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CARYN DEVELOPMENT COMPANY BY DEED RECORDED JUNE 6, 1989 AS INSTRUMENT NO. 89-203843, OFFICIAL RECORDS.

ALL THAT PORTION OF THE SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL, DESCRIBED AS FOLLOWS:

Section VI  
LEGAL DESCRIPTION

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BEGINNING AT THE NORTHWEST CORNER OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26; THENCE SOUTH 89° 55' 07" EAST ALONG THE NORTH LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 660.56 FEET, MORE OR LESS TO THE NORTHEAST CORNER OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26; THENCE SOUTH 0° 00' 46" EAST ALONG THE EAST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 330.50 FEET; THENCE NORTH 89° 55' 56" WEST 660.52 FEET TO A POINT IN THE WEST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26; THENCE NORTH 0° 01' 10" WEST ALONG THE WEST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 330.66 FEET TO THE POINT OF BEGINNING.

ALL THAT PORTION OF THE SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND APPROVED BY THE SURVEYOR GENERAL, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE WEST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 330.66 FEET SOUTH OF THE NORTHWEST CORNER THEREOF; THENCE SOUTH 89° 55' 56" 660.52 TO A POINT IN THE EAST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26; THENCE SOUTH 0° 00' 46" EAST ALONG SAID EAST LINE 330.50 FEET, MORE OR LESS, TO THE SOUTHEAST CORNER OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26;

THENCE NORTH 89° 56' 45" WEST ALONG THE SOUTH LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 660.48 FEET MORE OR LESS, TO THE SOUTHWEST CORNER OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26; THENCE NORTH 0° 01' 10" WEST ALONG THE WEST LINE OF SAID SOUTH 1/2 OF THE WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 26, 330.66 FEET MORE OR LESS, TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION AS DESCRIBED IN THE FINAL ORDER OF CONDEMNATION RECORDED JUNE 29, 1979 AS INSTRUMENT NO. 1601 IN BOOK 9718 PAGE 3007, OFFICIAL RECORDS.

LOTS 5, 6, 9, 10, 11 AND 12, BLOCK 2, W. G. LYSTER'S SUBDIVISION OF THE 160 ACRES OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 1 NORTH, RANGE 6

**Section VI**  
**LEGAL DESCRIPTION**

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WEST, SAN BERNARDINO BASE AND MERIDIAN, AS PER PLAT RECORDED IN BOOK 9 OF MAPS, PAGE 18, RECORDS OF SAID COUNTY.

NOTE: AREAS AND DISTANCES ARE COMPUTED TO THE CENTER OF ADJOINING STREETS.

THE WEST 1/2 OF LOT 3; THE WEST 1/2 OF LOT 14 AND ALL OF LOT 13, BLOCK 1, W. G. LYSTER SUBDIVISION, IN THE CITY OF FONTANA, AS PER PLAT RECORDED IN BOOK 9 OF MAPS, PAGE 18, SAN BERNARDINO COUNTY RECORDS.

LOT 4, BLOCK 1, W. G. LYSTER'S SUBDIVISION, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, AS PER PLAT RECORDED IN BOOK 9 OF MAPS, PAGE 18, RECORDS OF SAID COUNTY.

EXCEPTING THAT PORTION THEREOF INCLUDED WITHIN THE STRIP OF LAND BEING 100 FEET IN WIDTH LYING 50 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, THENCE SOUTH 89° 33' 19" EAST 1427.31 FEET WEST, ALONG THE NORTHERLY LINE OF SAID SOUTHEAST 1/4. WHICH IS ALSO THE CENTERLINE OF LYSTER AVENUE, 50 FEET IN WIDTH TO THE TRUE POINT OF BEGINNING; THENCE FROM SAID TRUE POINT OF BEGINNING BEING IN A LINE PARALLEL WITH AND 50 FEET SOUTHEASTERLY MEASURED AT RIGHT ANGLES FROM THE SOUTHEASTERLY LINE OF THE SOUTHEASTERLY LINE OF THE SOUTHERN CALIFORNIA EDISON COMPANY'S RIGHT OF WAY 250 FEET IN WIDTH AS DESCRIBED IN THE DEED RECORDED DECEMBER 2, 1937, IN BOOK 1240, PAGE 421, OFFICIAL RECORDS, OF SAID COUNTY; THENCE SOUTH 41° 45' 50" WEST, 163.14 FEET ALONG SAID PARALLEL LINE TO A POINT IN THE CENTER LINE OF VINE AVENUE, 50 FEET IN WIDTH AS SHOWN ON SAID MAP.

THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT, BY DEED RECORDED FEBRUARY 19, 1945 IN BOOK 1730, PAGE 346, OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE CENTER LINE OF HIGHLAND AVENUE, SAID POINT BEING SOUTH 89° 28' WEST, 1323.29 FEET, FROM THE NORTHEAST CORNER OF SAID SECTION 34; THENCE SOUTH 03° 14' 06" WEST, 1655.88 FEET; THENCE BY CURVE TO THE RIGHT WITH A RADIUS OF 850 FEET FOR A DISTANCE

OF 1280.89 FEET; THENCE SOUTH 89° 34' 32" WEST, 387.66 FEET TO A POINT IN THE CENTER LINE OF BANANA AVENUE; THENCE SOUTH 0° 00' 03" EAST ALONG THE CENTER LINE OF BANANA AVENUE, 200.00 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST 1/4 OF SECTION 34; THENCE 89° 34' 32" EAST, ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF SECTION 34, 1324.03 FEET;

THENCE NORTH 03° 14' 06" EAST, 2653.95 FEET TO A POINT IN THE CENTER LINE OF SAID HIGHLAND AVENUE; THENCE SOUTH 89° 28' WEST, ALONG THE CENTERLINE OF HIGHLAND AVENUE, 150.32 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THAT PORTION AS CONVEYED TO THE STATE OF CALIFORNIA, FOR A FREEWAY, BY DEED RECORDED SEPTEMBER 5, 1974 IN BOOK 8509, PAGE 15, OFFICIAL RECORDS.

THAT PORTION OF THE NORTHEAST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THAT PARCEL DESCRIBED IN THE DEED TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT RECORDED FEBRUARY 19, 1945 IN BOOK 1730, PAGE 346, OFFICIAL RECORDS;

THENCE ALONG THE BOUNDARY OF SAID SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT PARCEL SOUTH 3° 16' 46" WEST 1656.00 FEET TO THE BEGINNING OF AN 850 FOOT RADIUS CURVE AND THE TRUE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING ALONG SAID BOUNDARY THE FOLLOWING FOUR COURSES:

- (1) SOUTHWESTERLY ALONG SAID 850 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY THROUGH AN ANGLE OF 86° 20' 53", A DISTANCE OF 1281.00 FEET TO THE SOUTHWESTERLY TERMINUS OF SAID CURVE;
- (2) SOUTH 89° 37' 39" WEST 387.97 FEET TO A POINT IN CENTERLINE OF BANANA AVENUE;
- (3) ALONG THE CENTERLINE OF BANANA AVENUE SOUTH 0° 02' 20" WEST 200.00 FEET TO THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF SECTION 34;
- (4) ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 NORTH 89° 37' 39" EAST 1224.18 FEET TO THE WEST LINE OF THAT CERTAIN EASEMENT GRANTED TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT BY INSTRUMENT RECORDED NOVEMBER 17, 1944 IN BOOK 1727, PAGE 58, OFFICIAL RECORDS;

THENCE ALONG THE NORTHERLY PROLONGATION OF SAID WEST LINE NORTH 0° 01' 58" EAST 33.00 FEET TO A LINE PARALLEL WITH AND DISTANT 33.00 FEET NORTHERLY FROM SAID SOUTH LINE;



THENCE NORTH 0° 24' 59" EAST 962.94 FEET TO THE TRUE POINT OF BEGINNING.

THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT APPROVED BY THE SURVEYOR GENERAL.

EXCEPTING THEREFROM ALL THAT PORTION OF SAID NORTHEAST 1/4 DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4; THENCE ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE SOUTHWEST 1/4 NORTH 89° 41' 48" EAST, 162.64 FEET; THENCE NORTH 75° 42' 18" WEST 167.80 FEET TO THE WEST LINE OF SAID NORTHEAST 1/4; THENCE ALONG SAID WEST LINE SOUTH 0° 02' 45" WEST, 42.29 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM ALL THAT PORTION CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED DECEMBER 30, 1974 IN BOOK 8585, PAGE 417, OFFICIAL RECORDS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID NORTHEAST 1/4; THENCE ALONG THE NORTH LINE OF SAID NORTHEAST 1/4, SOUTH 89° 37' 39" WEST 1324.37 FEET TO THE WEST LINE OF SAID NORTHEAST 1/4; THENCE ALONG SAID WEST LINE SOUTH 0° 02' 45" WEST 51.14 FEET A NON-TANGENT CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 1267 FEET; THENCE EASTERLY ALONG SAID CURVE FROM A TANGENT BEARING NORTH 79° 35' 21" EAST, THROUGH A CENTRAL ANGLE OF 9° 42' 18", A DISTANCE OF 214.61 FEET TO A LINE PARALLEL WITH, AND DISTANT 33.00 FEET SOUTHERLY FROM SAID NORTH LINE;

THENCE ALONG SAID PARALLEL LINE, NORTH 89° 37' 39" EAST 1110.93 FEET TO THE EAST LINE OF SAID NORTHEAST 1/4. THENCE ALONG SAID EAST LINE, NORTH 0° 02' 20" EAST 33.00 FEET TO THE POINT OF BEGINNING.

THAT PORTION OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHEAST 1/4; THENCE ALONG THE SOUTH LINE OF SAID NORTHEAST 1/4, NORTH 89° 41' 48" EAST, 837.13 FEET;

THENCE NORTH 75° 42' 18" WEST 840.79 FEET TO A TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 915 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE, THROUGH A CENTRAL ANGLE OF 1° 26' 21", A DISTANCE OF 22.98 FEET TO THE WEST LINE OF SAID NORTHEAST 1/4; THENCE ALONG SAID WEST LINE SOUTH 0° 02' 45" WEST, 217.99 FEET TO THE POINT OF BEGINNING.

THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

EXCEPTING THEREFROM THE NORTH 26 ACRES, MORE OR LESS, AS CONVEYED TO C. P. HANNA, BY DEED DATED MAY 14, 1919 IN BOOK 651, PAGE 287 OF DEEDS.

ALSO EXCEPTING THEREFROM THAT PORTION CONDEMNED TO THE STATE OF CALIFORNIA FOR FLOOD CONTROL PURPOSES BY INSTRUMENT RECORDED DECEMBER 16, 1976 IN BOOK 9074, PAGE 726 OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ANY PORTION THEREOF LYING WITHIN THE SOUTHERN PACIFIC RAILWAY RIGHT OF WAY.

PARCEL 1 OF PARCEL MAP NO. 1957, IN THE CITY OF FONTANA, AS PER PLAT RECORDED IN BOOK 28 OF PARCEL MAPS, PAGE 11, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM ALL OIL, GAS, MINERALS, HYDROCARBON AND KINDRED SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, AS GRANTED TO CARLSBERG RESOURCES CORPORATION, A CALIFORNIA CORPORATION, BY DEED RECORDED DECEMBER 29, 1972 IN BOOK 8090, PAGE 1985, OFFICIAL RECORDS.

PARCEL 2 OF PARCEL MAP NO. 1957, IN THE CITY OF FONTANA AS PER PLAT RECORDED IN BOOK 28 OF PARCEL MAPS, PAGE 11, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM ALL OIL, GAS, MINERALS, HYDROCARBON AND KINDRED SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, AS GRANTED TO CARLSBERG RESOURCES CORPORATION, A CALIFORNIA CORPORATION, BY DEED RECORDED DECEMBER 29, 1972 IN BOOK 8090, PAGE 1985, OFFICIAL RECORDS.

PARCEL 4 OF PARCEL MAP NO. 1957, AS PER PLAT RECORDED IN BOOK 28 OF PARCEL MAPS, PAGE 11, RECORDS OF SAID COUNTY.

EXCEPTING THEREFROM ALL OIL, GAS, MINERALS, HYDROCARBON AND KINDRED

SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, AS GRANTED TO CARLSBERG RESOURCES CORPORATION, A CALIFORNIA CORPORATION, BY DEED RECORDED DECEMBER 29, 1972 IN BOOK 8090, PAGE 1985, OFFICIAL RECORDS.

THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

EXCEPTING THAT PORTION AS CONVEYED TO THE STATE OF CALIFORNIA, FOR A FREEWAY, BY DEED RECORDED SEPTEMBER 5, 1974 IN BOOK 8509, PAGE 15, OFFICIAL RECORDS.

THE NORTHEAST 1/4 SECTION 35, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO THE OFFICIAL PLAT OF SAID LAND.

EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION, DISTANT ALONG SAID WEST LINE SOUTH 0° 01' 36" WEST 30 FEET FROM A SAN BERNARDINO COUNTY SURVEYOR'S NAIL AND FLASHER, MARKING THE NORTHWEST CORNER OF SAID SECTION; THENCE ALONG SAID WEST LINE, SOUTH 0° 01' 36" 2620.81 FEET TO A POINT ON THE SOUTH LINE OF SAID NORTHWEST 1/4; THENCE ALONG SAID SOUTH LINE NORTH 89° 56' 59" EAST 33.00 FEET TO A POINT ON A LINE PARALLEL TO AND DISTANT 33.00 FEET EAST, MEASURED AT RIGHT ANGLES TO SAID WEST LINE OF SAID NORTHWEST 1/4; THENCE ALONG SAID PARALLEL LINE NORTH 0° 01' 36" EAST 2580.70 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 40.00 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE, THROUGH AN ANGLE OF 90° 03' 12", A DISTANCE OF 62.87 FEET TO A POINT ON THE SOUTH LINE OF HIGHLAND AVENUE (60 FEET WIDE); THENCE ALONG SAID SOUTH LINE NORTH 89° 55' 12" WEST 73.04 FEET TO THE POINT OF THE BEGINNING.

PARCEL 1 OF PARCEL MAP NO. 1959, AS PER PLAT RECORDED IN BOOK 28 OF PARCEL MAPS, PAGE 18, RECORDS OF SAID COUNTY.

THE NORTH 1/2 OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 35, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, ACCORDING TO UNITED STATES GOVERNMENT TOWNSHIP PLAT THEREOF, APPROVED BY THE SURVEYOR GENERALS OFFICE.

EXCEPTING THEREFROM ALL OIL, GAS, MINERALS, HYDROCARBON AND KINDRED



Section VI  
LEGAL DESCRIPTION

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SUBSTANCES LYING BELOW A DEPTH OF 500 FEET, BUT WITHOUT THE RIGHT OF SURFACE ENTRY, AS GRANTED TO CARLSBERG RESOURCES CORPORATION, A CALIFORNIA CORPORATION, BY DEED RECORDED DECEMBER 29, 1971 IN BOOK 7822, PAGE 476, OFFICIAL RECORDS.

THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MEIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO THE UNITED STATES GOVERNEMENT TOWNSHIP PLAT THEROF, APPROVED BY THE UNITED STATES SURVEYOR GENERALS OFFICE ON NOVEMBER 13, 1885.

EXCEPTING THEREFROM THE SOUTH 50 FEET AS GRANTED TO THE COUNTY OF SAN BERNARDINO, BY DEED RECORDED OCTOBER 21, 1949, IN BOOK 2477, PAGE 513, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM ANY PORTION OF THE EAST 1/2 OF THE SOUTHEAST 1/4, LYING NORTHWESTERLY OF THE MOST SOUTHEASTERLY LINE OF STATE HIGHWAY PROPERTY, AS DESCRIBED IN THE DEED AS CONVEYED TO THE STATE OF CALIFORNIA, RECORDED JULY 14, 1975, IN BOOK 8719, PAGE 19, OFFICIAL RECORDS OF SAID COUNTY.

THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT TOWNSHIP PLAT THEREOF, APPROVED BY THE UNITED STATES SURVEYOR GENERALS OFFICE ON NOVEMBER 13, 1885.

EXCEPTING THEREFROM THE SOUTH 50 FEET AS GRANTED TO THE COUNTY OF SAN BERNARDINO BY DEED RECORDED OCTOBER 21, 1949, IN BOOK 2477, PAGE 513, OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THAT PORTION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 6 WEST, SAN BERNARDINO BASE AND BERIDIAN, AS SAID SECTION IS SHOWN ON UNITED STATES GOVERNMENT TOWNSHIP PLAT FILED BY THE SURVEYOR GENERALS OFFICE, SAN FRANCISCO, CALIFORNIA, ON NOVEMBER 13, 1885; LYING WITHIN THE FOLLOWING DESCRIBED BOUNDARY LINES:

BEGINNING AT THE SOUTHEAST CORNER OF SAID WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24; THENCE NORTH 0 DEG. 43' 33" WEST ALONG THE EASTERLY LINE OF SAID WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, A DISTANCE OF 50.00 FEET TO THE TRUE POINT OF BEGINNING, WHICH IS A POINT IN THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF SUMMIT AVENUE, 60

FEET IN WIDTH; THENCE CONTINUING NORTH 0 DEG. 43' 33" WEST ALONG SAID EASTERLY LINE 216.53 FEET TO A POINT IN THE SOUTHEASTERLY LINE OF SOUTHERN CALIFORNIA EDISON COMPANY'S RIGHT OF WAY, 150 FEET IN WIDTH, AS DESCRIBED IN DOCUMENT RECORDED OCTOBER 28, 1937, IN BOOK 1233, PAGE 426, OFFICIAL RECORDS, IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SAN BERNARDINO; THENCE SOUTH 41 DEG. 45' 50" WEST ALONG SAID SOUTHEASTERLY LINE 291.41 FEET TO A POINT IN SAID NORTHERLY LINE OF SUMMIT AVENUE; THENCE NORTH 89 DEG. 53' 56" EAST ALONG SAID NORTHERLY LINE 197.57 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THE NORTH 40 FEET AS GRANTED TO THE METROPOLITAN WATER DISTRICT OF SOUTHERN CALIFORNIA BY DEED RECORDED AUGUST 14, 1969, IN BOOK 7285, PAGE 835, OFFICIAL RECORDS OF SAID COUNTY.

ALSO EXCEPTING THEREFROM ANY PORTION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 LYING NORTHWESTERLY OF THE MOST SOUTHEASTERLY LINE OF STATE HIGHWAY PROPERTY, AS DESCRIBED IN THE DEED AS CONVEYED TO THE STATE OF CALIFORNIA, RECORDED JULY 14, 1975, IN BOOK 8719, PAGE 19, OFFICIAL RECORDS OF SAID COUNTY.

RESOLUTION NO. 84-41

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF  
FONTANA APPROVING THE NORTHGATE SPECIFIC PLAN.

WHEREAS, The Planning Commission and the City Council  
of the City of Fontana have conducted all required hearings; and

WHEREAS, The City Council, considered, and approved as  
adequate the Mitigated Negative Declaration for said Northgate  
Specific Plan; herein referenced in its entirety, a copy of  
which is on file in the City Clerk's office; and,

WHEREAS, The City Council is fully appraised of the  
Northgate area and the Northgate Specific Plan and accompanying  
addendum, maps, drawings, reports mitigated negative declaration,  
presentations made at all of the Planning Commission and City  
Council Workshops and public hearings; and

WHEREAS, The Final Northgate Specific Plan  
incorporates, all needed information heretofore referenced for  
adoption as a complete document,

WHEREAS, all mitigations incorporated within said final  
plan do mitigate impacts associated with said project to the  
maximum extent possible,

BE IT RESOLVED that the City Council of the City of  
Fontana hereby adopts the Northgate Specific Plan (SP-9) as  
contained in the Report and Map adopted herewith by reference;  
and

BE IT FURTHER RESOLVED that Chapter IV shall be adopted  
as development regulations for the effectuation of this Specific  
Plan, within Chapter 34, Article 7 of the City Code.

APPROVED AND ADOPTED this 20th day of March, 1984.

/s/ Nathan A. Simon

Mayor of the City of Fontana

ATTEST:

/s/ Linda C. Reed

Deputy Clerk

City

City

I, Linda C. Reed, Deputy Clerk of the City of Fontana,  
California, do hereby certify that the foregoing resolution was  
duly and regularly adopted by the City Council of the City of  
Fontana at a regular meeting thereof, held on the 20th day of  
March, 1984, by the following vote, to-wit:

AYES: Mayor Simon, Councilmen Day, Kragness

NOES: Councilmen Freeman, Koehler ABSENT: None

/s/ Linda C. Reed

Deputy Clerk of the City of Fontana

City

APPROVED AS TO FORM:

/s/ John M. Rager

City Attorney